



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u><i>MaSPR-24-31</i></u>	<i>Staff Report – August 19, 2024</i>
<b><i>Application Type:</i></b>	Major Site Plan Review
<b><i>Project Address:</i></b>	Owned by Valiant Real Estate USA Inc. (applicant): (1) 309 Fourth North St. Rear (Tax Map ID: 001.1-01-29.0) (2) 311 Fourth North St. Rear (Tax Map ID: 001.1-01-30.0) (3) 815 Hiawatha Blvd. E. Rear (Tax Map ID: 001.1-01-26.0) (4) 833 Hiawatha Blvd. E. (Tax Map ID: 001.1-01-21.0) (5) 843 Hiawatha Blvd. E. Rear (Tax Map ID: 001.1-01-28.0) Owned by Mark Dayger: (6) 823 Hiawatha Blvd. E. (Tax Map ID: 001.1-01-24.0) (7) 825 Hiawatha Blvd. E. (Tax Map ID: 001.1-01-23.0) Owned by Greater Syracuse Property Development Corporation (GSPDC): (8) 829 Hiawatha Blvd. E. (Tax Map ID: 001.1-01-22.0)
<b><i>Summary of Proposed Action:</i></b>	The project is to demolish 2 metal buildings located at 311 Fourth North St. Rear and 815 Hiawatha Blvd. E. Rear and to renovate the existing warehouse/office building located at 309 Fourth North St. Rear into fleet terminal land use for NY Bus Sales new EV bus fleet. The existing site is made up of 5 properties totaling 19.658 acres and 3 adjacent residential properties will be purchased by the applicant.
<b><i>Owner/Applicant</i></b>	Alain Chabot, Valiant Real Estate USA Inc. (Owner/Applicant) Mark Dayger (Owner) Katelyn Wright, Greater Syracuse Property Development Corporation (Owner)
<b><i>Existing Zone District:</i></b>	Light Industry and Employment, IN Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the north, west and east are located in the Light Industry and Employment, IN Zone District; the neighboring properties to the south are located in the Commercial, CM Zone District and Light Industry and Employment, IN Zone District.
<b><i>Companion Application(s)</i></b>	None
<b><i>Scope of Work:</i></b>	(1) Land acquisition of 3 properties located at 823 Hiawatha Blvd. E., 825 Hiawatha Blvd. E. and 829 Hiawatha Blvd. E. Resubdivision of 8 lots to combine them into 1 new lot. (2) Change of use on these lots to establish a “Motor Freight or Fleet Terminals” use. (3) Demolition of 2 existing structures on the properties located at 311 Fourth North St. Rear and 815 Hiawatha Blvd. E. Rear. (4) Renovation of the existing building located at 309 Fourth North St. Rear to support the sale of buses as well as provide, parts and service of buses in Central New York, including approximately 20,000 SF of service area consisting of 14 service bays, approximately 26,000 SF of warehouse for distribution of parts, approximately 9,000 SF of office space and infrastructure to support the growing Electric Vehicle initiatives. (5) Demolition of existing residential buildings and landscaping located at 823 Hiawatha Blvd. E., 825 Hiawatha Blvd. E. and grading the site for parking lot construction. (6) Construction of 293 parking spaces for on-site bus parking and employee parking. (7) Construction of a red-rock retaining wall with a 4-ft-high fence in the north, south and west of the property located at 819 Hiawatha Blvd. E. Rear.

	<p>(8) Installation of landscaping buffer along the parking lots facing Hiawatha Blvd. Installation of landscaping buffer along the north boundary of the property located at 819 Hiawatha Blvd. E. Rear.</p> <p>(9) Installation of utilities such as EV charging stations, light posts, transformer pad, bike racks and ADA ramps.</p>
<p><i>Staff Analysis:</i></p>	<p><b><u>Factors:</u></b></p> <ul style="list-style-type: none"><li>- The applicant is working on acquiring the 3 properties located at 823 Hiawatha Blvd. E., 825 Hiawatha Blvd. E. and 829 Hiawatha Blvd. E.</li><li>- The residential property at 819 Hiawatha Blvd. E. Rear will not be included into the project site.</li><li>- The applicant proposes to install landscaping buffer and fences around the property at 819 Hiawatha Blvd. E. Rear to buffer the residential property from the proposed driveway and parking lot.</li><li>- The applicant proposes to install landscaping features along parking lots to buffer the parking areas from the public street.</li><li>- The proposed use is consistent with the purpose of Light Industry and Employment Zone District, which encourages a range of uses including industrial, commercial, office, retail, and entertainment uses, typically in a flex-space development pattern.</li><li>- There are wetlands located near to the southwest corner of properties located at 309 Fourth North St. Rear and 843 Hiawatha Blvd E Rear. The applicant has adjusted the project area to keep constructions out of the wetlands and its 100-ft buffer zone.</li><li>- The applicant has provided a draft Stormwater Pollution Prevention Plan (SWPPP) along with application package.</li></ul> <p><b><u>Recommended conditions if approved:</u></b></p> <ul style="list-style-type: none"><li>- The applicant shall comply with the general conditions for approval on Site Plan Review application. (See the attached sheet “General Conditions for Site Plan Review Approval)</li><li>-</li><li>- The applicant shall address all current concerns from city departments as shown in the attached IPS comments sheet and address any concerns the City departments may have before obtaining the building permit.</li><li>- The applicant shall contact the Onondaga County Department of Water Environment Protection (WEP) Flow Control Division for any infrastructure-related disturbance of land within the County easement.</li><li>- The applicant shall work with the Department of Public Work to install sidewalks, where feasible, along the site’s frontage along Hiawatha Boulevard East.</li></ul>
<p><i>Zoning Procedural History:</i></p>	<p>309 Fourth North St. Rear - No zoning procedural history found. 311 Fourth North St. Rear - No zoning procedural history found. 815 Hiawatha Blvd. E. Rear</p> <ul style="list-style-type: none"><li>- No zoning procedural history found.</li><li>- Per sign and electric permit, the structure used to be occupied by Green Home America around 2009.</li><li>- Per Google Streetview, the structure was occupied by Rescomm Services in 2023.</li></ul> <p>823 Hiawatha Blvd. E. - Vacant property. No zoning procedural history found. 825 Hiawatha Blvd. E. - Vacant structure. No zoning procedural history found.</p>

	829 Hiawatha Blvd. E. - No zoning procedural history found. 833 Hiawatha Blvd. E. - Vacant property. No zoning procedural history found. 843 Hiawatha Blvd. E. Rear - Vacant property. No zoning procedural history found.
<b>Summary of Zoning History:</b>	No zoning procedural history found for all 8 lots.
<b>Code Enforcement History:</b>	See attached code enforcement history.
<b>Summary of Changes:</b>	This is not a continued application.
<b>Property Characteristics:</b>	Per the provided Topographic Survey Map, the 5 lots owned by the applicant is combined into 1 new lot. The new lot is irregularly shaped with 1587.32 FT of frontage along the north property boundary, 1870.84 FT of frontage along the south and east property boundary and 619.92 FT of frontage along the west property boundary. The combined 5 lots will be 19.658 acres in total and the proposed building is 55,000 SF.
<b>SEQR Determination:</b>	Pursuant to the 6 NYCRR §617.2(al), the proposal is an Unlisted Action.
<b>Onondaga County Planning Board Referral:</b>	<p>Pursuant to GML §239-1, m and n, the proposal meets the referral criteria for Onondaga County Planning Board to review.</p> <p>The Board recommend following conditions to the project upon the approval:</p> <ol style="list-style-type: none"> <li>(1) The municipality must ensure the applicant owns or can demonstrate control over all lands included in the proposal prior to, or as a condition of, municipal approval of the site plan.</li> <li>(2) The municipality must ensure that no construction of permanent structures occurs which may encroach into the County sanitary sewer easement or affect the county infrastructure. The applicant must contact the Onondaga County Department of Water Environment Protection (WEP) Flow Control Division for any infrastructure-related disturbance of land within the county easement prior to, or as a condition of, municipal approval.</li> </ol> <p>The Board offers following comments:</p> <ol style="list-style-type: none"> <li>(1) Given the presence of state wetlands and floodplain at the rear of the site, the Board encourages the City to require the applicant increase plantings on the site as a whole, but particularly at the rear of the site to provide buffering between the extensive parking lots of the site and nearby natural resources including Ley Creek and Onondaga Lake.</li> <li>(2) The Board encourages the installation of sidewalks, where feasible, along the site’s frontage along Hiawatha Boulevard East.</li> </ol>

**Application Submittals:** The application submitted the following in support of the proposed project:

- Major Site Plan Review application
- Full Environmental Assessment Form Part 1
- TOPOGRAPHIC SURVEY MAP FOR THE LANDS OF 309 FOURTH NORTH ST., LLC; 311 FOURTH NORTH ST., LLC; 815 HIAWATHA BOULEVARD; 309 & 311 FOURTH STREET AND 815, 833 & 843 HIAWATHA BOULEVARD EAST; PART OF SALT MARSH LOTS 6, 8 & 10; PART OF FORMER NORTH SIDE CUT OSWEGO CANAL; PART OF LOTS 1, 2, 3, 4 & ALL OF LOT 7 BLOCK 9 OF THE E.W. LEAVENWORTH SUBDIVISION; CITY OF SYRACUSE, ONONDAGA COUNTY, NEW YORK; Licensed Land Surveyor: David Michael Sliски; C.T. MALE ASSOCIATES; Dated: 05/03/2024; Scale: 1”= 60’
- Demolition Plan (Sheets C001, C002, C003, C004). Prepared by In-Architects; dated: 07/19/2024; Scaled as noted.

**MaSPR-24-31**

- Site Plan (Sheets C101, C102, C103, C104). Prepared by In-Architects; dated: 07/19/2024; Scaled as noted.
- Grading and Utilities Plan (Sheets C201, C202, C203, C204). Prepared by In-Architects; dated: 07/19/2024; Scaled as noted.
- Planting Plan (Sheets C401, C402, C403). Prepared by In-Architects; dated: 07/19/2024; Scaled as noted.
- Details Plan (Sheets C-601, C-602, C-603, C-604, C-605). Prepared by In-Architects; dated: 07/19/2024; Not to Scale.
- Site Lighting Plan (Sheet C-610). Prepared by In-Architects; dated: 07/19/2024; Scaled as noted.
- Floor Plan (Sheets A102, A103, A104). Prepared by In-Architects; dated: 07/24/2024; Scaled as noted.
- Elevation Plan (Sheet A105). Prepared by In-Architects; dated: 07/24/2024; Scaled as noted.

**Attachments:**

Major Site Plan Review Application

Full Environmental Assessment Form Part 2 & Part 3

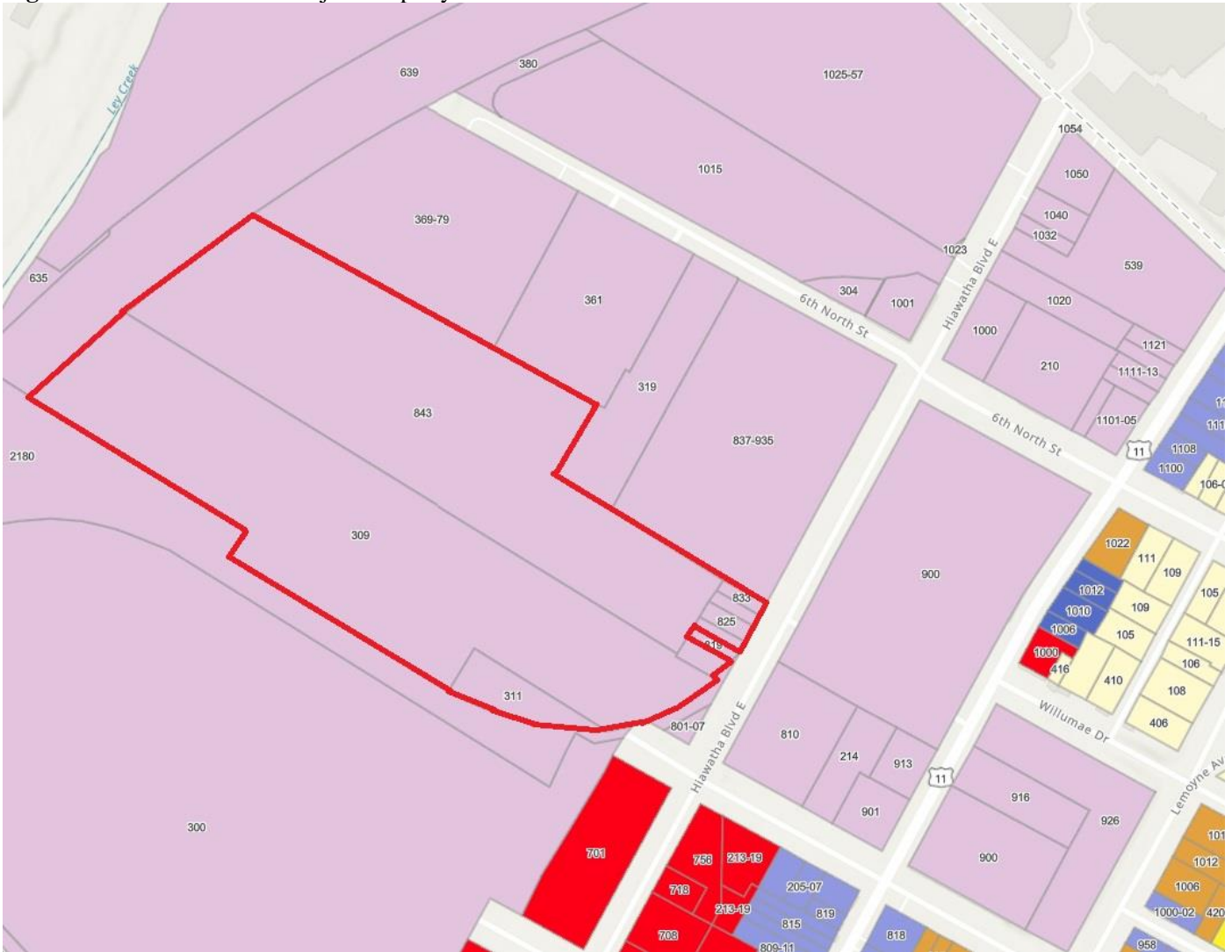
SEQR Resolution

Code Enforcement History

IPS Comments from City Department

**Context Maps:**

**Figure 1:** Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.  
Image Source: ConnectExplorer™, Eagle View Technology Corporation

# Site Plan Review Application



Office of Zoning Administration  
 One Park Place, 300 S State St,  
 Suite 700  
 Syracuse, NY 13202  
 Phone: (315) 448-8640  
 Email: zoning@syr.gov.net

## Summary of Site Plan Review Procedure

The Site Plan Review procedure is summarized below. For complete details, see Sections 7.3 and 7.4.A of the Zoning Ordinance.

<b>1</b>	<b>Pre-Application Conference</b>	<i>Option for minor; required for major site plan</i>	
<b>2</b>	<b>Application Submittal and Processing</b>	<i>Submit to Office of Zoning Administration</i>	<b>Submittal and Internal Review</b>
<b>3</b>	<b>Staff Review and Action</b>	<i>Review by Office of Zoning Administration for minor and major; decision by Office of Zoning Administration for minor site plan</i>	
<b>4</b>	<b>Scheduling and Notice of Public Hearings</b>	<i>Optional for minor; required for major site plan</i>	<b>Hearings and Decision-Making</b>
<b>5</b>	<b>Review and Decision</b>	<i>Does not apply for minor; review and decision by City Planning Commission for major</i>	
<b>6</b>	<b>Post-Decision Actions and Limitations</b>	<i>Site plan expires after one year (unless extended)</i>	

### 1. Pre-Application Conference

- Opportunity for the applicant to meet with Zoning staff to review applicable submittal requirements, identify applicable procedures, and identify any issues associated with the proposed development

### 2. Application Submittal and Processing

- Submit to Office of Zoning Administration along with applicable fees

### 3. Staff Review and Action

- Applications are not considered complete until all required submittals are received
- Includes evaluation of the application under the State Environmental Quality Review Act (SEQR)
- Staff renders a decision for minor site plan review

### 4. Scheduling and Notice of Public Hearings

- Not applicable for minor site plan
- The major site plan application shall be scheduled for a public hearing before the City Planning Commission

### 5. Review and Decision

- For major site plans, the City Planning Commission shall hold a public hearing within 62 days of the determination that the application is complete

### 6. Post-Decision Actions and Limitations

- The Office of Zoning Administration shall mail a copy of the decision to the applicant
- Site plan approval shall expire if the authorized use or construction has not obtained all necessary permits within one year of approval, or an extension is granted

## Site Plan Review Application



**For Office Use Only**

Zoning District: \_\_\_\_\_

Application Number: S- \_\_\_\_\_ - \_\_\_\_\_

Date: \_\_\_\_\_

Office of Zoning Administration  
 One Park Place, 300 S State St,  
 Suite 700  
 Syracuse, NY 13202  
 Phone: (315) 448-8640  
 Email: zoning@syr.gov.net

### Site Plan Review Application

*This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

### General Project Information

Business/project name: NY Bus Sales Facilities		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): Future Address: 801 Hiawatha Boulevard East, Syracuse NY		
Lot numbers:	Block number:	Lot size (sq. ft.)
309 Fourth North St. (Future 801 Hiawatha Blvd East)	Tax ID 001.1-01-29.0	483,951.60 sf
311 Fourth North St	Tax ID 001.1-01-30.0	33,105.60 sf
815 Hiawatha Blvd E	Tax ID 001.1-01-26.0	5,227.20 sf
833 Hiawatha Blvd E	Tax ID 001.1-01-21.0	3,049.20 sf
<b>Future Parcels (Currently Residential)</b>		
823 Hiawatha Blvd E	Tax ID 001.1-01-24.0	3,049.20 sf
825 Hiawatha Blvd E	Tax ID 001.1-01-23.0	4,791.60 sf
829 Hiawatha Blvd E	Tax ID 001.1-01-22.0	3,049.20 sf
Current use of property:		Proposed:
309 Fourth North St. (Future 801 Hiawatha Blvd East)	WAREHOUSE/OFFICE	WAREHOUSE /OFFICE
311 Fourth North St	WAREHOUSE/OFFICE	RAZED
815 Hiawatha Blvd E	WAREHOUSE	RAZED
833 Hiawatha Blvd E	VACANT LAND	PARKING
<b>Future Parcels (Currently Residential)</b>		
823 Hiawatha Blvd E	RESIDENTIAL	PARKING
825 Hiawatha Blvd E	RESIDENTIAL	PARKING
829 Hiawatha Blvd E	RESIDENTIAL	PARKING
Current number of dwelling units (if applicable):	<b>3</b>	Proposed: <b>0</b>
Current onsite parking (if applicable):		Proposed:
Zoning (base and any overlay) of property: <b>LI – LIGHT INDUSTRIAL</b>		
Companion zoning applications (if applicable, list any related zoning applications):		
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor		



## Site Plan Review Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syrgov.net

Project construction (check all that apply):

Demolition (full or partial)  New construction  Exterior alterations  Site changes

All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):

Size: 3'-0" h x 6'-0" long                      Type: INTERNALLY ILLUMINATED                      Location: FRONT FACADE

Size: 2'-6" h x 6'-0" long                      Type: INTERNALLY ILLUMINATED                      Location: FRONT FACADE

Nature and extent of Site Plan requested (attach additional pages if necessary):

The project is the renovation of an existing warehouse/office building into a new home for NY Bus Sales and their new EV bus fleet. The existing site is made up of 5 properties totaling 18.3 acres and 3 adjacent residential properties at 0.25 acres will be purchased by the owner. There are two metal building that will be razed and the 56,000 sf warehouse building will be renovated into a 9,300 sf office, 15,750 sf bus services area and a 29,500sf warehouse for their parts and regional distribution center.

### Owner/Owner's Agent Certification

*By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.*

Print owner name: **Valiant Real Estate USA Inc.**

Signature: *Alain Chabot*

Date: July 24, 2024

Mailing address: **2915 Ogletown Road, #3871, Neward, DE 19713**

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

### Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

*Please submit one copy of each of the following:*

- APPLICATION** – filled out completely, dated, and signed by property owner as instructed
- STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR)** – Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
- PHOTOGRAPHS (COLOR) of the PROJECT SITE** – keyed to a property survey or site plan
- PHOTOGRAPHS (COLOR) of the STREETScape** – including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
- APPLICATION FEE** – \$0

*Please submit three full sized and one no larger than 11x17" of all of the plans listed below (all plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can*

## Site Plan Review Application



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One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

*be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below):*

**AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)

**SITE PLAN(S)** illustrating site alterations and post project conditions that are/will be different from the as built property survey including:

- Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
- Demolitions and post demolition conditions
- Structures
- Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage
- Loading dock and delivery areas
- Dumpsters and/or trash receptacles
- Landscaping including type, height, and number of plantings
- Screening including parking, dumpsters, and site
- Fencing including type and height
- Lighting including structure heights and luminaries wattage
- Ground signs
- Street rights-of-way conditions, existing and proposed, including curb cuts, driveways, sidewalks, and plantings
- Encroachments, existing or proposed, into the City rights-of-way including stairs, signs, and awning

**FLOOR PLANS** for new construction, additions, and change of zoning use/building occupancies with square footages and all applicable layouts (e.g., customer areas, kitchens, bathrooms, bedrooms, etc.) clearly labeled for land uses

**EXTERIOR BUILDING ELEVATIONS AND SPECIFICATIONS** with all dimensions, materials, and colors clearly illustrated and noted (Schematics or color renderings can be submitted in addition to elevation drawings, if available)

**EXTERIOR SIGNAGE DRAWINGS** showing all of the following:

- Size
- Type
- Location (photos may be used to show location. Exact placement must be included for ground signs – measurements from structure to sign location and distance from sign to property line (not sidewalk). For wall signs, the distance from the top of the sign to roofline, from ground to bottom of the sign, and measurement from the side of the building to the side of the sign must be shown)

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A

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C



7/24/2024 3:58:40 PM  
 © COPYRIGHT 2023, in-ARCHITECTS, PLLC



**ARCHITECTS**  
 239 E. Water Street - 2nd Fl.  
 Syracuse, New York 13202  
 www.in-ARCHITECTS.com



**BUILDING RENOVATIONS TO:**  
**NY BUS SALES FACILITY**  
 801 HIAWATHA BLVD  
 SYRACUSE, NY 13208

IT IS THE VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**SITE PLAN**

Project Status	PERMIT SET
Date	07/24/2024
Project Number	23045
Drawn By	AMR
Checked By	JRP

**A100**

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A1 PHOTO 1 - VIEW FROM SITE  
A002 SCALE: NO SCALE

A2 PHOTO 2 - EXISTING BUILDINGS ON SITE  
A002 SCALE: NO SCALE

A3 PHOTO 3 - NEIGHBORHOOD BUILDINGS  
A002 SCALE: NO SCALE

A4 PHOTO 4 - FRONT ENTRANCE OF SITE  
A002 SCALE: NO SCALE

A5 PHOTO 5 - NEIGHBORHOOD BUILDINGS  
A002 SCALE: NO SCALE

B



B1 PHOTO 6 - NEIGHBORHOOD BUILDINGS  
A002 SCALE: NO SCALE

B2 PHOTO 7 - FRONT VIEW OF SITE  
A002 SCALE: NO SCALE

B3 PHOTO 8 - NEIGHBORHOOD BUILDINGS  
A002 SCALE: NO SCALE

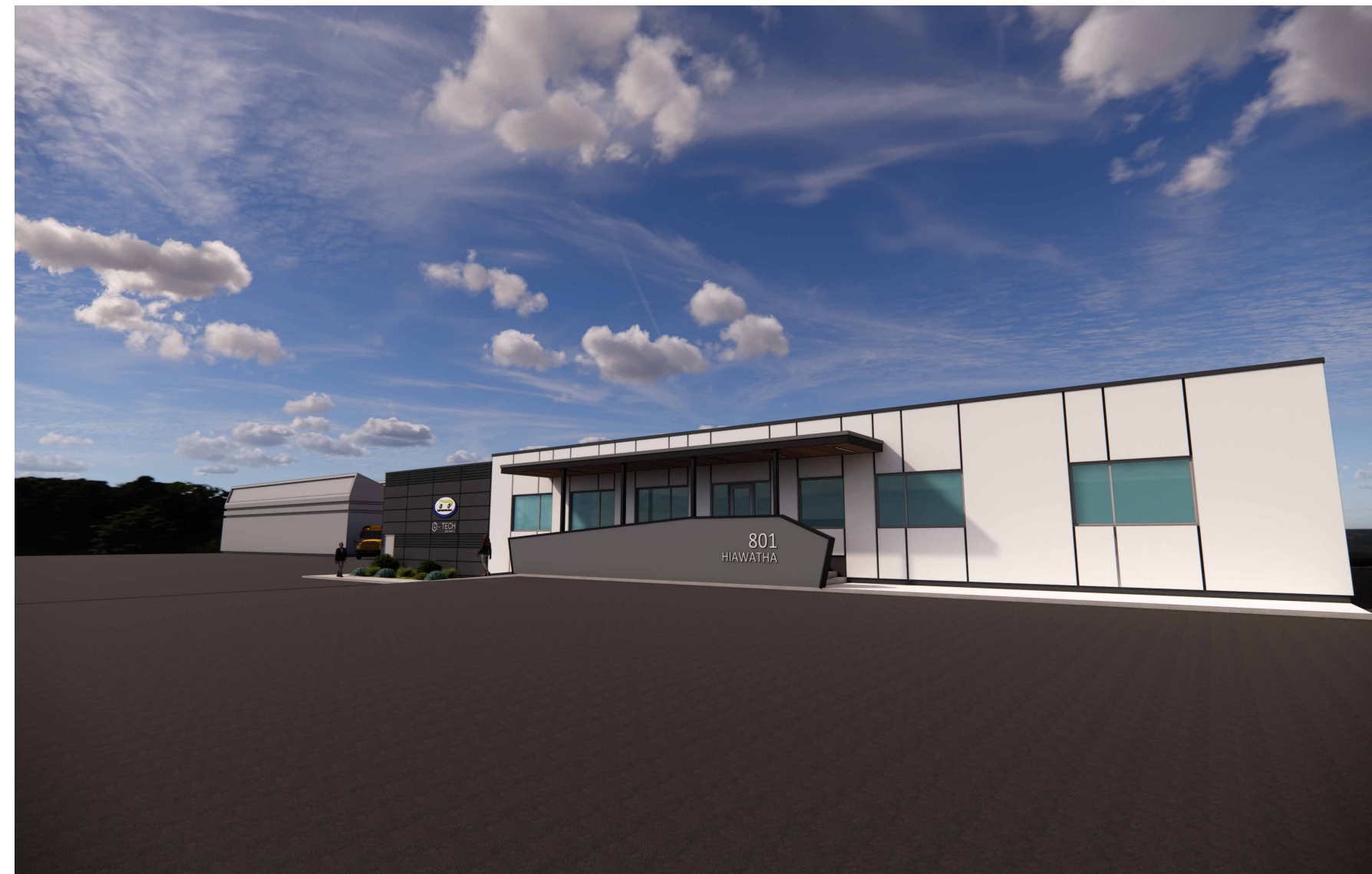
B4 PHOTO 9 - NEIGHBORHOOD BUILDINGS  
A002 SCALE: NO SCALE

B5 PHOTO 10 - NEIGHBORHOOD BUILDINGS  
A002 SCALE: NO SCALE

C



C1 RENDERING 1 - PROPOSED DESIGN  
A002 SCALE: NO SCALE



C3 RENDERING 2 - PROPOSED DESIGN  
A002 SCALE: NO SCALE



ARCHITECTS  
239 E. Water Street - 2nd Fl.  
Syracuse, New York 13202  
www.in-ARCHITECTS.com



BUILDING RENOVATIONS TO:  
**NY BUS SALES FACILITY**  
801 HIAWATHA BLVD  
SYRACUSE, NY 13208

IT IS THE VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED. THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS		
NO.	DESCRIPTION	DATE

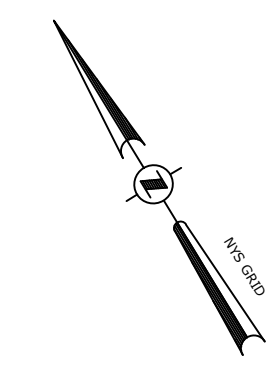
PHOTO PACKAGE

Project Status	PERMIT SET
Date	07/24/2024
Project Number	23045
Drawn By	AMR
Checked By	JRP

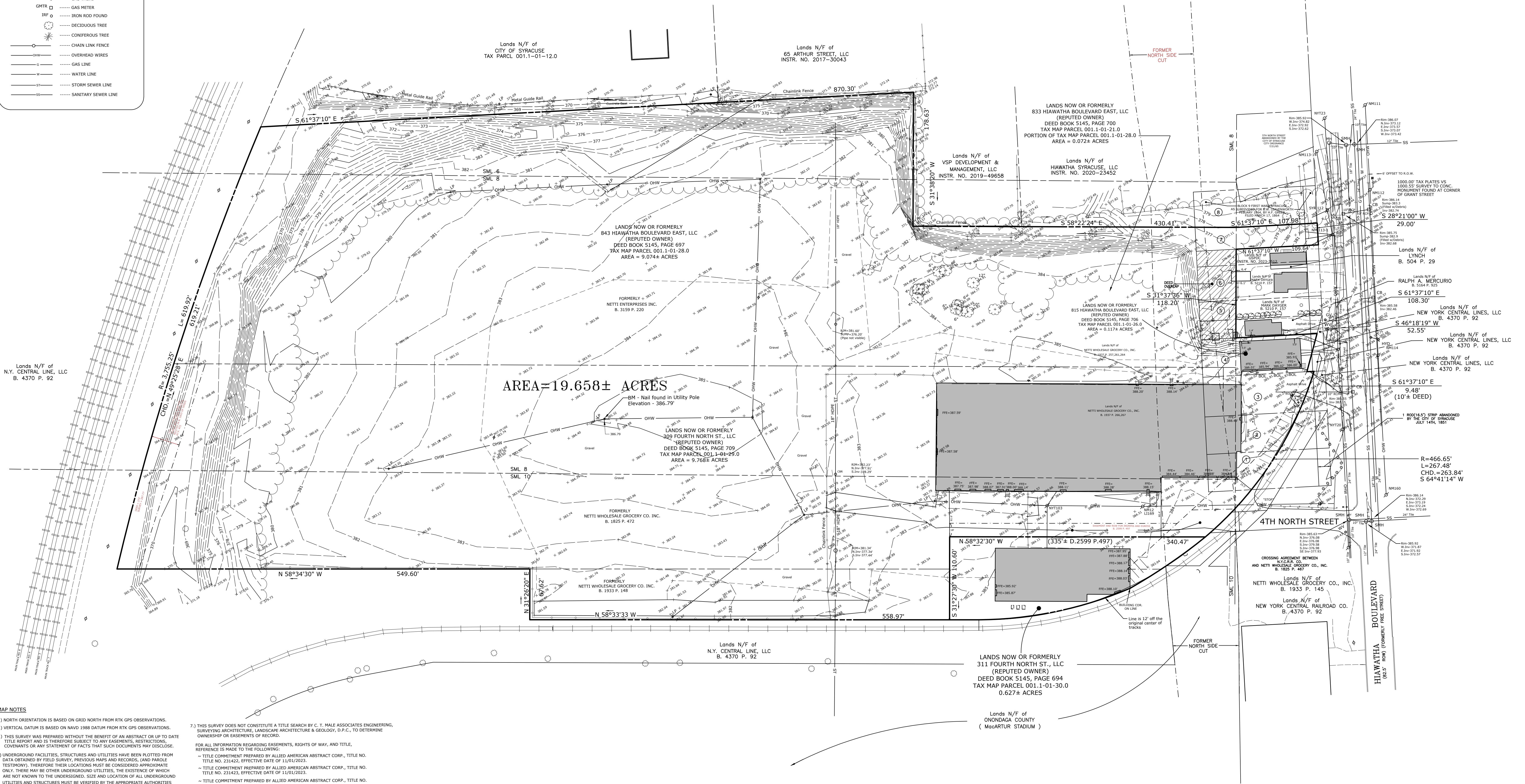
A101

LEGEND

- SIGN
--- GATE POST
SMH --- SANITARY MANHOLE
DMH --- DRAINAGE MANHOLE
CB --- SQUARE CATCH BASIN
--- UTILITY POLE W/ LIGHT
--- UTILITY POLE
HYD --- HYDRANT
WV --- WATER VALVE
GV --- GAS VALVE
GMTR --- GAS METER
IRF --- IRON ROD FOUND
--- DECIDUOUS TREE
--- CONIFEROUS TREE
--- CHAIN LINK FENCE
--- OVERHEAD WIRES
--- GAS LINE
--- WATER LINE
--- STORM SEWER LINE
--- SANITARY SEWER LINE

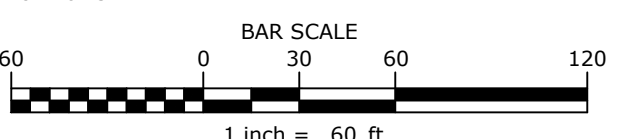


- MAP REFERENCES:
1.) 'PROPERTY OF ROBERT GARR CO., INC. PART OF BLOCKS 9, 10 AND 11, PART OF SALINA MARSH LOT 4, 5, AND 8 CITY OF SYRACUSE' PREPARED BY A.F. AND R.O. HOFMAN LAST DATED 8/21/79.
2.) 'RIGHT OF WAY AND TRACK MAP NEW YORK CENTRAL RAILROAD, OPERATED BY THE NEW YORK CENTRAL RAILROAD COMPANY MAIN LINE - SYRACUSE DIVISION' SHEET V74/6 LAST DATED 12/31/70
3.) 'BLOCK 9 - FIRST WARD SYRACUSE AS SUBDIVIDED FOR E.W. LEAVENWORTH' BY H.F. GREEN ENGINEER, DATED 3/17/1864



AREA=19.658± ACRES

- MAP NOTES
1.) NORTH ORIENTATION IS BASED ON GRID NORTH FROM RTK GPS OBSERVATIONS.
2.) VERTICAL DATUM IS BASED ON NAVD 1988 DATUM FROM RTK GPS OBSERVATIONS.
3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (LAND PARCEL TESTIMONY). THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
5.) THIS SURVEY IS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED DURING JANUARY 1989 AND DECEMBER 1994. ADDITIONAL FIELD WORK WAS CONDUCTED ON OCTOBER 04, 2023. TOPOGRAPHIC SURVEY PERFORMED APRIL 4-5, 2024.
6.) ORIGINALLY FREE STREET (HIAWATHA BOULEVARD) WAS 99' WIDE FROM SPRING STREET TO SEVENTH NORTH STREET ON JULY 14, 1851. A RESOLUTION WAS ADOPTED BY THE CITY COUNCIL ABANDONING A STRIP OF LAND ONE ROD WIDE (16.5') ON THE WEST A STRIP OF LAND ONE ROD WIDE (16.5') ON THE WEST SIDE OF STREET BEGINNING AT AT CARBON STREET AND EXTENDING NORTHWARD TO THE CITY LINE OR SEVENTH NORTH ST.
7.) THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY C. T. MALE ASSOCIATES ENGINEERING, SURVEYING ARCHITECTURE, LANDSCAPE ARCHITECTURE & GEOLOGY, D.P.C., TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD.
FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY, AND TITLE, REFERENCE IS MADE TO THE FOLLOWING:
~ TITLE COMMITMENT PREPARED BY ALLED AMERICAN ABSTRACT CORP., TITLE NO. TITLE NO. 231422, EFFECTIVE DATE OF 11/01/2023.
~ TITLE COMMITMENT PREPARED BY ALLED AMERICAN ABSTRACT CORP., TITLE NO. TITLE NO. 231423, EFFECTIVE DATE OF 11/01/2023.
~ TITLE COMMITMENT PREPARED BY ALLED AMERICAN ABSTRACT CORP., TITLE NO. TITLE NO. 231424, EFFECTIVE DATE OF 11/01/2023.
~ TITLE COMMITMENT PREPARED BY ALLED AMERICAN ABSTRACT CORP., TITLE NO. TITLE NO. 231425, EFFECTIVE DATE OF 11/01/2023.
~ TITLE COMMITMENT PREPARED BY ALLED AMERICAN ABSTRACT CORP., TITLE NO. TITLE NO. 231426, EFFECTIVE DATE OF 11/01/2023.
THIS SURVEY IS SUBJECT TO ALL EASEMENTS, COVENANTS, AND RESTRICTIONS AS RECITED THEREIN AND IS FURTHER SUBJECT TO ANY FINDINGS OR TRANSACTIONS REVEALED OR CONDUCTED FROM THE DATE OF SAID CONTRIBUTION TO THE PRESENT.
8.) SUBJECT TO ANY AND ALL REMAINING RIGHTS, TITLE AND INTEREST IN THE AREA NOTED AS THE FORMER NORTH SIDE CUT OF THE OSWEGO CANAL LANDS.
9.) SUBJECT TO A CITY OF SYRACUSE ROW FOR SEWER AND WATER PURPOSES RECITED IN B. 1825 OF DEEDS AT P. 472.
10.) SUBJECT TO AN EASEMENT AND ROW FOR INGRESS AND EGRESS D.B. 2599, P. 497.
11.) SUBJECT TO A CROSSING AGREEMENT BETWEEN N.Y.C.R.R. CO. AND NETTS WHOLESAL GROCERY CO., INC. PER D.B. 1825, P. 467.
12.) SUBJECT TO AN EASEMENT TO SYRACUSE LIGHTING COMPANY, INC., DATED AUGUST 11, 1927 AND RECORDED IN D.B. 613, PG. 408. (NO PLOTTABLE INFORMATION)
13.) SUBJECT TO AN EASEMENT FOR A ROAD AND DRIVEWAY PER DEED DATED NOV. 30, 1914 AND RECORDED IN D.B. 440, PG. 194. (NO PLOTTABLE INFORMATION)



I CERTIFY THAT THIS SURVEY WAS PREPARED FROM AN ACTUAL FIELD SURVEY AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND HAS BEEN PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE OF THE N.Y.S. ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

DAVID M. SLISKI PLS # 50105 DATE 05/3/2024



Table with columns: DATE, REVISIONS RECORD/DESCRIPTION, DRAFTER, CHECK, APPR., UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.

TOPOGRAPHIC SURVEY MAP FOR THE LANDS OF 309 FOURTH NORTH ST., LLC; 311 FOURTH NORTH ST., LLC; 815 HIAWATHA BOULEVARD EAST, LLC; 833 HIAWATHA BOULEVARD EAST, LLC AND 843 HIAWATHA BOULEVARD EAST, LLC. Includes project details and company information for C.T. Male Associates.

## SEQRA RESOLUTION

A regular meeting of the City of Syracuse Industrial Development Agency was convened in public session on June 25, 2024 at 8:00 o'clock a.m., local time, in the Common Council Chambers, City Hall, 233 East Washington Street, Syracuse, New York.

The meeting was called to order by the Chair and upon the roll being duly called, the following members were:

**PRESENT:** Kathleen Murphy, Steven Thompson, Kenneth Kinsey, Rickey T. Brown, Dirk Sonneborn

**THE FOLLOWING PERSONS WERE ALSO PRESENT:** Staff Present: Eric Ennis, Susan Katzoff, Esq., Cole King, Lori McRobbie; Others Present: Jeff Purdy, Sean Finnerty, Barry Lentz, John Michael Duby, Paul Reichel, Esq., Dash Davidson, Joseph Piraino, Greg Dopko

The following resolution was offered by Dirk Sonneborn and seconded by Rickey T. Brown:

**RESOLUTION CLASSIFYING A CERTAIN PROJECT AS AN UNLISTED ACTION PURSUANT TO THE STATE ENVIRONMENTAL QUALITY REVIEW ACT, DECLARING THE AGENCY LEAD AGENCY FOR PURPOSES OF AN UNCOORDINATED REVIEW THEREUNDER AND DETERMINING THAT THE ACTION WILL NOT HAVE A SIGNIFICANT EFFECT ON THE ENVIRONMENT**

**WHEREAS**, the City of Syracuse Industrial Development Agency (the "**Agency**") is authorized and empowered by Title 1 of Article 18-A of the General Municipal Law of the State of New York (the "**State**"), as amended, together with Chapter 641 of the Laws of 1979 of the State of New York, as amended from time to time (collectively, the "**Act**"), to promote, develop, encourage and assist in the acquiring, constructing, reconstructing, improving, maintaining, equipping and furnishing of industrial, manufacturing, warehousing, commercial, research and recreation facilities, for the purpose of promoting economically sound commerce and industry to advance the job opportunities, health, general prosperity and economic welfare of the people of the State, to improve their recreation opportunities, prosperity and standard of living; and

**WHEREAS**, Valiant Real Estate USA Inc., or an entity to be formed (the "**Company**"), by application dated on or about May 17, 2024 (the "**Application**"), requested that the Agency undertake a project (the "**Project**") consisting of: (A)(i) the acquisition of an interest in some or all of approximately 20 acres of land consisting of the following: (a) 309 Fourth North Street, Rear (Tax Map No. 001.1-01-29.0) ("**Parcel 1**"), which is improved by an approximately 55,000 sq.ft., 1-story building ("**Building 1**"); (b) 311 Fourth North Street, Rear (Tax Map No. 001.1-

03-30.0) ("**Parcel 2**") improved by an approximately 15,000 sq. ft. building ("**Building 2**"); (c) 815 Hiawatha Boulevard E., Rear (Tax Map No. 001.1-01-26.0) ("**Parcel 3**") improved by an approximately 5,000 sq.ft. building ("**Building 3**"); (d) 843 Hiawatha Boulevard E., Rear (Tax Map No. 001.1-01-28.0) ("**Parcel 4**"); and 833 Hiawatha Boulevard E. (Tax Map No. 001.1-01-21.0) ("**Parcel 5**") (such parcels to be resubdivided), all in the City of Syracuse, New York (collectively, the "**Land**"); (ii) (a) the renovation of Building 1 to support the sale of buses as well as provide, parts and service of buses in Central New York, including approximately 20,000 sq.ft. of service area consisting of 14 service bays, approximately 26,000 sq.ft. of warehouse for distribution of parts, approximately 9,000 sq.ft. of office space and infrastructure to support the growing Electric Vehicle initiatives; (b) the demolition of Buildings 2 and 3; (c) the clearing and/or grading of Parcels 2-5 to accommodate sufficient parking of approximately 150 buses as well as employee and customer parking (collectively, the "**Facility**"); (iii) the acquisition and installation in and on the Land and Facility of furniture, fixtures and equipment (the "**Equipment**" and together with the Land and the Facility, the "**Project Facility**"); (B) the granting of certain financial assistance in the form of exemptions from real property tax, State and local sales and use tax and mortgage recording tax (in accordance with Section 874 of the General Municipal Law) (collectively, the "**Financial Assistance**"); (C) the appointment of the Company or its designee as an agent of the Agency in connection with the acquisition, renovation, equipping and completion of the Project Facility; and (D) the lease of the Land and Facility by the Agency pursuant to a lease agreement and the acquisition of an interest in the Equipment pursuant to a bill of sale from the Company to the Agency; and the sublease of the Project Facility back to the Company pursuant to a sublease agreement; and

**WHEREAS**, pursuant to Article 8 of the Environmental Conservation Law of the State of New York, as amended, and the regulations of the Department of Environmental Conservation of the State of New York promulgated thereunder (collectively referred to hereinafter as "**SEQRA**"), the Agency is required to make a determination with respect to the environmental impact of any "action" (as defined by SEQRA) to be taken by the Agency and the Project constitutes such an action; and

**WHEREAS**, to aid the Agency in determining whether the action described above may have a significant adverse impact upon the environment, a Full Environmental Assessment Form Part 1 (the "**EAF**") was prepared, a copy of which is attached hereto as **Exhibit "A"** and on file at the office of the Agency; and

**WHEREAS**, as a result of its careful review and examination of the Project, the Agency finds that, on balance, and after careful consideration of all relevant Project documentation, it has more than adequate information to evaluate as required by SEQRA all of the relevant benefits and potential impacts of the Project; and

**WHEREAS**, the Agency has prepared Full Environmental Assessment Forms Part 2 and Part 3 with respect to the Project, copies of which are attached hereto as **Exhibit "B"** and made a part hereof, that summarize its consideration of potential impacts in accordance with SEQRA; and

**NOW, THEREFORE,** be it resolved by the members of the City of Syracuse Industrial Development Agency, as follows:

(1) Based upon an examination of the materials provided by the Company in furtherance of the Project, the criteria contained in 6 NYCRR §§617.6 and 617.7(c), and based further upon the Agency’s knowledge of the action and its environmental effects as the Agency has deemed appropriate, the Agency makes the following findings and determinations pursuant to SEQRA:

(a) The action constitutes an “Unlisted Action” (as said quoted term is defined in SEQRA);

(b) The Agency has conducted an uncoordinated review for an Unlisted Action pursuant to SEQRA;

(c) The Agency has completed a Full Environmental Assessment Form Part 2 and Full Environmental Assessment Form Part 3;

(d) The Agency has determined that the Action will not have a significant effect on the environment, and the Agency hereby issues a negative declaration pursuant to SEQRA, which negative declaration shall be filed in the office of the Agency in a file that is readily accessible to the public.

(2) A copy of this Resolution, together with the attachments hereto, shall be placed on file in the office of the Agency where the same shall be available for public inspection during business hours.

(3) This Resolution shall take effect immediately. The Secretary and/or Executive Director of the Agency is hereby authorized to distribute copies of this Resolution and do such further things or perform such acts as may be necessary or convenient to implement the provisions of this Resolution.

(4) The Agency hereby authorizes Agency staff to take all further actions deemed necessary and appropriate to fulfill the Agency’s responsibilities under SEQRA.

The question of the adoption of the foregoing resolution was duly put to vote on a roll call, which resulted as follows:

	<u>AYE</u>	<u>NAY</u>
Kathleen Murphy	X	
Steven Thompson	X	
Kenneth Kinsey	X	
Rickey T. Brown	X	
Dirk Sonneborn	X	

The foregoing resolution was thereupon declared duly adopted.



STATE OF NEW YORK )  
 ) SS.:  
COUNTY OF ONONDAGA )

I, the undersigned Secretary of the City of Syracuse Industrial Development Agency, **DO HEREBY CERTIFY** that I have compared the annexed extract of the minutes of the meeting of the City of Syracuse Industrial Development Agency (the “**Agency**”) held on June 25, 2024, with the original thereof on file in the office of the Agency, and that the same (including all exhibits) is a true and correct copy of the proceedings of the Agency and of the whole of such original insofar as the same relates to the subject matters referred to therein.

**I FURTHER CERTIFY** that (i) all members of the Agency had due notice of such meeting, (ii) pursuant to Section 104 of the Public Officers Law (Open Meetings Law), such meeting was open to the general public and public notice of the time and place of such meeting was duly given in accordance with such Section 104, (iii) the meeting was in all respects duly held, and (iv) there was a quorum present throughout.

**I FURTHER CERTIFY** that, as of the date hereof, the attached resolution is in full force and effect and has not been amended, repealed or rescinded.

**IN WITNESS WHEREOF**, I have set my hand and affixed the seal of the Agency on 8/2/2024 \_\_\_\_\_.

City of Syracuse Industrial Development Agency

DocuSigned by:  
  
65E36E032BE24D0...  
\_\_\_\_\_  
Rickey T. Brown, Secretary

(S E A L)

**EXHIBIT "A"**

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: NY Bus Sales Facility		
Project Location (describe, and attach a general location map): 801 Hiawatha Blvd, Syracuse, NY 13202		
Brief Description of Proposed Action (include purpose or need): Redevelopment of an existing warehouse facility to accommodate a facility to convert school buses from gas powered to electric battery powered. The existing warehouse will be renovated for this use. Other structures on the site will be removed. Bus storage will occur within the existing parking area in the rear of the site.		
Name of Applicant/Sponsor: Valient Real Estate USA	Telephone: 315-687-3969	
	E-Mail: JPurdy@newyorkbussales.com	
Address: 7765 Lakeport Road		
City/PO: Chittenango	State: NY	Zip Code: 13202
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site Plan Approval	
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SIDA -Tax Abatement Approval	
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Floodzone Permit (TBD)	
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Article 24 Permit (TBD), SWPPP (TBD),	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• <b>If Yes</b>, complete sections C, F and G.</li> <li>• <b>If No</b>, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
Industrial Legacy

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Syracuse City

b. What police or other public protection forces serve the project site?  
Northside Community Police, Onondaga County Sheriff's Office

c. Which fire protection and emergency medical services serve the project site?  
Syracuse Fire Station 2

d. What parks serve the project site?  
Murphy's Island, Onondaga Lake Lounge

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 6 acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ 4.72 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 19.66 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
Commercial  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? 1  
 iv. Minimum and maximum proposed lot sizes? Minimum 19.66 Maximum 19.66

e. Will the proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

*ii.* Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

*iii.* Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

*iv.* Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

*v.* Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

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*c.* Will the proposed action use, or create a new demand for water?  Yes  No  
 If Yes:

*i.* Total anticipated water usage/demand per day: \_\_\_\_\_ 100 gallons/day

*ii.* Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: Syracuse Water
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

*iii.* Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

*iv.* Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

*v.* If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

*vi.* If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

*d.* Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

*i.* Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

*ii.* Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

\_\_\_\_\_

*iii.* Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

Yes  No  
 Yes  No  
 If Yes:  

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 about 10 per day

iii. Parking spaces: Existing 20 Proposed 150 Net increase/decrease +130

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 TBD

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
 National Grid

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>7am-5pm</u></li> <li>• Saturday: <u>7am-5pm</u></li> <li>• Sunday: <u>N/A</u></li> <li>• Holidays: <u>N/A</u></li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>7am-5pm</u></li> <li>• Saturday: <u>N/A</u></li> <li>• Sunday: <u>N/A</u></li> <li>• Holidays: <u>N/A</u></li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If yes: i. Provide details including sources, time of day and duration: Typical construction activities will produce excess noise during the hours of construction. There may also be excess noise increases during hours of operations, but should not exceed the maximum decibels outlined in the city code.	
ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Describe: _____ _____	
n. Will the proposed action have outdoor lighting?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If yes: i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: Lighting on the upper portion of the building all the way around. There will be LED parking lot lighting via 20' posts with underground wiring.	
ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Describe: _____ _____	
o. Does the proposed action have the potential to produce odors for more than one hour per day?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____ _____	
p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Product(s) to be stored _____ ii. Volume(s) _____ per unit time _____ (e.g., month, year) iii. Generally, describe the proposed storage facilities: _____ _____	
q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Describe proposed treatment(s): _____ _____ _____	
ii. Will the proposed action use Integrated Pest Management Practices?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Describe any solid waste(s) to be generated during construction or operation of the facility: <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste: <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> iii. Proposed disposal methods/facilities for solid waste generated on-site: <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 1. The site is bordered on 3 sides by CSX railroad tracks, to the south is the NBT Baseball Stadium, and a limousine fleet services, across the street is a used auto dealership, to the north is a single family residence, Syracuse City School District Bus Garage, and an auto impound lot.

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	13.84	13.84	0
• Forested	4.02	4.02	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	1	1	0
• Non-vegetated (bare rock, earth or fill)	11.14	8.6	-2.54
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): 734123, 734004, C734152  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

734123- containment levels in sediment exceed the severe effect limits for aquatic plants and animals. 734004-remediation at the site is complete.  
 C734152- Information submitted with the BCP application regarding the environmental condition at the site are currently under review and will be revised as additional information becomes available.

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >6 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Made land	_____	80 %
Urban land	_____	20 %
	_____	%

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ >6 feet

e. Drainage status of project site soils:

<input type="checkbox"/> Well Drained:	_____	N/A % of site
<input type="checkbox"/> Moderately Well Drained:	_____	N/A % of site
<input type="checkbox"/> Poorly Drained	_____	N/A % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	100 % of site
<input type="checkbox"/> 10-15%:	_____	% of site
<input type="checkbox"/> 15% or greater:	_____	% of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

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h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

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i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:

i. Name of aquifer: Principal Aquifer, Primary Aquifer \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: Typical urban wildlife and birds _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

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f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

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g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

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h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

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i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Valiant Real Estate USA Inc Date 5/17/24

Signature  Title Controller

**PRINT FORM**

**EXHIBIT "B"**



**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Project: Valiant Real Estate USA Inc. Project  
 Date: June 25, 2024

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency’s reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “Yes” to a numbered question, please complete all the questions that follow in that section.
- If you answer “No” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b>			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit to any unique or unusual land forms on the access site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1.E.2g)

No  Yes

*If "Yes", answer question a – c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO  YES

*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>4. Impact on groundwater</b> The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <span style="float: right;"><input checked="" type="checkbox"/> NO    <input type="checkbox"/> YES</span> (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b> The proposed action may result in development on lands subject to flooding. <span style="float: right;"><input checked="" type="checkbox"/> NO    <input type="checkbox"/> YES</span> (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>

f. If there is a dam located on the site of the proposed action, <u>is</u> the dam [has failed to meet one or more safety criteria on its most recent inspection] <u>in need of repair, or upgrade</u> ?	E1e	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>6. Impacts on Air</b> The proposed action may include a state regulated air emission source. <span style="float: right;"><input checked="" type="checkbox"/>NO <input type="checkbox"/>YES</span> (See Part 1. D.2.f., D[.],2[.],h, D.2.g) If "Yes", answer questions a - f. If "No", move on to Section 7.			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	x <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU=s per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	[D1g, D2k] D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>7. Impact on Plants and Animals</b> The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <span style="float: right;"><input checked="" type="checkbox"/>NO <input type="checkbox"/>YES</span> If "Yes", answer questions a - j. If "No", move on to Section 8.			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b>			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**9. Impact on Aesthetic Resources**  
 The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.)  
*If "Yes", answer questions a - g. If "No", go to Section 10.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**10. Impact on Historic and Archeological Resources**  
 The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.)  
*If "Yes", answer questions a - e. If "No", go to Section 11.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on <u>the National or State Register of Historic Places</u> or that has been <u>determined</u> [nominated] by the <u>Commissioner of the NYS Office [Board] of Parks, Recreation and Historic Preservation</u> to be eligible for <u>listing</u> [inclusion] on the State [or National] Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>

c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>
d. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>
If any of the above (a-d) are answered “[Yes] <u>Moderate to large impact may occur</u> ”, continue with the following questions to help support conclusions in Part 3:			
e. i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property’s setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

<b>11. Impact on Open Space and Recreation</b> The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) If “Yes”, answer questions a - e. If “No”, go to Section 12. <span style="float: right;"> <input checked="" type="checkbox"/> NO    <input type="checkbox"/> YES                 </span>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in an impairment of natural functions, or “ecosystem services”, provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>12. Impact on Critical Environmental Areas</b> The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) If “Yes”, answer questions a - c. If “No”, go to Section 13. <span style="float: right;"> <input checked="" type="checkbox"/> NO    <input type="checkbox"/> YES                 </span>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>

c. Other impacts: _____	<input type="checkbox"/>	<input type="checkbox"/>
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**13. Impact on Transportation**

The proposed action may result in a change to existing transportation systems. □NO      YES

(See Part 1. D.2.j)

*If “Yes”, answer questions a – [g]f. If “No”, go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
[f]e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
[g]f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**

The proposed action may cause an increase in the use of any form of energy. □NO      YES

(See Part 1. D.2.k)

*If “Yes”, answer questions a - e. If “No”, go to Section 15.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**15. Impact on Noise, Odor, and Light**

The proposed action may result in an increase in noise, odors, or outdoor lighting. □NO      YES

(See Part 1. D.2.m., n., and o.)

*If “Yes”, answer questions a - f. If “No”, go to Section 16.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>



b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in light shining onto adjoining properties.	D2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**16. Impact on Human Health**

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)  
*If "Yes", answer questions a - m. If "No", go to Section 17.*

NO     YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement[,] or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>17. Consistency with Community Plans</b>			
The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>18. Consistency with Community Character</b>			
The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

Project :	Valiant Real Estate USA Inc. Project
Date :	June 25, 2024

**Full Environmental Assessment Form**  
**Part 3 - Evaluation of the Magnitude and Importance of Project Impacts**  
**and**  
**Determination of Significance**

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status:       Type 1                       Unlisted

Identify portions of EAF completed for this Project:    Part 1       Part 2       Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the \_\_\_\_\_ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Valiant Real Estate USA Inc. Project

Name of Lead Agency: City of Syracuse Industrial Development Agency

Name of Responsible Officer in Lead Agency: Eric Ennis

Title of Responsible Officer: Executive Director

DocuSigned by:

Signature of Responsible Officer in Lead Agency:

*Eric Ennis*

Date: 6/25/2024

22179DF691CA440...

Signature of Preparer (if different from Responsible Officer)

Date:

**For Further Information:**

Contact Person:

Address:

Telephone Number:

E-mail:

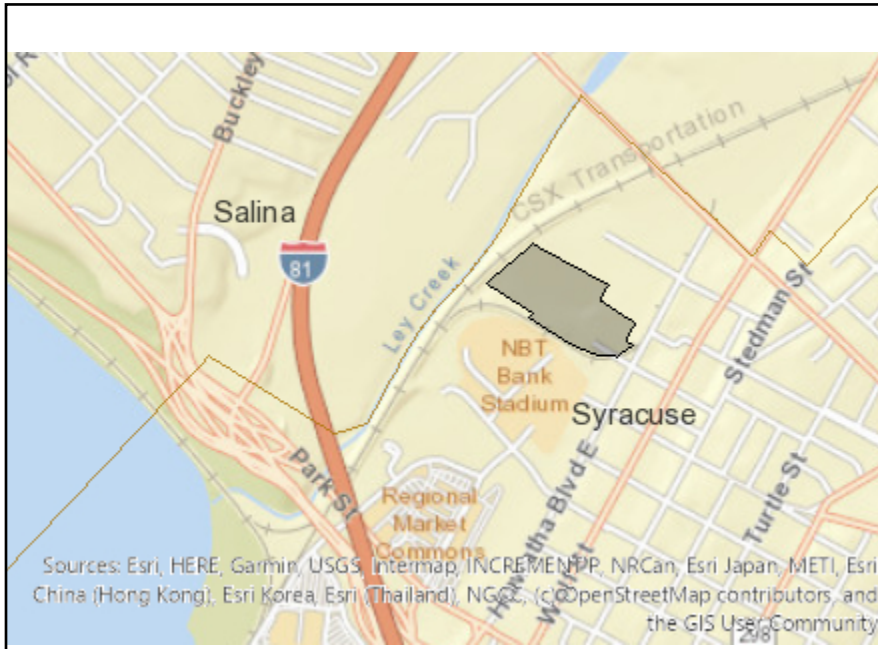
**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	734123, 734004, C734152
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	Yes
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer, Primary Aquifer

E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

GENERAL NOTES:

- 1. REFER TO PROJECT SPECIFICATIONS FOR DETAILED INFORMATION AND COORDINATE WITH PROJECT DRAWINGS.
2. THE CONTRACTOR SHALL USE THE WRITTEN DIMENSIONS PROVIDED WITHIN THE CONTRACT DRAWINGS. SCALED DIMENSIONS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.
3. THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE IMMEDIATELY IF CLARIFICATION OR INTERPRETATION OF THE CONTRACT DOCUMENTS, OR ANY OTHER ASPECTS OF THE PROJECT, IS REQUIRED.
4. LEGEND REPRESENTS STANDARD LINE TYPES AND HATCHING UNLESS INDICATED ON SPECIFIC DRAWINGS.
5. THE ABBREVIATIONS AND SYMBOLS HEREIN ARE STANDARD OF THIS OFFICE AND APPLY TO A VARIETY OF PROJECTS. ONLY A PORTION OF THEM WILL NECESSARILY APPLY TO ANY GIVEN PROJECT. SEE THE LISTINGS IN OTHER SECTIONS OF THIS PROJECT FOR ADDITIONAL SYMBOLS AND ABBREVIATIONS.
6. EDR IS NOT RESPONSIBLE FOR SITE SECURITY AND SAFETY, OR CONSTRUCTION MEANS AND METHODS.
7. EDR IS NOT RESPONSIBLE FOR THE SEQUENCING OF CONSTRUCTION UNLESS A SEQUENCE OF CONSTRUCTION IS PROVIDED IN THE CONTRACT DOCUMENTS.

SITE CIVIL NOTES:

- 1. THE CONTRACTOR SHALL APPLY FOR ALL REQUIRED PERMITS, PAY ALL FEES REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION OVER THE FACILITIES AND NATURAL FEATURES FOUND ON SITE, AND FURNISH COPIES TO THE OWNER PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR'S WORK AREA SHALL BE CONFINED TO THE LIMITS OF THE RIGHT-OF-WAYS AND EASEMENTS. THE CONTRACTOR SHALL OBTAIN ANY ADDITIONAL EASEMENTS OR WORK RELEASES SHOULD THE CONTRACTOR REQUIRE ADDITIONAL AREA TO ACCOMMODATE HIS OPERATIONS.
3. SITE ACCESS IS RESTRICTED TO THE LOCATIONS DESIGNATED ON PLAN.
4. THE CONTRACTOR SHALL ADHERE TO ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE AND LOCAL SAFETY REGULATIONS.
5. CONTRACTOR SHALL PROMPTLY REPORT TO THE OWNER'S REPRESENTATIVE ANY DISCREPANCIES FOUND ON THE SITE OR IN THE CONTRACT DOCUMENTS FOR REVIEW AND RESOLUTION BEFORE PROCEEDING WITH THE WORK IN THE AREA IN QUESTION. PROVIDE FIELD INFORMATION SPECIFIC TO THE DISCREPANCY TO EXPEDITE RESOLUTION.
6. THE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS PREPARED BY C.T. MALE ASSOCIATES AND DATED MAY 3, 2024.
7. SUBSURFACE SOIL INFORMATION WAS OBTAINED ON THIS SITE AND PREPARED BY \_\_\_\_\_ AND DATED \_\_\_\_\_. THE CONDITIONS DESCRIBED ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY OR CONTINUITY BETWEEN TEST LOCATIONS.
8. NO SUBSURFACE SOIL INFORMATION WAS OBTAINED ON THIS SITE FOR THIS CONSTRUCTION.
9. THE START OF ANY ON-SITE CONSTRUCTION INCLUDING STRIPPING TOPSOIL, REMOVING CUT OR PLACING FILL MATERIAL ESTABLISHES THAT THE CONTRACTOR ACCEPTS THE CONTRACT DOCUMENTS AS ACCURATELY REPRESENTING THE EXISTING SITE CONDITIONS.
10. DURING SALVAGE OPERATIONS FOR MATERIAL INTENDED FOR REUSE ON SITE, MATERIAL MAY BE DAMAGED AND OR NOT SUITABLE FOR REUSE. THE CONTRACTOR SHALL VERIFY QUANTITY AND QUALITY OF SALVAGED MATERIAL AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES.
11. ALL FACILITIES TO BE CONSTRUCTED OR INSTALLED SHALL COMPLY WITH ALL SECTIONS AND LATEST REVISIONS OF THE REQUIREMENTS OF ALL AGENCIES OF GOVERNMENT HAVING JURISDICTION.
12. LONG LEAD AND SCARCE MATERIALS SHALL BE ORDERED IN A TIMELY MANNER TO PREVENT AVOIDABLE CONSTRUCTION DELAYS.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE CAUSED BY CONSTRUCTION TO EXISTING UTILITIES AND FACILITIES WHICH ARE NOT INCLUDED AS PART OF THE INTENDED WORK. THE CONTRACTOR SHALL REPAIR, RESTORE AND/OR REPLACE ALL DAMAGE TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION EQUAL TO THAT WHICH EXISTED PRIOR TO CONSTRUCTION IN ACCORDANCE WITH SPECIFICATIONS.
15. THE CONTRACTOR SHALL RESTORE ALL DISTURBED SURFACES TO ORIGINAL OR BETTER CONDITION INCLUDING 6 INCHES OF TOPSOIL, SEED, FERTILIZER, AND MULCH. OTHER SURFACES SHALL BE RESTORED AS SHOWN ON THE DETAILS.
16. CONTRACTOR SHALL PROVIDE POSITIVE SITE DRAINAGE DURING CONSTRUCTION OPERATIONS. ALL FINAL LINES AND GRADES SHALL BE CONSTRUCTED TO MAINTAIN POSITIVE SITE DRAINAGE TO EXISTING DRAINAGE STRUCTURES.
17. ALL PAVEMENT SHALL BE SAW CUT PRIOR TO RESTORATION.
18. CONTRACTOR SHALL COORDINATE STAGING AREAS WITH OWNER.
19. WHILE EVERY EFFORT HAS BEEN MADE TO IDENTIFY THE ITEMS TO BE DEMOLISHED, IT IS CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SCOPE OF WORK IN THE FIELD, REVIEW THESE CONTRACT DRAWINGS, ALL PREVIOUS CONSTRUCTION DRAWINGS & DOCUMENTS AND THE DEVELOPMENT SPECIFICATIONS, THE EXISTING FACILITY PLANS, AND DEMOLISH ALL ITEMS NECESSARY TO ACCOMMODATE THE PROPOSED WORK. THE CONTRACTOR SHALL ALSO REPAIR ALL SURFACES AND PLUG ABANDONED PENETRATIONS UPON REMOVAL OF THE DEMOLISHED ITEMS PER THE SPECIFICATIONS.
20. CONTRACTOR SHALL VISIT AND EXAMINE THE SITE TO FULLY UNDERSTAND ALL THE CONDITIONS PERTAINING TO THE SCOPE OF WORK, UNDERSTAND DIFFICULTIES TO BE ENCOUNTERED AND MATERIALS REQUIRED FOR THE COMPLETE INSTALLATION OF THE WORK SHOWN ON THE DRAWINGS AND OR SPECIFIED AT NO ADDITIONAL COST TO THE OWNER. THE EXACT LOCATION OF THE EXISTING PIPING, EQUIPMENT, SERVICES, CONDITIONS, ETC. SHALL BE FIELD VERIFIED. THE EXISTING SIZE OF PIPING, EQUIPMENT, ETC. SHALL BE FIELD VERIFIED. ALL PIPING, AND EQUIPMENT ELEVATIONS SHOWN OR SPECIFIED SHALL BE FIELD VERIFIED. CONTRACTOR SHALL MODIFY LAYOUT WITH THE APPROVAL OF THE ENGINEER WHERE REQUIRED TO CLEAR OBSTRUCTIONS AT NO ADDITIONAL COST TO THE OWNER.
21. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND MAKE ALL NECESSARY PROVISIONS FOR PROTECTION OF THE PUBLIC, THE WORKMEN AND THE WORK, AND FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC AS REQUIRED BY THE AGENCIES OF GOVERNMENT HAVING JURISDICTION.
22. LOCATE, PROTECT, AND MAINTAIN BENCHMARKS, MONUMENTS, CONTROL POINTS AND PROJECT ENGINEERING REFERENCE POINTS.
23. COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS REGARDING MATERIALS, METHODS OF WORK AND DISPOSAL OF EXCESS AND WASTE MATERIALS.
24. BURNING OF MATERIALS OF ANY DESCRIPTION ON THE SITE IS PROHIBITED.
25. PRIOR TO PERFORMING ANY EXCAVATION WITHIN THE CONSTRUCTION AREA, CONFIRM WITH DIG SAFELY NEW YORK AT 1-800-962-7962 THAT ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE CURRENTLY VERIFIED, OR ARRANGE FOR VERIFICATION.

UTILITIES NOTES:

- 1. EXISTING UTILITIES (PIPE/STRUCTURE LOCATIONS, SIZES, AND INVERT ELEVATIONS) SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORDED MAPS AND SHALL BE INTERPRETED AS APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING AND FIELD VERIFYING ALL EXISTING INFORMATION AT ALL LOCATIONS IN CLOSE PROXIMITY TO THE UTILITIES AND WORK UNDER CONSTRUCTION. THIS INFORMATION INCLUDES BUT IS NOT LIMITED TO EXISTING PIPE AND STRUCTURE SIZES, PIPE AND STRUCTURE LOCATIONS, PIPE SLOPES, STRUCTURE RIM AND INVERT ELEVATIONS, PIPE MATERIALS AND PIPE CONDITIONS. THIS SHALL INCLUDE PIPE INVERTS, MATERIALS AND SIZES FOR UTILITIES CONNECTING TO DOWNSTREAM STRUCTURES. THIS VERIFICATION SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF SHOP DRAWING SUBMITTALS, ORDERING OF MATERIALS, AND THE START OF ANY REMOVALS FOR THIS PROJECT. ANY PROPOSED MODIFICATIONS TO THE DESIGN SHALL BE SUBMITTED AS SHOP DRAWINGS INCLUDING BUT NOT LIMITED TO DESIGN DRAWINGS AND UTILITY PROFILES INCLUDING PIPE AND STRUCTURE LAYOUT, STRUCTURE RIM AND INVERT ELEVATIONS, AND PIPE SIZES, MATERIALS AND SLOPES.
2. THE OWNER'S REPRESENTATIVE SHALL REVIEW THE LAYOUT OF ALL PAVEMENTS, UTILITIES, AND PLANTINGS IN THE FIELD BEFORE INSTALLATION. THE CONTRACTOR SHALL SCHEDULE ADVANCED NOTIFICATION TO THE OWNER'S REPRESENTATIVE TO FACILITATE TIMELY REVIEW.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY UTILITY POLE IN ADVANCE OF ANY EXCAVATION WORK THAT WILL TAKE PLACE WITHIN 5' OF THE UTILITY POLE. THE CONTRACTOR SHALL INCLUDE THE COST OF TEMPORARY POLE SUPPORT IN THE APPROPRIATE BID ITEM. WHERE UTILITY POLES ARE REQUIRED TO BE SUPPORTED DURING CONSTRUCTION, THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH THE UTILITY COMPANY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND MAINTENANCE OF SURFACE WATER AND/OR GROUNDWATER ENCOUNTERED DURING THE COURSE OF WORK.
5. PRIOR TO START OF WORK, THE CONTRACTOR SHALL PROVIDE EXPLORATORY EXCAVATIONS AND COORDINATE ALL PIPING LAYOUTS WITH THE OWNER'S REPRESENTATIVE TO ELIMINATE ALL CONFLICTS WITH EXISTING UTILITIES.
6. THE USE OF EXPLOSIVES OF ANY DESCRIPTION ON THE SITE IS PROHIBITED.
7. CONSTRUCTION DEBRIS AND DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS AS DETERMINED BY THE OWNER'S REPRESENTATIVE AND SHALL NOT BE ALLOWED TO ACCUMULATE. EMPLOY APPROPRIATE MEASURES TO PREVENT LOOSE DEBRIS FROM LEAVING THE CONSTRUCTION AREA.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE CAUSED BY CONSTRUCTION TO EXISTING UTILITIES AND FACILITIES WHICH ARE NOT INCLUDED AS PART OF THE INTENDED WORK. THE CONTRACTOR SHALL REPAIR, RESTORE AND/OR REPLACE ALL DAMAGE TO THE SATISFACTION OF UTILITY'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
9. ADJUST THE RIM ELEVATIONS OF EXISTING UTILITY STRUCTURES SCHEDULED TO REMAIN WITH THE FINISHED GRADE ELEVATIONS.
10. ALL STRUCTURES SHALL MEET THE AMERICAN ASSOCIATION OF STATE HIGHWAY & TRANSPORTATION OFFICIALS (AASHTO) H20 LOADING REQUIREMENTS.
11. ALL CATCH BASIN GRATES SHALL INCLUDE THE LETTERING, "NO DUMPING".
12. ALL EXISTING DRAINAGE FACILITIES SHALL BE MAINTAINED FREE OF DEBRIS AND FOREIGN MATTER AND BE IN OPERATION THROUGHOUT CONSTRUCTION.
13. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE OWNER FOR THE WYE DIRECTION (UPSTREAM OR DOWNSTREAM), FOR STORM AND SANITARY SYSTEMS BASED ON THE OWNER'S INFRASTRUCTURE REQUIREMENTS.
14. DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.

EROSION & SEDIMENT CONTROL & POLLUTION PREVENTION NOTES

- 1. AVOID ANY DISTURBANCE OF EXISTING VEGETATION ON THE SITE EXCEPT THE VEGETATION SPECIFICALLY DESIGNATED TO BE REMOVED.
2. TAKE ALL PRECAUTIONS NECESSARY TO PREVENT EROSION AND CONTROL SEDIMENTATION AS REQUIRED BY THE AGENCIES OF GOVERNMENT HAVING JURISDICTION.
3. THIS PROJECT HAS OBTAINED COVERAGE UNDER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES, PERMIT NO. GP-0-20-001 (GENERAL PERMIT). THE GENERAL PERMIT AUTHORIZES STORMWATER DISCHARGES TO SURFACE WATERS OF THE STATE FROM CONSTRUCTION RELATED ACTIVITIES. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN ACCORDANCE WITH THIS PERMIT AND IS PART OF THE CONTRACT AND CONSTRUCTION REQUIREMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED SWPPP FOR THIS PROJECT, PRIOR TO DEVELOPING A BID PRICE FOR THE OWNER. THE SWPPP INCLUDES THE REQUIREMENTS FOR PRECONSTRUCTION ACTIVITIES, INSPECTIONS DURING CONSTRUCTION, AND POST CONSTRUCTION CERTIFICATIONS THAT MUST BE FOLLOWED BY THE CONTRACTOR AND THE OWNER TO STAY IN COMPLIANCE WITH THIS PERMIT. THESE REQUIREMENTS ARE DESCRIBED IN THE SWPPP AND SHALL BE INCLUDED INTO THE CONTRACTOR'S BID PRICING FOR THIS PROJECT, AS WELL AS THE CONDITIONS OF WORK BY BOTH THE CONTRACTOR AND OWNER.
4. TOP DRESS, SEED, AND MULCH OR SOD ALL LAWN AREAS DISTURBED BY THE CONSTRUCTION AS SOON AS THE FINISHED GRADING OPERATION IS COMPLETED.
5. MAINTAIN AN ADEQUATE SUPPLY OF EROSION AND SEDIMENT CONTROL MATERIALS AT THE CONSTRUCTION SITE AT ALL TIMES TO BE USED FOR URGENT SITUATIONS, SUCH AS UNEXPECTED HEAVY RAINFALL.
6. MAINTENANCE AND REPAIR OF ALL EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM AND FUEL TANK DRAIN DOWN, DEGREASING OPERATIONS AND OTHER ACTIVITIES THAT MAY RESULT IN THE ACCIDENTAL RELEASE OF CONTAMINANTS MUST BE CONDUCTED OFF-SITE. ACCIDENTAL SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINANTS DISPOSED OF PROPERLY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING SOIL AND EXCESS EXCAVATED EARTH STOCKPILES AT A STABLE LOCATION. STOCKPILES SHALL BE STABILIZED PER THE DETAIL.
8. CONSTRUCTION ROUTES SHALL BE STABILIZED PER THE NYS STANDARDS FOR EROSION AND SEDIMENT CONTROL, AS NECESSARY BASED ON SITE CONDITIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT, DESIGN, APPROVAL, AND OPERATION OF THE CONCRETE WASHOUTS. THE CONCRETE WASHOUTS SHALL BE INSTALLED A MINIMUM OF 50' FROM STORM DRAINAGE OR SURFACE WATER. CONCRETE WASTE MATERIAL SHALL NOT BE ALLOWED TO ESCAPE FROM THE CONCRETE WASHOUT.
10. SOLID WASTE SHALL BE STORED IN COVERED DUMPSTERS OR OTHER APPROPRIATE CONTAINERS. WASTE IS TO BE DISPOSED OF REGULARLY AND PROPERLY IN ACCORDANCE WITH LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
11. THE EROSION AND SEDIMENT CONTROLS ARE SHOWN FOR A CONDITION WHEN ALL WORK IS OCCURRING SIMULTANEOUSLY. ACTUAL INSTALLATIONS SHALL BE ADJUSTED BASED ON CURRENT CONSTRUCTION ACTIVITY AND SITE CONDITIONS.

ABBREVIATIONS

Table listing abbreviations and their meanings. Columns include: Abbreviation (e.g., AL, ACT, APPR, BC, BLDG, BM, BOS, BS, BW, B&B, CAL, CB, CF, CI, CIP, CIR, CJ, CLF, CLL, CLR, CMP, CO, COL, CONC, CONT, CONTR, CY, DET, DIM, DIA, DMH, DWG, E, EA, EJ, EL, EQ, ES, EX, EXP, FFE, FG, FIN, FL, FTG, FT, GA, GAL, GALV, GC, GR, GV, HOR, HP, HT, HW, HWY, HYD, ID, IN, INL, INV, IP, JB, L, LA, LAT, LF, LFT, LIN, LP, M, MAX), Full Name (e.g., ALUMINUM ACTUAL, APPROXIMATE/ APPROXIMATELY, BOTTOM OF CURB BUILDING, BENCHMARK, BOTTOM OF SLOPE, BOTTOM OF STAIR, BOTTOM OF WALL, BALLED AND BURLAPPED, CALIPER, CATCH BASIN, CUBIC FEET, CAST IRON, CAST IN PLACE, CIRCLE/CIRCULAR, CONTROL JOINT, CHAIN-LINK FENCE, CONTRACT LIMIT LINE, CLEAR, CORRUGATED METAL PIPE, CLEANOUT, COLUMN, CONCRETE CONTAINER, CONTRACTOR, CUBIC YARDS, DETAIL, DIMENSION, DIAMETER, DROP MANHOLE, DRAWING, EAST, EACH, EXPANSION JOINT, ELEVATION, EQUAL, END SECTION, EXISTING, EXPANSION, FINISHED FLOOR ELEVATION, FINISHED GRADE, FINISH, FLOOR, FOOTING, FOOT/FEET, GAUGE, GALLON, GALVANIZED, GENERAL CONTRACTOR, GUARDRAIL, GAS VALVE, HORIZONTAL, HIGH POINT, HEIGHT, HEAD WALL, HIGHWAY, HYDRANT, INSIDE DIAMETER, INCH/INCHES, INLET, INVERT, IRON PIPE, JUNCTION BOX, LENGTH/LONG, LANDSCAPE ARCHITECT, LATITUDE, LINEAR FEET, LEFT, LINEAR, LOW POINT, METER, MAXIMUM, MH, MIN, MISC, MON, MANHOLE, MINIMUM, MISCELLANEOUS, MONUMENT, N, NIC, NOM, NTS, NUM, ON CENTER, ON CENTER EACH WAY, OUTSIDE DIAMETER, OUTLET PROTECTION, PA, PC, PL, PT, PLANTING AREA, POINT OF CURVATURE, PROPERTY LINE, POINT OF TANGENT/ PERCOLATION TEST, LOCATION, POLYVINYL CHLORIDE, P, PVC, R, RCP, REINFORCED CONCRETE PIPE, REINF, REQD, REV, ROW, RT, SOUTH, SANITARY SECTION, SQUARE FOOT, SUB GRADE, SHEET, STORM INLET, STREET LIGHT, SPECIFICATIONS/ SPECIFIED, SQUARE, STAINLESS STEEL, STATION, STEEL, SQUARE YARD, T, TB, TC, TOS, TS, TW, TYP, T&G, TANGENT, TEST BORING, TOP OF CURB, TOP OF SLOPE, TOP OF STAIR, TOP OF WALL, TYPICAL, TONGUE AND GROOVE, UD, USGS, UNDERDRAIN, UNITED STATES, GEOLOGICAL SURVEY, VAR, VCP, VERT, VARIES/VARIABLE, VITRIFIED CLAY PIPE, VERTICAL, W, WE, WL, WW, WWM, W, W/O, WEST, WATER ELEVATION, WALK LIGHT, WATER VALVE, WOVEN WIRE MESH, WITH, WITHOUT, YD, YARD DRAIN, ±, Δ, <, >, CENTER LINE, PLUS OR MINUS, CHANGE IN VALUE, LESS THAN, GREATER THAN

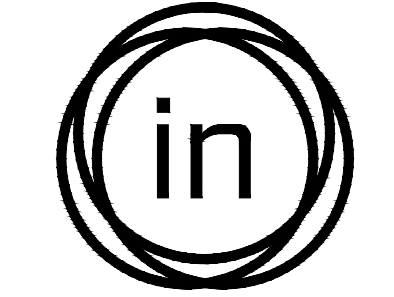
GENERAL LEGEND table with columns SYMBOL and ITEM. Includes symbols for CONTRACT LIMIT LINE and CENTERLINE.

DEMOLITION LEGEND table with columns SYMBOL and ITEM. Includes symbols for REMOVE EXISTING BUILDING OR FEATURE, REMOVE EXISTING ASPHALT PAVEMENT OR GRAVEL, REMOVE EXISTING STONE AND VEG TO DEPTH OF 6", FULL DEPTH REMOVAL OF STONE AND GRAVEL, CLEAR AND GRUB EXISTING VEGETATION, REMOVE EXISTING TREE OR SHRUB, REMOVE EXISTING SITE ELEMENT, REMOVE EXISTING UTILITY LINE, REMOVE EXISTING FENCE.

GRADING LEGEND table with columns SYMBOL and ITEM. Includes symbols for SPOT ELEVATION - FINISHED, CONTOUR - FINISHED, CONTOUR - FINISHED - INDEX, SWALE CENTERLINE.

EROSION CONTROL LEGEND table with columns SYMBOL and ITEM. Includes symbols for SILT FENCE, LIMIT OF DISTURBANCE, VEGETATION PROTECTION, STABILIZED CONSTRUCTION ENTRANCE, INLET PROTECTION, OUTLET PROTECTION - TRM, CONCRETE WASHOUT AREA, SLOPE STABILIZATION (TRM), STABILIZED SOIL STOCKPILE.

MATERIALS LEGEND table with columns SYMBOL and ITEM. Includes symbols for ASPHALT PAVING, HEAVY DUTY ASPHALT PAVING, CONCRETE PAVING, HEAVY DUTY CONCRETE PAVING, AGGREGATE SURFACING, LAWN RESTORATION AREA, DELINEATED WETLAND, CURB, FENCE - CHAIN LINK, FENCE - PRIVACY, TRAFFIC SIGN, BICYCLE RACK, BOLLARD, FLAGPOLE, ADA PARKING SPACE - PAVEMENT MARKINGS, SITE LIGHT.



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REVISIONS table with columns NO., DESCRIPTION, DATE.

GENERAL NOTES, ABBREVIATIONS, LEGENDS

Project Status FOR PERMITTING, Date 07/19/2024, Project Number 23162, Drawn By, Checked By.

G-001



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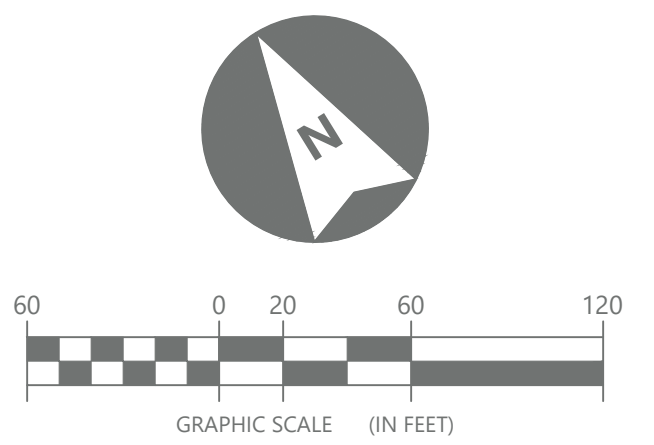
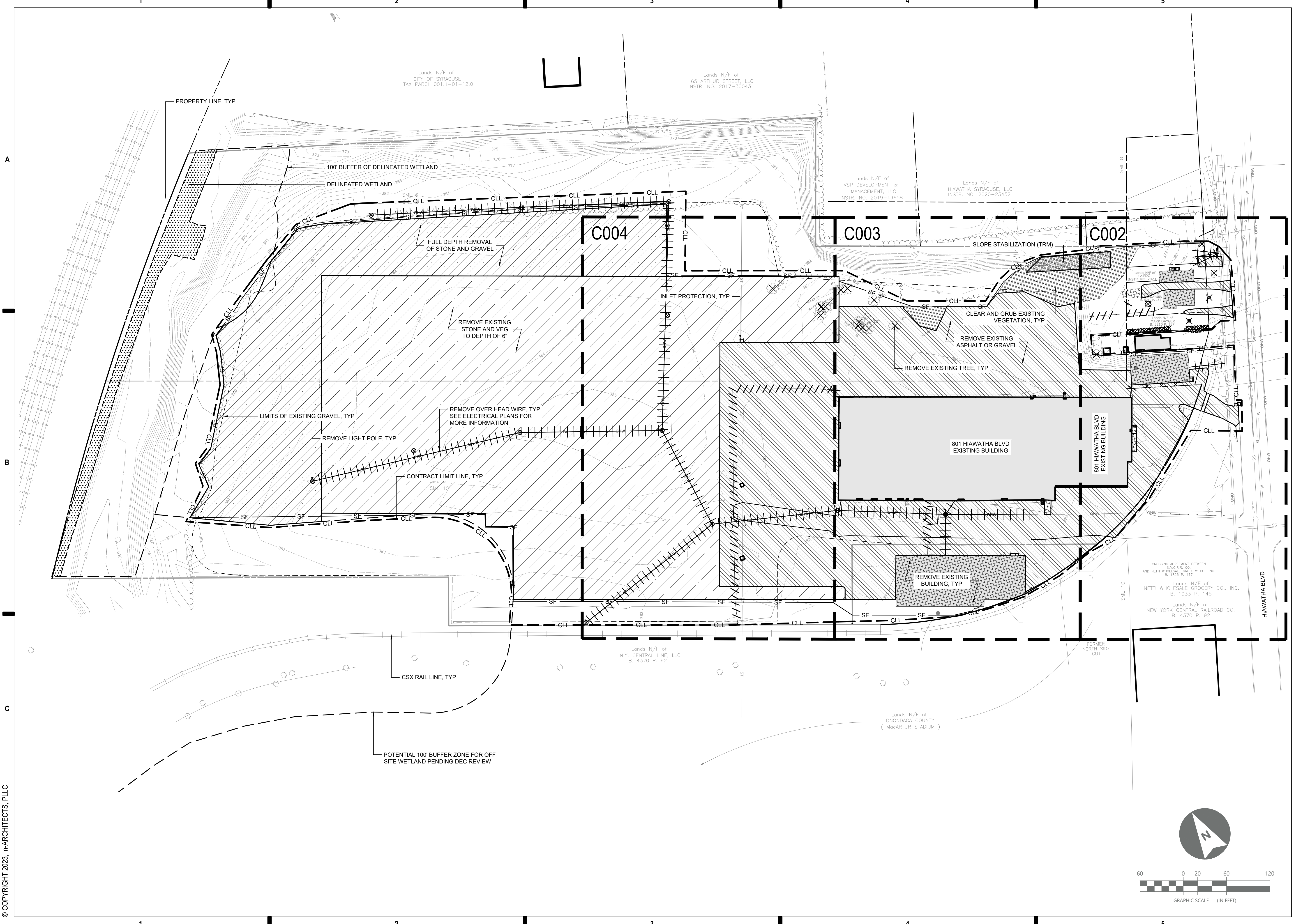
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REVISIONS		
NO.	DESCRIPTION	DATE

**OVERALL DEMOLITION PLAN**

Project Status FOR PERMITTING  
Date 07/19/2024  
Project Number 23162  
Drawn By HLS/EG  
Checked By DP

**C001**







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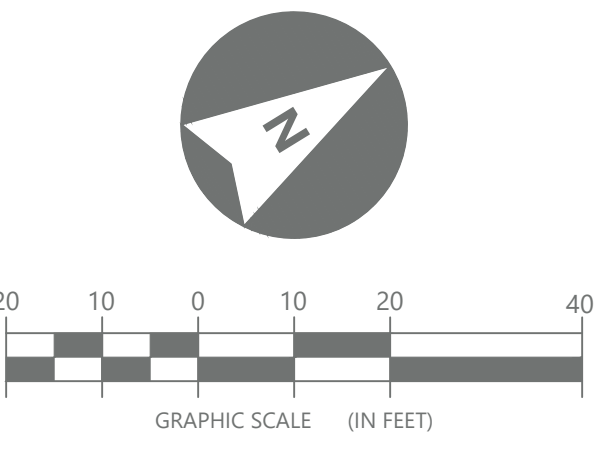
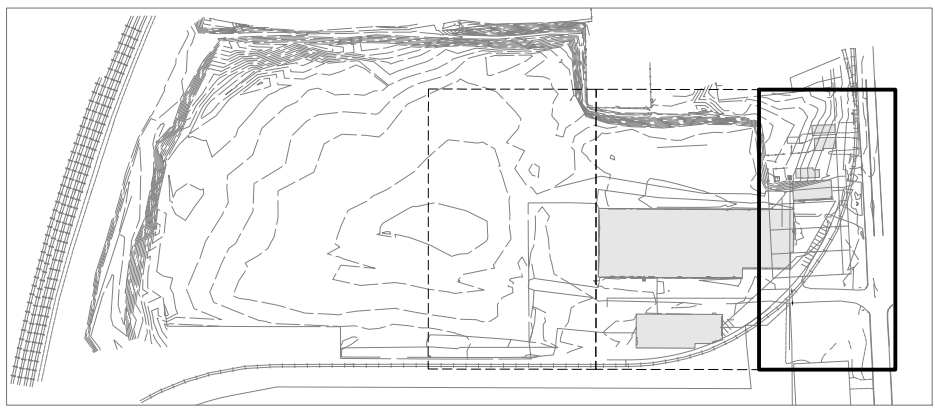
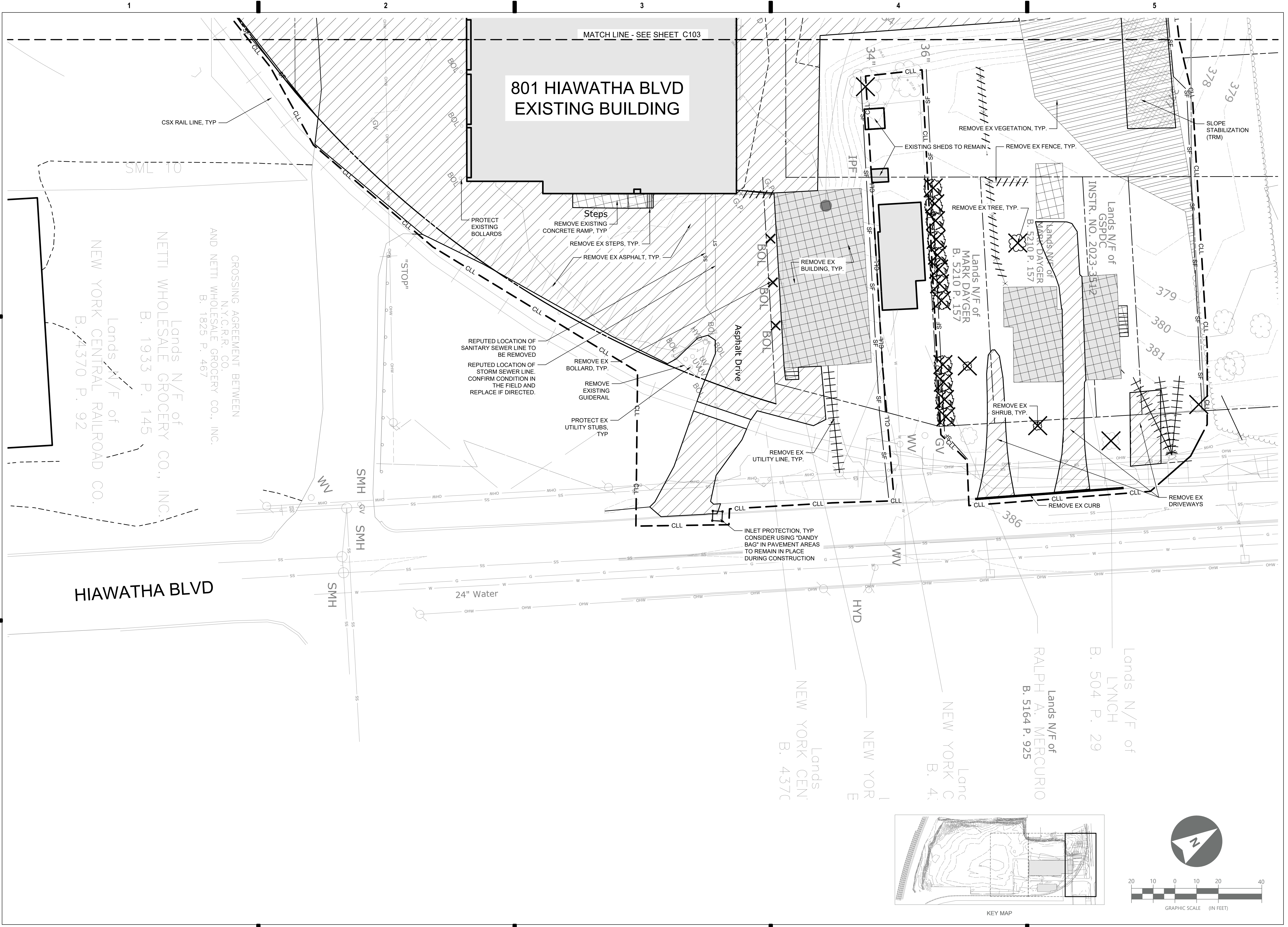
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**DEMOLITION PLAN**

Project Status FOR PERMITTING  
Date 07/19/2024  
Project Number 23162  
Drawn By HLS/EG  
Checked By DP

**C002**





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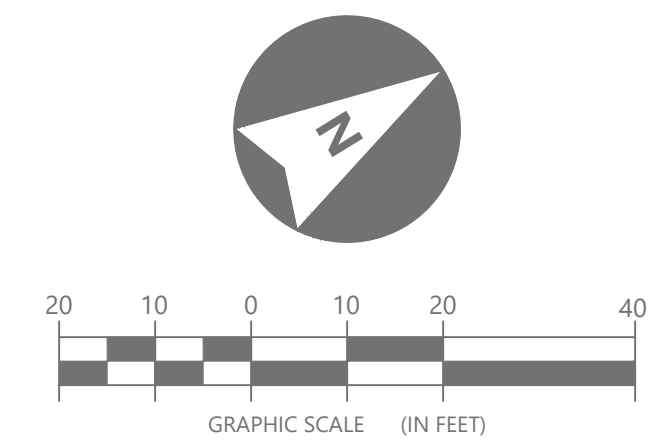
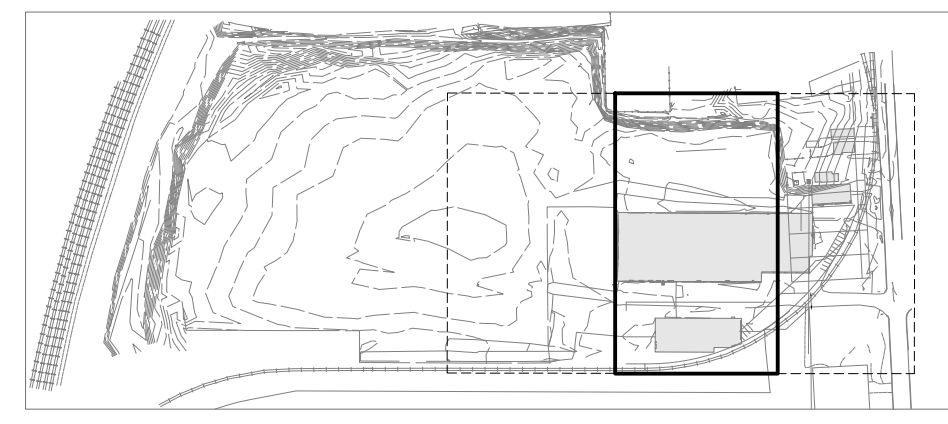
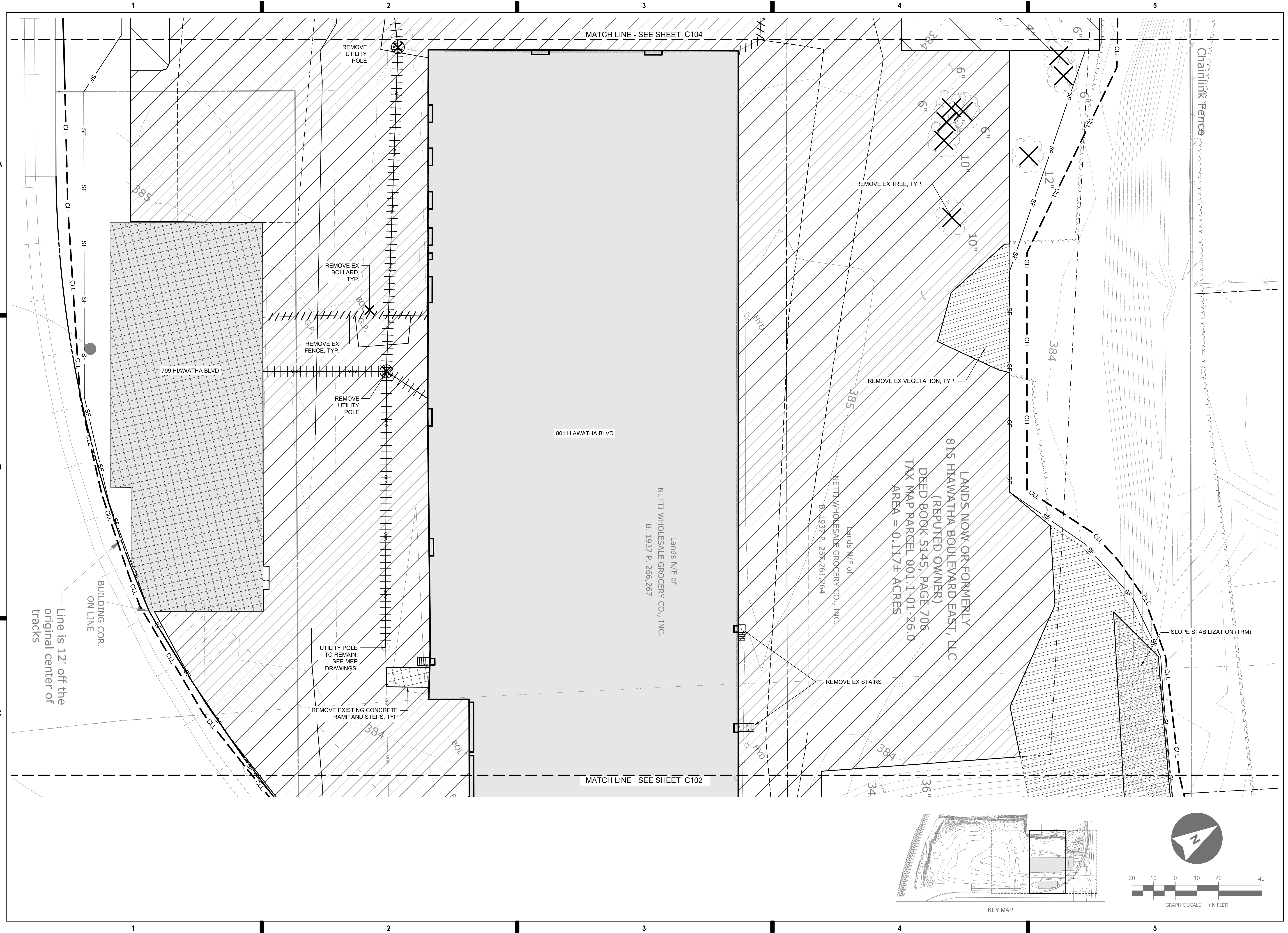
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REVISIONS		
NO.	DESCRIPTION	DATE

**DEMOLITION PLAN**

Project Status FOR PERMITTING  
 Date 07/19/2024  
 Project Number 23162  
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**C003**





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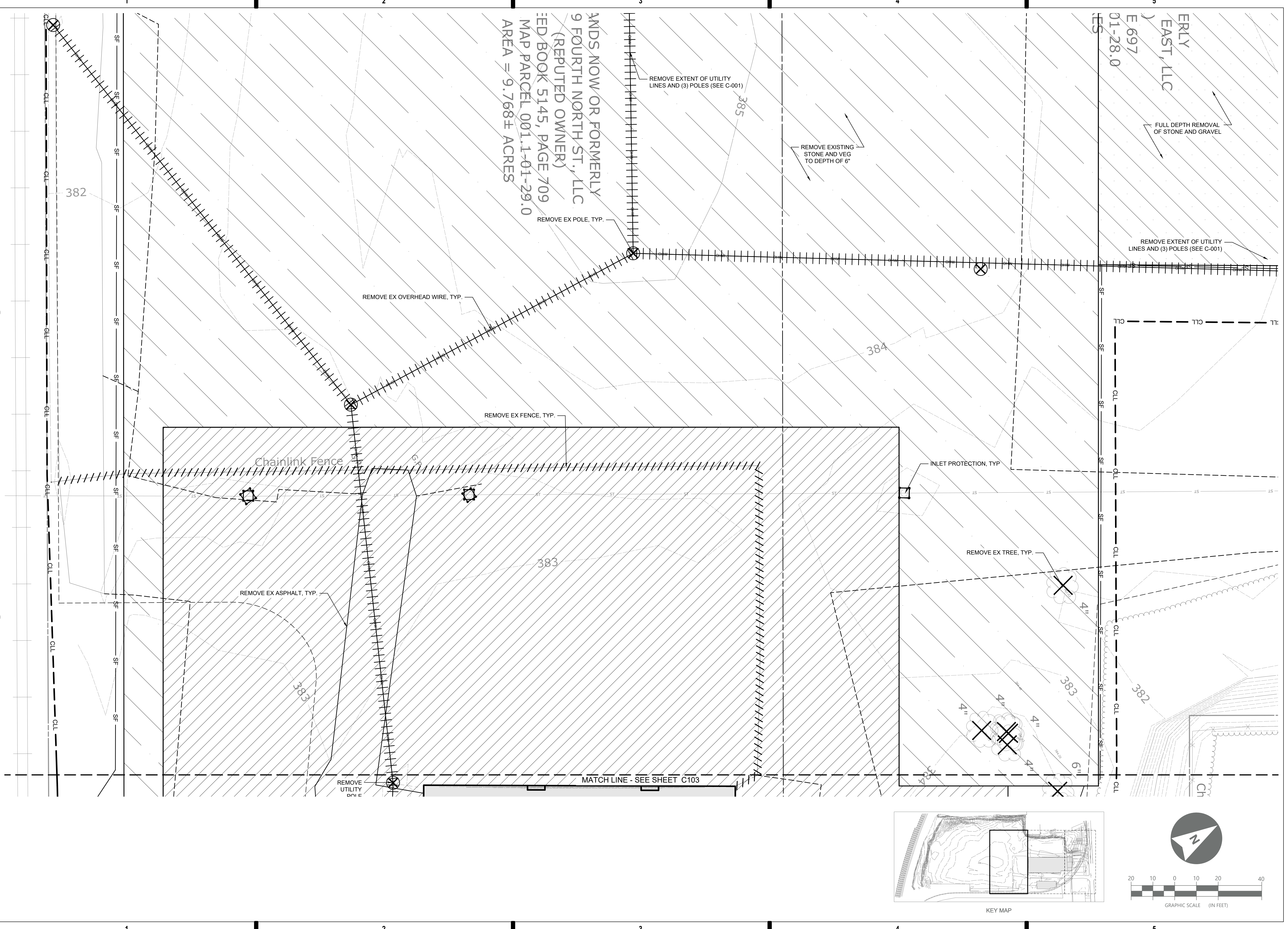
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REVISIONS		
NO.	DESCRIPTION	DATE

**DEMOLITION PLAN**

Project Status FOR PERMITTING  
Date 07/19/2024  
Project Number 23162  
Drawn By HLS/EG  
Checked By DP

**C004**





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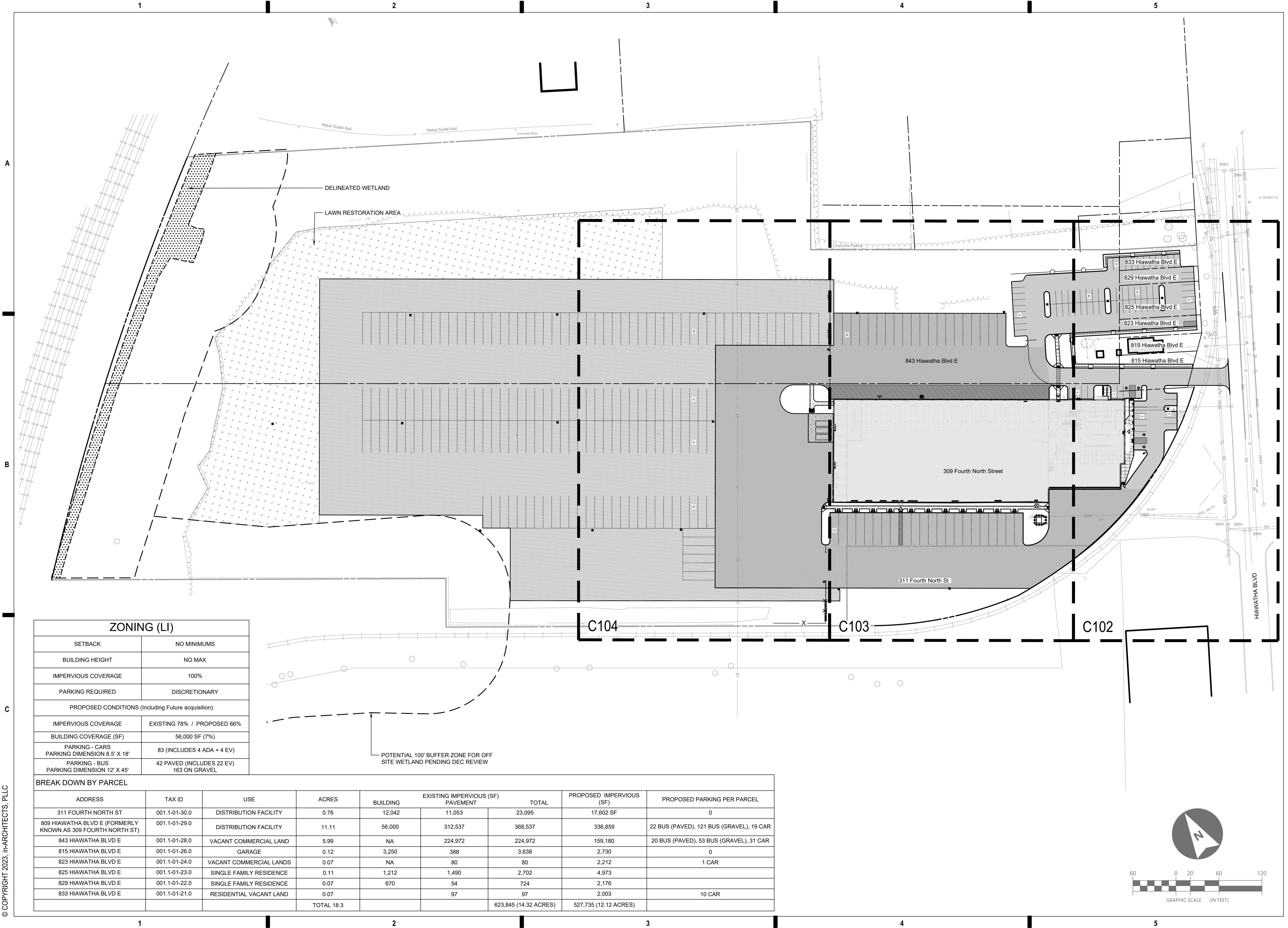
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REVISIONS		
NO.	DESCRIPTION	DATE

**OVERALL LAYOUT AND MATERIALS PLAN**

Project Status FOR PERMITTING  
Date 07/19/2024  
Project Number 23162  
Drawn By HLS/EG  
Checked By DP

**C101**



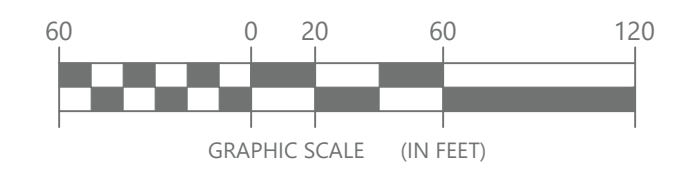
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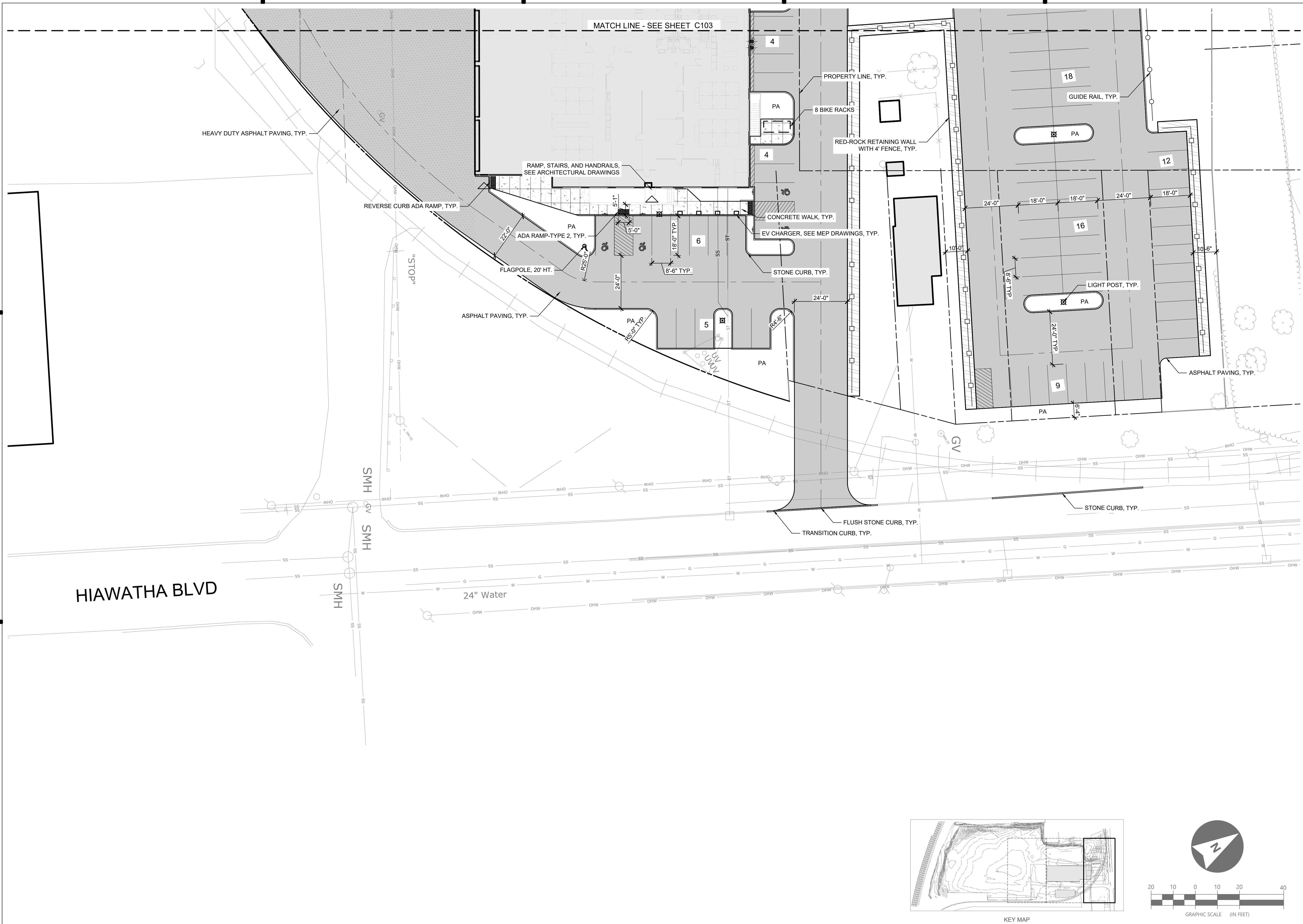
SETBACK	NO MINIMUMS
BUILDING HEIGHT	NO MAX
IMPERVIOUS COVERAGE	100%
PARKING REQUIRED	DISCRETIONARY
PROPOSED CONDITIONS (Including Future acquisition)	
IMPERVIOUS COVERAGE	EXISTING 78% / PROPOSED 66%
BUILDING COVERAGE (SF)	56,000 SF (7%)
PARKING - CARS PARKING DIMENSION 8.5' X 18'	83 (INCLUDES 4 ADA + 4 EV)
PARKING - BUS PARKING DIMENSION 12' X 45'	42 PAVED (INCLUDES 22 EV) 163 ON GRAVEL

POTENTIAL 100' BUFFER ZONE FOR OFF SITE WETLAND PENDING DEC REVIEW

**BREAK DOWN BY PARCEL**

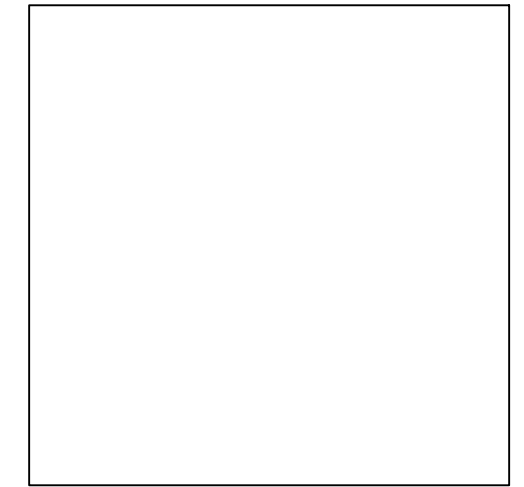
ADDRESS	TAX ID	USE	ACRES	BUILDING	EXISTING IMPERVIOUS (SF) PAVEMENT	TOTAL	PROPOSED IMPERVIOUS (SF)	PROPOSED PARKING PER PARCEL
311 FOURTH NORTH ST	001.1-01-30.0	DISTRIBUTION FACILITY	0.76	12,042	11,053	23,095	17,602 SF	0
809 HIAWATHA BLVD E (FORMERLY KNOWN AS 309 FOURTH NORTH ST)	001.1-01-29.0	DISTRIBUTION FACILITY	11.11	56,000	312,537	368,537	336,859	22 BUS (PAVED), 121 BUS (GRAVEL), 19 CAR
843 HIAWATHA BLVD E	001.1-01-28.0	VACANT COMMERCIAL LAND	5.99	NA	224,972	224,972	159,180	20 BUS (PAVED), 53 BUS (GRAVEL), 31 CAR
815 HIAWATHA BLVD E	001.1-01-26.0	GARAGE	0.12	3,250	388	3,638	2,730	0
823 HIAWATHA BLVD E	001.1-01-24.0	VACANT COMMERCIAL LANDS	0.07	NA	80	80	2,212	1 CAR
825 HIAWATHA BLVD E	001.1-01-23.0	SINGLE FAMILY RESIDENCE	0.11	1,212	1,490	2,702	4,973	
829 HIAWATHA BLVD E	001.1-01-22.0	SINGLE FAMILY RESIDENCE	0.07	670	54	724	2,176	
833 HIAWATHA BLVD E	001.1-01-21.0	RESIDENTIAL VACANT LAND	0.07		97	97	2,003	10 CAR
TOTAL			18.3		623,845 (14.32 ACRES)	623,845 (14.32 ACRES)	527,735 (12.12 ACRES)	





MATCH LINE - SEE SHEET C103

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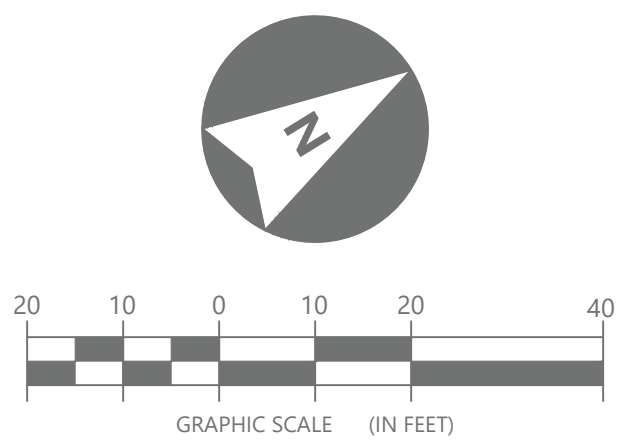
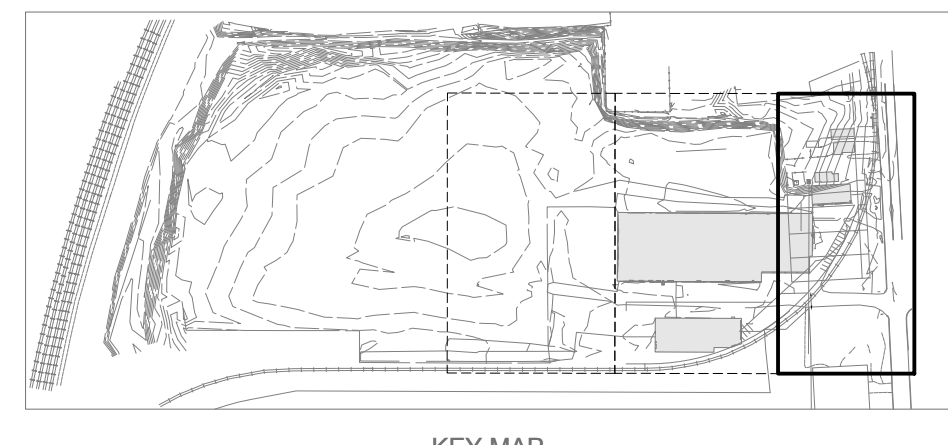
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REVISIONS		
NO.	DESCRIPTION	DATE

**LAYOUT AND MATERIALS PLAN**

Project Status	FOR PERMITTING
Date	07/19/2024
Project Number	23162
Drawn By	HLS/EG
Checked By	DP

**C102**





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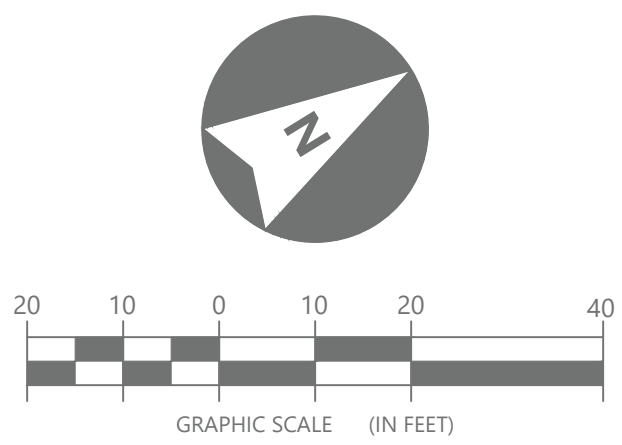
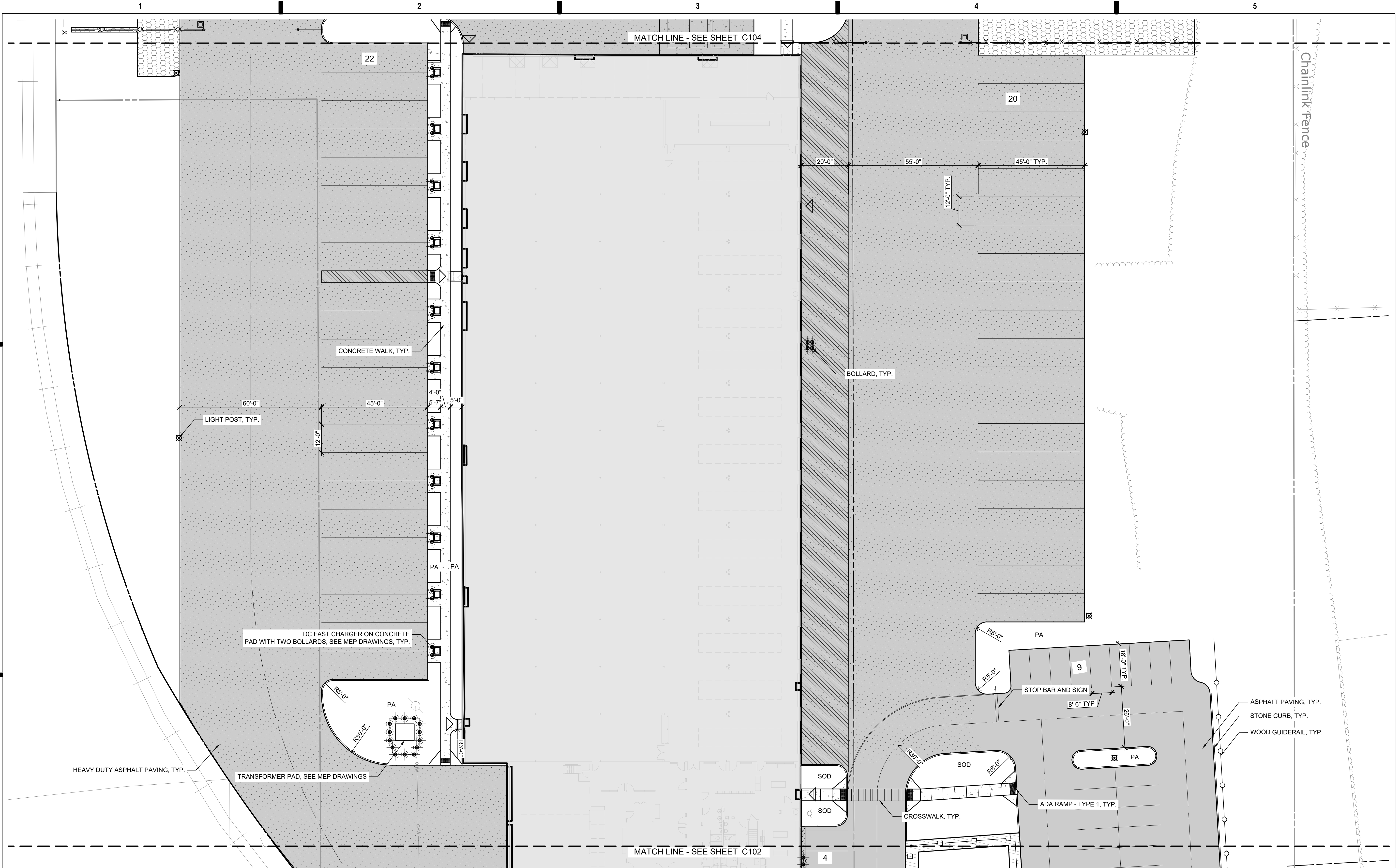
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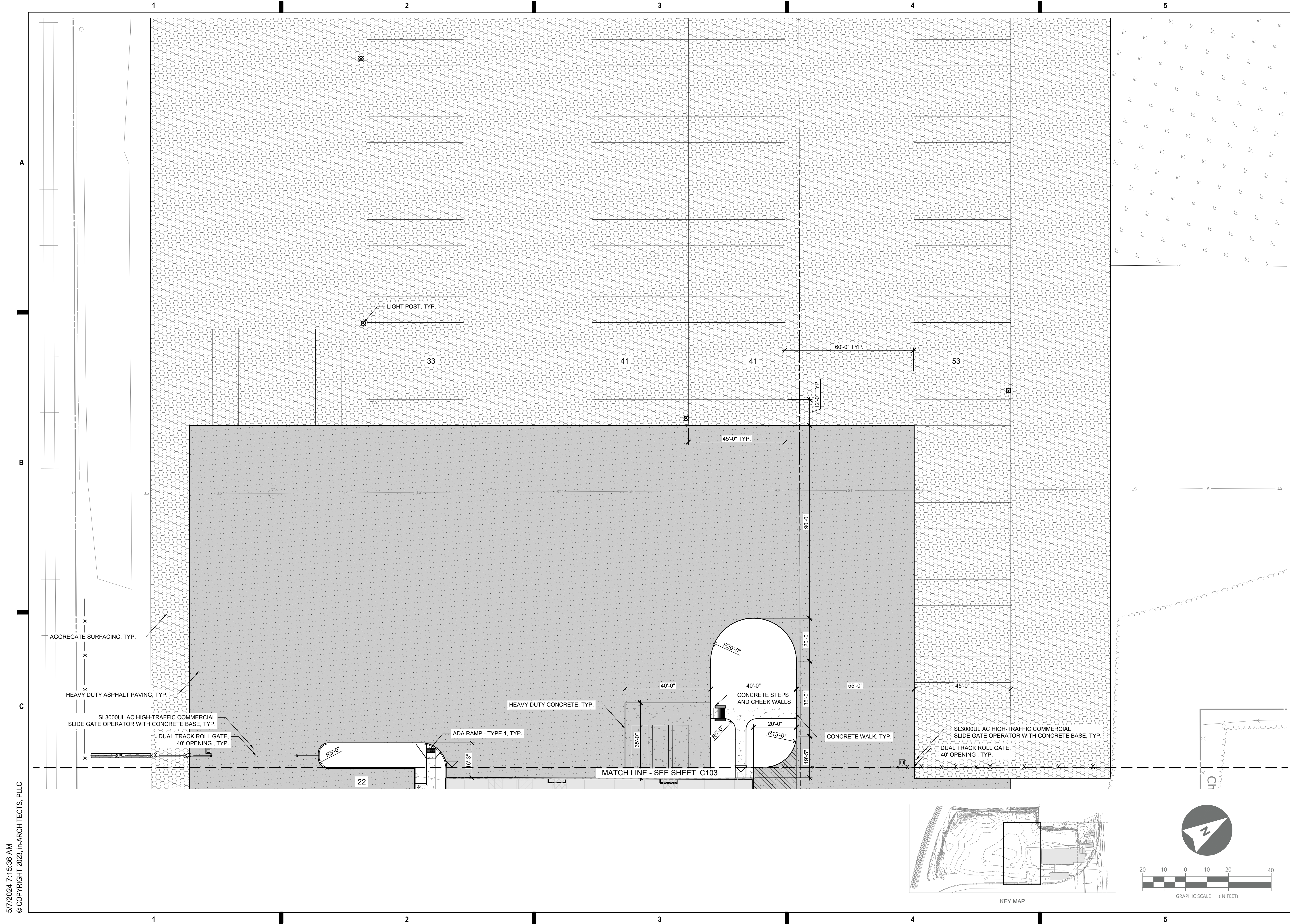
**LAYOUT AND MATERIALS PLAN**

Project Status FOR PERMITTING  
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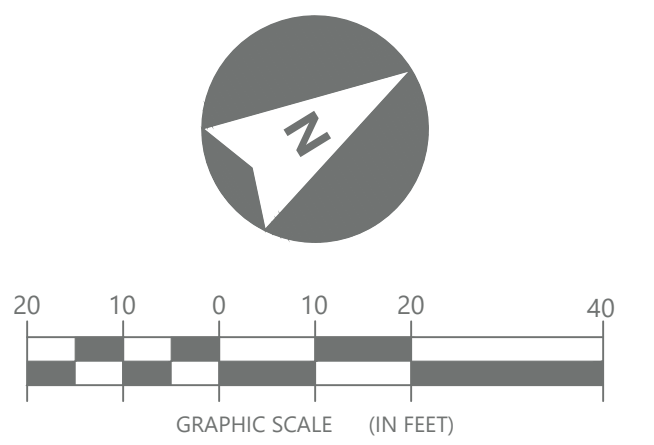
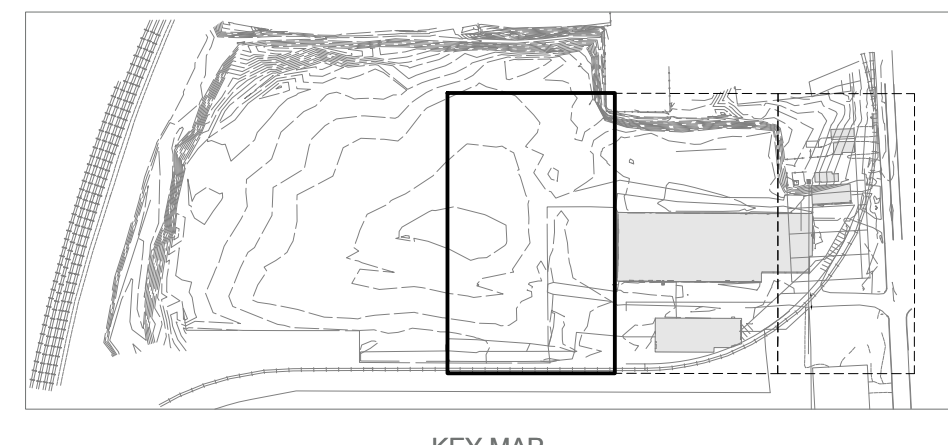
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**LAYOUT AND MATERIALS PLAN**

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**C104**





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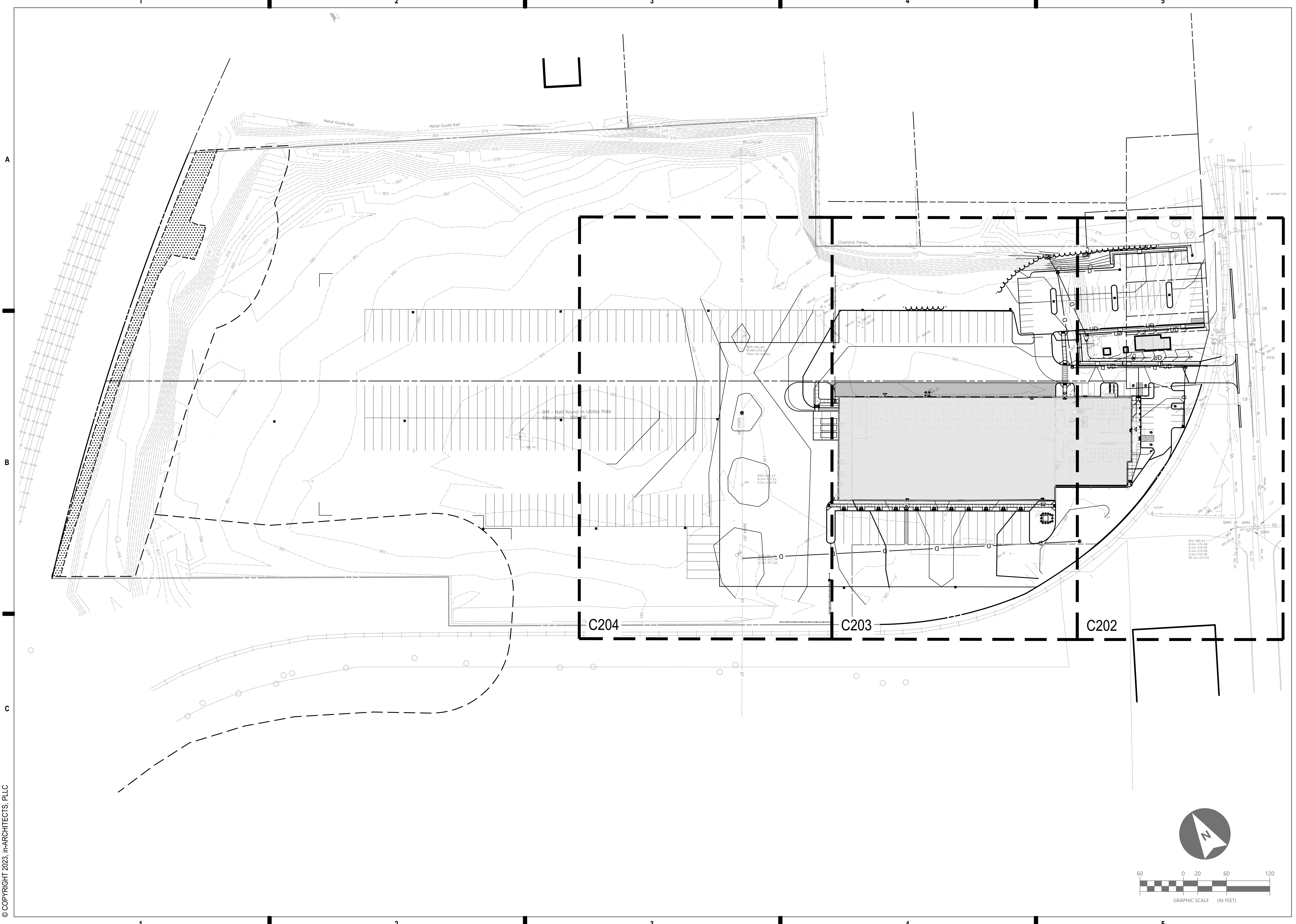
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REVISIONS		
NO.	DESCRIPTION	DATE
1	GRADING & UTILITIES	8/8/2024

**OVERALL GRADING & UTILITIES PLAN**

Project Status FOR PERMITTING  
Date 07/19/2024  
Project Number 23162  
Drawn By EG/HLS  
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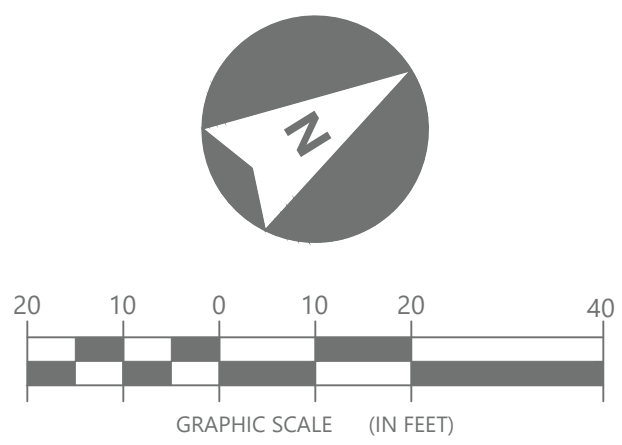
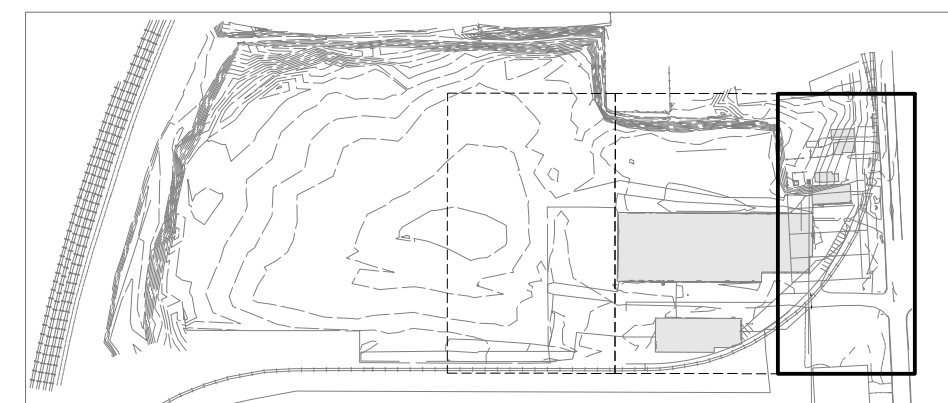
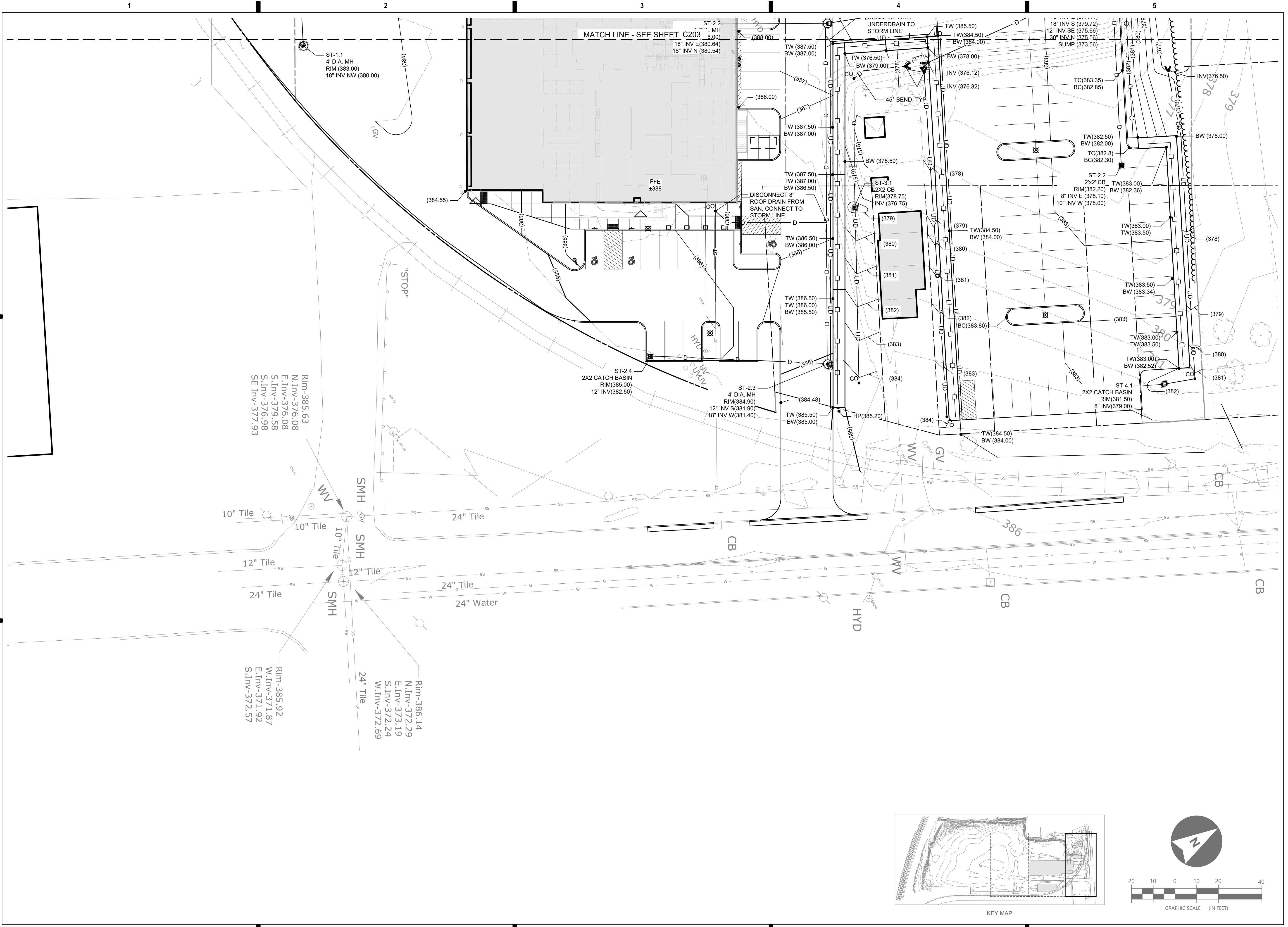
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REVISIONS		
NO.	DESCRIPTION	DATE
1	GRADING & UTILITIES	8/8/2024

**GRADING & UTILITIES PLAN**

Project Status FOR PERMITTING  
Date 07/19/2024  
Project Number 23162  
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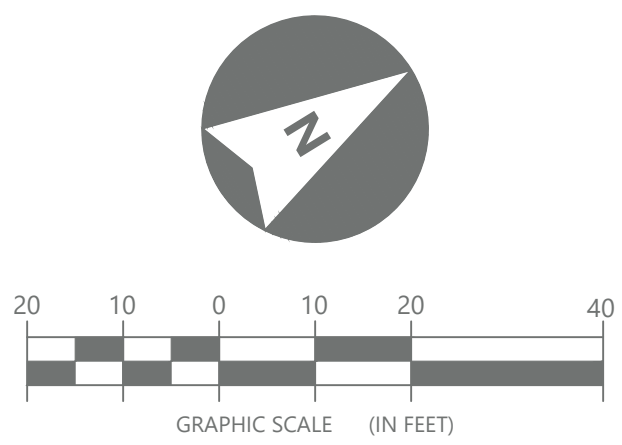
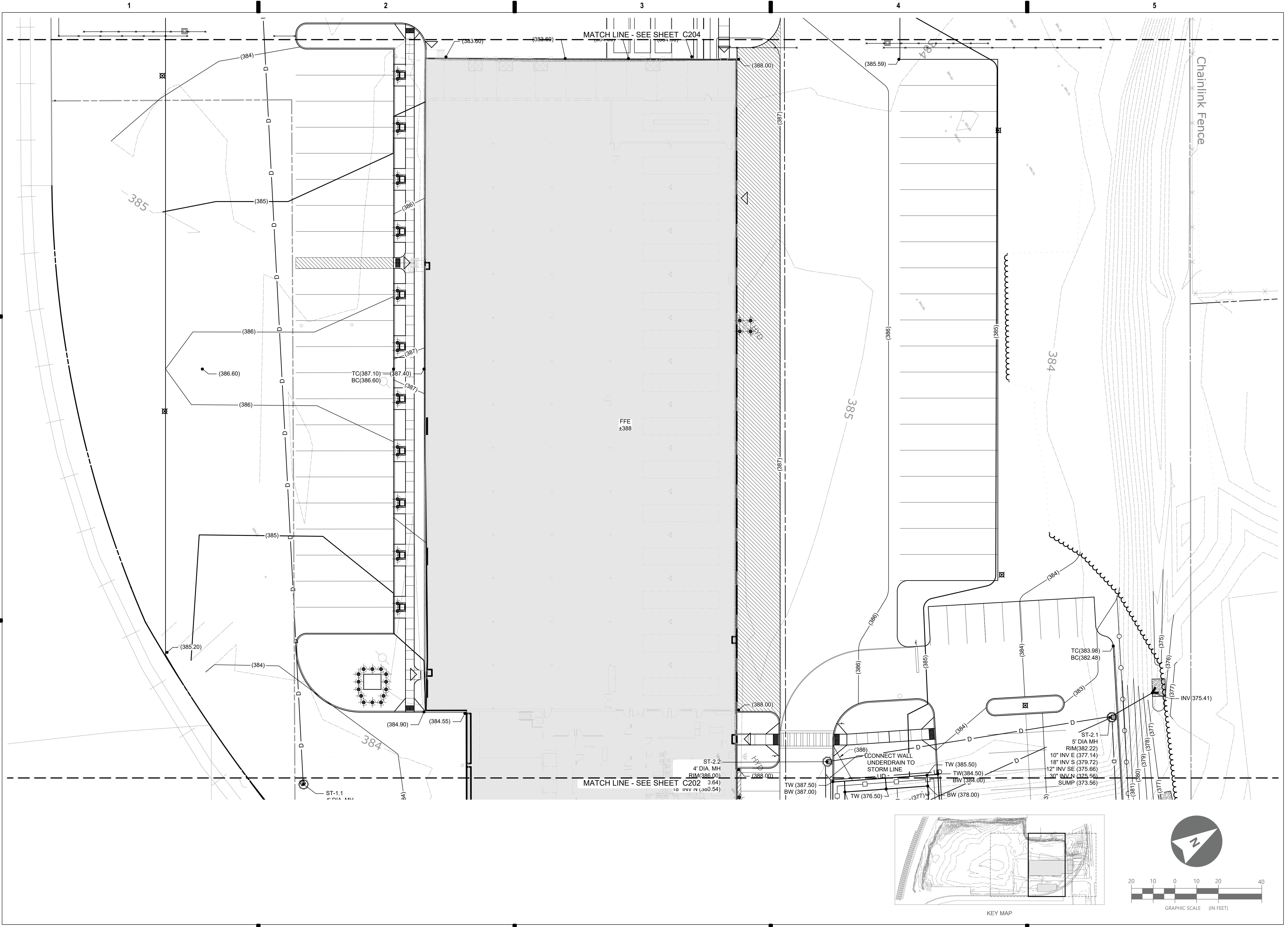
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REVISIONS		
NO.	DESCRIPTION	DATE
1	GRADING & UTILITIES	8/8/2024

**GRADING & UTILITIES PLAN**

Project Status FOR PERMITTING  
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**C203**



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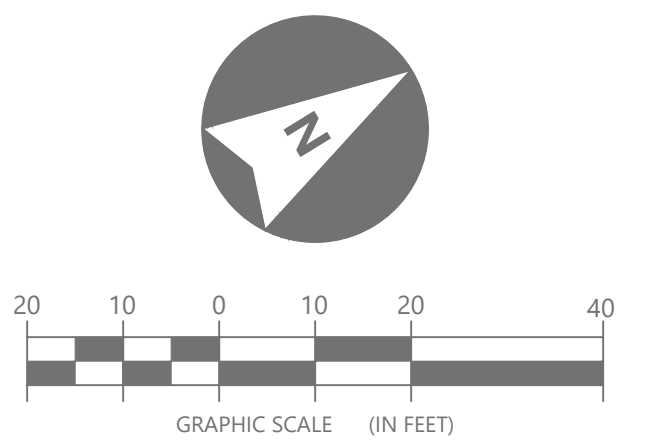
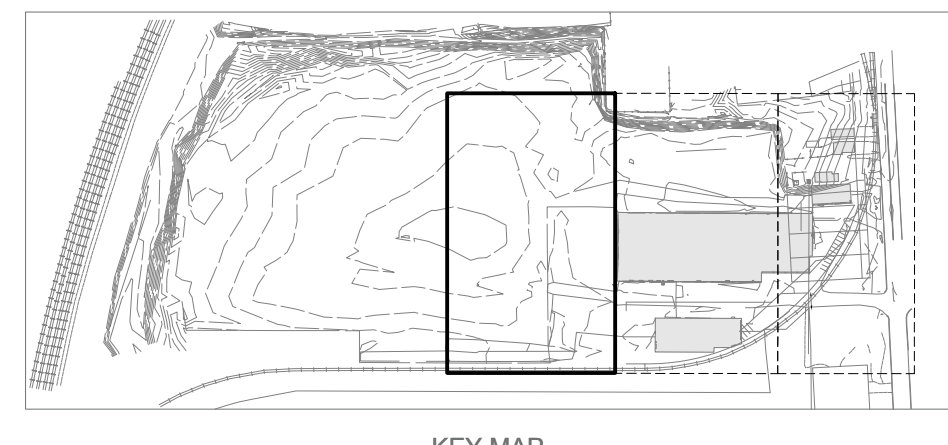
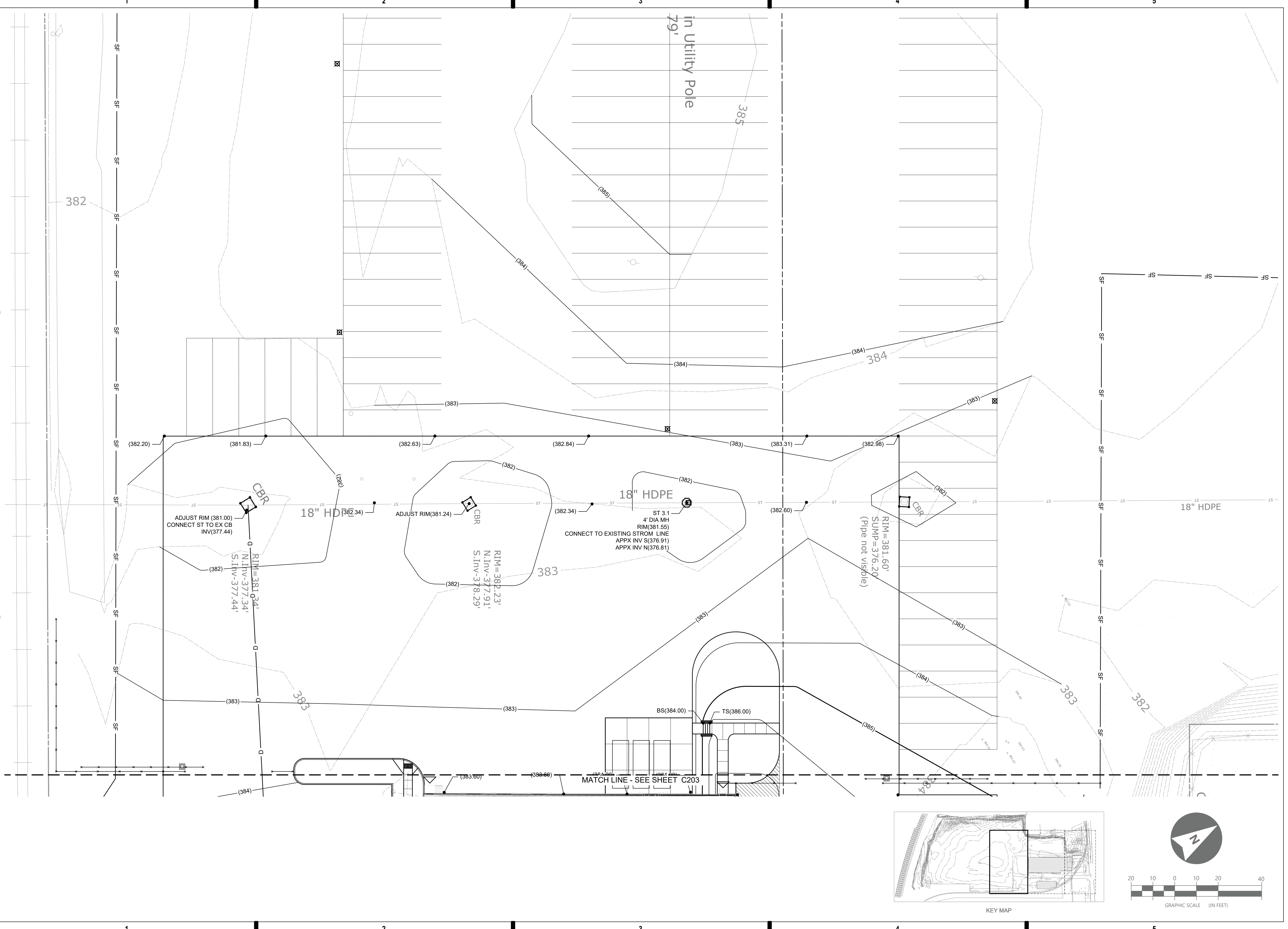
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REVISIONS		
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1	GRADING & UTILITIES	8/8/2024

**GRADING & UTILITIES PLAN**

Project Status FOR PERMITTING  
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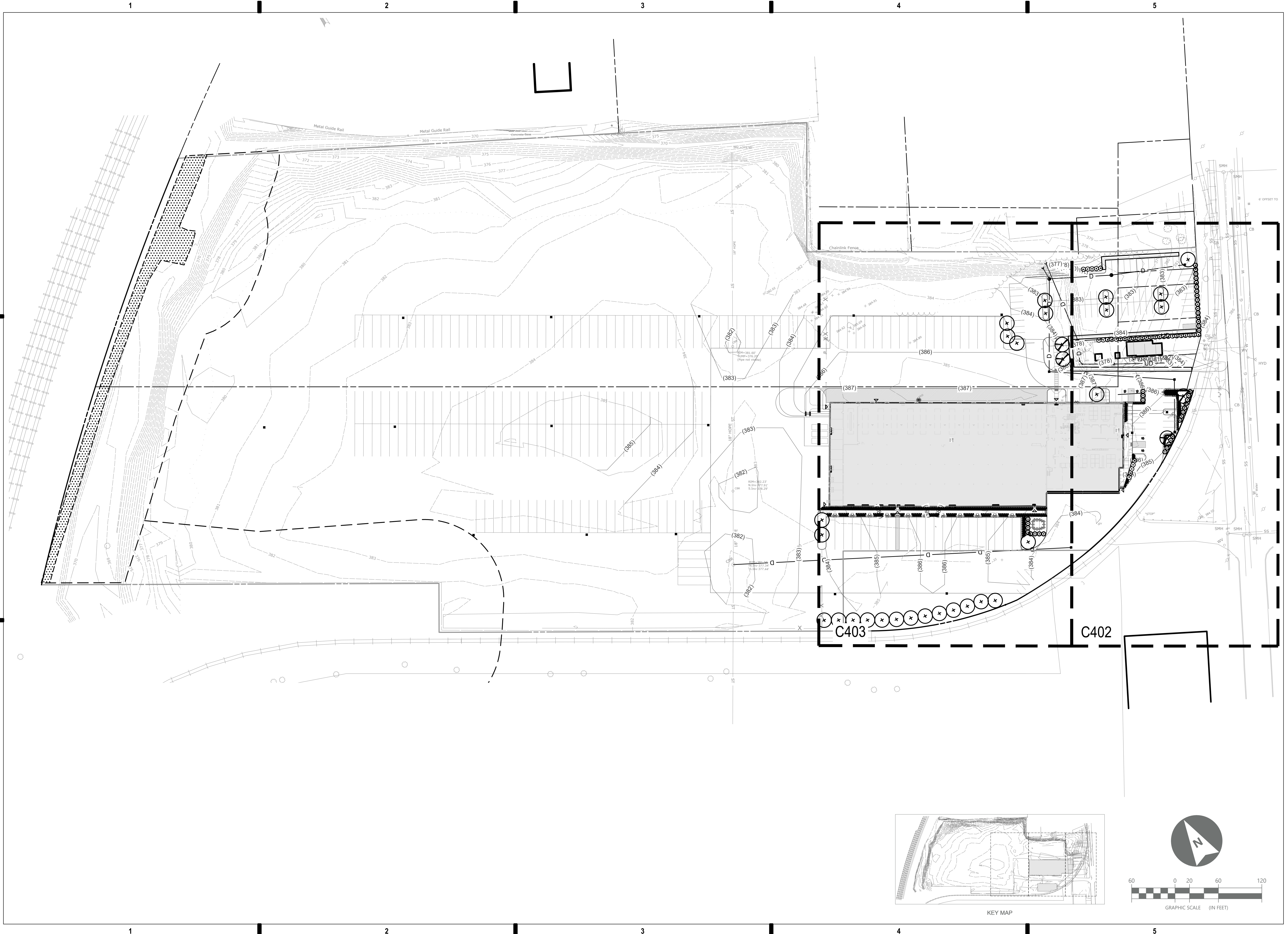
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REVISIONS		
NO.	DESCRIPTION	DATE

**OVERALL PLANTING PLAN**

Project Status FOR PERMITTING  
Date 07/19/2024  
Project Number 23162  
Drawn By HLS  
Checked By DP

**C401**





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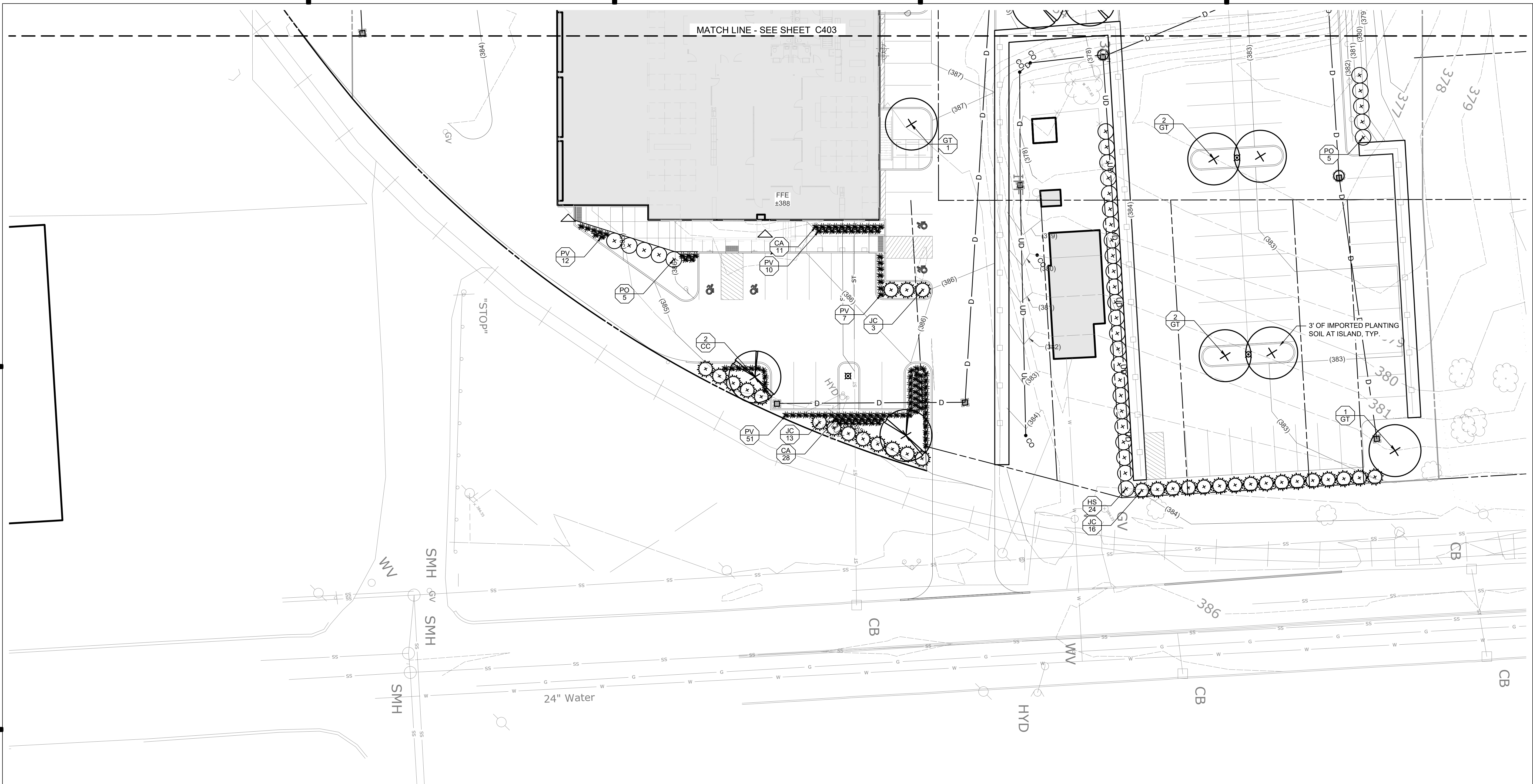
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REVISIONS		
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**PLANTING PLAN**

Project Status FOR PERMITTING  
Date 07/19/2024  
Project Number 23162  
Drawn By HLS  
Checked By DP

**C402**

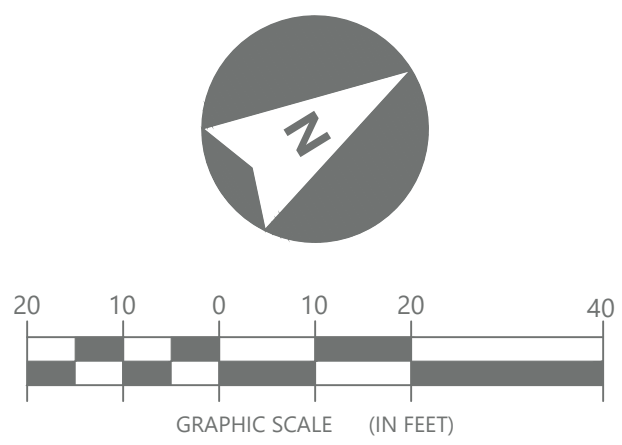
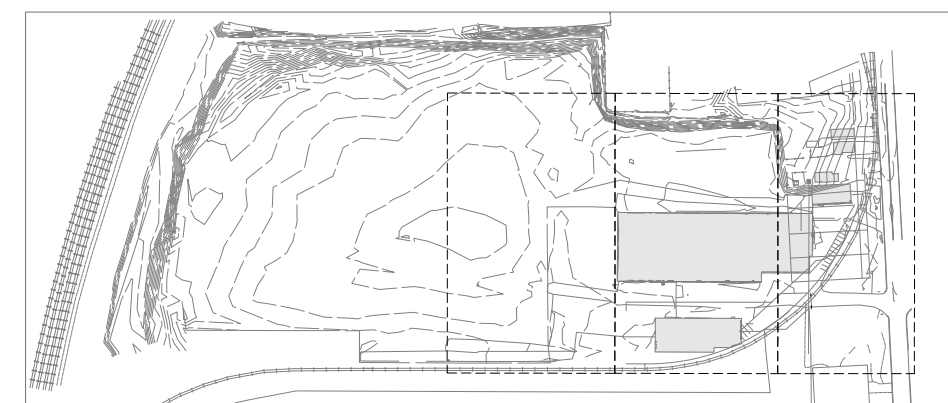


PLANT LIST - TREES					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
GT	GLEDTISIA TRIACANTHOS 'STREET KEEPER'	STREET KEEPER HONEY LOCUST	12' HT.	BALL & BURLAP	SPECIMEN, 5 STEM MIN.
CC	CERCIS CANADENSIS	EASTERN REDBUD	3" CAL.	BALL & BURLAP	HEAVY

PLANT LIST - SHRUBS					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
HS	HIBISCUS SYRIACUS	ROSE OF SHARON		#3 CONT.	
JC	JUNIPERUS CHINENSIS VAR. SEA GREEN	SEA GREEN JUNIPER		#3 CONT.	
PO	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	SUMMER WINE NINEBARK		#3 CONT.	

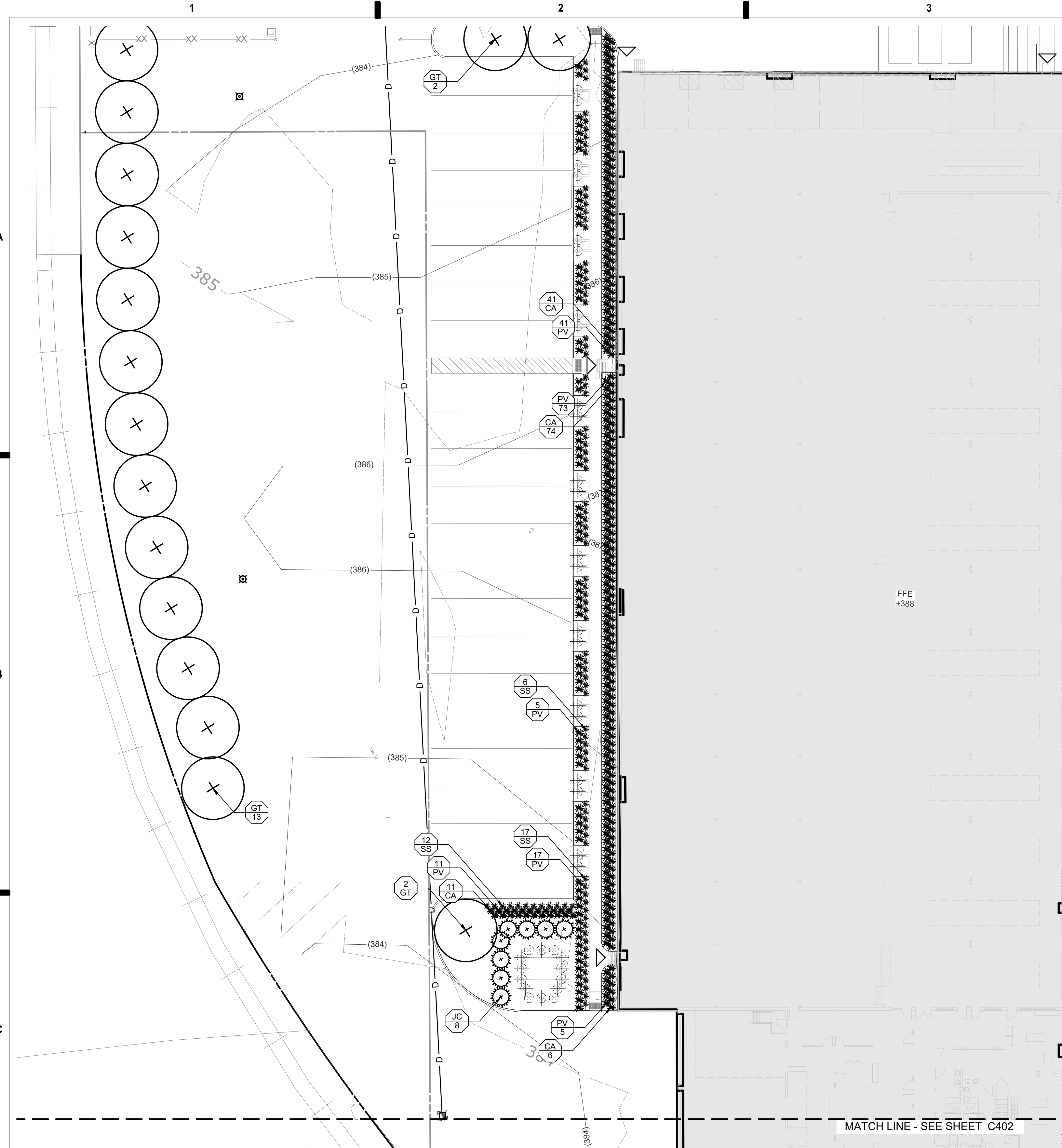
PLANT LIST - PERENNIALS AND GRASSES					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2	CONT.	
PV	PANICUM VIRGATUM 'SHENANDOAH'	RED SWITCHGRASS	#2	CONT.	
SS	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM	#2	CONT.	

PLANTING LEGEND	
SYMBOL	ITEM
	EDGE OF TREES / BRUSH
	DECIDUOUS TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	LAWN
	MEADOW GRASSES & WILDFLOWER SEED MIX



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**PLANTING PLAN NOTES**  
THIS SCHEDULE REFLECTS PLANTS OF OVERALL PROJECT



### PLANT LIST - TREES

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
GT	GLEDTISIA TRIACANTHOS 'STREET KEEPER'	STREET KEEPER HONEY LOCUST	12' HT.	BALL & BURLAP	SPECIMEN, 5 STEM MIN.
CC	CERCIS CANADENSIS	EASTERN REDBUD	3" CAL.	BALL & BURLAP	HEAVY

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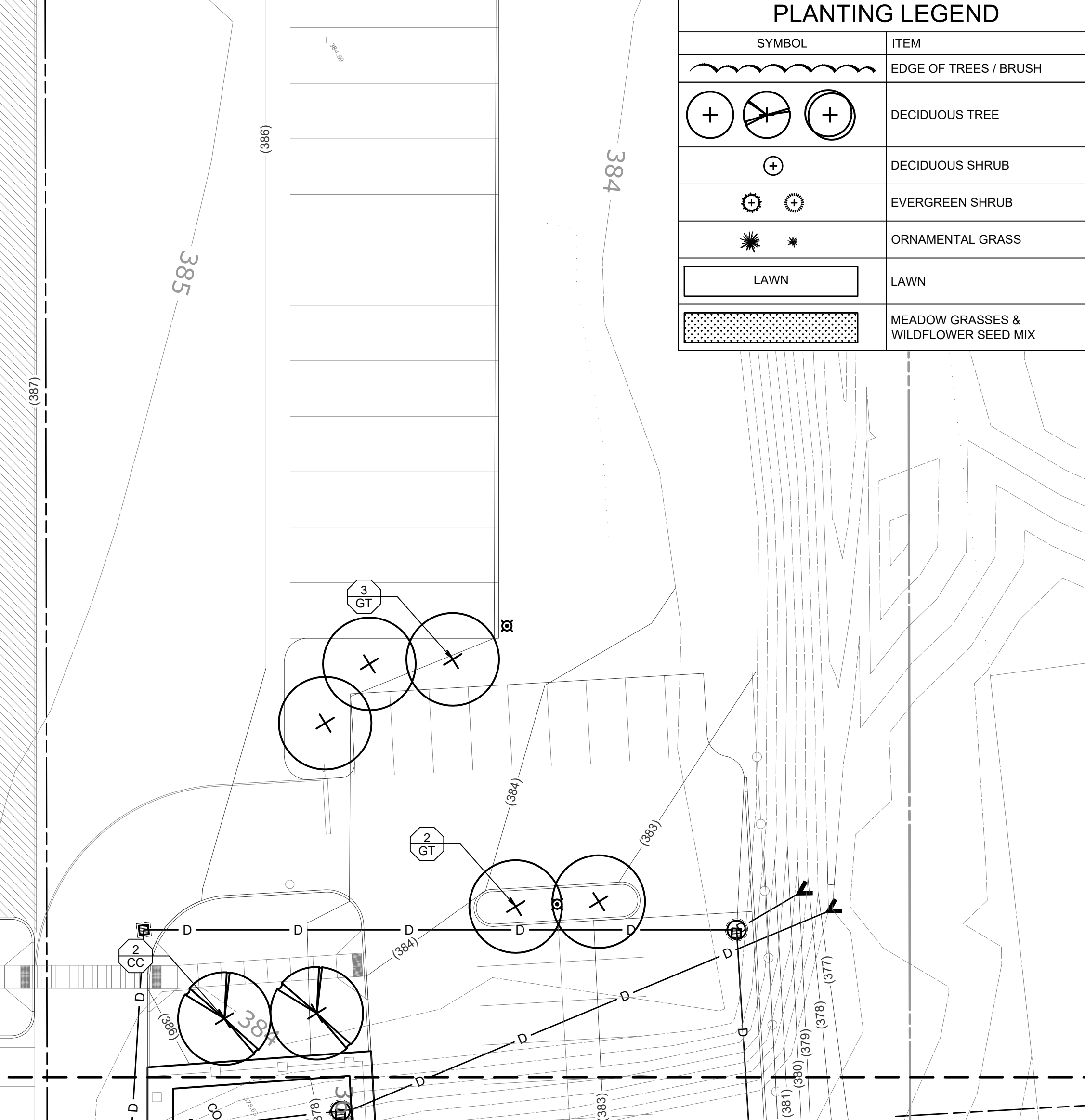
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CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2	CONT.	
PV	PANICUM VIRGATUM 'SHENANDOAH'	RED SWITCHGRASS	#2	CONT.	
SS	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM	#2	CONT.	

**PLANTING PLAN NOTES**  
THIS SCHEDULE REFLECTS PLANTS OF OVERALL PROJECT

### PLANTING LEGEND

SYMBOL	ITEM
	EDGE OF TREES / BRUSH
	DECIDUOUS TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	LAWN
	MEADOW GRASSES & WILDFLOWER SEED MIX



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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

## PLANTING PLAN

Project Status	FOR PERMITTING
Date	07/19/2024
Project Number	23162
Drawn By	HLS
Checked By	DP

# C403



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REVISIONS		
NO.	DESCRIPTION	DATE

**DETAILS**

Project Status FOR PERMITTING

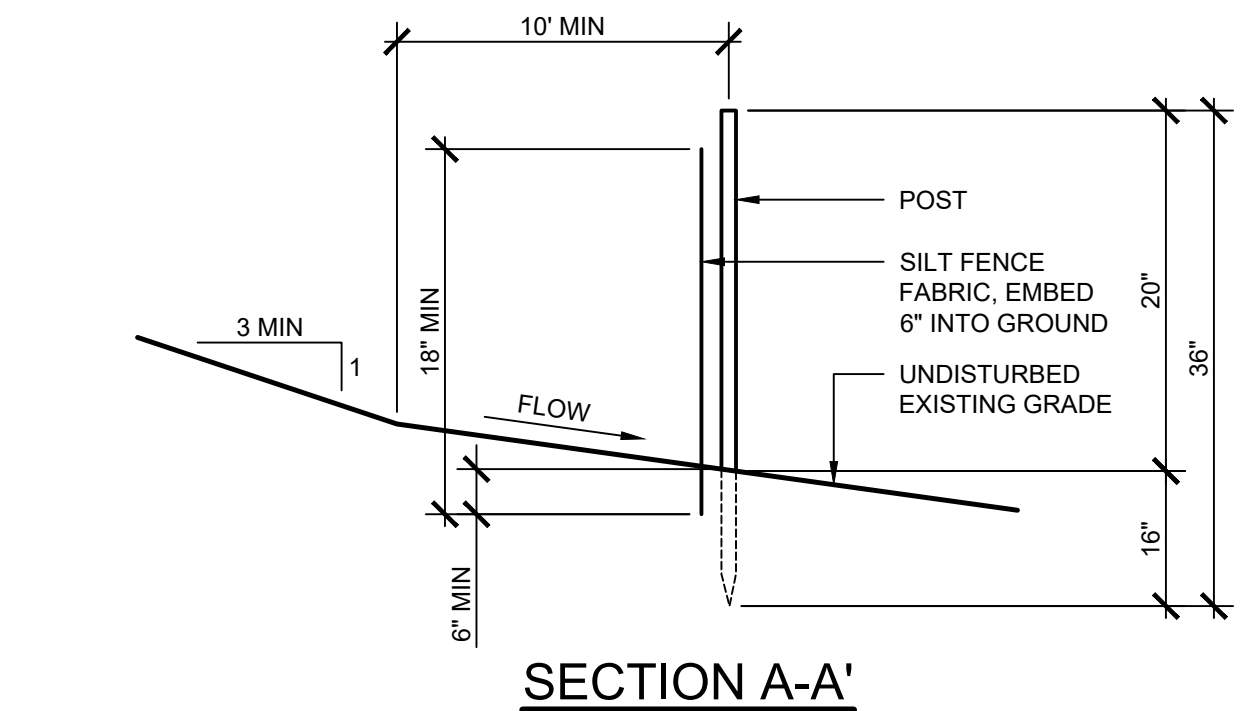
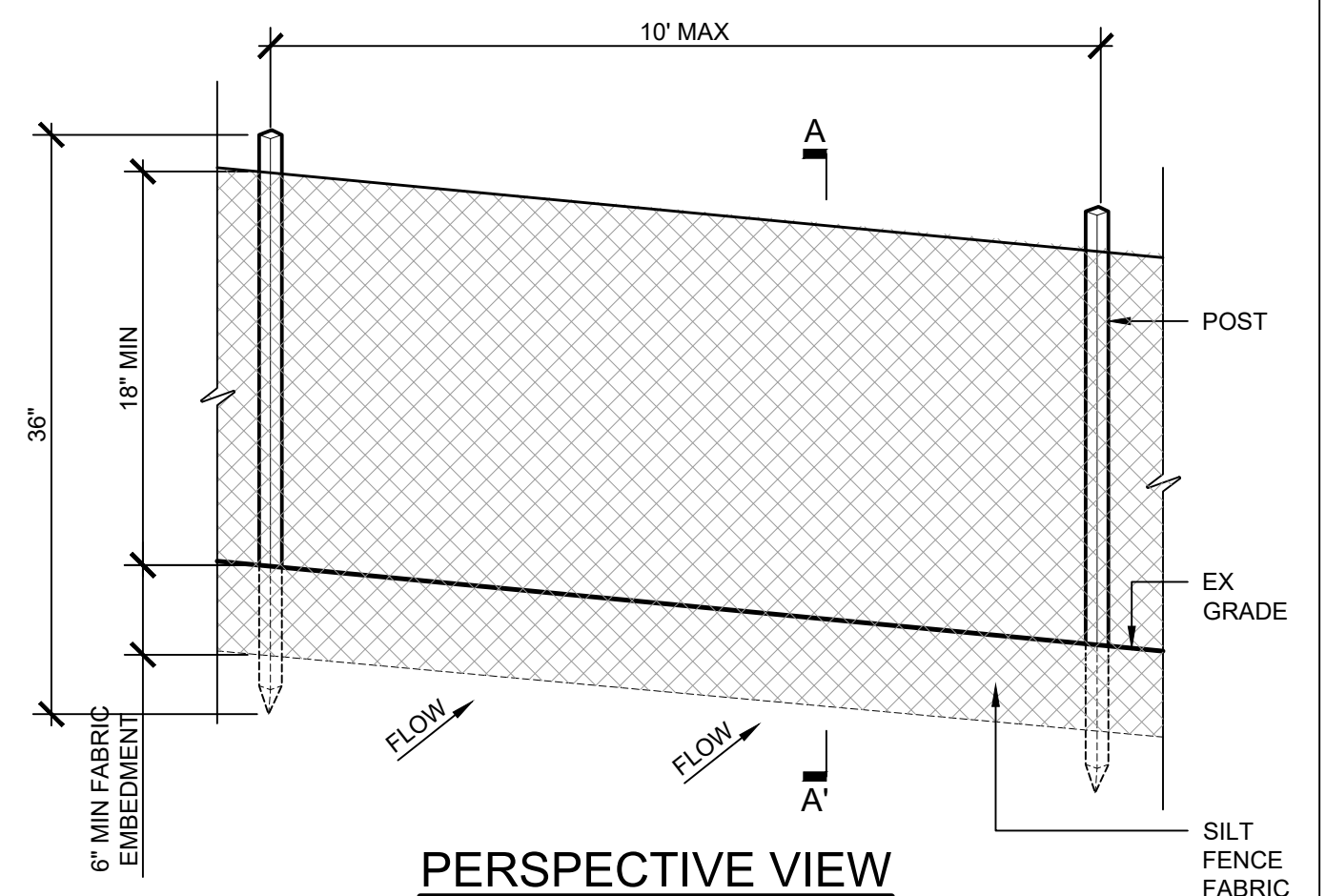
Date 07/19/2024

Project Number 23162

Drawn By

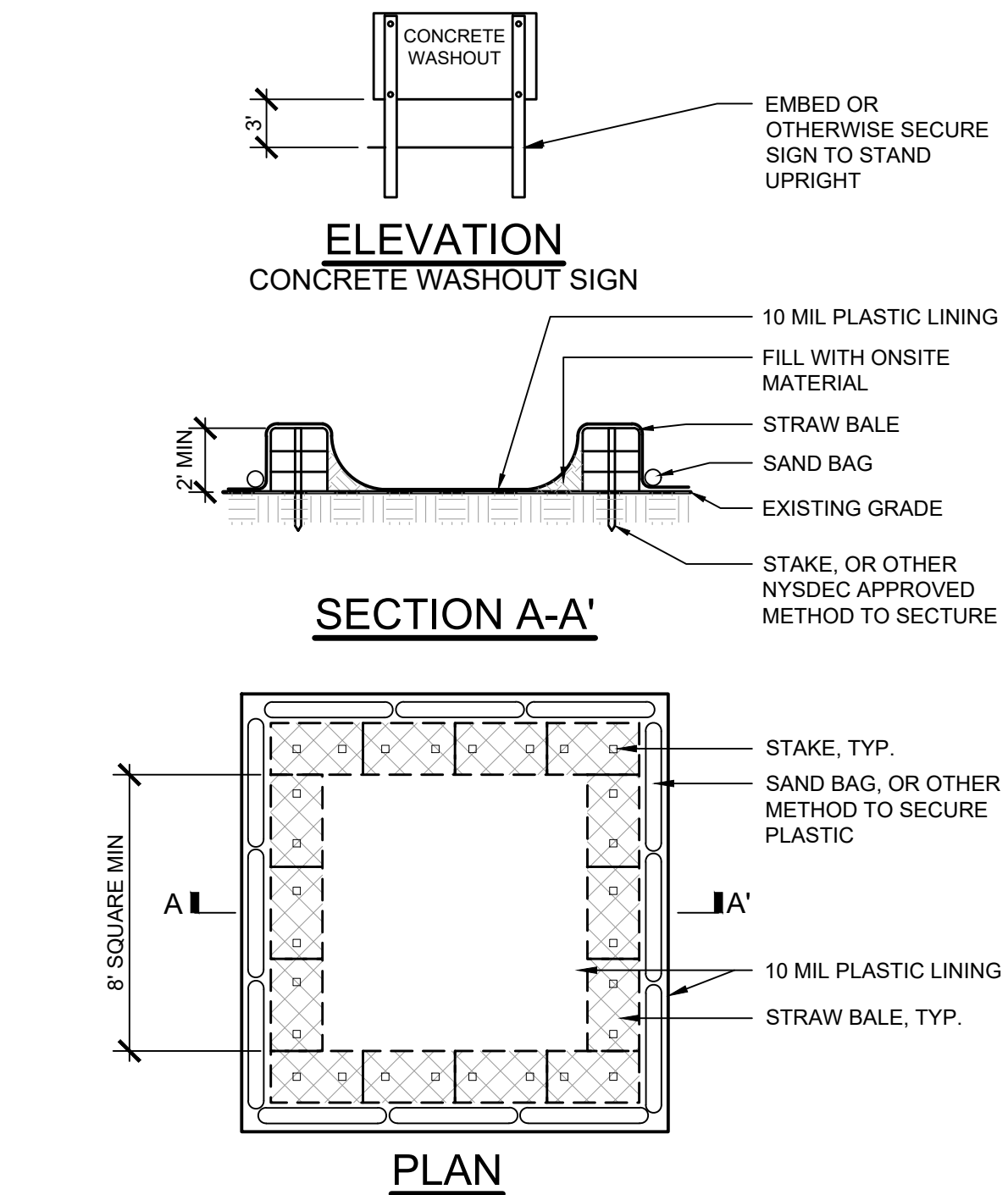
Checked By

**C-601**



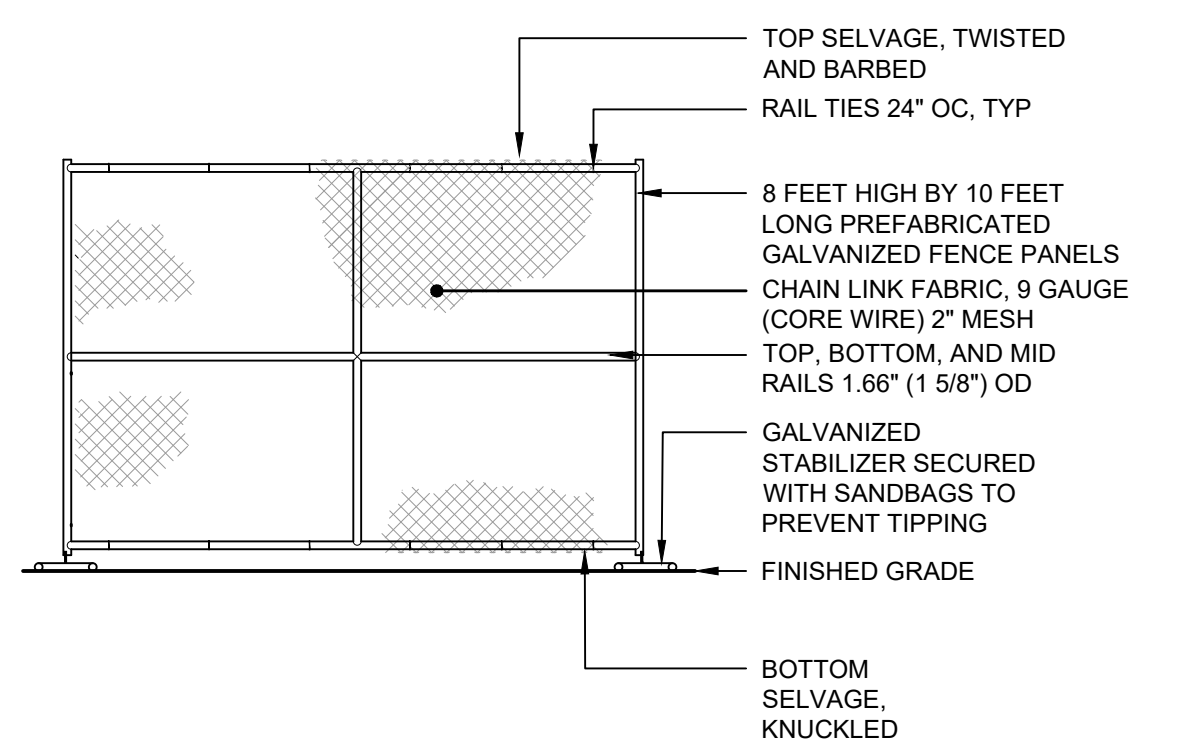
- NOTES:**
- WHEN TWO SECTIONS OF SILT FENCE FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL.
  - PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
  - MAINTENANCE SHALL BE PERFORMED IMMEDIATELY AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE - STANDARD**  
Scale: NTS TEMPORARY



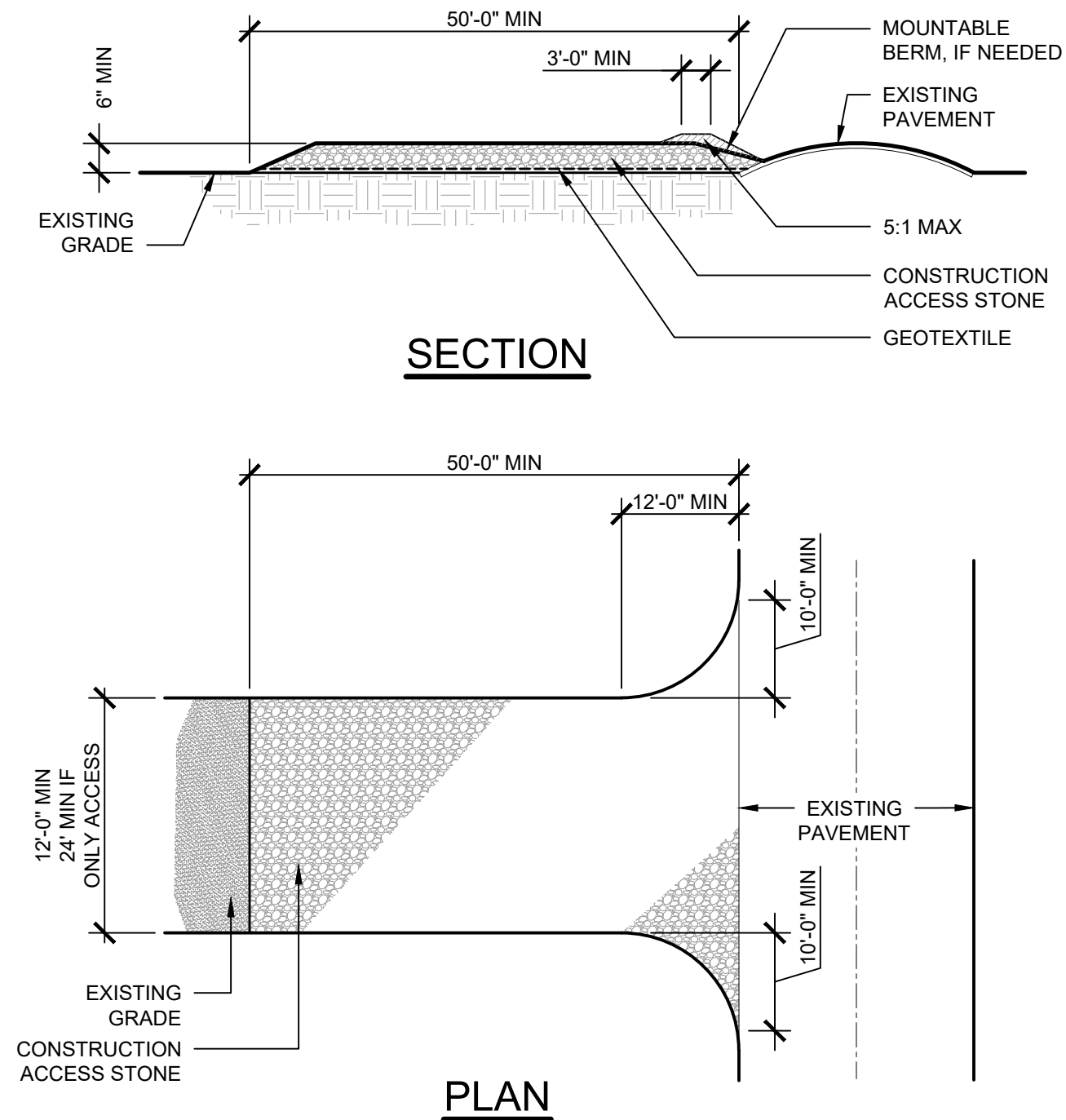
- NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SIZING, CONSTRUCTION, AND INTEGRITY OF THE WASHOUT. THE CAPACITY OF THE WASHOUT SHALL BE 60 GALLONS PER TRUCK TO BE CLEANED WITHIN THE EXPECTED MAINTENANCE FREQUENCY. ADDITIONAL CAPACITY SHALL BE PROVIDED TO ACCOMMODATE RAINFALL.
  - OTHER METHODS OF CONCRETE WASHOUT CONTAINMENT MAY BE UTILIZED IF APPROVED BY THE OWNER'S REPRESENTATIVE.
  - LOCATE WASHOUT AREA AT LEAST 100' FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES.
  - THE PLASTIC LINING SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AND SHALL BE REPLACED AT EVERY CLEANING.
  - DO NOT ALLOW RUNOFF TO ENTER THIS AREA.
  - THE CONCRETE WASHOUT SIGN SHALL BE PLACED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

**CONCRETE WASHOUT AREA**  
Scale: NTS TEMPORARY



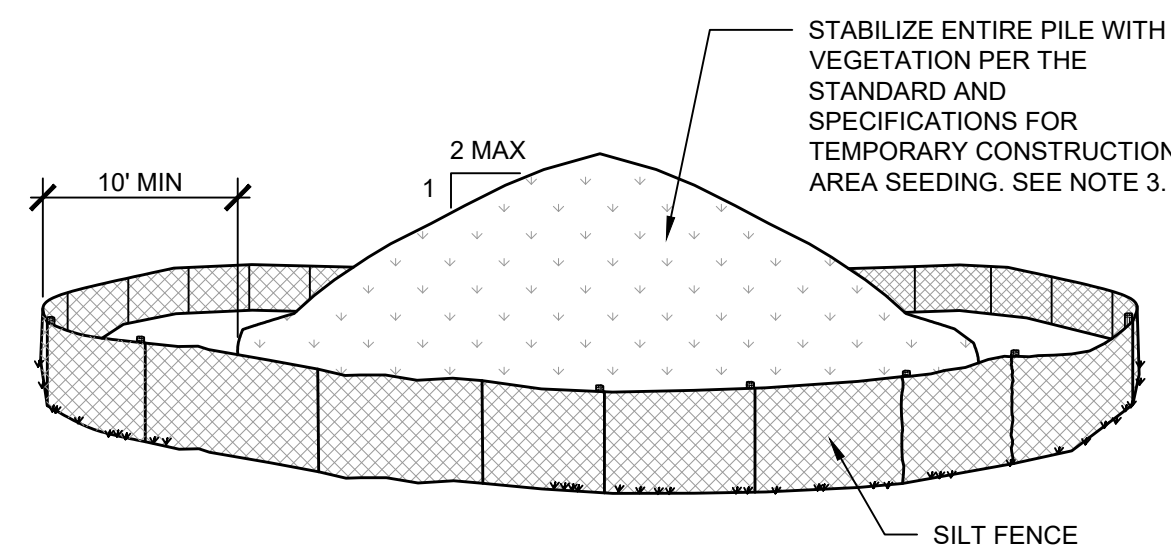
- NOTES:**
- UTILIZE PLATFORM BASE POST FENCING ON PAVED SURFACES.

**TEMPORARY SITE ENCLOSURE FENCE**  
Scale: NTS WITH SURFACE STABILIZER



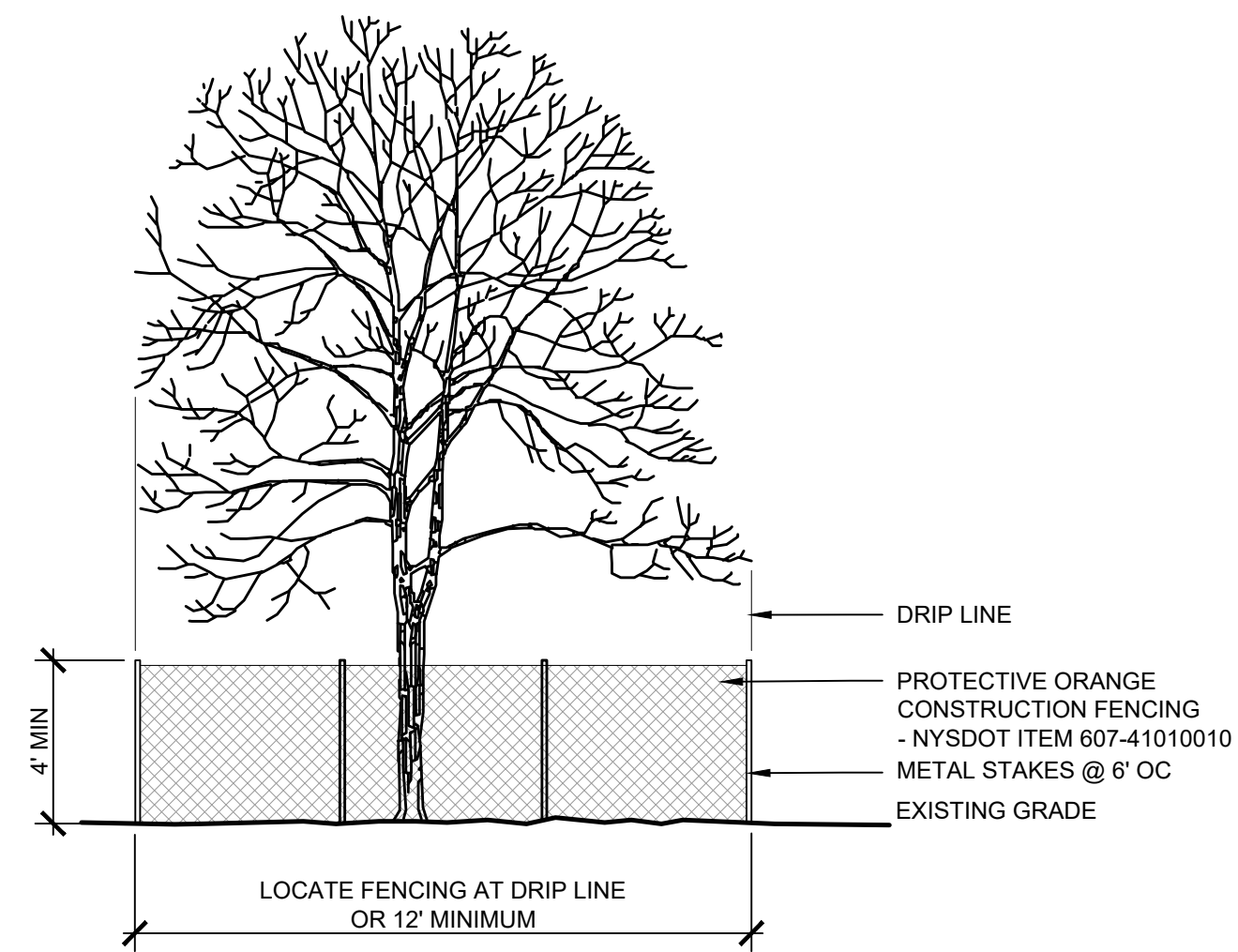
- NOTES:**
- CONSTRUCTION ACCESS STONE SIZE - USE A 50% TO 50% MIX OF NYSDOT #4 AND #5 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - GEOTEXTILE:
    - MIRAFI 500X OR APPROVED EQUAL.
    - SHALL BE PLACED UNDER THE ENTIRE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED ACROSS THE STABILIZED CONSTRUCTION ACCESS. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE USED.
  - MAINTENANCE - THE CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ACCESS ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO A NYSDEC APPROVED SEDIMENT TRAPPING DEVICE.
  - TRAINED CONTRACTOR SHALL PROVIDE DAILY INSPECTIONS.

**STABILIZED CONSTRUCTION ACCESS**  
Scale: NTS TEMPORARY

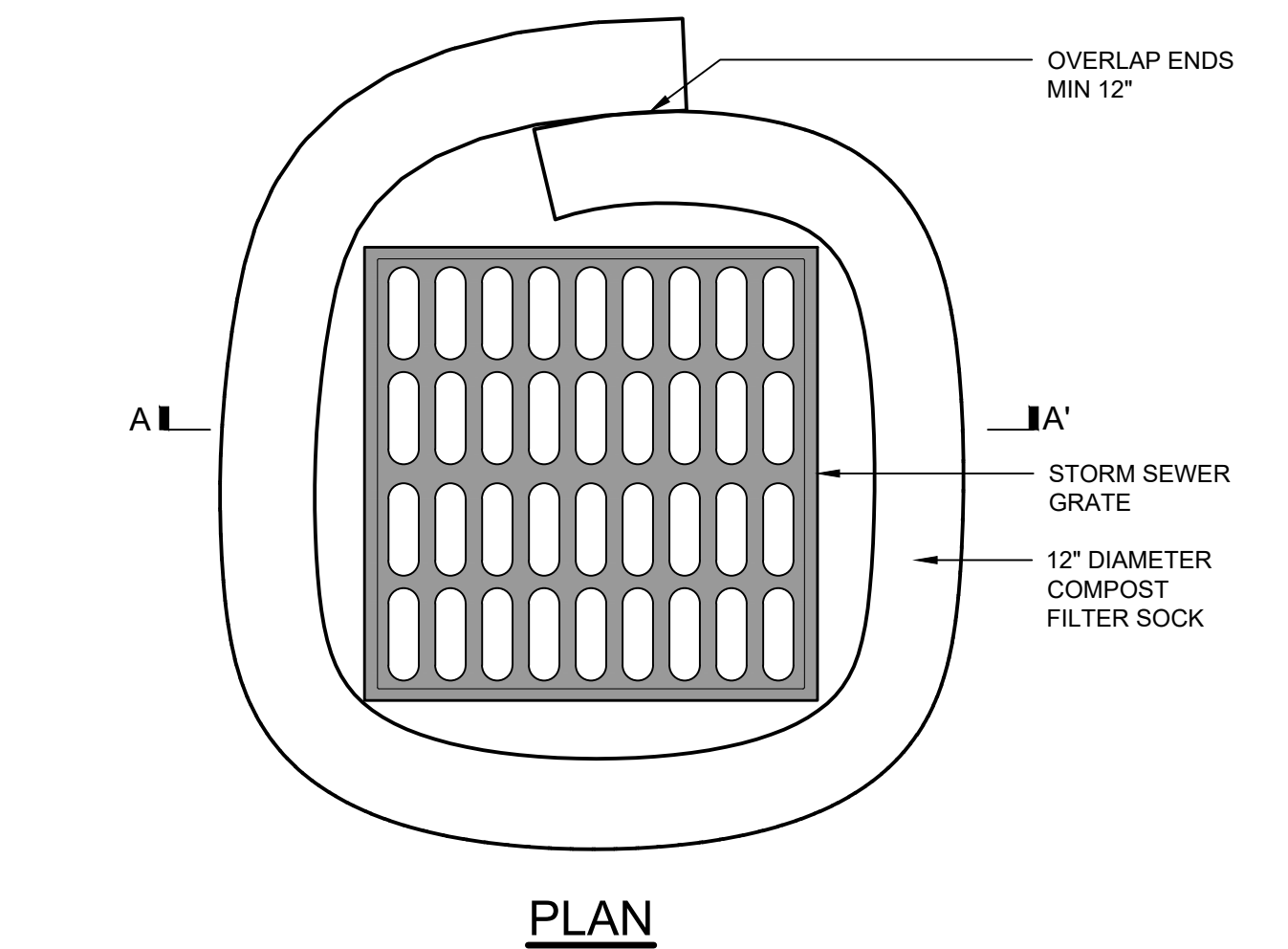
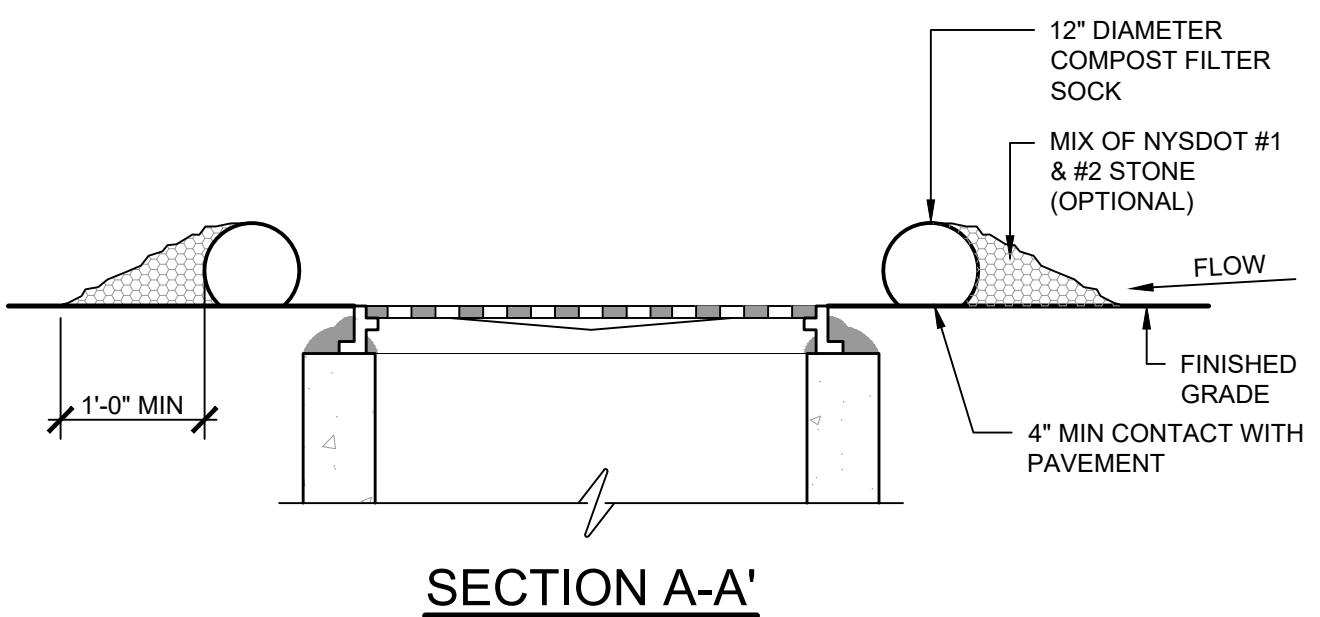


- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY, STABILIZED AND LOCATED AWAY FROM KNOWN WORK AREAS TO PREVENT RELOCATION.
  - MAXIMUM STOCKPILE HEIGHT SHALL BE 12 FEET.
  - EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, INSTALLED PER SILT FENCE DETAIL, THEN STABILIZED IN ACCORDANCE WITH THE NYSDEC STANDARD AND SPECIFICATIONS FOR TEMPORARY CONSTRUCTION AREA SEEDING WITHIN 7 DAYS OF COMPLETION.
  - A PERIMETER DIKE/SWALE SHALL BE LOCATED UP-SLOPE OF THE TOPSOIL STOCKPILE TO DIVERT STORMWATER AROUND THE STOCKPILE.

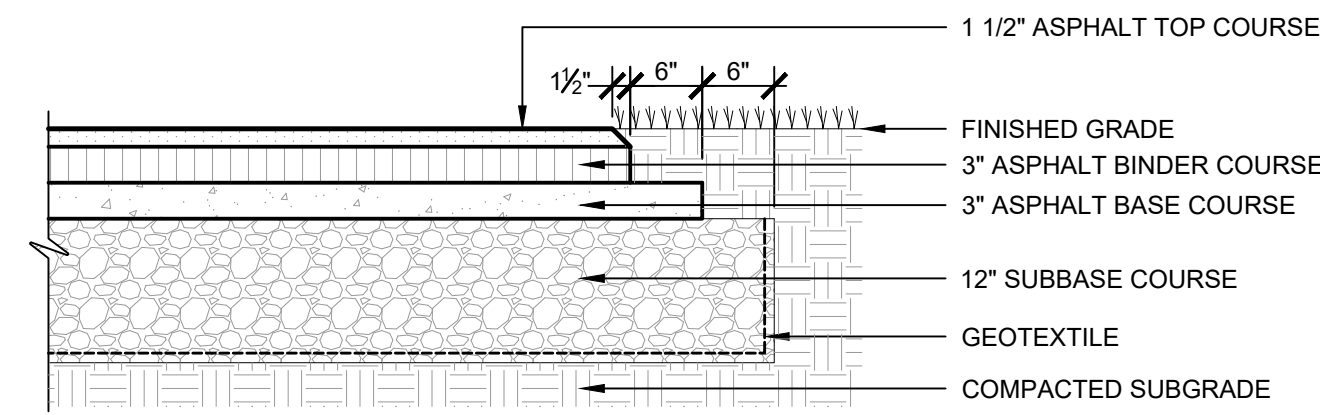
**STABILIZED SOIL STOCKPILE**  
Scale: NTS TEMPORARY



Scale: NTS

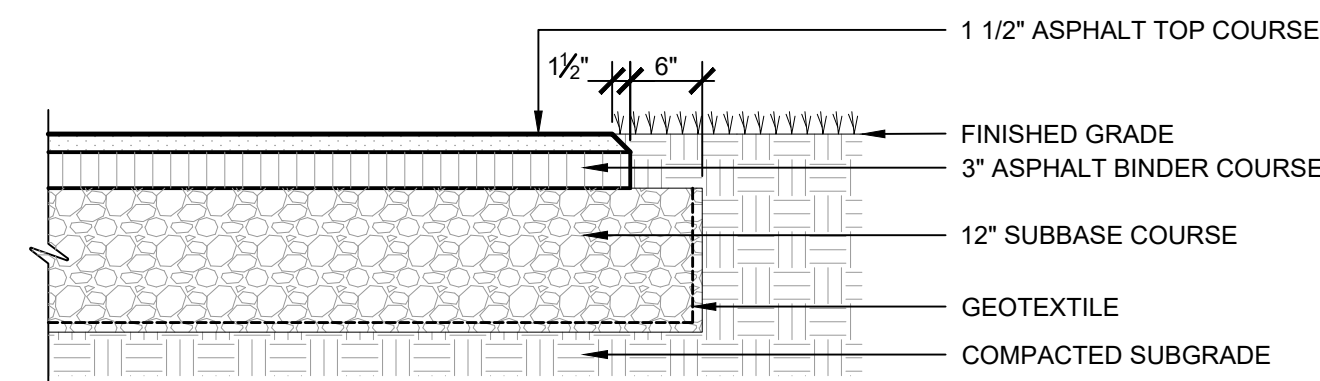


**INLET PROTECTION**  
Scale: NTS TEMPORARY



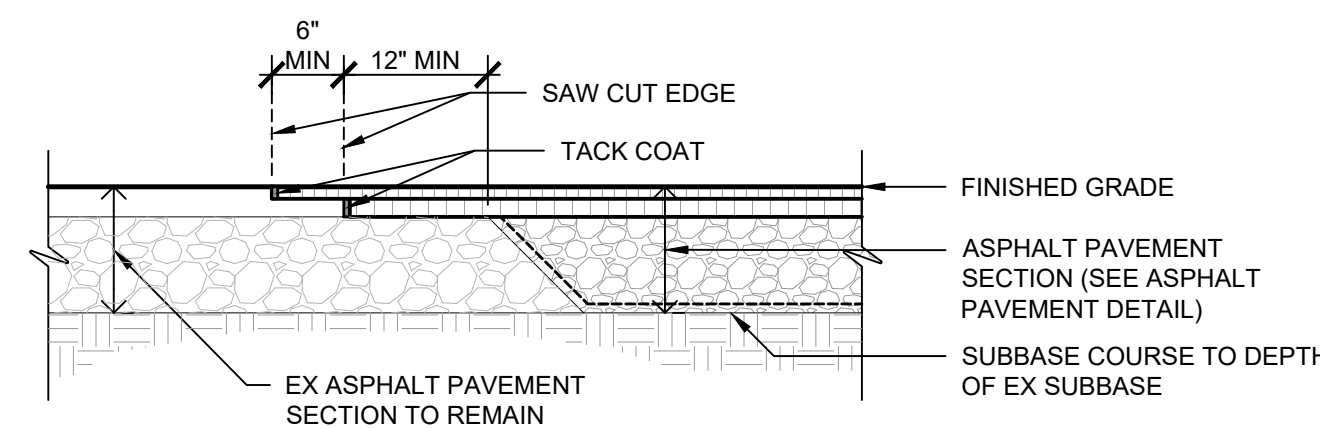
**ASPHALT - HEAVY DUTY PAVEMENT**

Scale: NTS



**ASPHALT - PAVEMENT**

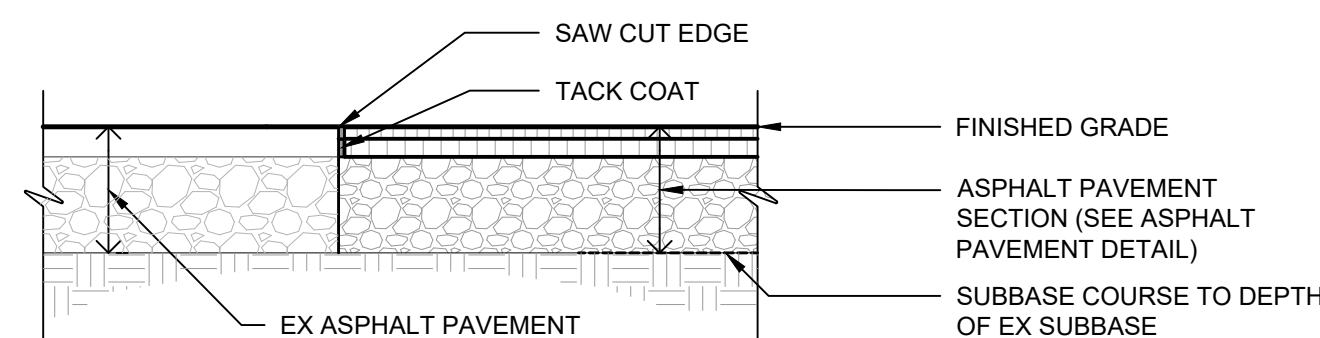
Scale: NTS



**ASPHALT - PAVEMENT JOINT**

Scale: NTS

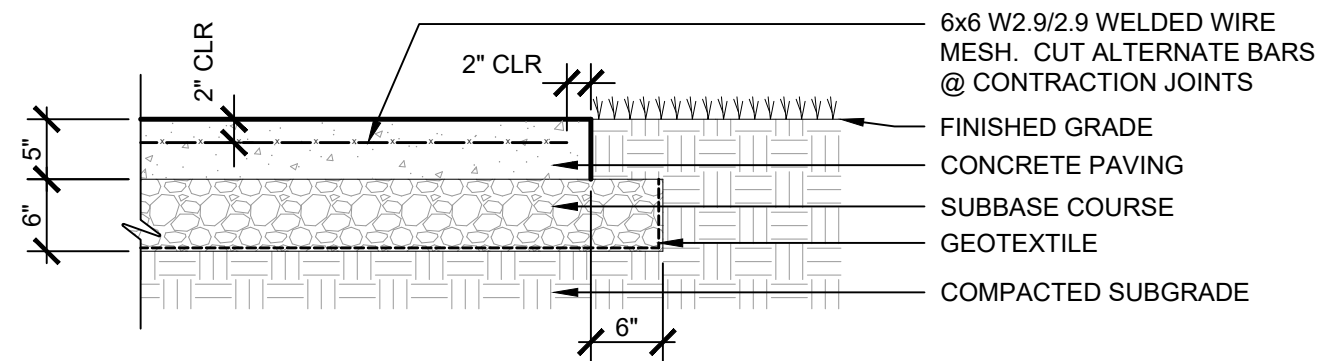
STAGGERED



**ASPHALT - PAVEMENT JOINT**

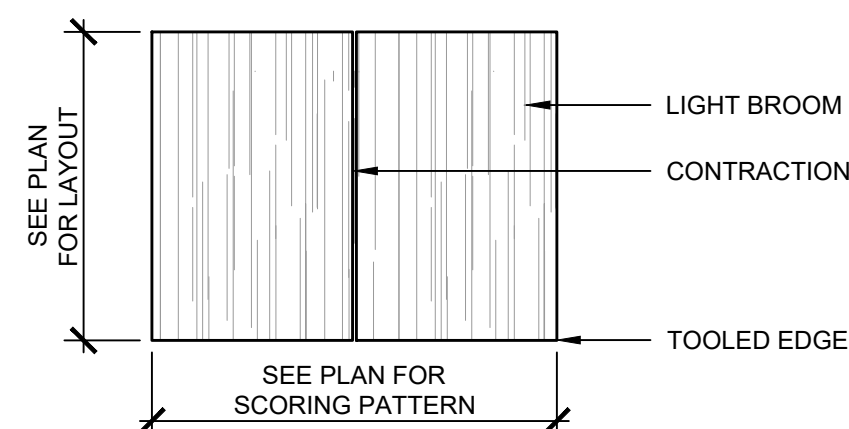
Scale: NTS

FULL DEPTH



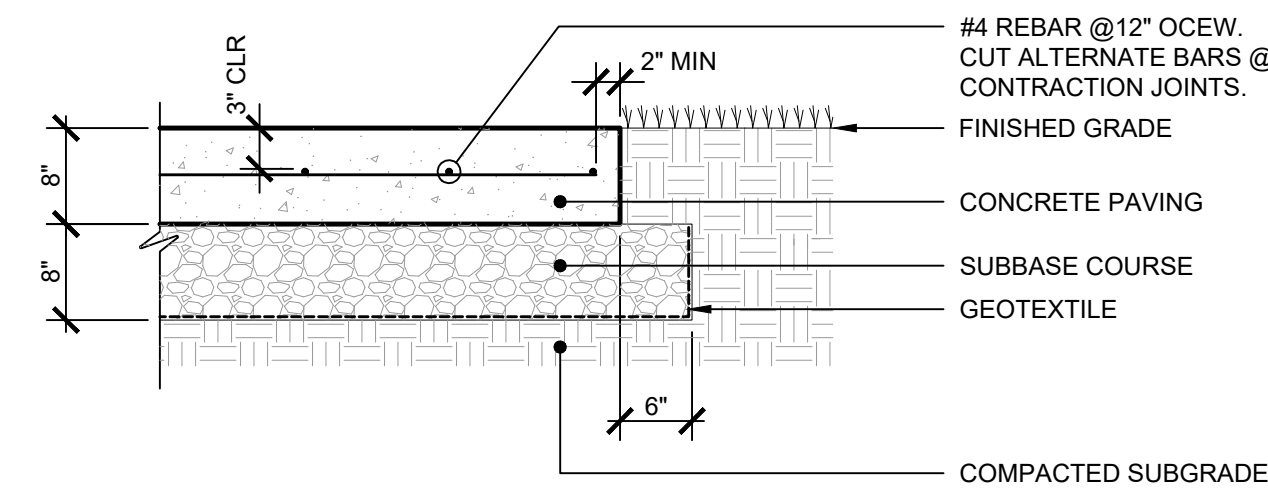
**CONCRETE - WALK**

Scale: NTS



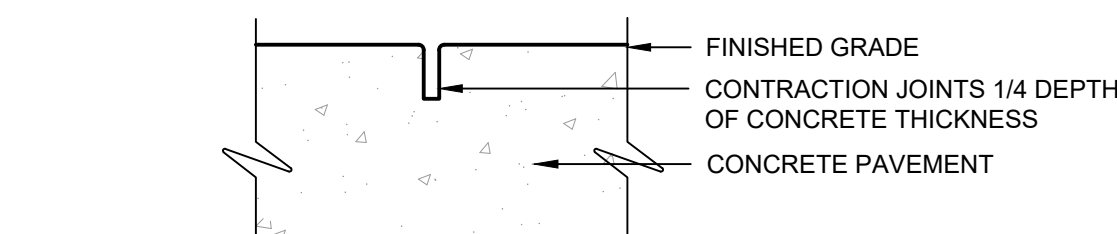
**CONCRETE - PAVEMENT FINISH**

Scale: NTS



**CONCRETE - DUMPSTER PAD**

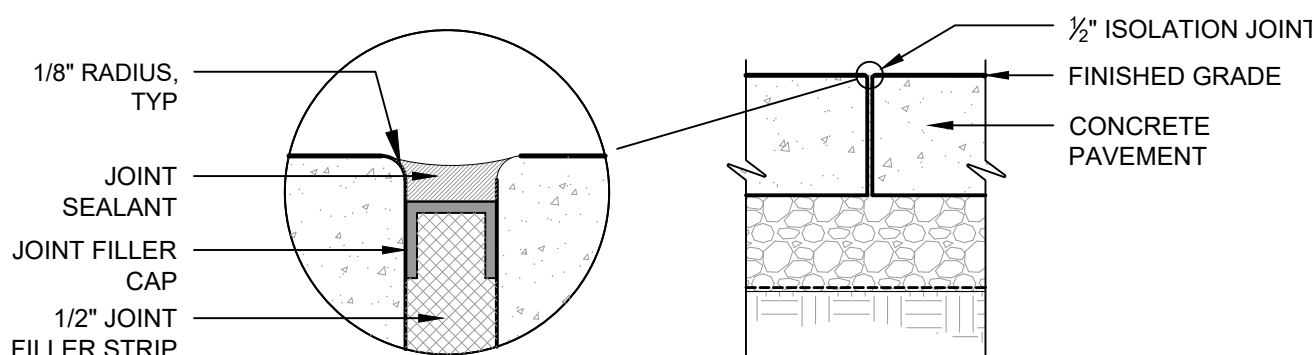
Scale: NTS



NOTES:  
1. TOOLED CONTRACTION JOINTS.

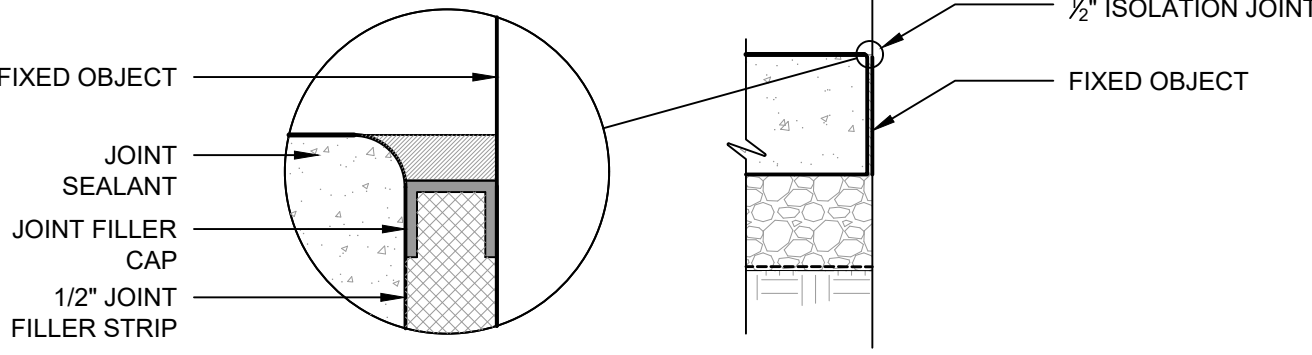
**CONTRACTION JOINT**

Scale: NTS



**EXPANSION JOINT**

Scale: NTS

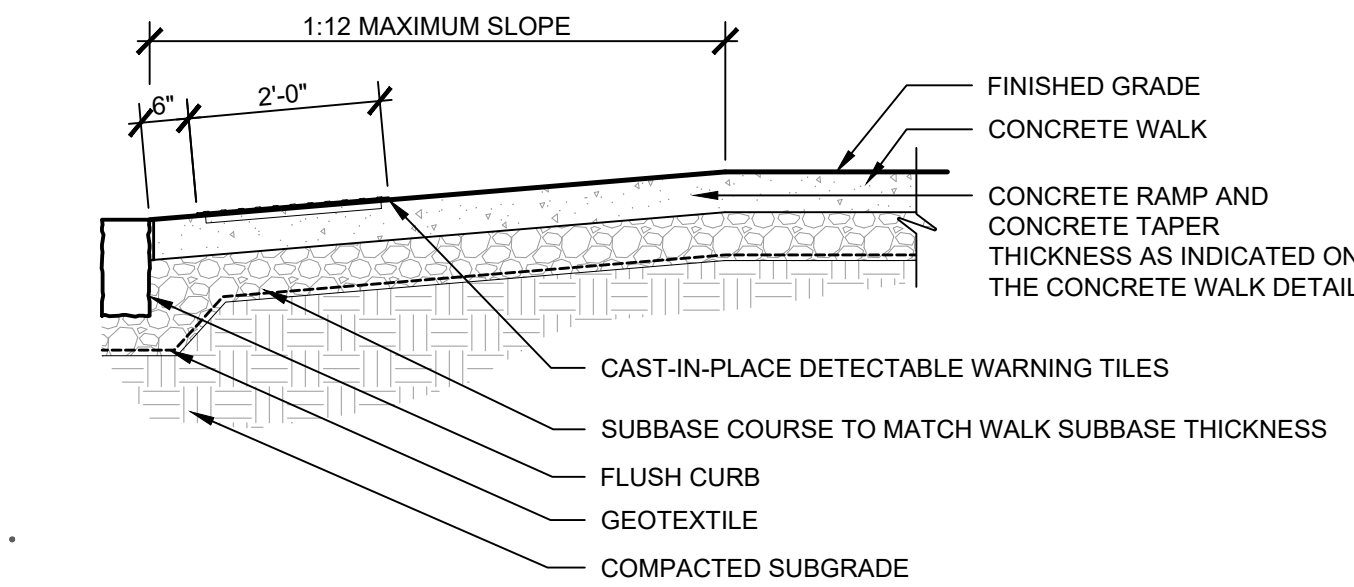


**ISOLATION JOINT**

Scale: NTS

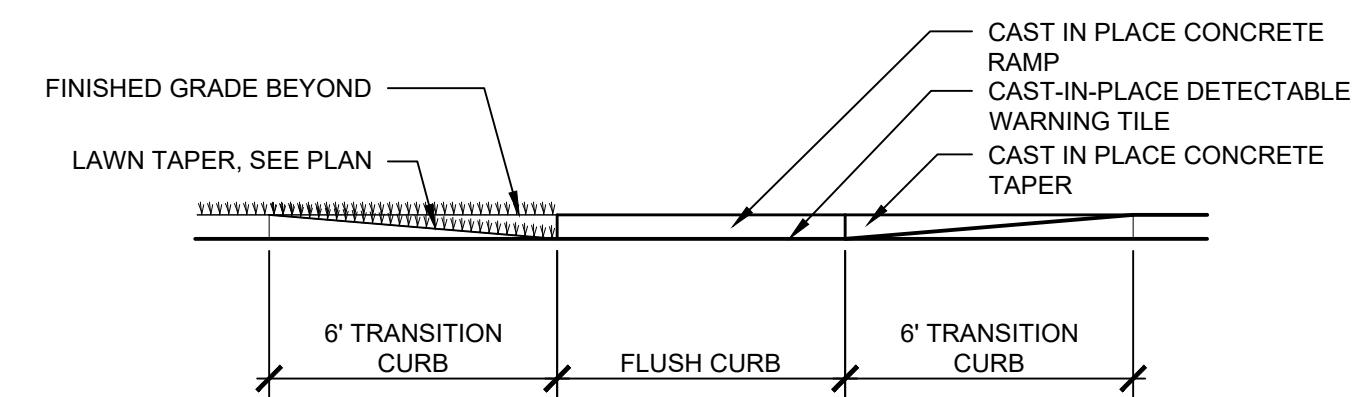
**CONCRETE - PAVEMENT JOINTS**

Scale: NTS



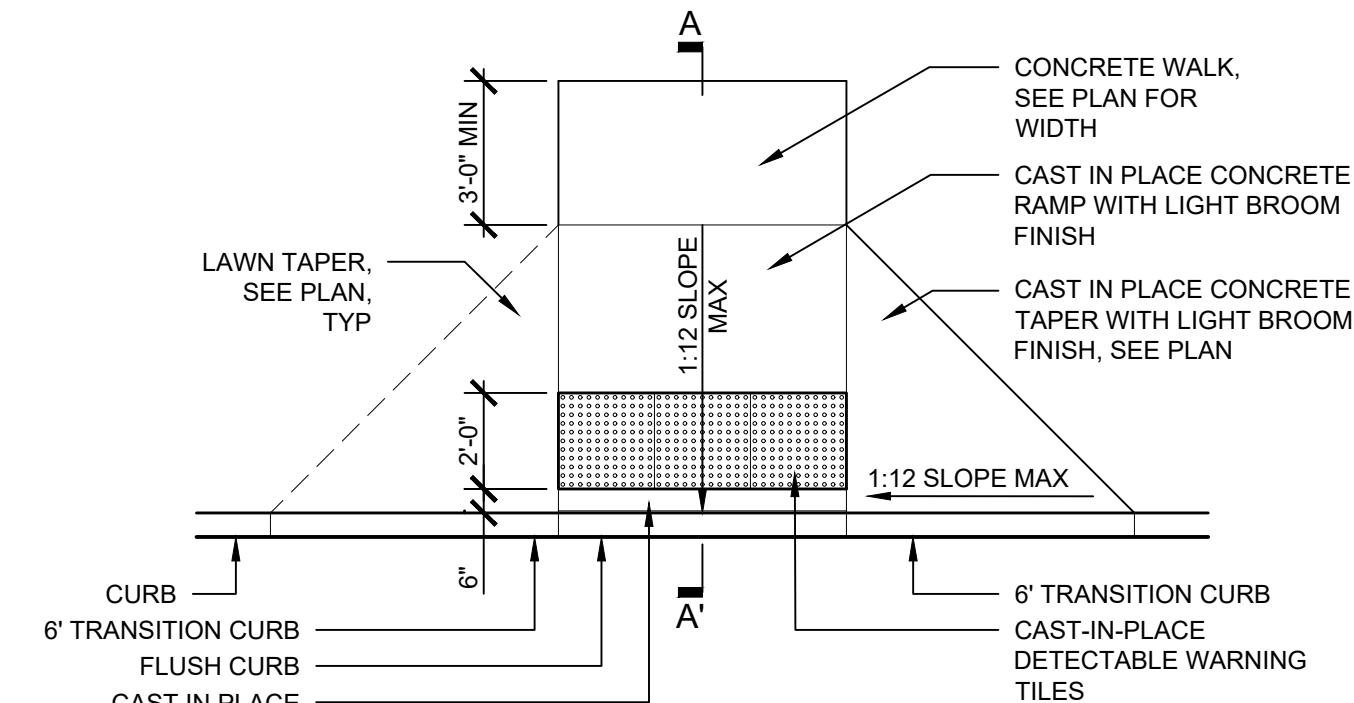
**SECTION A-A'**

Scale: NTS



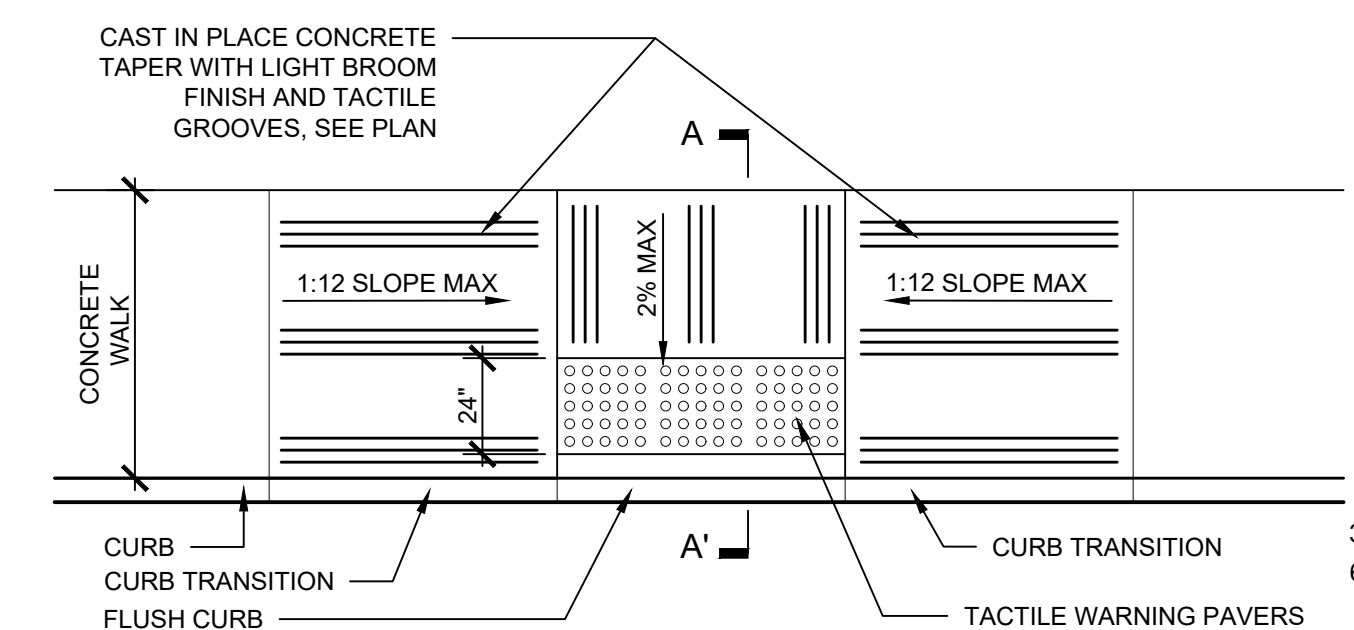
**ELEVATION**

Scale: NTS



**ADA RAMP - TYPE 1**

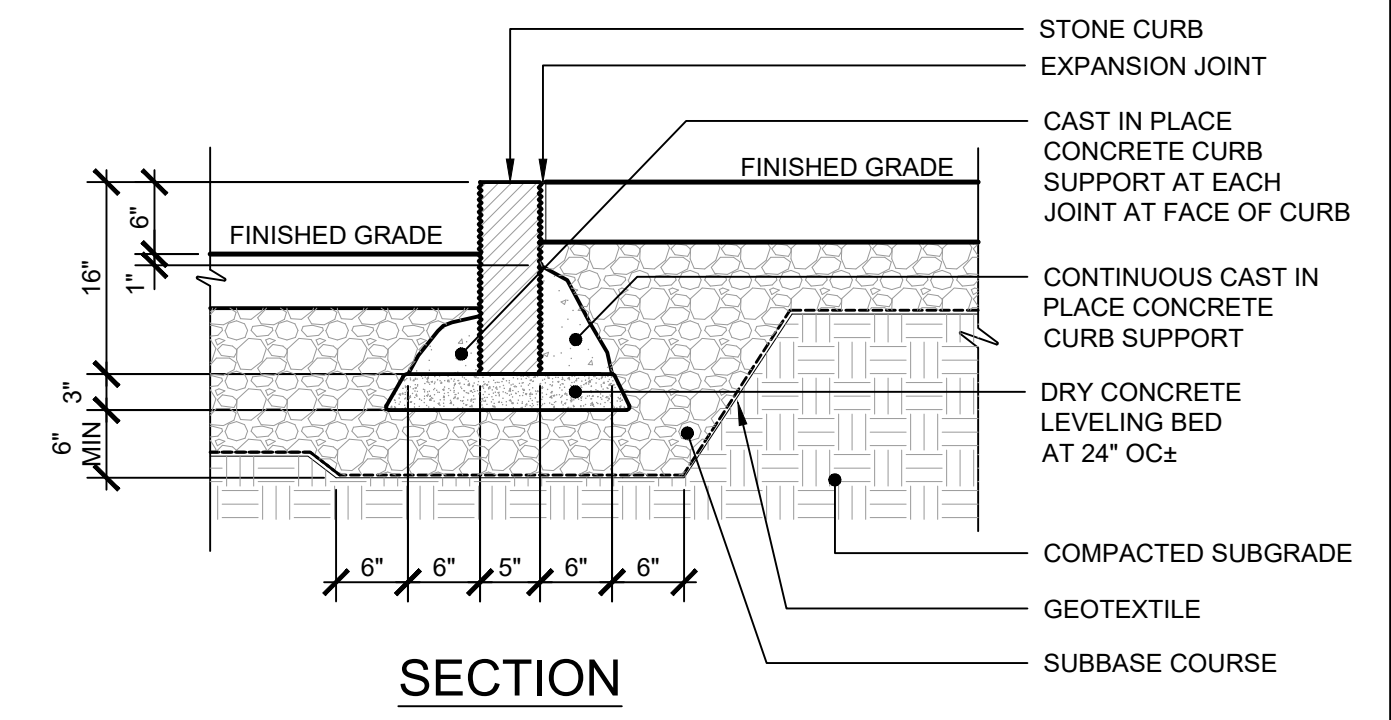
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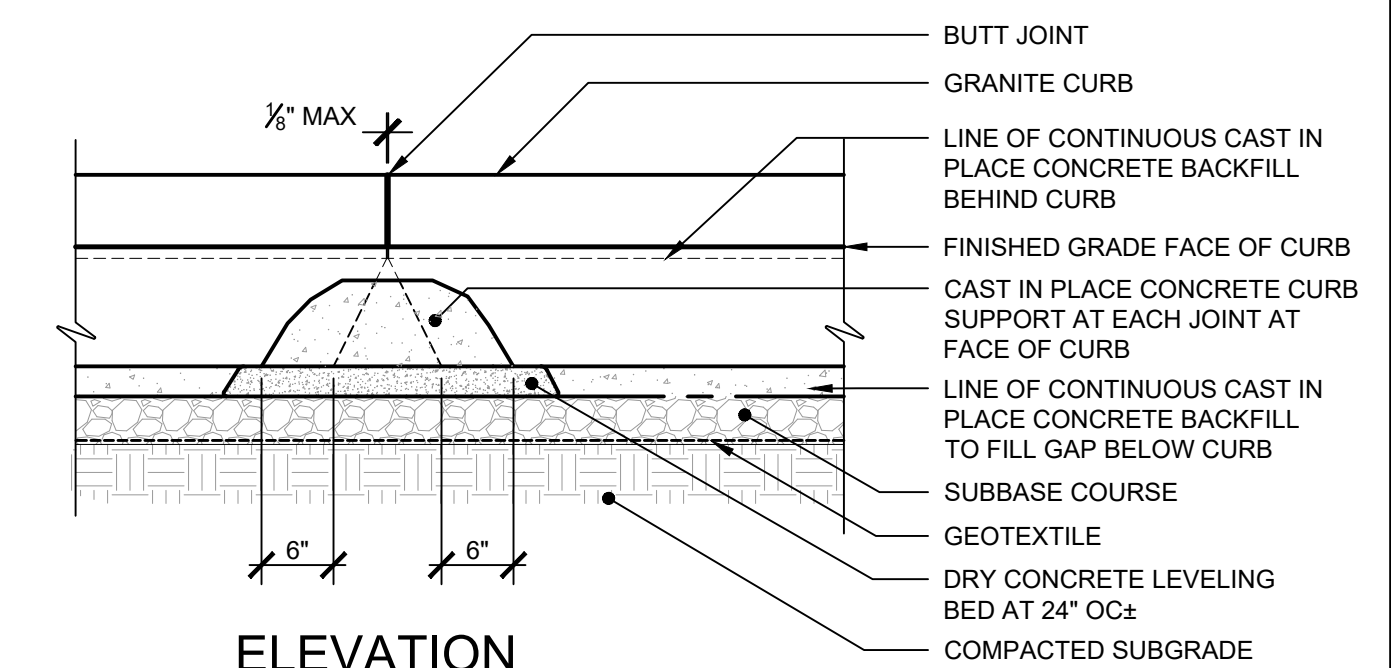
**ADA RAMP - TYPE 2**

Scale: NTS

PARALLEL TO CURB



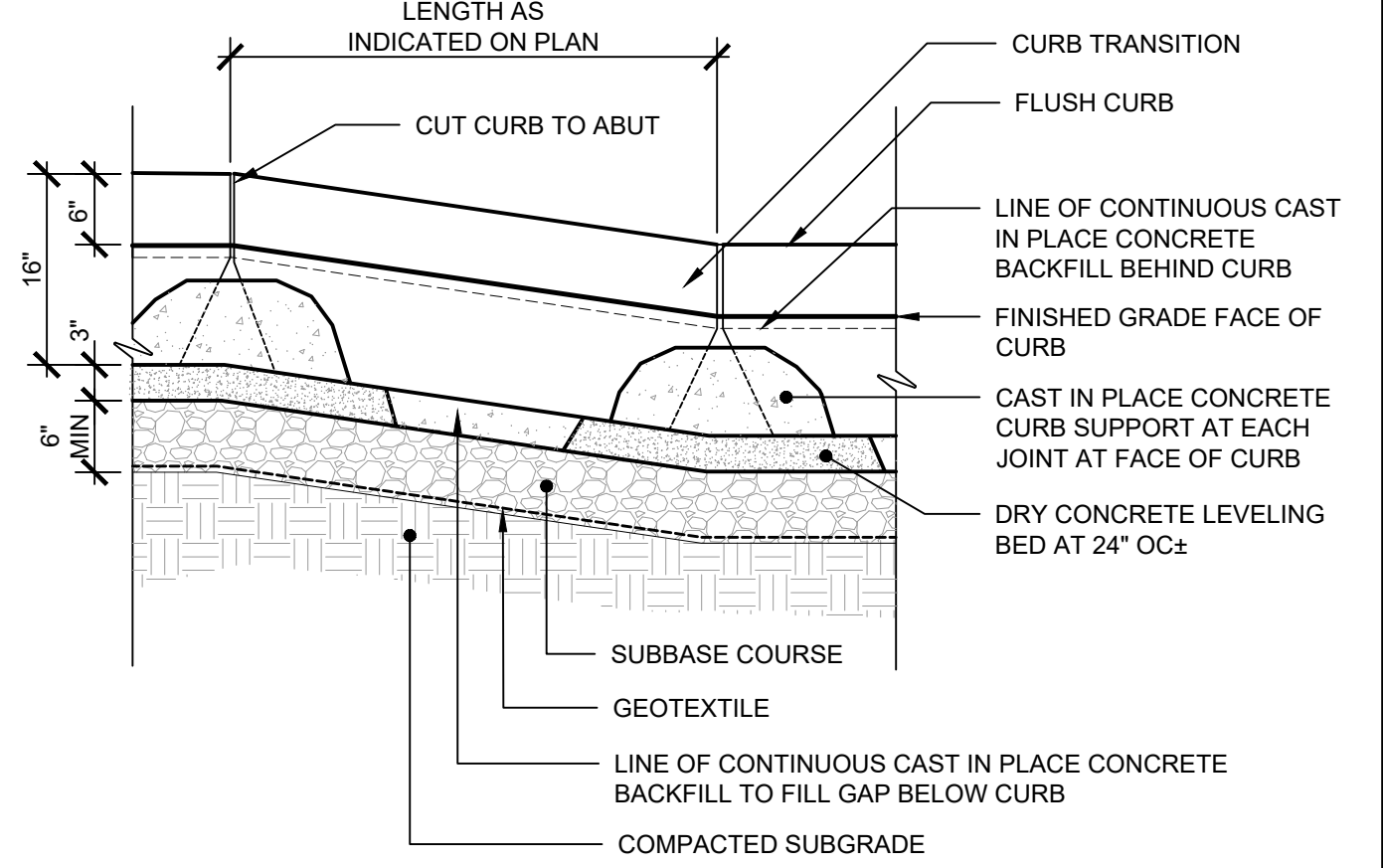
**SECTION**



**ELEVATION**

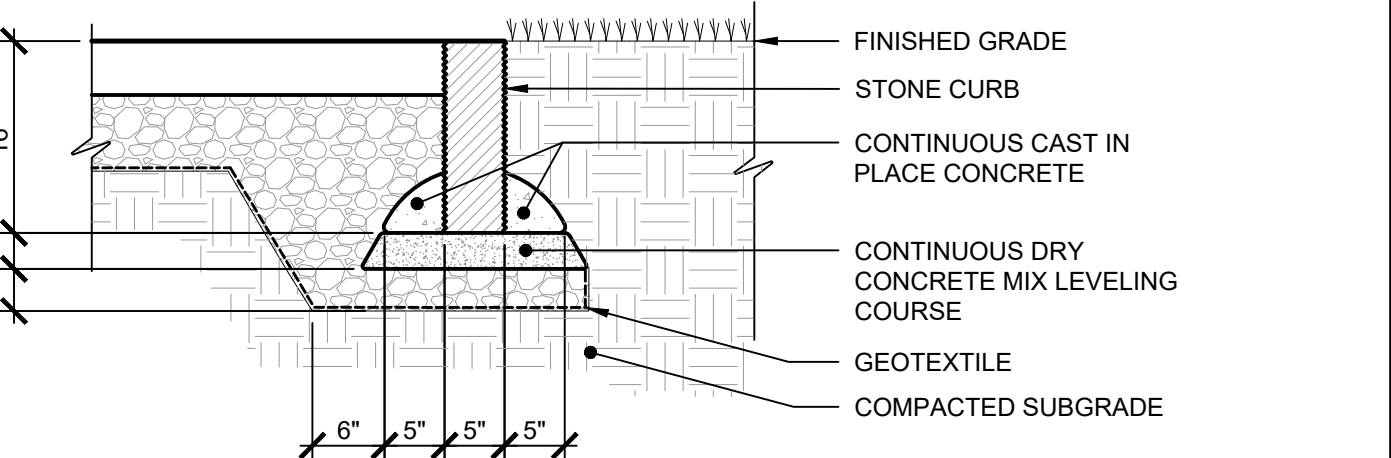
**STONE CURB**

Scale: NTS



**STONE CURB - TRANSITION**

Scale: NTS



**STONE CURB - FLUSH**

Scale: NTS



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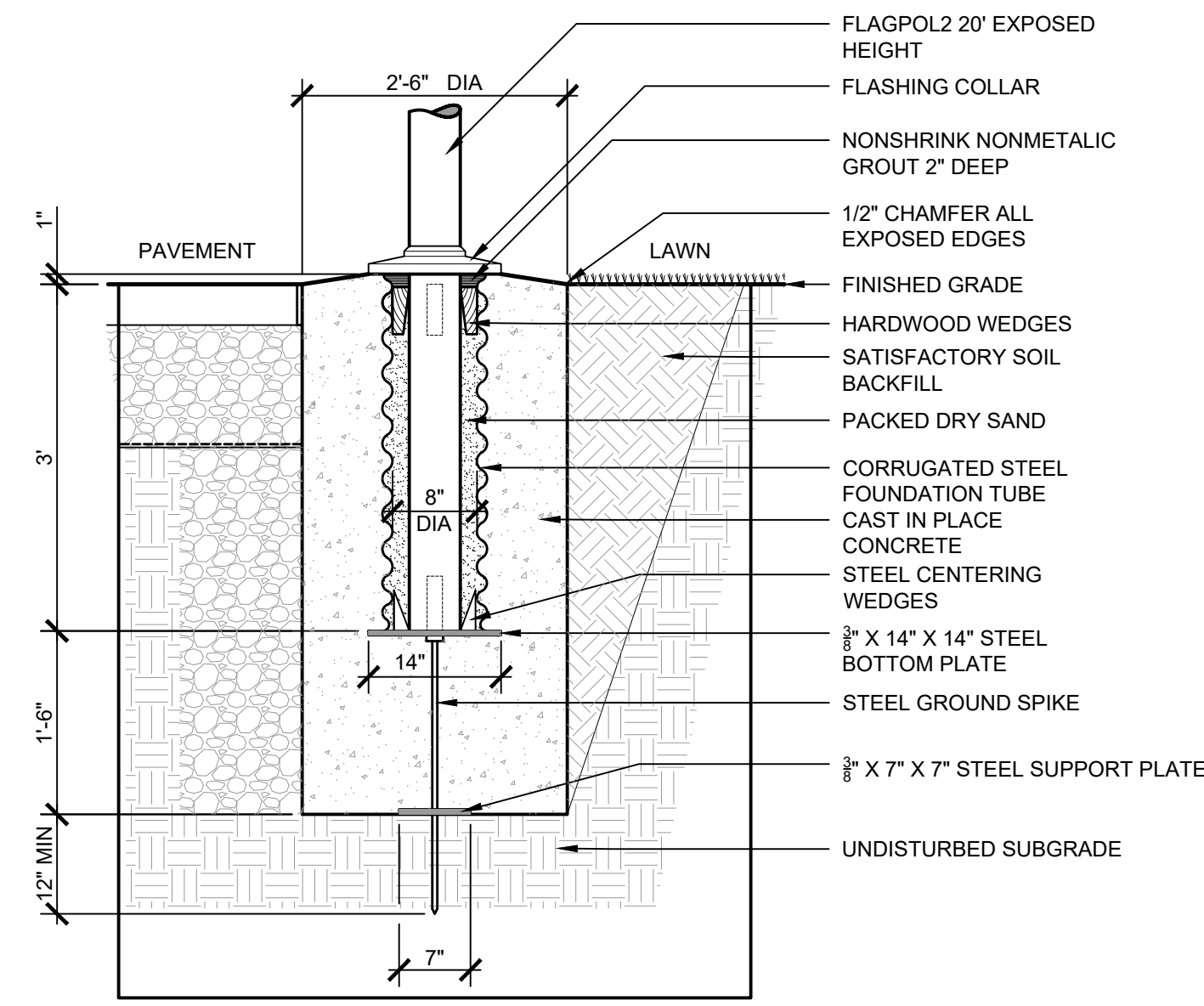
REVISIONS		
NO.	DESCRIPTION	DATE

**DETAILS**

Project Status	FOR PERMITTING
Date	07/19/2024
Project Number	23162
Drawn By	
Checked By	

**C-602**

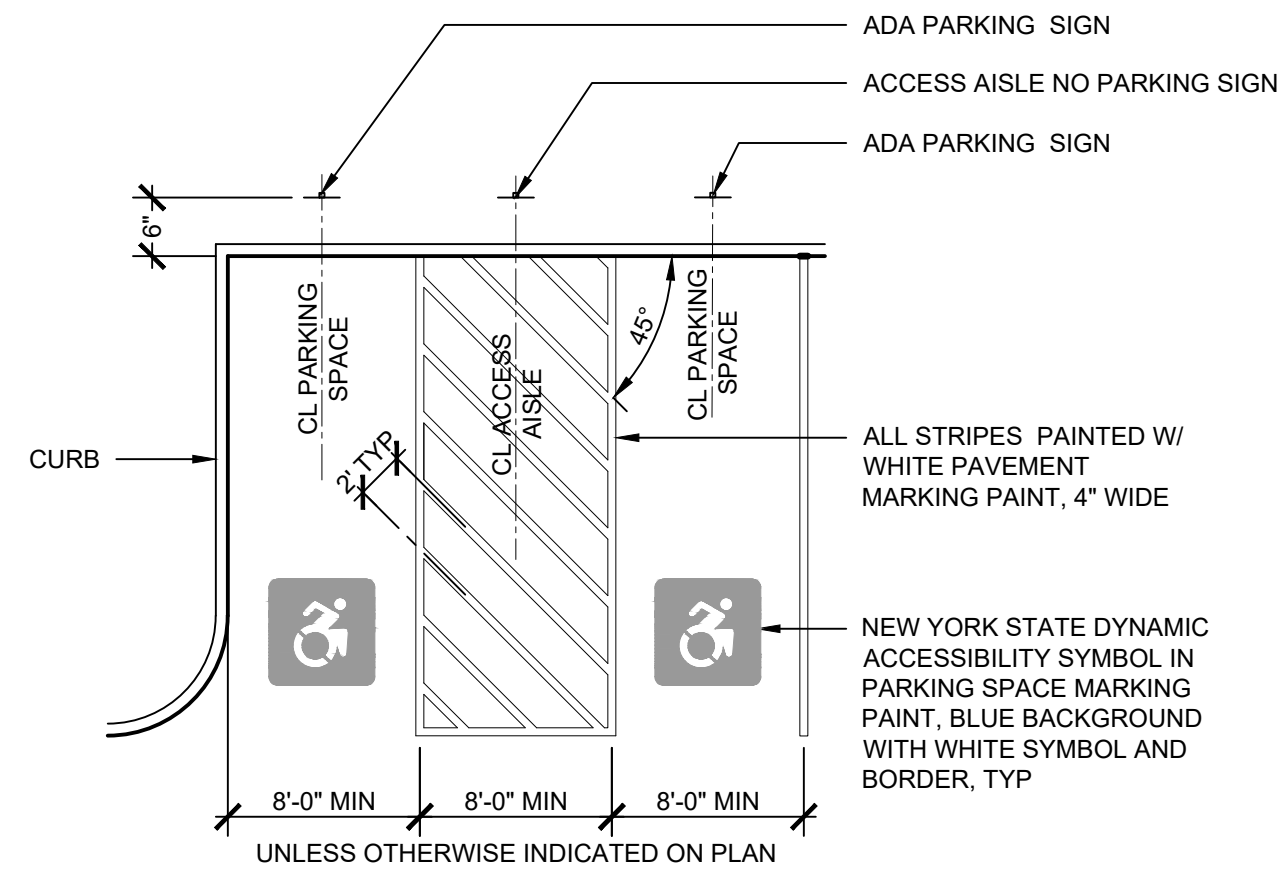




NOTE:  
1. USE SUBBASE FOR BACKFILL UNDER ALL PAVEMENT SECTIONS

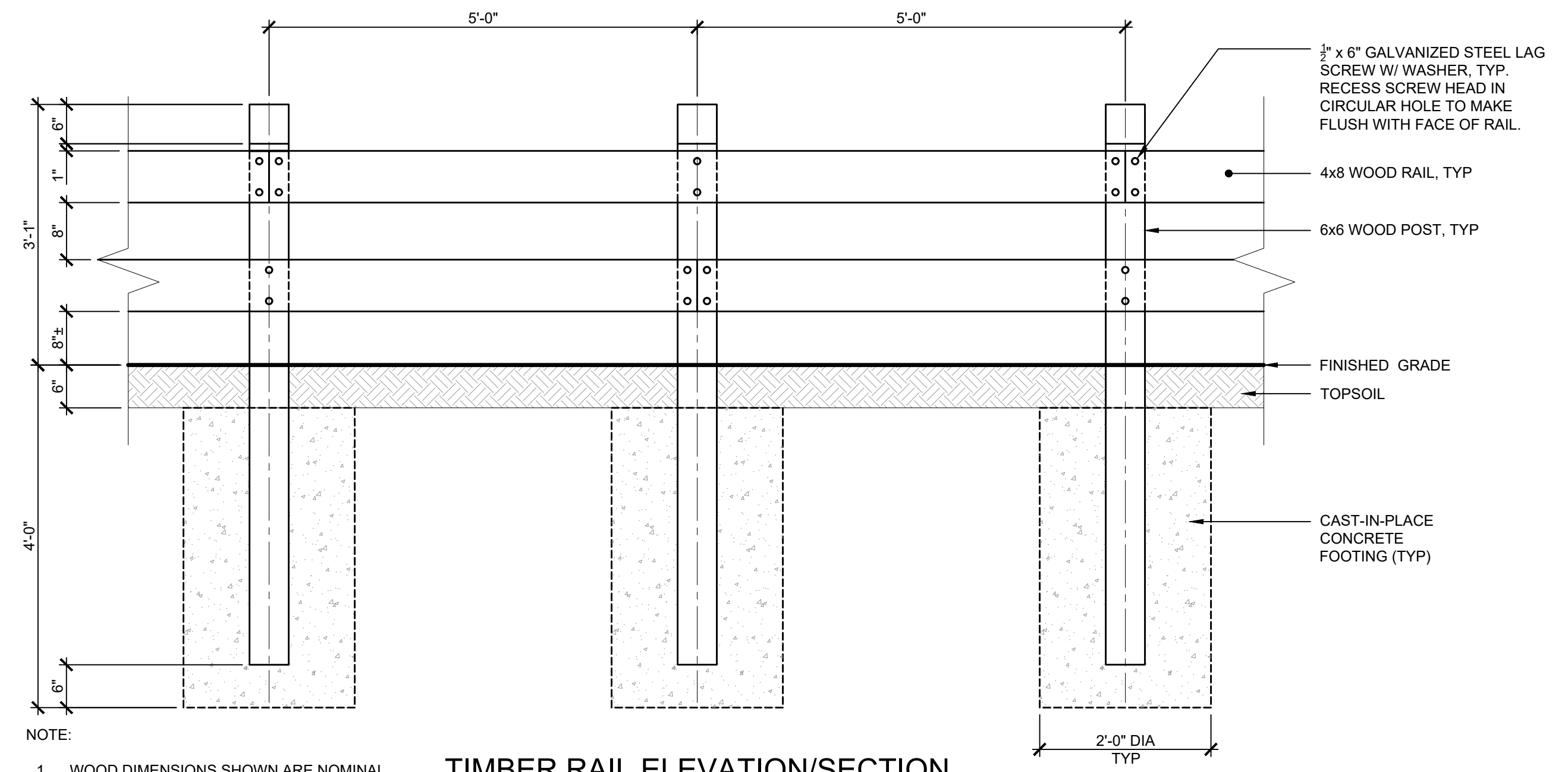
**CONCRETE FLAGPOLE BASE**

Scale: NTS



**ADA PAVEMENT MARKING**

Scale: NTS

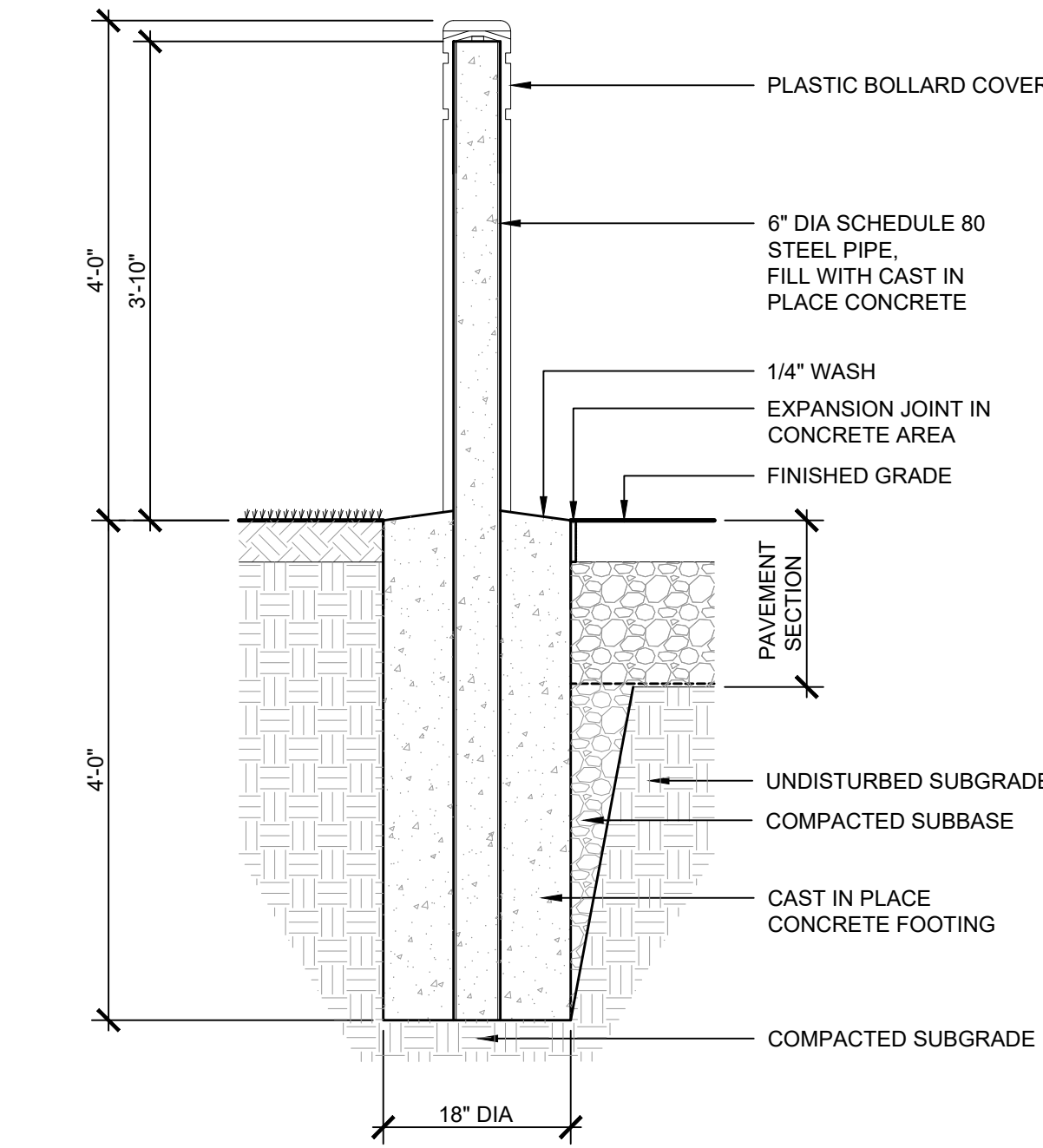


NOTE:  
1. WOOD DIMENSIONS SHOWN ARE NOMINAL  
2. ALL WOOD SHALL BE PRESSURE TREATED

**TIMBER RAIL ELEVATION/SECTION**

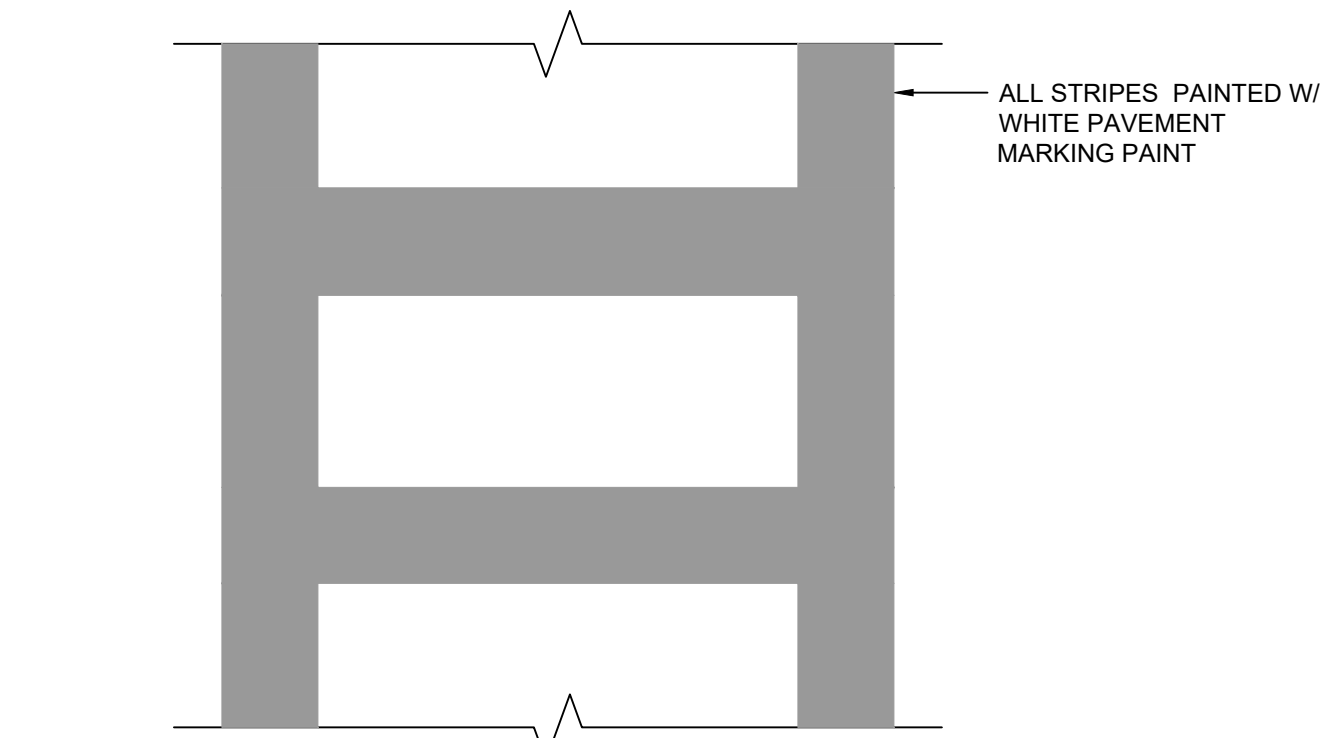
**TIMBER GUARDRAIL**

Scale: NTS



**BOLLARD - STEEL PIPE**

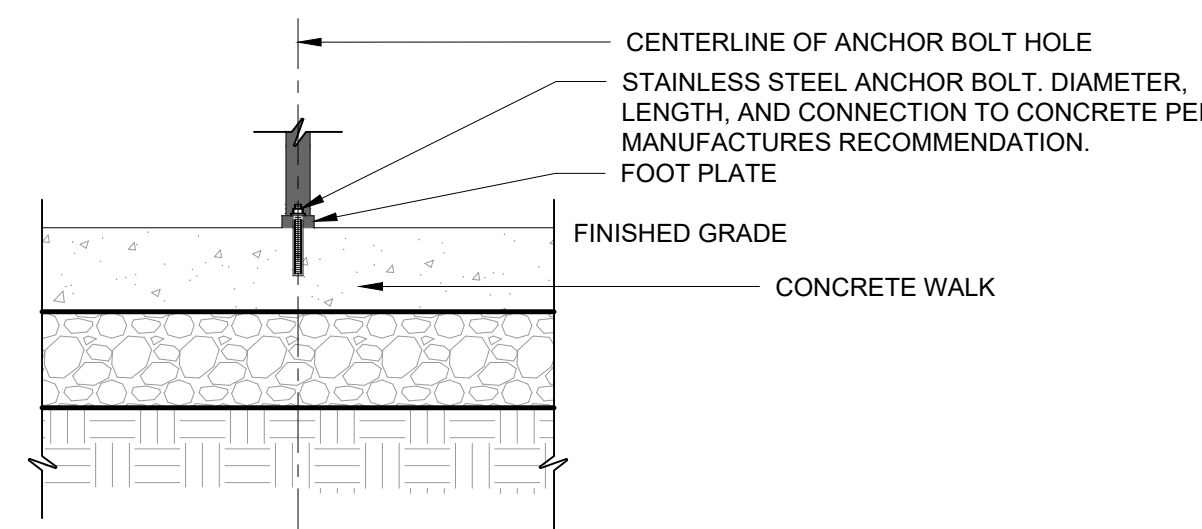
Scale: NTS



NOTES:  
1. MEET THE REQUIREMENTS OF NYS DOT STANDARD SHEETS FOR PAVEMENT MARKINGS, SHEET 2 OF 9, TYPICAL CROSSWALK DETAILS, COMBINED TYPE LS.

**CROSSWALK - PAVEMENT MARKINGS**

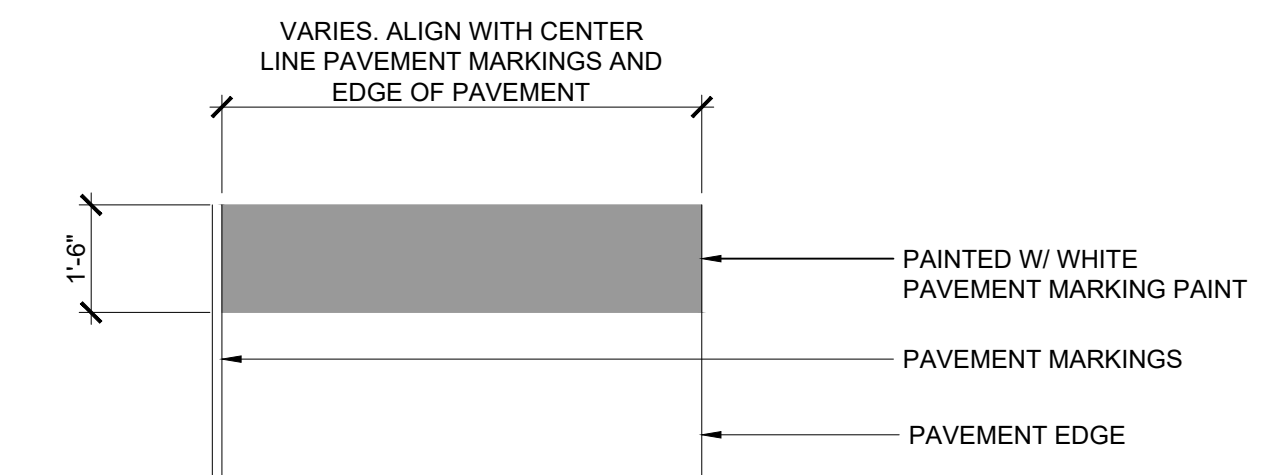
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**SITE FURNISHING - SURFACE MOUNT**

Scale: NTS

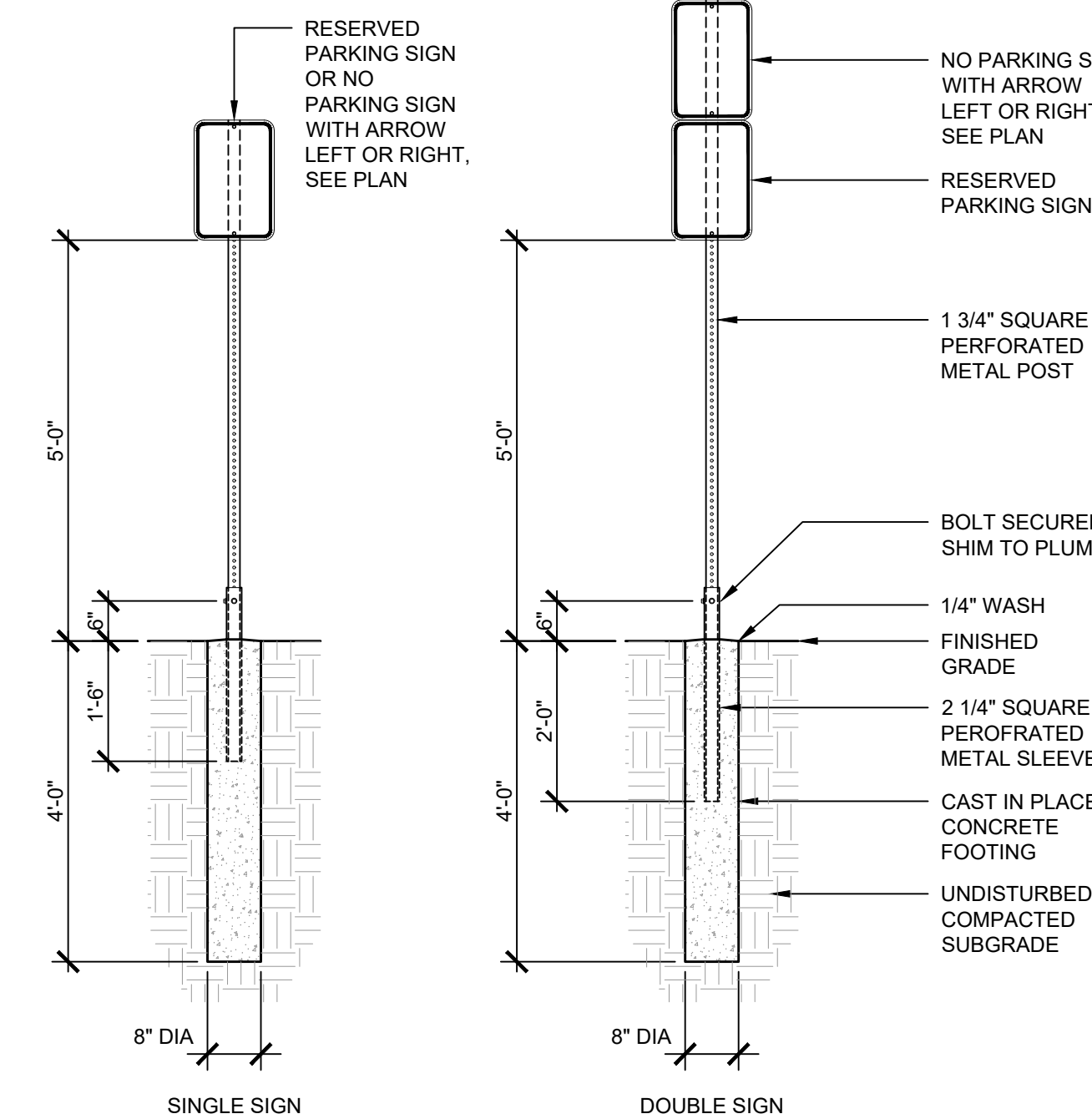
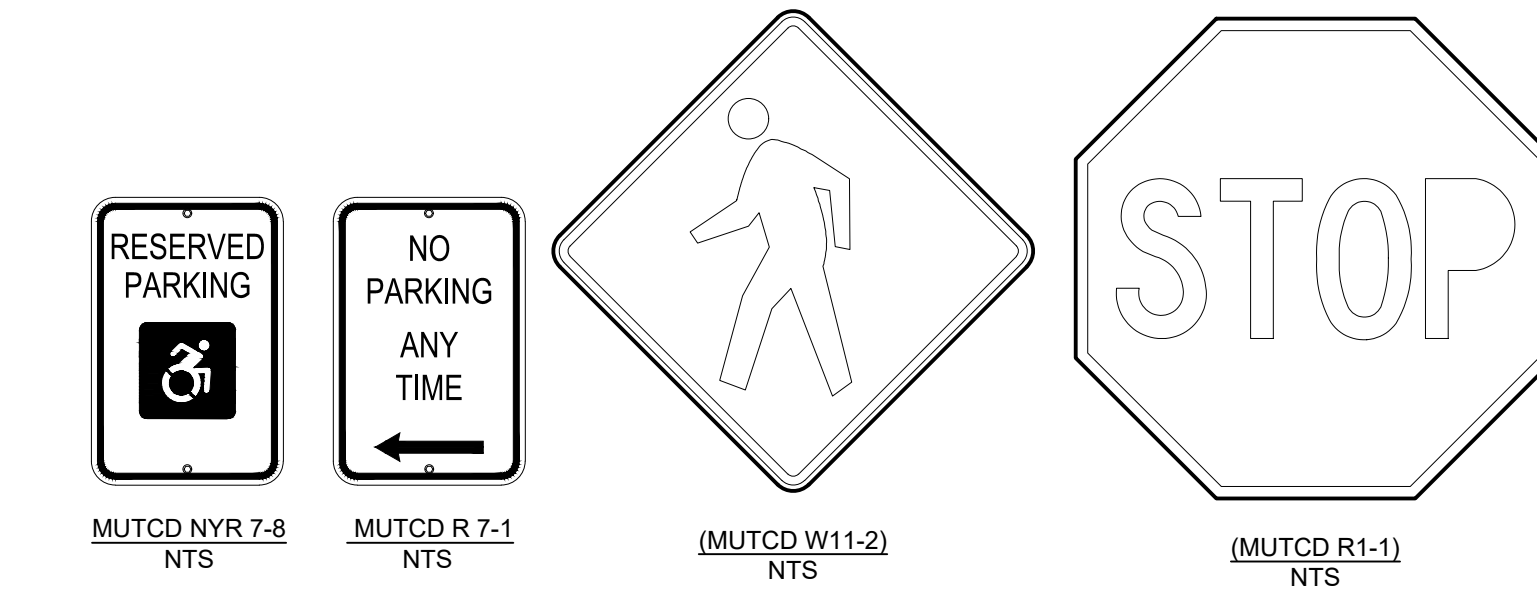
BICYCLE RACK



NOTE:  
1. MEET THE REQUIREMENTS OF NYS DOT STANDARD SHEETS FOR PAVEMENT MARKINGS, SHEET 2 OF 9, TYPICAL INTERSECTION MARKINGS DETAILS.

**STOP BAR- PAVEMENT MARKINGS**

Scale: NTS

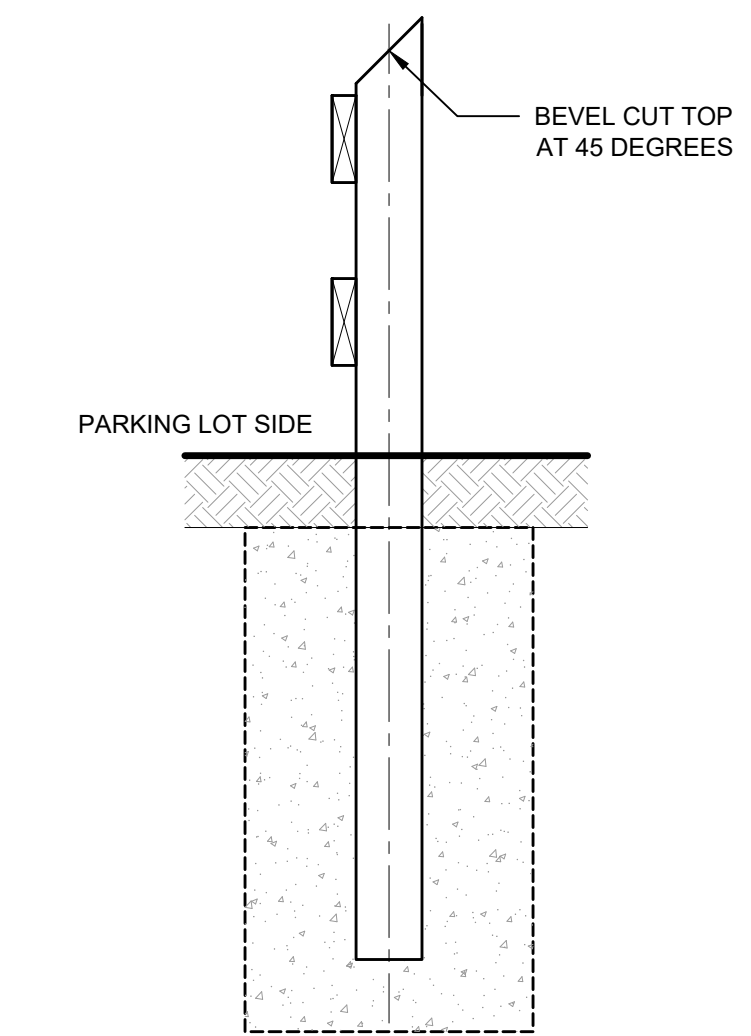


NOTE:  
ALL SIGNS SHALL BE SECURELY FASTENED TO POST USING 3/8" NON-CORROSIVE MACHINE BOLTS W/ WASHERS; 2 PER SIGN.

**TRAFFIC SIGNS - ADA PARKING SPACE**

Scale: NTS

IN GREEN SPACE



**TIMBER RAIL SIDE ELEVATION**

**TIMBER GUARDRAIL**

Scale: NTS



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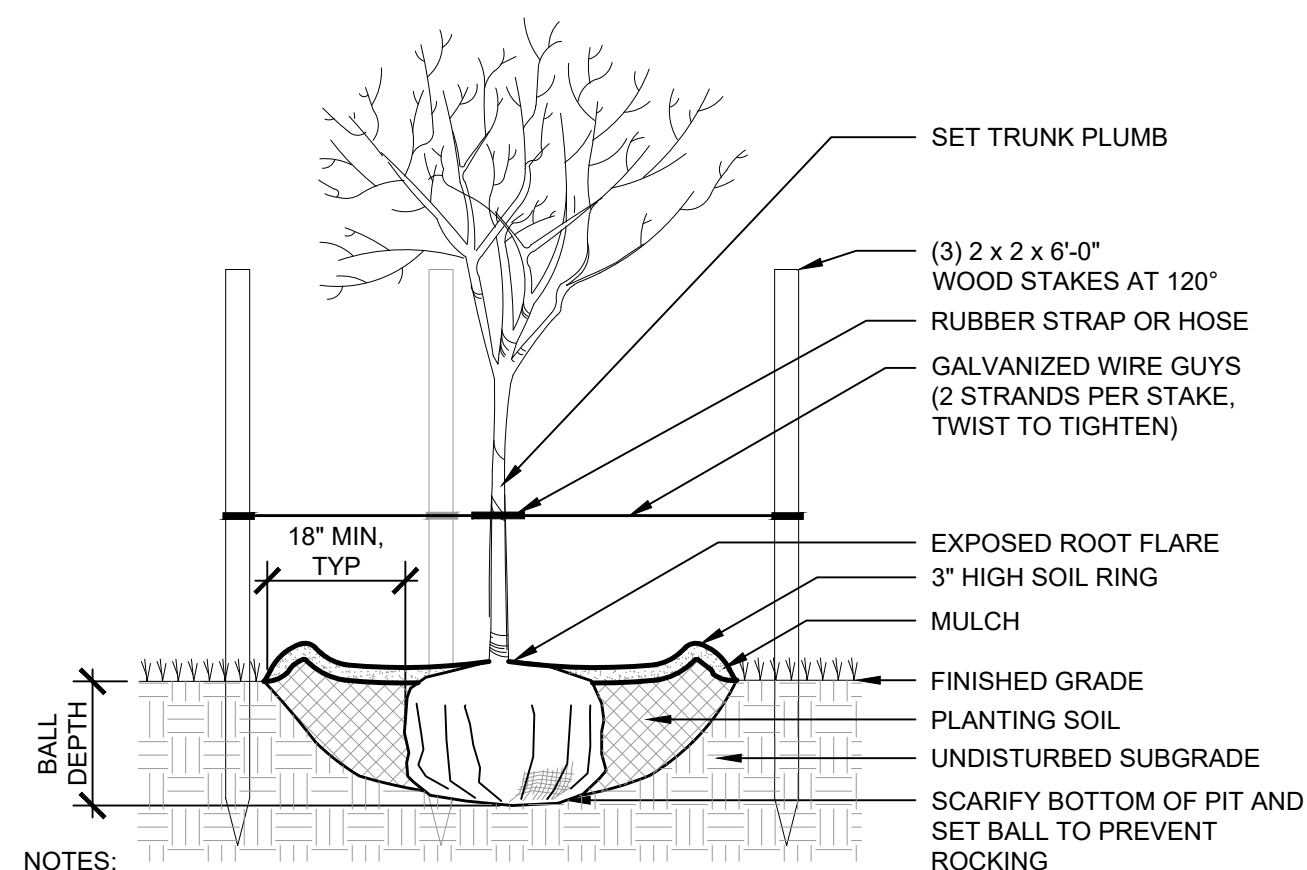
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REVISIONS		
NO.	DESCRIPTION	DATE

**DETAILS**

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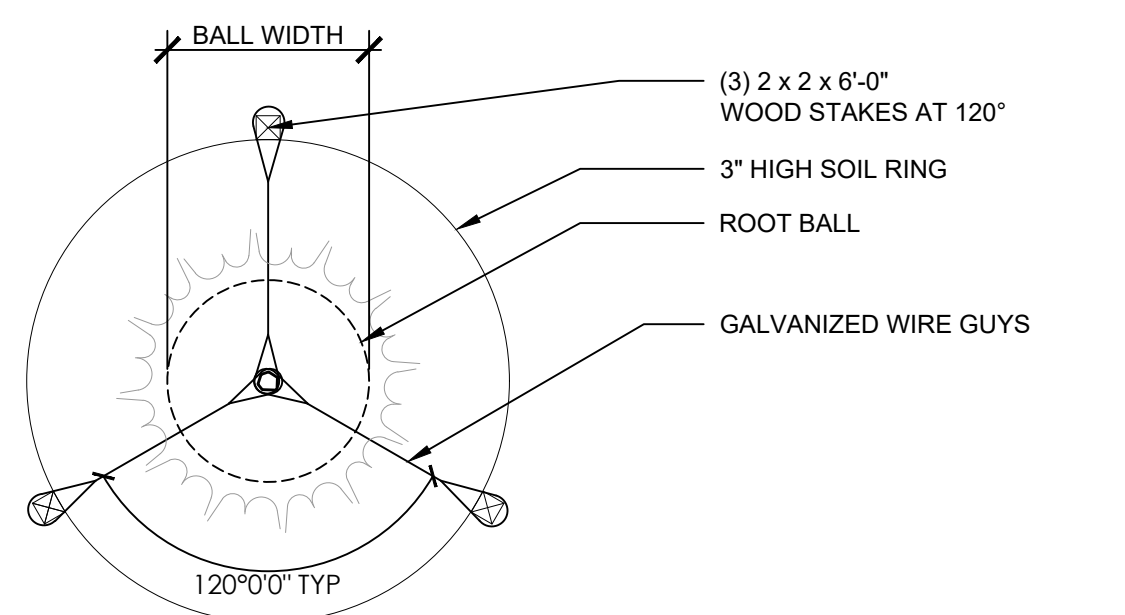
**C-603**



- NOTES:**
1. REMOVE BURLAP, ROPE, OR WIRE BASKET FROM TOP 1/3 OF BALL MINIMUM, CUT REMAINING PORTIONS OF ROPE OR WIRE BASKET ONCE PLANT IS IN THE FINAL POSITION IN PIT.
  2. TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE.

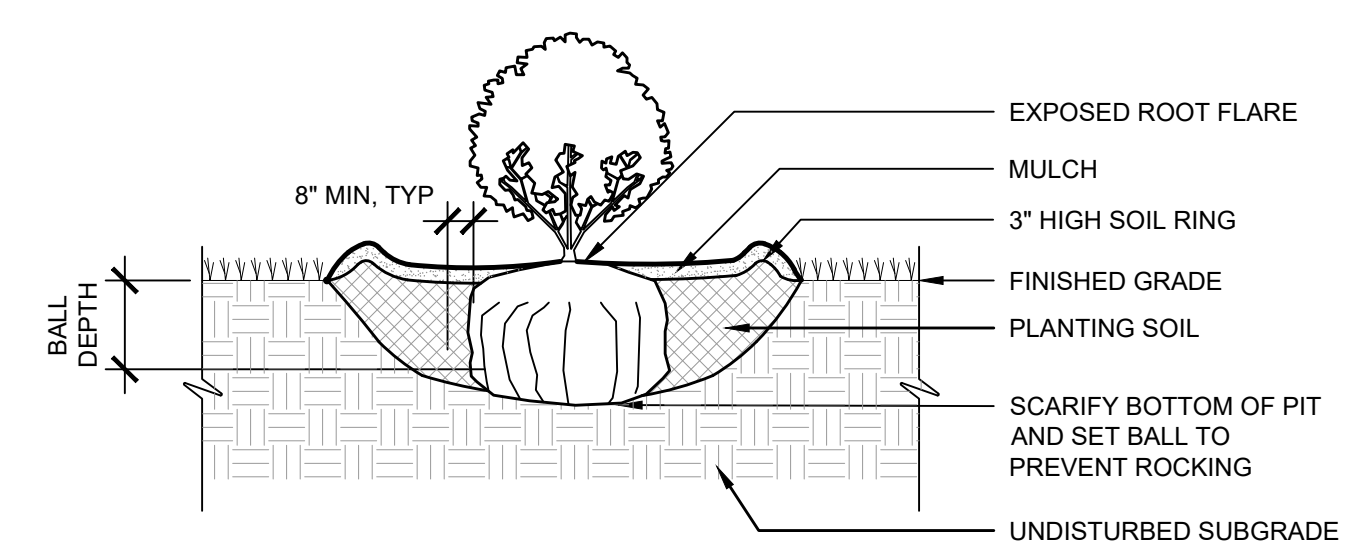
**PLANTING - DECIDUOUS TREE**

Scale: NTS



**TREE STAKING PLAN**

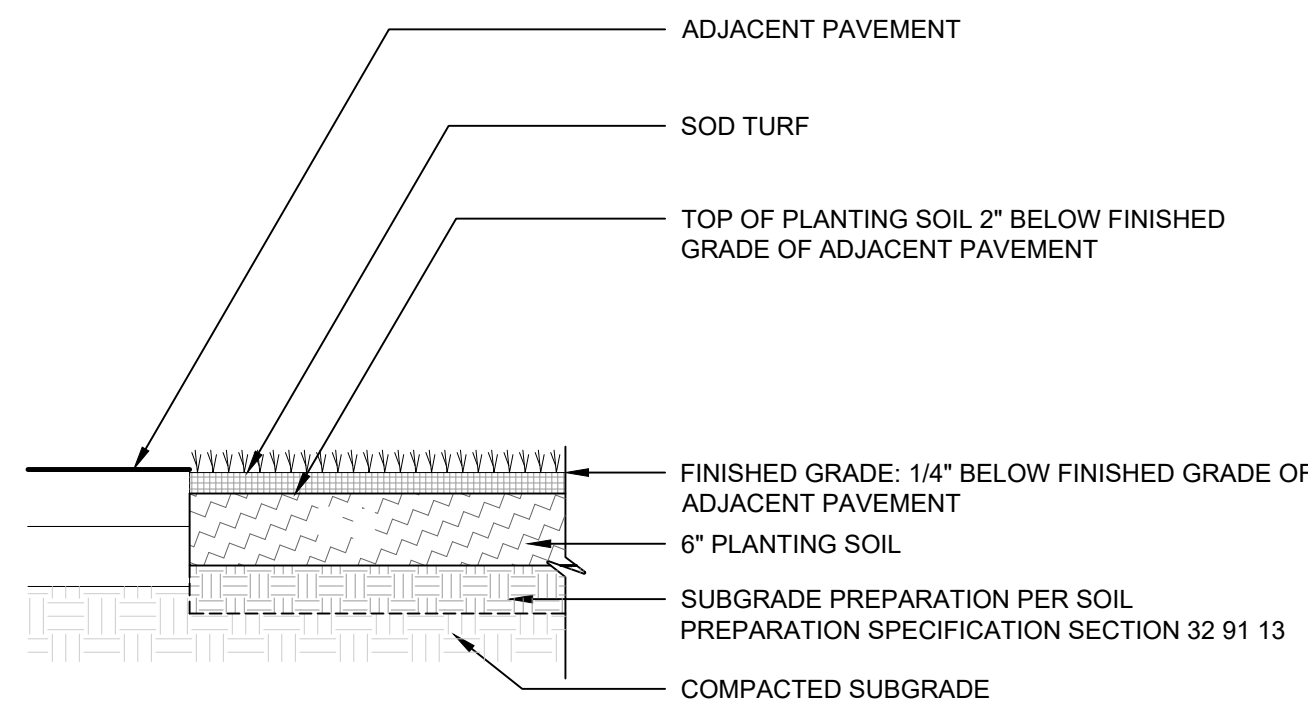
Scale: NTS



- NOTES:**
1. TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE.
  2. SET PLANTS PLUMB

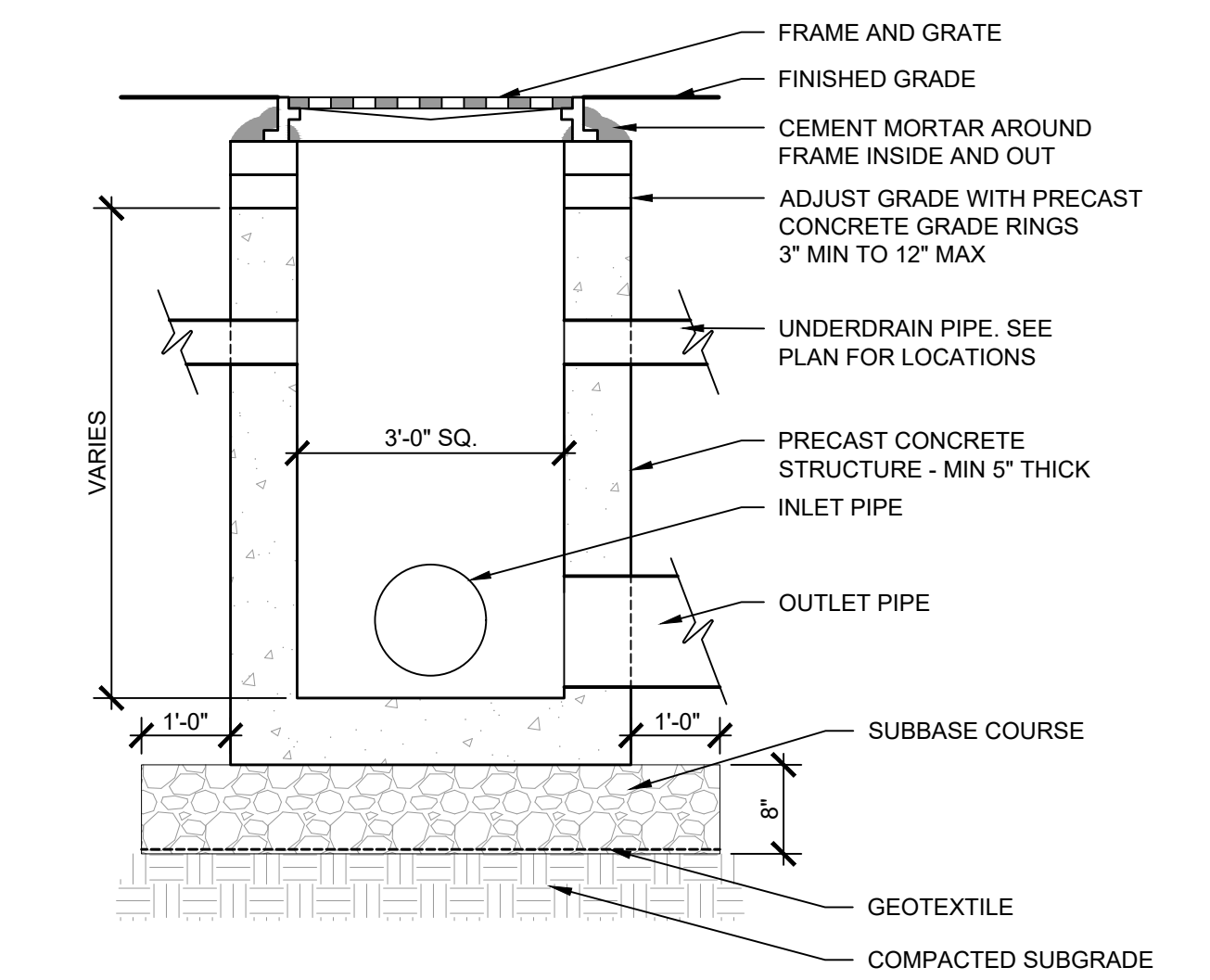
**PLANTING - SHRUB**

Scale: NTS



**TURF - SOD**

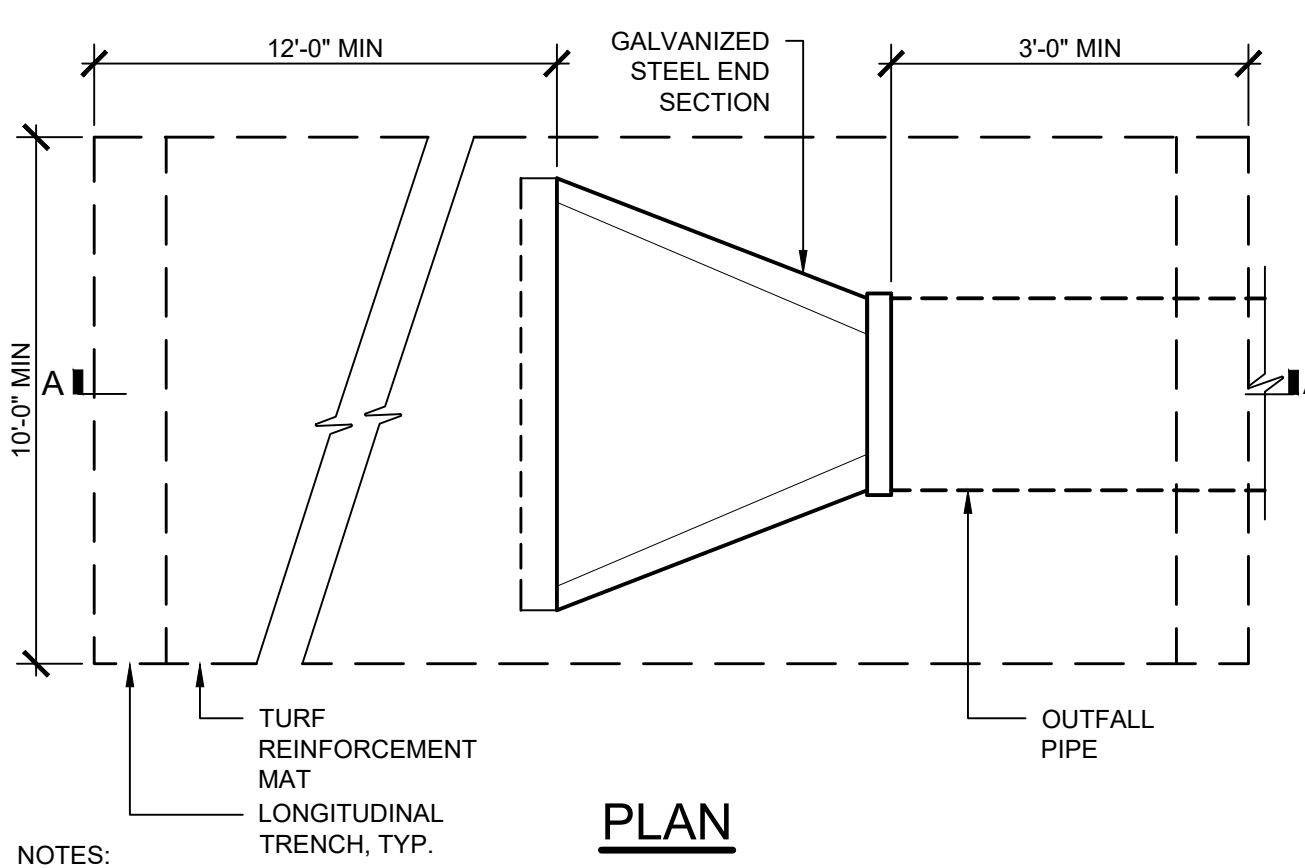
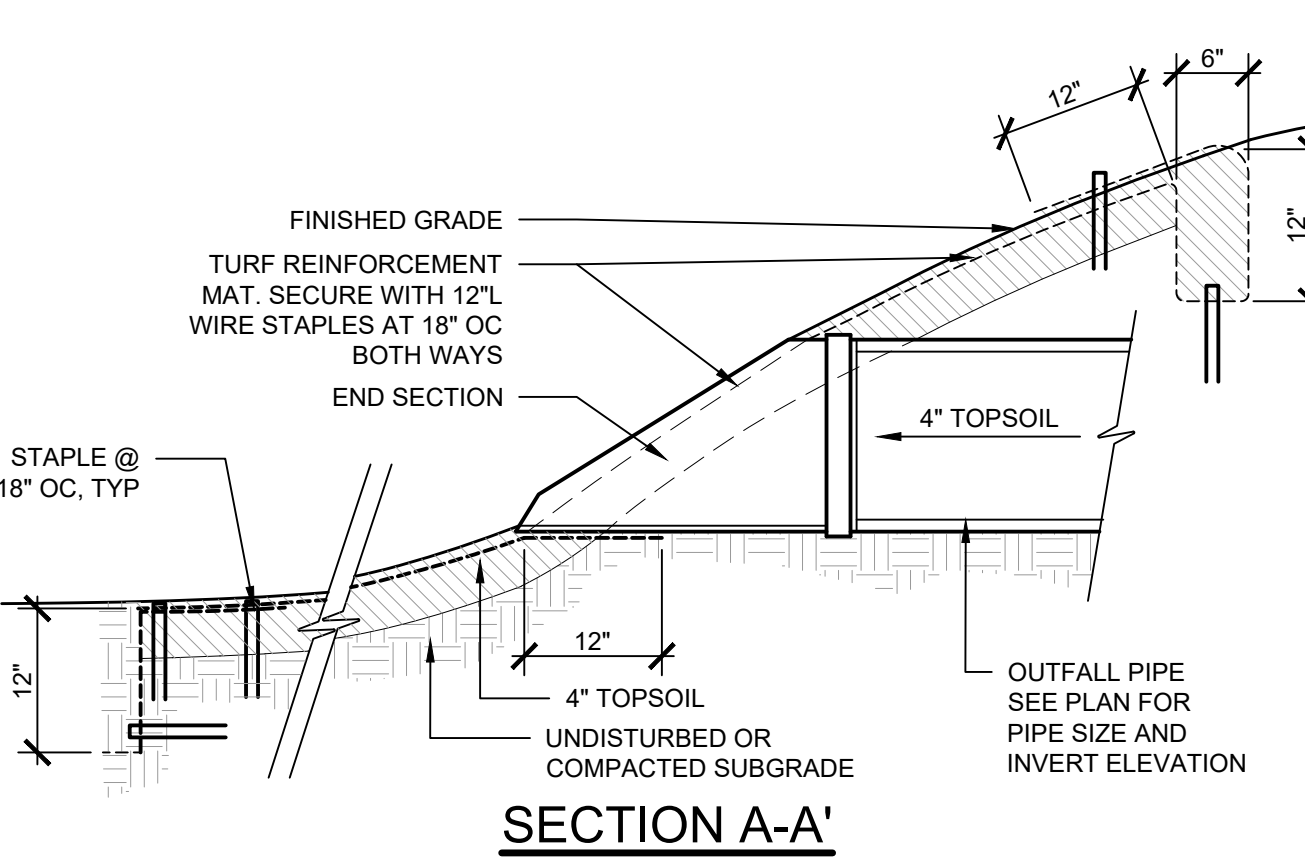
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- NOTE:**
1. SEE PLAN FOR PIPE SIZES AND INVERT ELEVATIONS

**STORM - 2' X 2' CATCH BASIN**

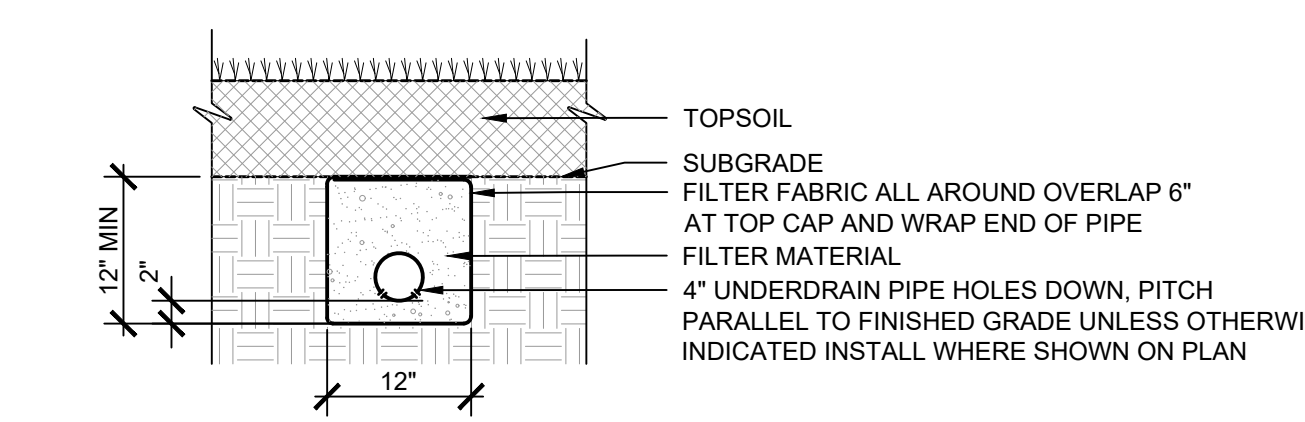
Scale: NTS



- NOTES:**
1. FINE GRADE SUBGRADE SHALL BE UNIFORM AND SMOOTH. PLACE 4" OF TOPSOIL; INCORPORATE AMENDMENTS SUCH AS LIME AND FERTILIZER AND SEED.
  2. TURF REINFORCEMENT MAT SHALL BE TENSAR NORTH AMERICAN GREEN P300 OR EQUAL.

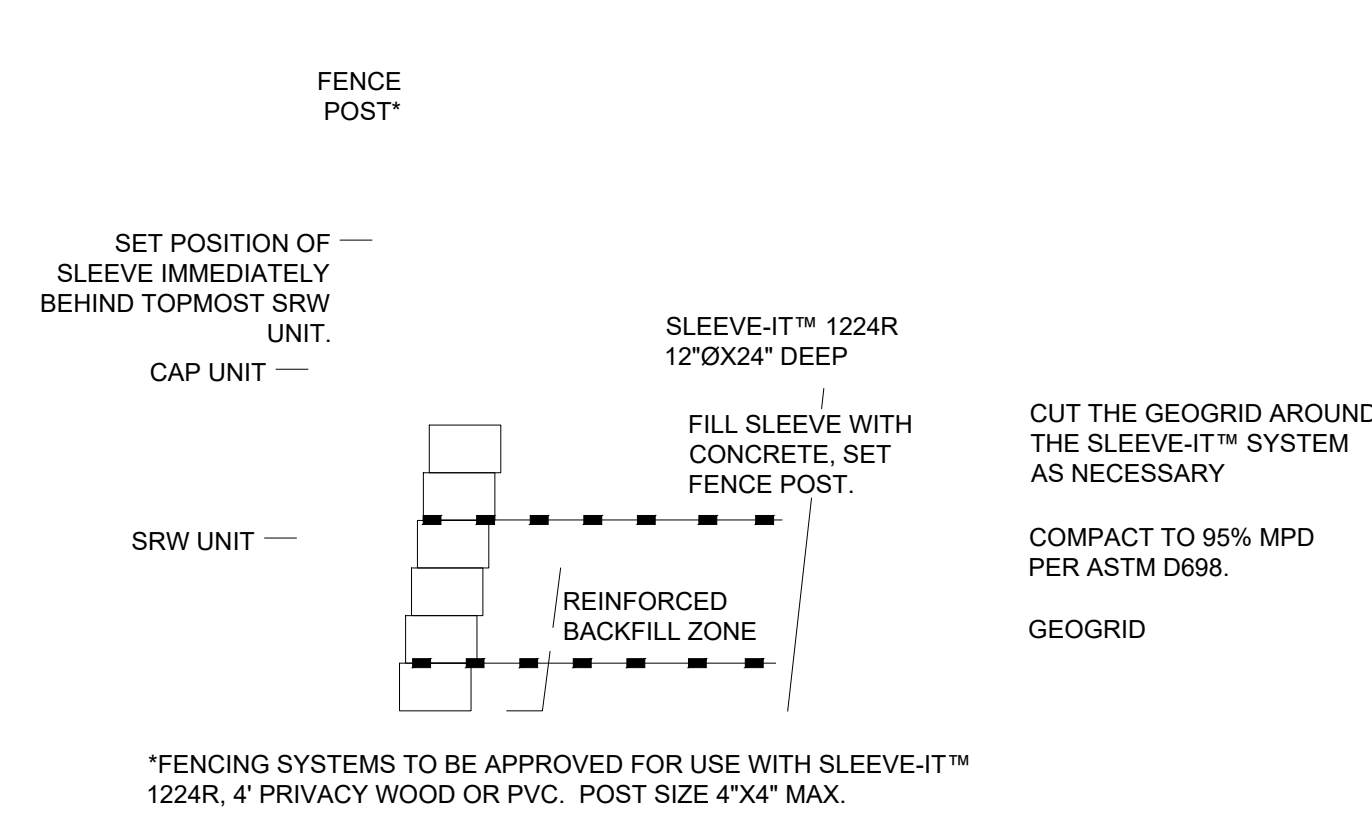
**TRM OUTLET PROTECTION**

Scale: NTS



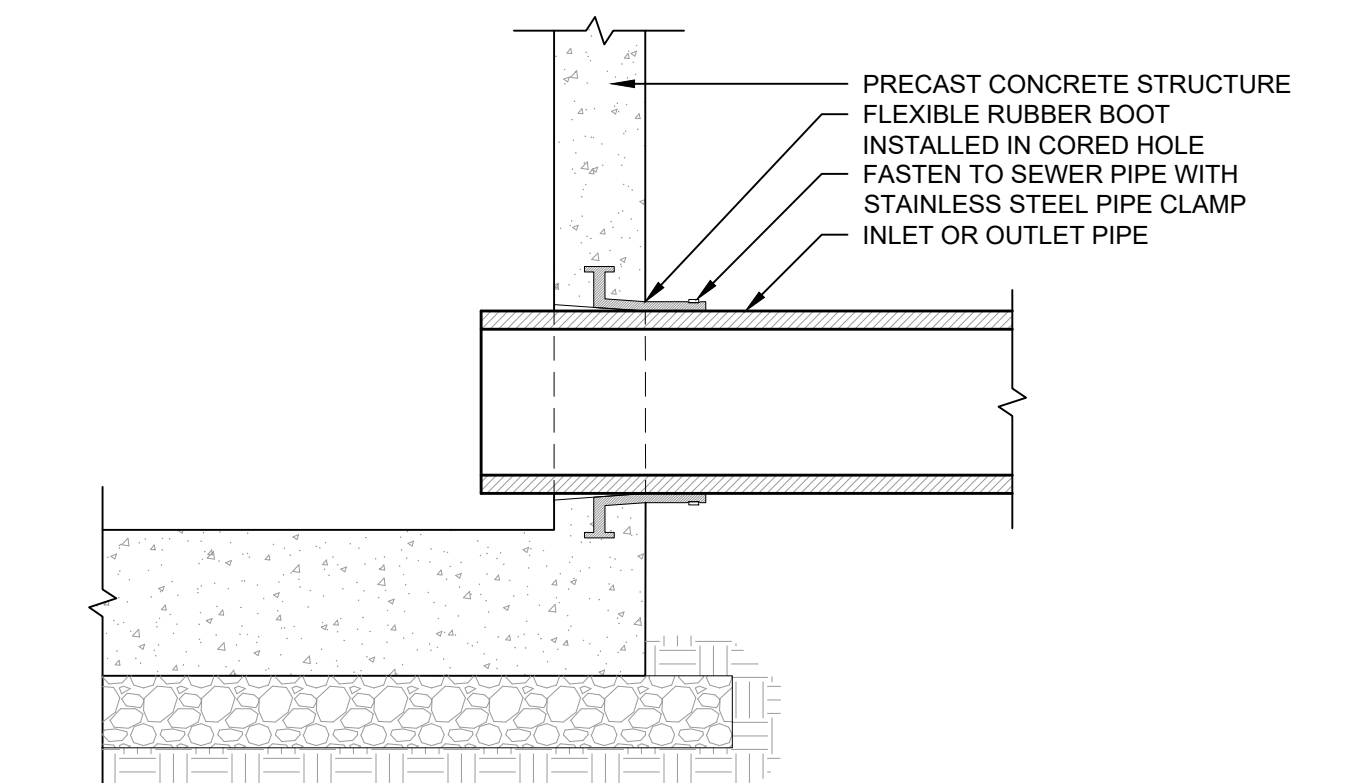
**STORM - UNDERDRAIN**

Scale: NTS



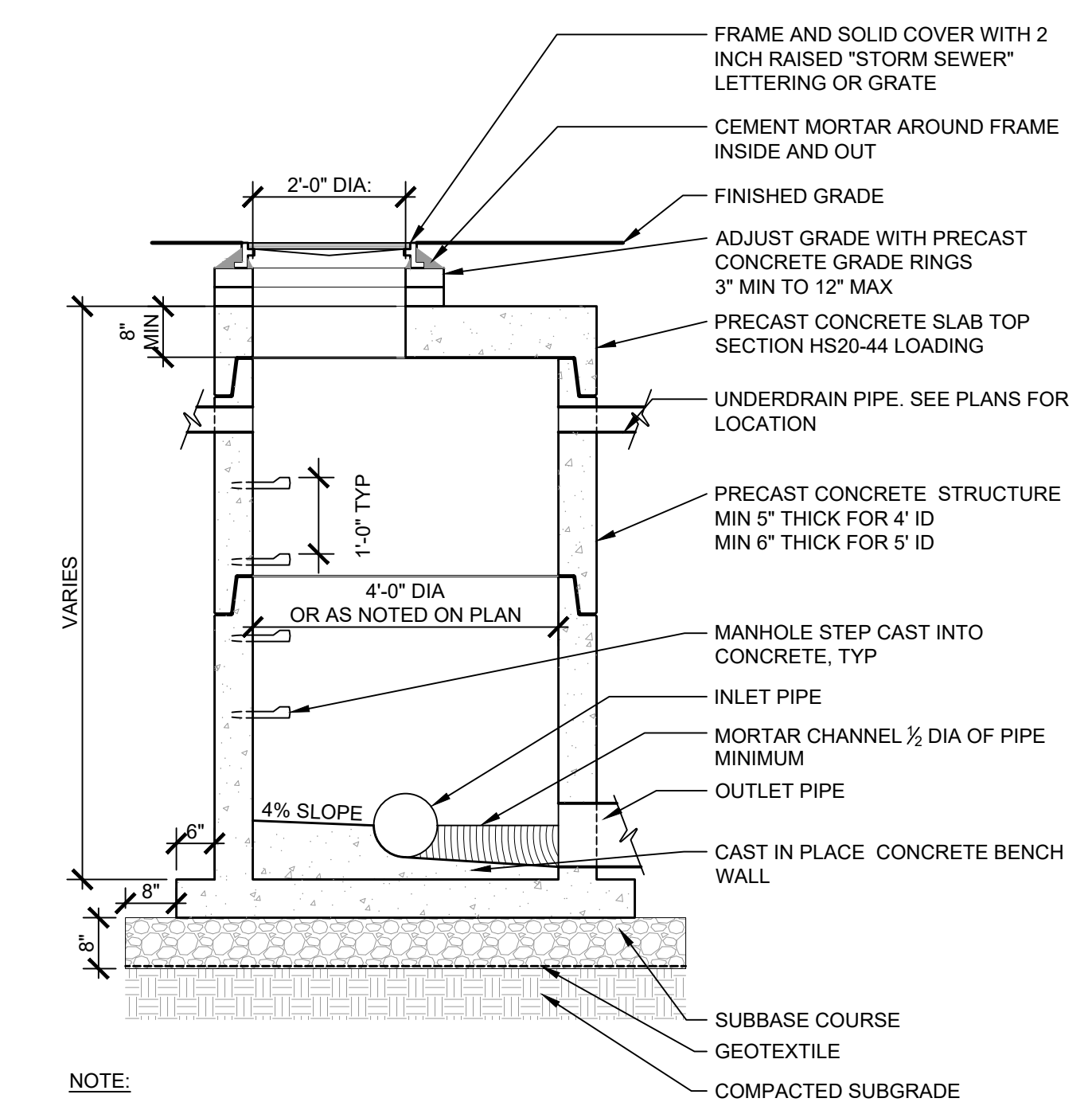
**WALL TOP PRIVACY FENCE**

Scale: NTS



**STORM - PIPE CONNECTION TO MANHOLE**

Scale: NTS



- NOTE:**
1. SEE PLAN FOR PIPE SIZES AND INVERT ELEVATIONS

**STORM - MANHOLE**

Scale: NTS

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REVISIONS		
NO.	DESCRIPTION	DATE

**DETAILS**

Project Status	FOR PERMITTING
Date	07/19/2024
Project Number	23162
Drawn By	
Checked By	

**C-604**



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BUILDING RENOVATIONS TO:

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SYRACUSE, NY 13208

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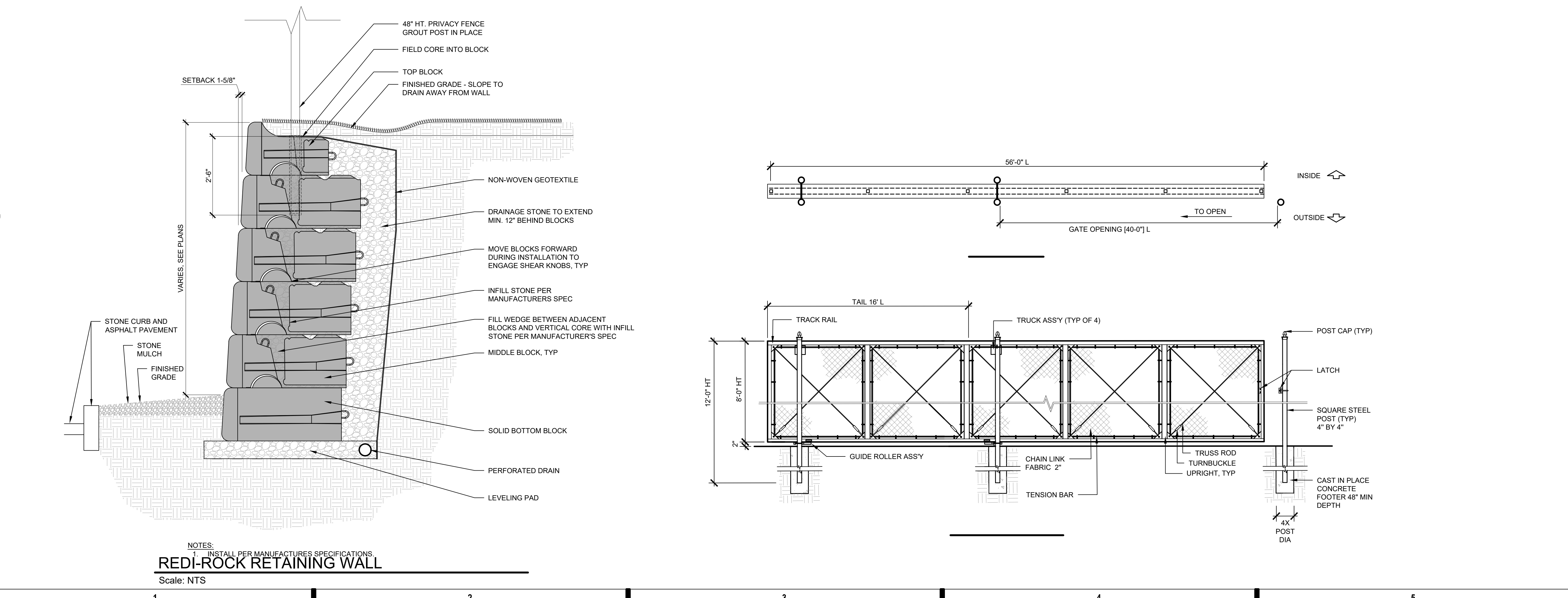
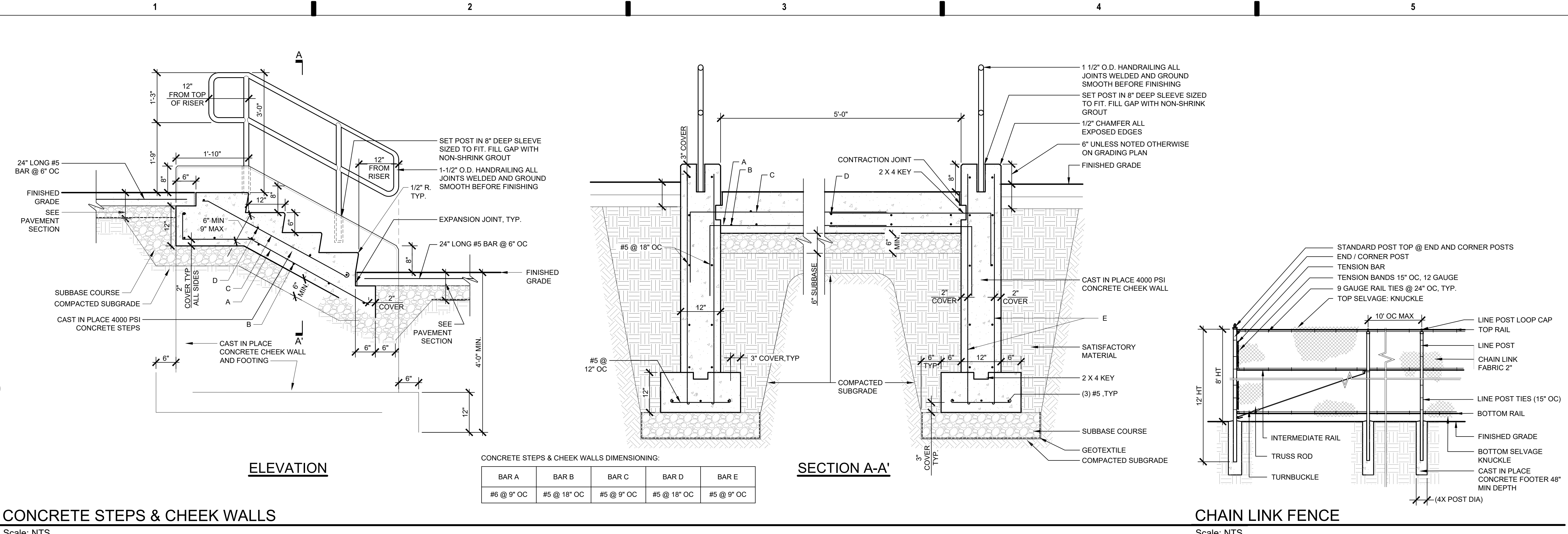
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REVISIONS		
NO.	DESCRIPTION	DATE

**DETAILS**

Project Status	FOR PERMITTING
Date	07/19/2024
Project Number	23162
Drawn By	
Checked By	

**C-605**



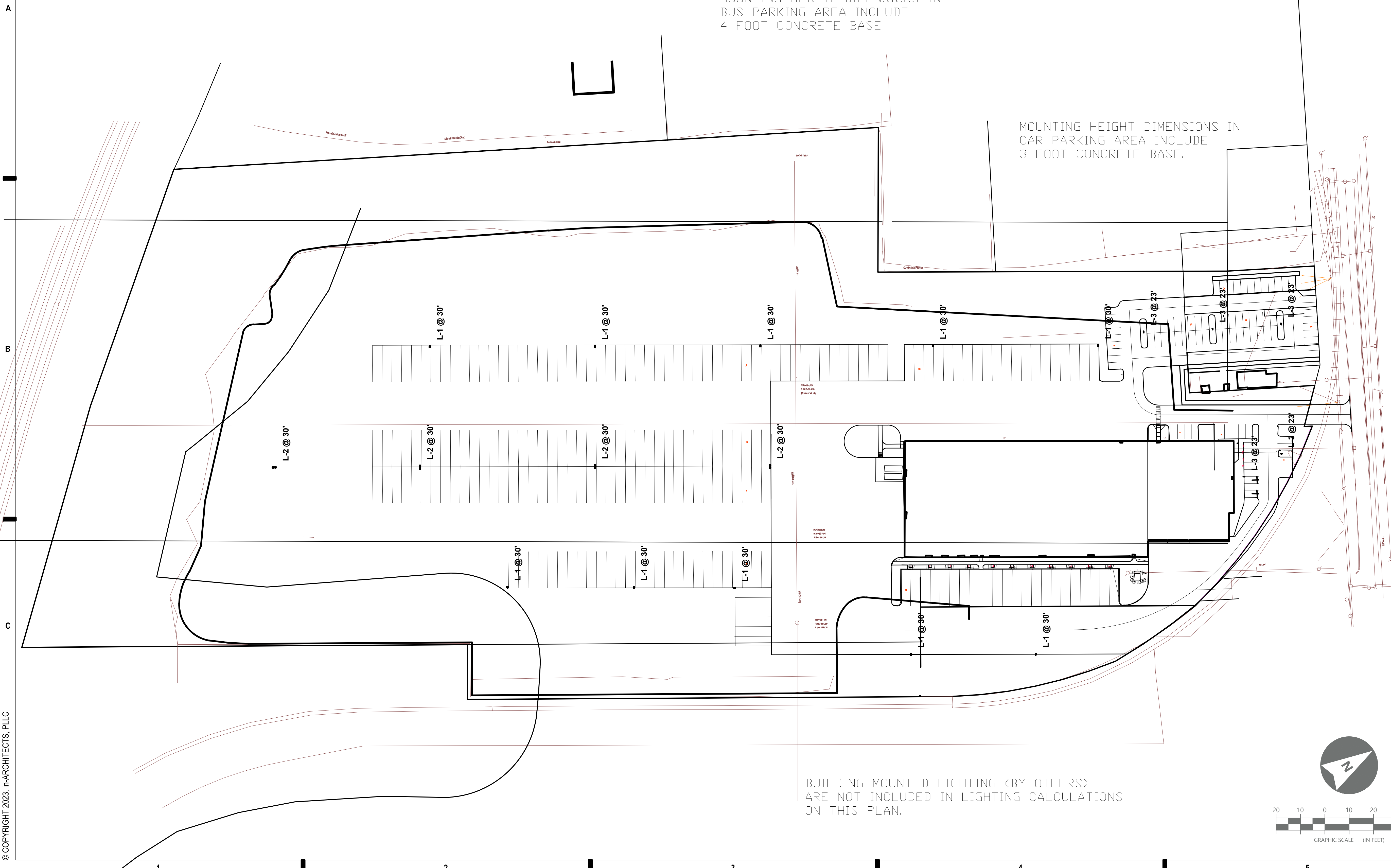
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Schedule								
Symbol	Label	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	L-1	American Electric Lighting	ATB2 P902 R3 4K	Autobahn Large P902 Package Roadway Type III 4000K/5000K CCT	1	38968	0.9	245
	L-2	American Electric Lighting	ATB2 P902 R3 4K	Autobahn Large P902 Package Roadway Type III 4000K/5000K CCT	1	38968	0.9	490
	L-3	American Electric Lighting	ATB0 P203 R5 4K/5K HSS	Autobahn Small P203 Package Roadway Type V 4000K/5000K House side shield	1	7853	0.9	70

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
North Property Line At Grade	+	0.0	0.1	0.0	0.1	N/A
Residence Property Line At Grade	+	0.0	0.1	0.0	0.1	N/A
South Property Line At Grade	+	0.0	0.2	0.0	0.2	N/A
West Property Line At Grade	+	0.0	0.0	0.0	0.0	N/A
BUS PARKING AREA	+	2.0	11.5	0.1	115.0	200:1

MOUNTING HEIGHT DIMENSIONS IN BUS PARKING AREA INCLUDE 4 FOOT CONCRETE BASE.

MOUNTING HEIGHT DIMENSIONS IN CAR PARKING AREA INCLUDE 3 FOOT CONCRETE BASE.



BUILDING MOUNTED LIGHTING (BY OTHERS) ARE NOT INCLUDED IN LIGHTING CALCULATIONS ON THIS PLAN.



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REVISIONS		
NO.	DESCRIPTION	DATE

**SITE LIGHTING PLAN**

Project Status FOR PERMITTING

Date 07/19/2024

Project Number 23162

Drawn By

Checked By

**C-610**



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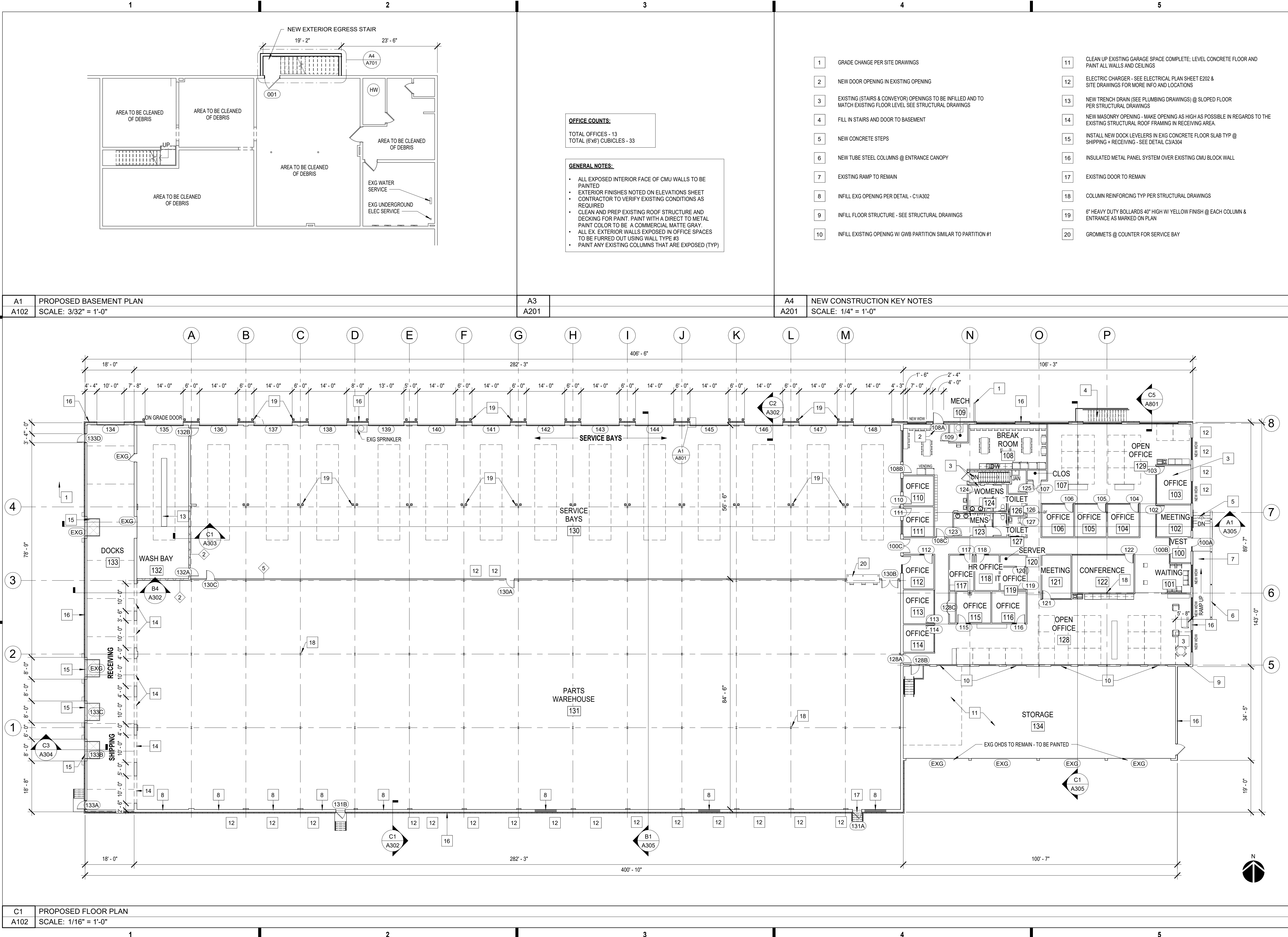
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REVISIONS		
NO.	DESCRIPTION	DATE

**FLOOR PLAN**

Project Status	PERMIT SET
Date	07/24/2024
Project Number	23045
Drawn By	AMR
Checked By	JRP

**A102**



**OFFICE COUNTS:**  
TOTAL OFFICES - 13  
TOTAL (6'x6') CUBICLES - 33

**GENERAL NOTES:**

- ALL EXPOSED INTERIOR FACE OF CMU WALLS TO BE PAINTED
- EXTERIOR FINISHES NOTED ON ELEVATIONS SHEET
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AS REQUIRED
- CLEAN AND PREP EXISTING ROOF STRUCTURE AND DECKING FOR PAINT. PAINT WITH A DIRECT TO METAL PAINT COLOR TO BE A COMMERCIAL MATTE GRAY.
- ALL EX. EXTERIOR WALLS EXPOSED IN OFFICE SPACES TO BE FURRED OUT USING WALL TYPE #3
- PAINT ANY EXISTING COLUMNS THAT ARE EXPOSED (TYP)

- |    |  |    |  |
|----|--|----|--|
| 1  | GRADE CHANGE PER SITE DRAWINGS   | 11 | CLEAN UP EXISTING GARAGE SPACE COMPLETE. LEVEL CONCRETE FLOOR AND PAINT ALL WALLS AND CEILINGS                               |
| 2  | NEW DOOR OPENING IN EXISTING OPENING   | 12 | ELECTRIC CHARGER - SEE ELECTRICAL PLAN SHEET E202 & SITE DRAWINGS FOR MORE INFO AND LOCATIONS                                |
| 3  | EXISTING (STAIRS & CONVEYOR) OPENINGS TO BE INFILLED AND TO MATCH EXISTING FLOOR LEVEL SEE STRUCTURAL DRAWINGS | 13 | NEW TRENCH DRAIN (SEE PLUMBING DRAWINGS) @ SLOPED FLOOR PER STRUCTURAL DRAWINGS  |
| 4  | FILL IN STAIRS AND DOOR TO BASEMENT  | 14 | NEW MASONRY OPENING - MAKE OPENING AS HIGH AS POSSIBLE IN REGARDS TO THE EXISTING STRUCTURAL ROOF FRAMING IN RECEIVING AREA. |
| 5  | NEW CONCRETE STEPS   | 15 | INSTALL NEW DOCK LEVELERS IN EXG CONCRETE FLOOR SLAB TYP @ SHIPPING + RECEIVING - SEE DETAIL C3/A304                         |
| 6  | NEW TUBE STEEL COLUMNS @ ENTRANCE CANOPY   | 16 | INSULATED METAL PANEL SYSTEM OVER EXISTING CMU BLOCK WALL  |
| 7  | EXISTING RAMP TO REMAIN  | 17 | EXISTING DOOR TO REMAIN  |
| 8  | INFILL EXG OPENING PER DETAIL - C1/A302  | 18 | COLUMN REINFORCING TYP PER STRUCTURAL DRAWINGS   |
| 9  | INFILL FLOOR STRUCTURE - SEE STRUCTURAL DRAWINGS   | 19 | 6" HEAVY DUTY BOLLARDS 40" HIGH W/ YELLOW FINISH @ EACH COLUMN & ENTRANCE AS MARKED ON PLAN                                  |
| 10 | INFILL EXISTING OPENING W/ GNB PARTITION SIMILAR TO PARTITION #1   | 20 | GROMMETS @ COUNTER FOR SERVICE BAY   |

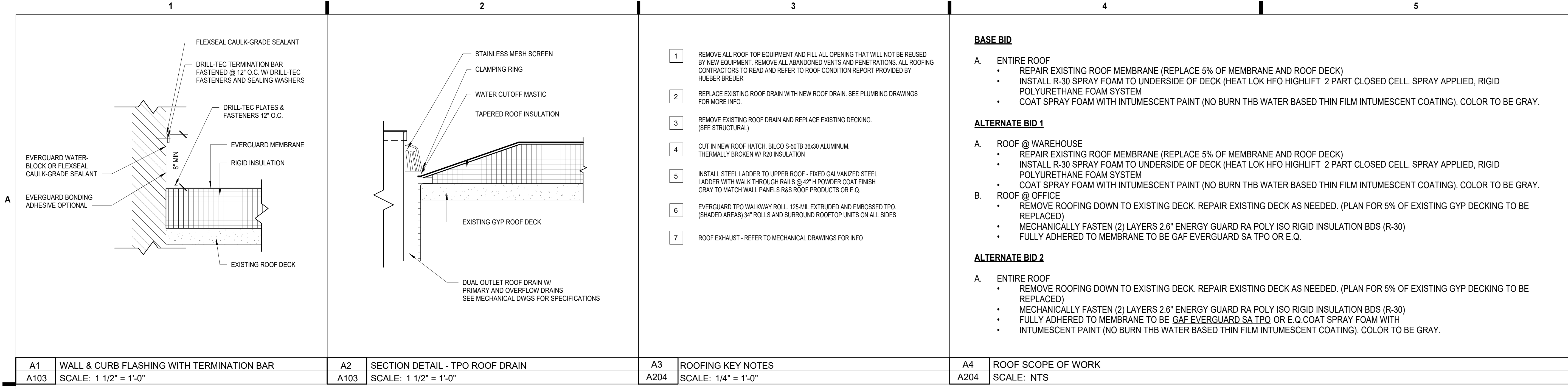
A1 PROPOSED BASEMENT PLAN  
A102 SCALE: 3/32" = 1'-0"

A3  
A201

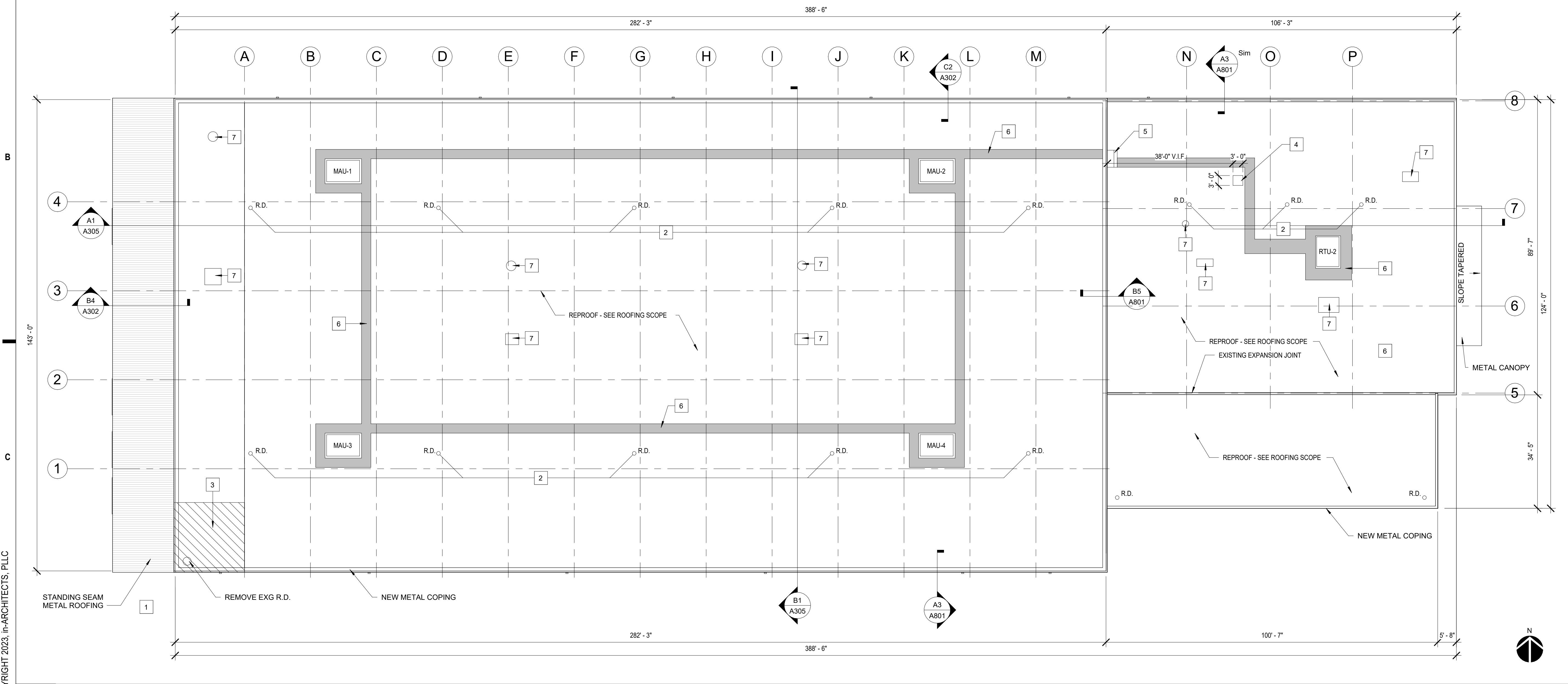
A4 NEW CONSTRUCTION KEY NOTES  
A201 SCALE: 1/4" = 1'-0"

C1 PROPOSED FLOOR PLAN  
A102 SCALE: 1/16" = 1'-0"

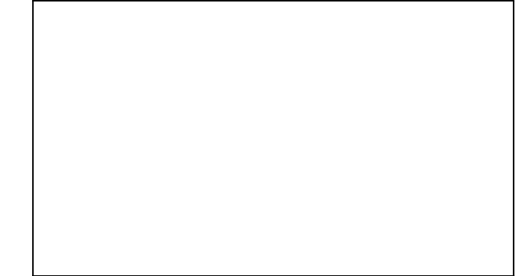
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A1	WALL & CURB FLASHING WITH TERMINATION BAR	A2	SECTION DETAIL - TPO ROOF DRAIN	A3	ROOFING KEY NOTES	A4	ROOF SCOPE OF WORK
A103	SCALE: 1 1/2" = 1'-0"	A103	SCALE: 1 1/2" = 1'-0"	A204	SCALE: 1/4" = 1'-0"	A204	SCALE: NTS



C1	ROOF UPPER
A103	SCALE: 1/16" = 1'-0"



BUILDING RENOVATIONS TO:

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**ROOF PLAN**

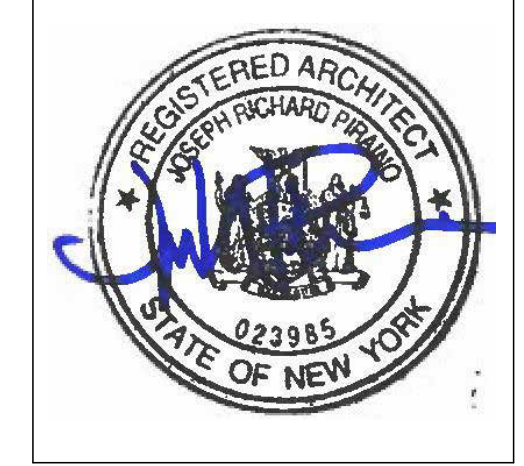
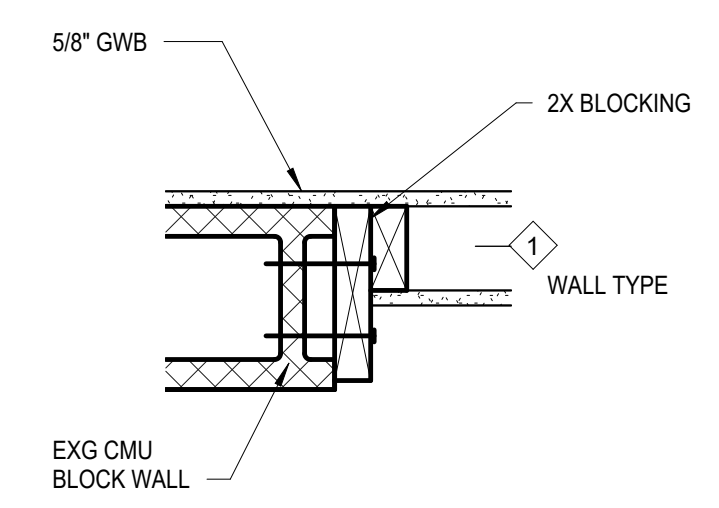
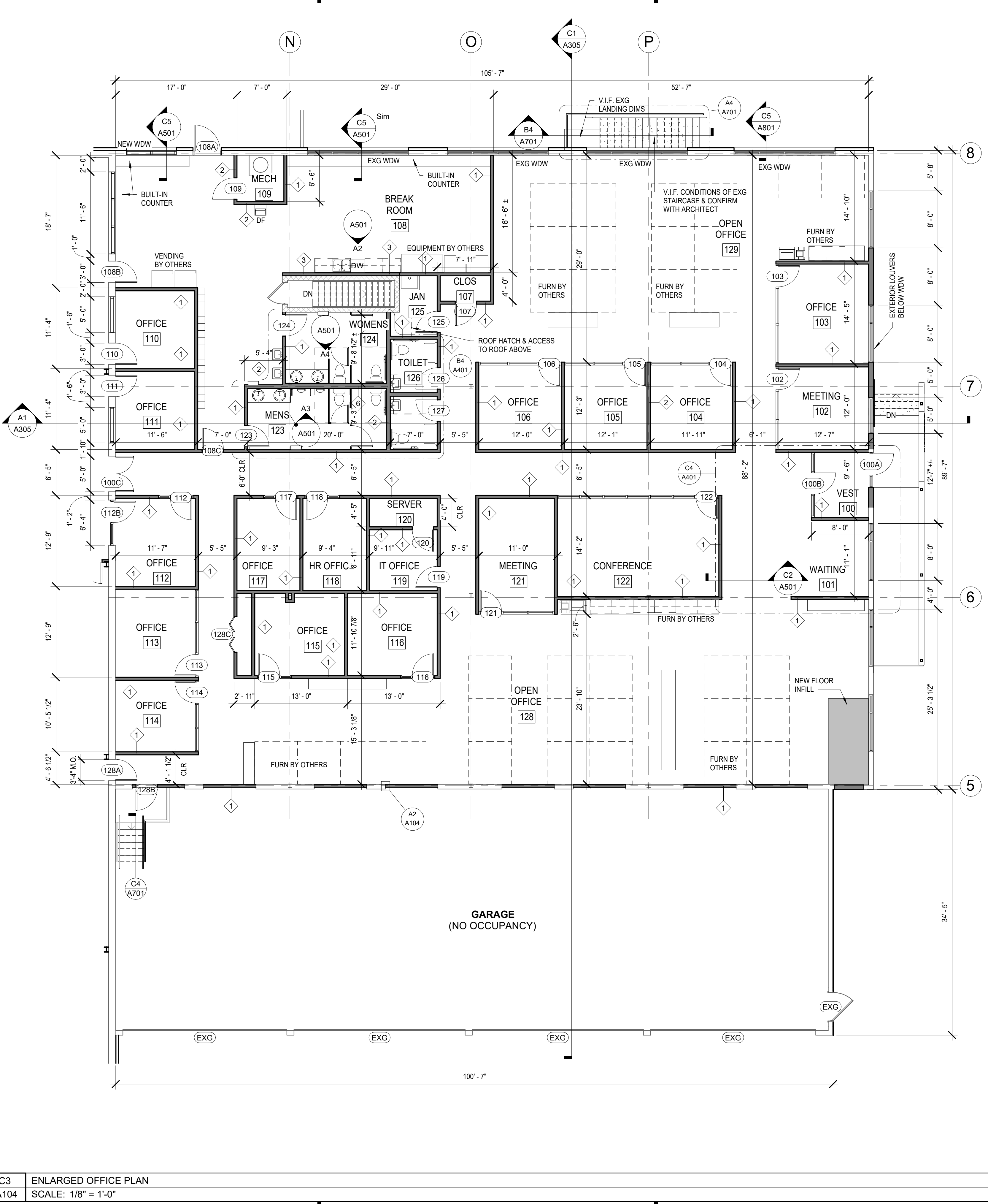
Project Status	PERMIT SET
Date	07/24/2024
Project Number	23045
Drawn By	AMR
Checked By	JRP

**A103**

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A2	DETAIL @ WALL INFILL
A104	SCALE: 1 1/2" = 1'-0"

C3 ENLARGED OFFICE PLAN  
 A104 SCALE: 1/8" = 1'-0"



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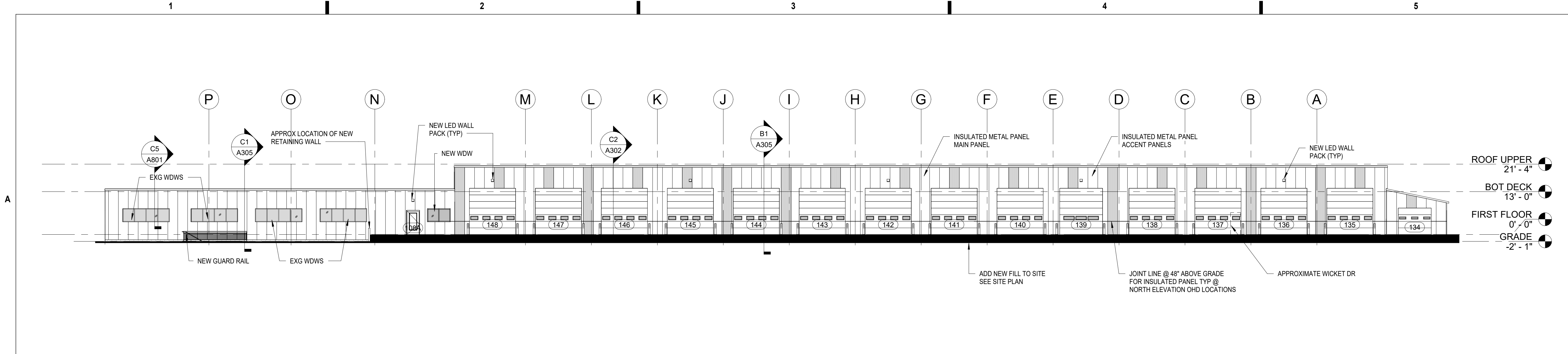
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REVISIONS		
NO.	DESCRIPTION	DATE

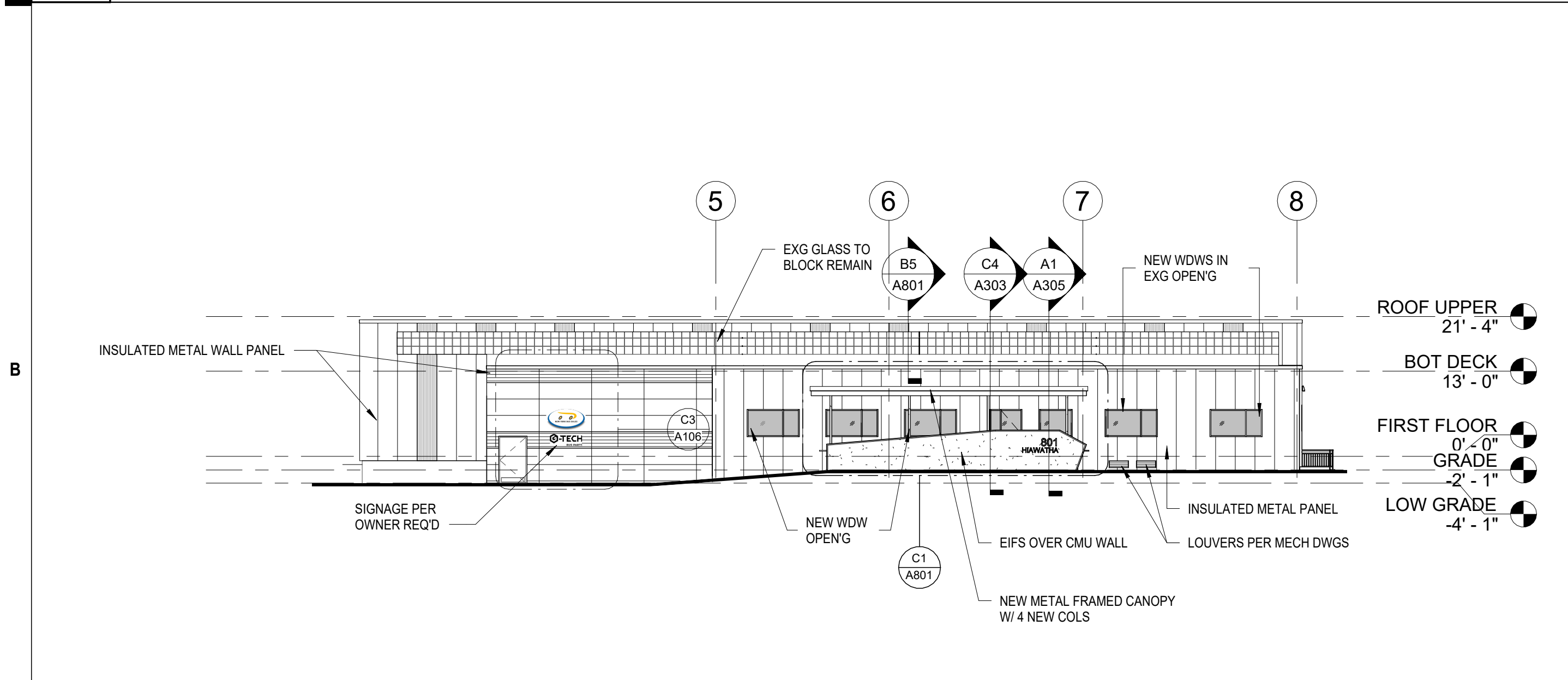
**ENLARGED OFFICE PLAN**

Project Status	PERMIT SET
Date	07/24/2024
Project Number	23045
Drawn By	AMR
Checked By	JRP

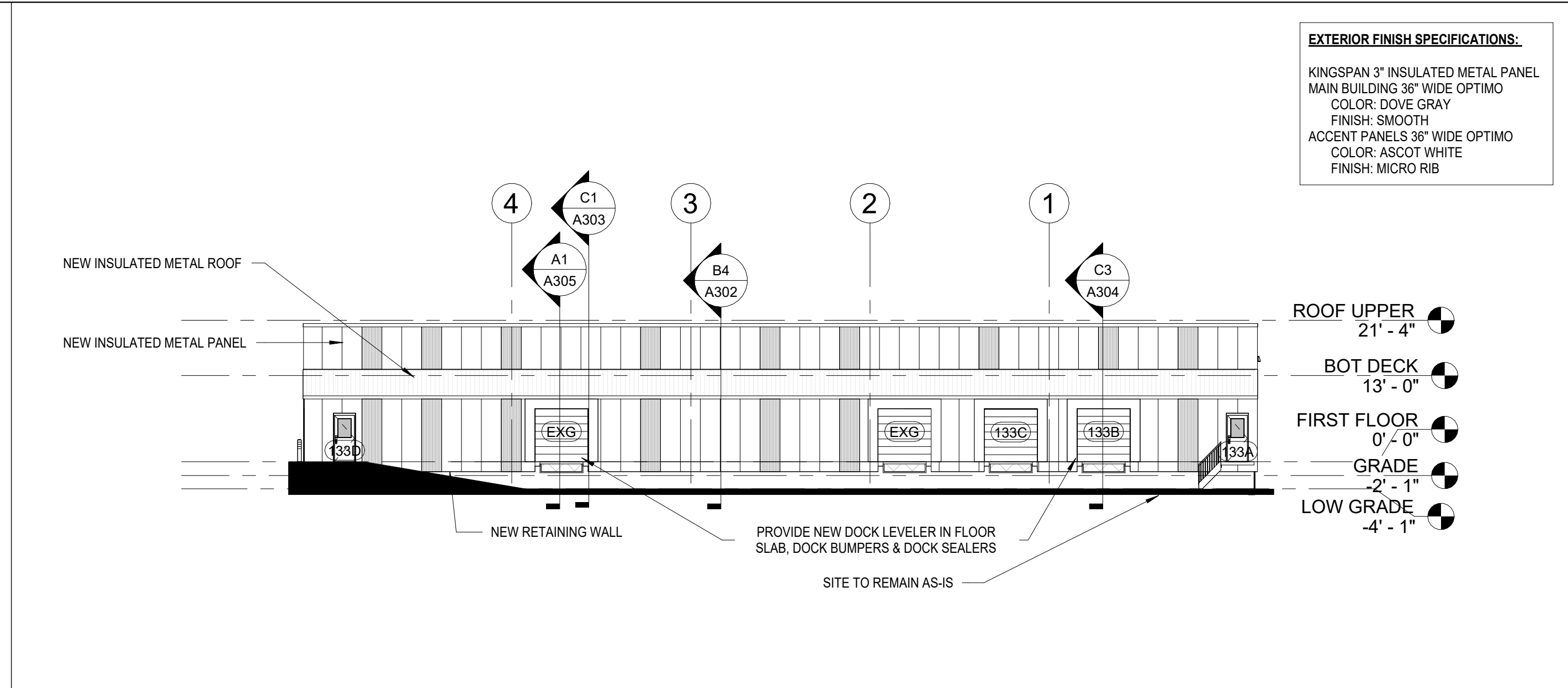
**A104**



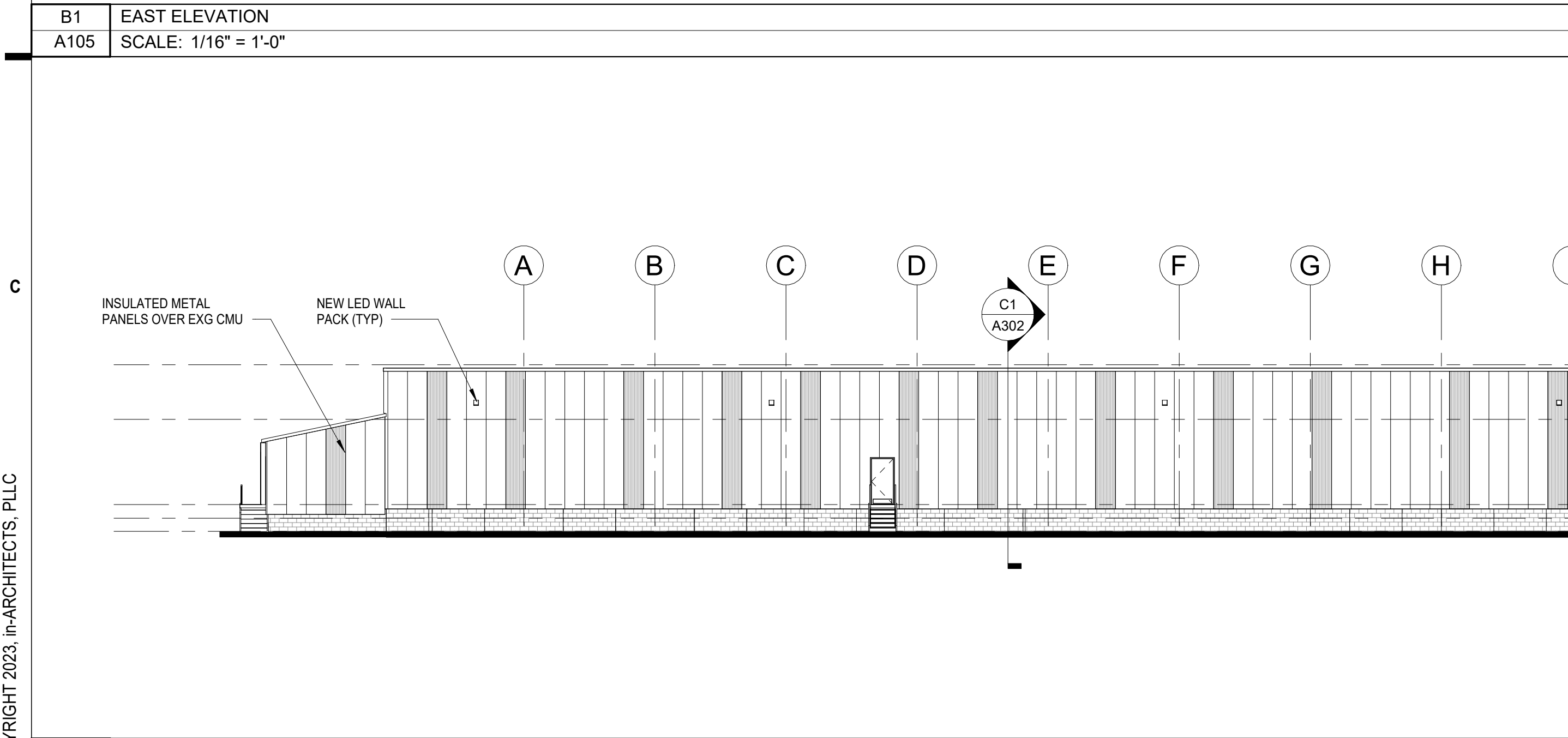
A1 NORTH ELEVATION  
A105 SCALE: 1/16" = 1'-0"



B1 EAST ELEVATION  
A105 SCALE: 1/16" = 1'-0"



B3 WEST ELEVATION  
A105 SCALE: 1/16" = 1'-0"



C1 SOUTH ELEVATION  
A105 SCALE: 1/16" = 1'-0"

**EXTERIOR FINISH SPECIFICATIONS:**  
KINGSPAN 3" INSULATED METAL PANEL  
MAIN BUILDING 36" WIDE OPTIMO  
COLOR: DOVE GRAY  
FINISH: SMOOTH  
ACCENT PANELS 36" WIDE OPTIMO  
COLOR: ASCOT WHITE  
FINISH: MICRO RIB



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NO.	DESCRIPTION	DATE

**EXTERIOR ELEVATIONS**

Project Status	PERMIT SET
Date	07/24/2024
Project Number	23045
Drawn By	AMR
Checked By	JRP

**A105**

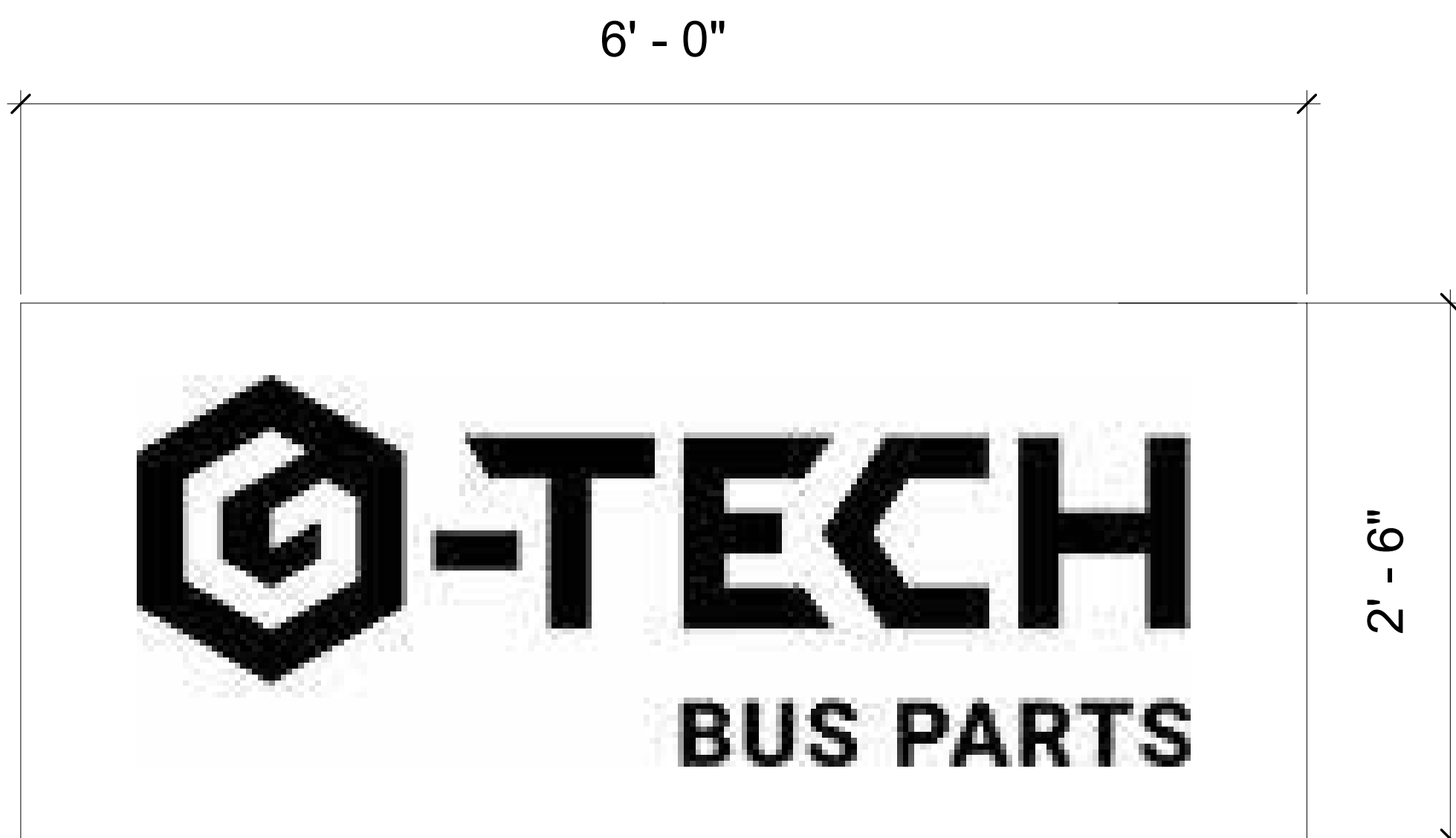




6' - 0"

3' - 0"

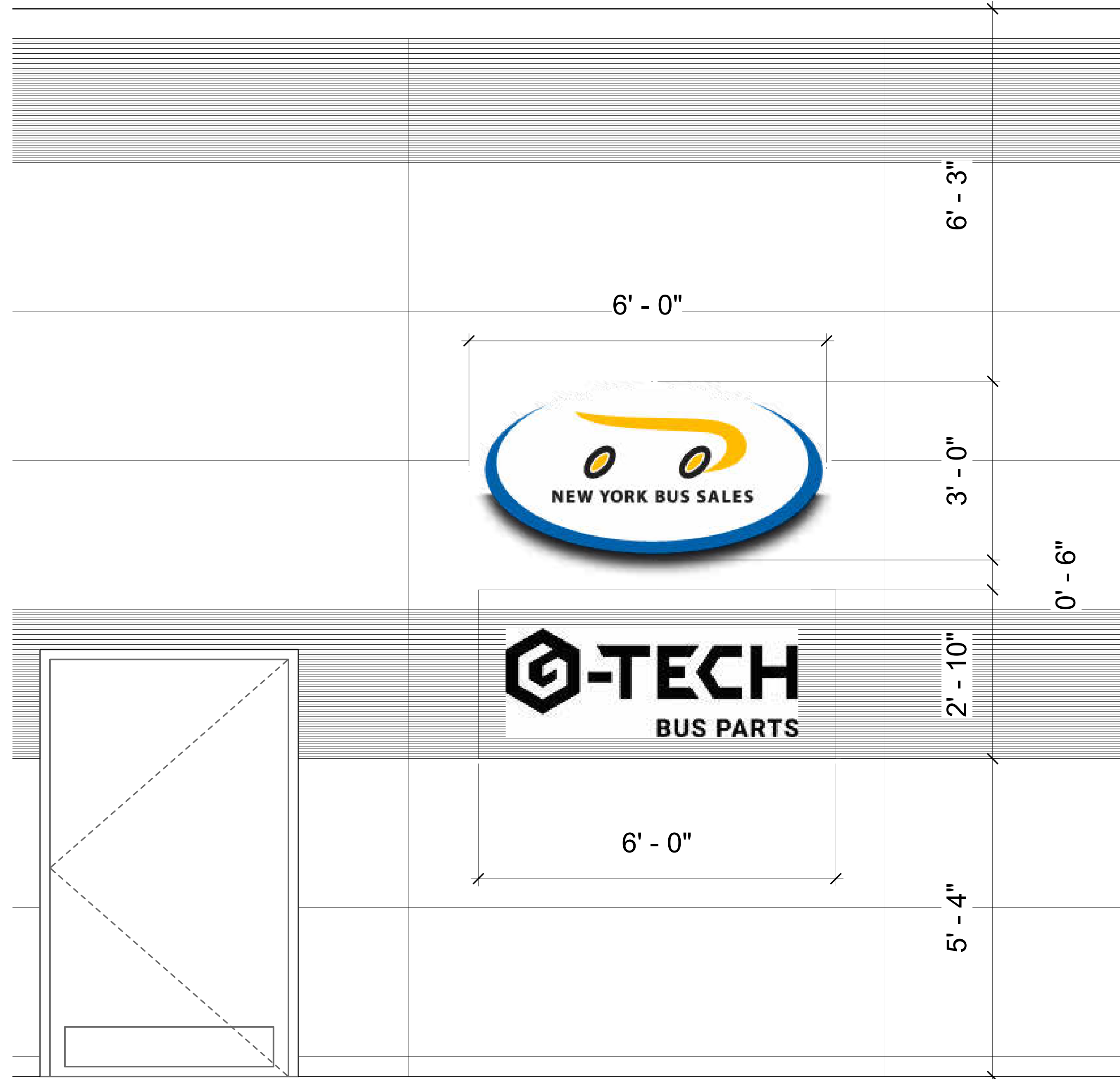
INTERNALLY ILLUMINATED SIGNAGE



6' - 0"

2' - 6"

INTERNALLY ILLUMINATED SIGNAGE



6' - 0"

6' - 3"

3' - 0"

0' - 6"

2' - 10"

6' - 0"

5' - 4"

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C1 Signage  
A106 SCALE: 1 1/2" = 1'-0"

C3 EAST ELEVATION - SIGNAGE CALLOUT  
A106 SCALE: 3/4" = 1'-0"



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REVISIONS		
NO.	DESCRIPTION	DATE

**SIGNAGE**

Project Status	PERMIT SET
Date	07/24/2024
Project Number	23045
Drawn By	AMR
Checked By	JRP

**A106**



# Onondaga County Planning Board

RESOLUTION OF THE

ONONDAGA COUNTY PLANNING BOARD

J.Ryan McMahon, II  
COUNTY EXECUTIVE

Meeting Date: July 31, 2024

OCPB Case # Z-24-223

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a SITE PLAN from the City of Syracuse Zoning Administration at the request of NY Bus for the property located at 809 Hiawatha Boulevard East (formerly 309 Fourth North Street); and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of NBT Bank Stadium, a county-owned facility, and the municipal boundary between the City of Syracuse and the Town of Salina; and
- WHEREAS, the applicant is proposing to renovate an existing warehouse site and establish a bussing facility on 18.30 acres in a Light Industrial zoning district; and
- WHEREAS, the site is in an area characterized by a mix of industrial, commercial, and industrial with the west side of Hiawatha dominated by commercial and industrial uses and residential extending east into the northside of the City; neighboring businesses include American Limousine, STAS Auto dealer, ForTech Industrial Fabricators, and Pak Technologies; NBT Bank Baseball Stadium is nearby to the west; the site is separated from Hiawatha Boulevard East and the Stadium site by a CSX rail line abutting the site along the southwestern and southeastern boundaries; the site contain three large parcels comprising the rear of the site with 5 smaller parcels contains a small commercial building and single-family homes with frontage on the CSX rail line and Hiawatha Boulevard East; one single-family home in the middle of the site's road frontage is not included in the site; per aerial imagery, the site's frontage has intermittent decaying asphalt sidewalks along Hiawatha Boulevard East; the referral notice indicates three of the eight parcels comprising the site will be part of the overall project in future; per a conversation with City Zoning on 7/29/24, the applicant is in the process of acquiring these parcels, but has not secured ownership or control; all eight parcels are included in the plans; and
- WHEREAS, the applicant is proposing renovation of an existing 56,000 sf warehouse office building into a bus sales facility; per the Overall Demolition Plan dated 7/19/24, all of the smaller buildings will be demolished, including the southern commercial building and all of the buildings on smaller parcels with frontage along Hiawatha Boulevard East; all existing asphalt or gravel will be removed from the front of the site and the rear, vacant portion of the site will have all existing stone, gravel, and vegetation approximately extending to a wetland 100'-buffer will be removed to a depth of 6"; the Demolition Plan also shows several existing overhead electrical wires will be removed; per the referral material, parcel 001.1-01-25.0 (known as 819 Hiawatha Boulevard East) containing a single-family home will remain; **ADVISORY NOTE:** Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer

disconnects; the applicant must contact Plumbing Control to ensure appropriate permits are obtained; and

WHEREAS, per the Overall Grading & Utilities Plan dated 7/19/24, the remainder of the site will be used for parking lots with bus parking to be located along the sides of the building and extending into the rear of the site; an employee parking lot will be constructed in the northeast corner along Hiawatha Boulevard East; per the Environmental Assessment Form (EAF), undated, the site currently has 12 parking spaces and a total of 293 are proposed; per the Overall Layout and Materials Plan dated 7/19/24, a portion of the rear and northern part of the site will have gravel and stone replaced with lawn which may account for the reported 2.54-acre reduction in "Non-vegetated (bare rock, earth or fill)" land use reported in the EAF; per the Overall Layout and Materials Plan, the building, parking, and asphalt will be installed outside of the buffer and only some gravel removal/lawn restoration will occur around the buffer area; and

WHEREAS, the Overall Demolition Plan shows an NYS "delineated wetland" along the rear of the site, adjacent to the rear boundary; a 100' buffer is shown, approximating the rear of the subject area; there are no details regarding the delineation of the wetland;

ADVISORY NOTE: The NYS Department of Environmental Conservation (DEC) recommends that wetland delineations be reassessed after 5 years; delineated wetland boundaries must be confirmed by the DEC and/or the U.S. Army Corps of Engineers; and

WHEREAS, current FEMA Flood Insurance Rate Maps (FIRM) indicate the rear boundary of the site is located within the 100-year floodplain for Ley Creek, which may require avoidance or elevation of structures and other mitigation; the floodplain boundary is not depicted on the plans or the Topographic Survey map dated 5/3/24, but appears to be located outside of the subject area;

ADVISORY NOTE: The Onondaga County Hazard Mitigation Plan has identified flooding as one of eight primary natural hazards of local concern, with the potential to cause extensive threat to property and safety; buildings within the floodplain can negatively affect the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged; and

WHEREAS, per the Environmental Assessment Form (EAF), undated, 9.20 acres of the site will be disturbed by the proposed project and the proposal will not create additional stormwater runoff; some stormwater infrastructure is depicted crossing the site, to the rear of the existing building;

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the Environmental Assessment Form (EAF), undated, the site is served by public drinking water and is expected to require 100 gallons of drinking water per day; and

WHEREAS, per the referral notice, the site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant service area; there were no details regarding anticipated wastewater generation in the referral materials;

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) may be required due to an anticipated increase in use; additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online: <http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and

WHEREAS, per the Topographic Survey, an easement and right-of-way for ingress and egress is depicted between two larger parcels within the site; a City of Syracuse 35'-wide right-of-way for "Sewer and Water Purposes" is depicted along the rear boundary; and

WHEREAS, a Planting Plan dated 7/19/24 was included in the referral materials, depicting trees and shrubs to be installed around parking lots located at the front of the site, along a portion of the southwestern parking lot, and within the employee parking lot; a Site Lighting Plan dated 7/19/24 was included in the referral materials; and

WHEREAS, the project is within 2,000 feet of multiple sites (IDs: 734004, 734123, C734152) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); the site is located over, or immediately adjoining, primary and principal aquifers (per EAF Mapper); and

WHEREAS, the site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological site inventory (per EAF Mapper);  
ADVISORY NOTE: The applicant and/or municipality is advised to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review (SEQR) process;  
ADVISORY NOTE: Per GML § 239-nn, the legislative body or other authorized body having jurisdiction in a municipality shall give notice to an adjacent municipality when a hearing is held by such body relating to a subdivision, site plan, special use permit, or a use variance on property that is within five hundred feet of an adjacent municipality; such notice shall be given by mail or electronic transmission to the clerk of the adjacent municipality at least ten days prior to any such hearing; and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board recommends the following MODIFICATION(S) to the proposed action prior to local board approval of the proposed action:

1. The municipality must ensure the applicant owns or can demonstrate control over all lands included in the proposal prior to, or as a condition of, municipal approval of the site plan.
2. The municipality must ensure that no construction of permanent structures occurs which may encroach into the county sanitary sewer easement or affect the county infrastructure. The applicant must contact the Onondaga County Department of Water Environment Protection (WEP) Flow Control Division for any

infrastructure-related disturbance of land within the county easement prior to, or as a condition of, municipal approval.

The Board offers the following comments:

1. Given the presence of state wetlands and floodplain at the rear of the site, the Board encourages the City to require the applicant increase plantings on the site as a whole, but particularly at the rear of the site to provide buffering between the extensive parking lots of the site and nearby natural resources including Ley Creek and Onondaga Lake.
2. The Board encourages the installation of sidewalks, where feasible, along the site's frontage along Hiawatha Boulevard East.



Martin E. Voss, Chairman  
Onondaga County Planning Board

## Parcel History

01/01/1900 - 08/12/2024

Tax Map #: 001.1-01-29.0

Owners: Valiant Real Estate USA Inc

Zoning: IN

Address	Date	Transaction	Transaction Type	Status	Description
309 Fourth North St Rear	01/04/18	Permit Application	Sprinkler	Issued	31103   Sprinkler
309 Fourth North St Rear	01/11/18	Inspection	Inspector Notification	In Progress	
309 Fourth North St Rear	01/18/18	Inspection	Progress Inspection	In Progress	
309 Fourth North St Rear	01/24/18	Inspection	Progress Inspection	In Progress	
309 Fourth North St Rear	01/31/18	Inspection	Progress Inspection	In Progress	
309 Fourth North St Rear	02/07/18	Inspection	Progress Inspection	In Progress	
309 Fourth North St Rear	02/14/18	Inspection	Progress Inspection	Pass	
309 Fourth North St Rear	02/14/18	Completed Permit	Sprinkler	Certificate Issued	31103   Sprinkler   Certificate of Completion #31103
309 Fourth North St Rear	08/05/24	Project	Major Site Plan Review	In Review	MaSPR-24-31   Renovate existing warehouse/office building into a new facility for NY Bus Sales and their new EV Bus Fleet. Two metal buildings on adjacent properties will be demolished, andd the 56,000 SF warehouse building will be renovated into a 9,300 SF office, 15,750 SF bus service area, and the 29,000 SF warehouse will be for their parts and regional distribution center. Land use per zoning ordinance will be motor freight or fleet terminal land use type.

**Parcel History**

01/01/1900 - 08/12/2024

Tax Map #: 001.1-01-26.0

Owners: CLEMENT J COLUCCI, Valiant Real Estate USA Inc

Zoning: IN

Address	Date	Transaction	Transaction Type	Status	Description
815 Hiawatha Blvd E Rear	03/29/16	Inspection	Complaint Inspection	N/A	
815 Hiawatha Blvd E Rear	04/04/16	Completed Complaint	Trash/Debris-Private, Occ	Completed	2016-06822   Pile of railroad ties in front, 8 ft from the curb. Drive by.
815 Hiawatha Blvd E Rear	04/04/16	Inspection	Complaint Re-Inspection	Pass	
815 Hiawatha Blvd E Rear	06/20/18	Inspection	Complaint Inspection	Fail	
815 Hiawatha Blvd E Rear	06/20/18	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
815 Hiawatha Blvd E Rear	07/02/18	Inspection	Complaint Re-Inspection	No Progress	
815 Hiawatha Blvd E Rear	07/31/18	Inspection	Complaint Re-Inspection	In Progress	
815 Hiawatha Blvd E Rear	08/07/18	Completed Complaint	Trash/Debris-Private, Occ	Completed	2018-18800   large dumpster in back yard, tires, paint cans, boat trailer, brush--says it is not viewable from the street. Neighbor at 819 Hiawatha gives permission to park in driveway and enter back yard to view dumpster/trash.
815 Hiawatha Blvd E Rear	08/07/18	Inspection	Complaint Re-Inspection	Pass	

## Parcel History

01/01/1900 - 08/12/2024

Tax Map #: 001.1-01-24.0

Owners: Mark Dayger

Zoning: IN

Address	Date	Transaction	Transaction Type	Status	Description
823 Hiawatha Blvd E	07/24/24	Complaint	Vacant Lot	Open	V2024-0414   Overgrowth
823 Hiawatha Blvd E	07/24/24	Inspection	Complaint Inspection	Fail	
823 Hiawatha Blvd E	07/24/24	Violation	SPCC - Section 27-72 (f) - Overgrowth	Open	
823 Hiawatha Blvd E	07/29/24	Inspection	Complaint Inspection	Pass	



City of Syracuse  
**Parcel History**  
 01/01/1900 - 08/12/2024  
 Tax Map #: 001.1-01-23.0  
 Owners: Mark Dayger  
 Zoning: IN

Address	Date	Transaction	Transaction Type	Status	Description
825 Hiawatha Blvd E	01/28/14	Completed Complaint	Trash Skip	Completed	2014-01653   trash skipped
825 Hiawatha Blvd E	01/28/14	Completed Complaint	Trash Skip	Completed	2014-01674   Sorry, caller never mentioned E or W Hiawatha.
825 Hiawatha Blvd E	12/18/15	Completed Complaint	Blue Bin Skip	Completed	2015-33579   blue bin skip (states that this is occurring often within the last 2 months)
825 Hiawatha Blvd E	12/20/15	Completed Complaint	Blue Bin Skip	Completed	2015-32128   bb skip
825 Hiawatha Blvd E	12/20/15	Completed Complaint	Blue Bin Skip	Completed	2015-32133   please pick up my blue bins
825 Hiawatha Blvd E	12/31/15	Completed Complaint	Blue Bin Skip	Completed	2015-34108   bb skip today
825 Hiawatha Blvd E	01/25/17	Periodic Inspection	Rental Registry	Invalid - failed to	
825 Hiawatha Blvd E	08/27/17	Completed Complaint	Sewer Back Up	Completed	2017-25389   bu for sun 8/27
825 Hiawatha Blvd E	08/13/19	Completed Complaint	Trash Skip	Completed	2019-21958   trash skip
825 Hiawatha Blvd E	08/14/19	Completed Complaint	Illegal Trash Set Out	Completed	2019-22221   trash on curb illegal set out **8/9..called back, still out there
825 Hiawatha Blvd E	05/15/23	Completed Complaint	Property Maintenance-Ext	Admin-Closed	2022-06011   overgrowth
825 Hiawatha Blvd E	11/03/23	Complaint	Rental Registry	Open	2023-07627   Failure to apply/obtain Rental Registry
825 Hiawatha Blvd E	11/03/23	Inspection	Complaint Inspection	Fail	
825 Hiawatha Blvd E	11/03/23	Violation	SPCC-Sec. 27-133 Registration	Open	
825 Hiawatha Blvd E	11/24/23	Inspection	Complaint Re-Inspection	No Progress	
825 Hiawatha Blvd E	12/19/23	Inspection	Complaint Re-Inspection	<None>	
825 Hiawatha Blvd E	06/17/24	Complaint	Property Maintenance-Ext	Open	2024-04749   OG
825 Hiawatha Blvd E	06/28/24	Inspection	Complaint Inspection	Fail	
825 Hiawatha Blvd E	06/28/24	Violation	SPCC - Section 27-72 (f) - Overgrowth	Open	
825 Hiawatha Blvd E	07/16/24	Inspection	Complaint Inspection	No Progress	
825 Hiawatha Blvd E	07/19/24	Inspection	Complaint Inspection	<None>	
825 Hiawatha Blvd E	07/24/24	Complaint	Vacant House	Open	V2024-0416   vacant

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
825 Hiawatha Blvd E	07/24/24	Violation	2020 PMCNYS - Section 304.8 - Decorative features	Open	
825 Hiawatha Blvd E	07/24/24	Violation	2020 PMCNYS - Section 304.11 - Chimneys and towers	Open	
825 Hiawatha Blvd E	07/24/24	Violation	SGOC - Section 54-5(A) - Lead Abatement and Control Deteriorated Paint Violation - Exterior Residential	Open	
825 Hiawatha Blvd E	07/24/24	Violation	2020 PMCNYS - Section 302.7- Accessory Structures	Open	
825 Hiawatha Blvd E	07/24/24	Violation	SPCC - Section 27-116 (E) - Vacant Property Registry	Open	
825 Hiawatha Blvd E	07/24/24	Inspection	Complaint Inspection	Fail	
825 Hiawatha Blvd E	07/24/24	Violation	2020 PMCNYS - Section 304.4 - Structural Members	Open	
825 Hiawatha Blvd E	08/09/24	Inspection	Complaint Re-Inspection	<None>	

City of Syracuse  
**Parcel History**  
 01/01/1900 - 08/12/2024  
 Tax Map #: 001.1-01-22.0  
 Owners: GSPDC  
 Zoning: IN

Address	Date	Transaction	Transaction Type	Status	Description
829 Hiawatha Blvd E	06/05/12	Inspection	Complaint Inspection	Fail	
829 Hiawatha Blvd E	06/05/12	Violation	SGOC - Section 14-18 - Early or late set out of trash	Closed	
829 Hiawatha Blvd E	06/05/12	Violation	SGOC - Section 14-22 - Excessive trash & debris	Closed	
829 Hiawatha Blvd E	06/08/12	Completed Complaint	Illegal Trash Set Out	Completed	2012-12648   Sani list/ no photo
829 Hiawatha Blvd E	01/11/15	Periodic Inspection	Rental Registry	RR - Valid/Cert	
829 Hiawatha Blvd E	07/19/16	Inspection	Complaint Inspection	No Progress	
829 Hiawatha Blvd E	08/19/16	Completed Complaint	Property Maintenance- Ext	Completed	2016-19952   Rt. Side door too narrow for wheel chair. Sidewalk on Rt. hand side has buckled. Front porch stairs are unstable.
829 Hiawatha Blvd E	08/19/16	Inspection	Complaint Inspection	No Progress	
829 Hiawatha Blvd E	09/25/17	Completed Complaint	Bulk Household Items	Completed	2017-27808   cat carrier,8 window blinds..knows limits
829 Hiawatha Blvd E	09/24/19	Completed Complaint	Bulk Household Items	Completed	2019-25721   couch
829 Hiawatha Blvd E	04/07/22	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
829 Hiawatha Blvd E	04/07/22	Inspection	Complaint Inspection	Fail	
829 Hiawatha Blvd E	04/15/22	Inspection	Complaint Inspection	No Progress	
829 Hiawatha Blvd E	04/05/23	Inspection	Complaint Inspection	No Progress	
829 Hiawatha Blvd E	04/12/23	Inspection	Complaint Inspection	No Progress	
829 Hiawatha Blvd E	04/19/23	Inspection	Complaint Inspection	No Progress	
829 Hiawatha Blvd E	05/10/23	Inspection	Complaint Inspection	No Progress	
829 Hiawatha Blvd E	05/17/23	Inspection	Complaint Inspection	Fail	
829 Hiawatha Blvd E	06/14/23	Inspection	Complaint Inspection	No Progress	
829 Hiawatha Blvd E	06/23/23	Completed Complaint	Property Maintenance- Ext	Completed	2022-02779   T+D-UPDATE 4/3/23-Neighbor left message; said nothing has been cleaned up, still T & D-UPDATE 5/23/23-Neighbor said still a mess-See Blue Note

City of Syracuse  
**Parcel History**

<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
829 Hiawatha Blvd E	06/28/23	Inspection	Complaint Inspection	N/A	

**Parcel History**

01/01/1900 - 08/12/2024

Tax Map #: 001.1-01-21.0

Owners: Valiant Real Estate USA Inc

Zoning: IN

Address	Date	Transaction	Transaction Type	Status	Description
833 Hiawatha Blvd E	06/23/23	Complaint	Vacant Lot	Open	V2023-0870   OG-T+D
833 Hiawatha Blvd E	06/23/23	Inspection	Complaint Inspection	Fail	
833 Hiawatha Blvd E	06/23/23	Violation	SPCC - Section 27-72 (f) - Overgrowth	Open	
833 Hiawatha Blvd E	06/23/23	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Open	
833 Hiawatha Blvd E	06/30/23	Inspection	Complaint Inspection	No Progress	
833 Hiawatha Blvd E	07/10/23	Inspection	Complaint Inspection	In Progress	
833 Hiawatha Blvd E	07/25/23	Inspection	Vacant Property - Routine Inspection	Pass	
833 Hiawatha Blvd E	08/14/23	Inspection	Complaint Inspection	Pass	
833 Hiawatha Blvd E	08/22/23	Inspection	Vacant Property - Routine Inspection	Pass	
833 Hiawatha Blvd E	09/20/23	Inspection	Vacant Property - Routine Inspection	Pass	
833 Hiawatha Blvd E	10/18/23	Inspection	Vacant Property - Routine Inspection	Pass	
833 Hiawatha Blvd E	11/15/23	Inspection	Vacant Property - Routine Inspection	Pass	
833 Hiawatha Blvd E	12/13/23	Inspection	Vacant Property - Routine Inspection	Pass	
833 Hiawatha Blvd E	01/18/24	Inspection	Vacant Property - Routine Inspection	Pass	
833 Hiawatha Blvd E	02/15/24	Inspection	Vacant Property - Routine Inspection	Pass	
833 Hiawatha Blvd E	03/14/24	Inspection	Vacant Property - Routine Inspection	<None>	



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Alain Chabot  
From: Zhitong Wu, Zoning Planner  
Date: 8/16/2024 11:08:42 AM  
Re: Major Site Plan Review MaSPR-24-31  
309 Fourth North St Rear, Syracuse, 13208

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	08/08/2024	Vinny Esposito	The City Engineer must approve the drainage plan. All remaining building sewers must be video inspected to the main sewer to determine condition. Any deficiencies must be corrected by the owner/developer. If buildings to be demolished have existing sewers, those laterals must be cut and capped at the street line.
DPW - Transportation Planner	Pending	08/05/2024		
Zoning Planner	On Hold	08/14/2024	Zhitong Wu	On hold for decision from CPC.
Parks - Forestry	Pending	08/05/2024		
Planning Commission	Pending	08/05/2024		
Eng. Design & Cons. - Zoning	Conditionally Approved	08/09/2024	Mirza Malkoc	<ul style="list-style-type: none"> <li>• All construction in the R.O.W. will require a permit, all construction in the R.O.W. to be per City standards and specifications.</li> <li>• Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review.</li> <li>• Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf.</li> <li>• Stormwater Access &amp; Maintenance Agreements shall be submitted for review.</li> <li>• Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties &amp; to the City R.O.W.</li> <li>• The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan &amp; details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan</li> </ul>

then most likely will require Common Council Approval.  
 • Onondaga County Plumbing Control shall review and approve the plans as well.

City Engineer - Zoning	Pending	08/05/2024		
Eng. Mapping - Zoning	Pending	08/05/2024		
Water Engineering - Zoning	Pending	08/05/2024		
Fire Prevention - Zoning	Pending	08/05/2024		
DPW Traffic Control- Zoning	Approved	08/08/2024	Charles Gafrancesco	No concern with site plan.
Onondaga Co Planning Board	Conditionally Approved	08/14/2024	Zhitong Wu	<p>The Board recommend following conditions to the project upon the approval:</p> <ol style="list-style-type: none"> <li>1. The municipality must ensure the applicant owns or can demonstrate control over all lands included in the proposal prior to, or as a condition of, municipal approval of the site plan.</li> <li>2. The municipality must ensure that no construction of permanent structures occurs which may encroach into the county sanitary sewer easement or affect the county infrastructure. The applicant must contact the Onondaga County Department of Water Environment Protection (WEP) Flow Control Division for any infrastructure-related disturbance of land within the county easement prior to, or as a condition of, municipal approval.</li> </ol> <p>The Board offers following comments:</p> <ol style="list-style-type: none"> <li>1. Given the presence of state wetlands and floodplain at the rear of the site, the Board encourages the City to require the applicant increase plantings on the site as a whole, but particularly at the rear of the site to provide buffering between the extensive parking lots of the site and nearby natural resources including Ley Creek and Onondaga Lake.</li> <li>2. The Board encourages the installation of sidewalks, where feasible, along the site's frontage along Hiawatha Boulevard East.</li> </ol>
Landmark Preservation Board	Internal Review Complete	08/07/2024	Kate Auwaerter	Not applicable. (The historic designation was in error for this property.) No preservation review is required.