



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>MaSPR-24-30</i></b>	<b><i>Staff Report – August 19, 2024</i></b>
<b><i>Application Type:</i></b>	Major Site Plan Review Application
<b><i>Project Address:</i></b>	1153 W Fayette Street (Tax Map #099.-03.3-03.2)
<b><i>Summary of Proposed Action:</i></b>	A Major Site Plan Review to convert the land use from a former 6-story commercial building into a Public Safety Building land use type with an accessory parking lot.
<b><i>Owner/Applicant</i></b>	1153 Owner, LLC. (Owner/applicant)
<b><i>Existing Zone District:</i></b>	Mixed-Use Transition, MX-3 Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the north are within the Light Industry and Employment, IN Zone District, to the east are within the MX-3 Zone District, and to the west and south are within the Urban Core, MX-4 Zone District.
<b><i>Companion Application(s)</i></b>	None
<b><i>Scope of Work:</i></b>	The scope of work includes partial demolition of the single-story portions of the buildings, exterior façade improvements to the building, major interior renovations for offices and operational space for Syracuse Police and Fire Departments, and site improvements for a new parking lot, new stormwater management system, and pedestrian access.
<b><i>Staff Analysis:</i></b>	<p><b><u>Factors:</u></b></p> <ul style="list-style-type: none"> <li>- The Site is where Syracuse Fire and Police Departments would have offices, trainings, operations, and public services.</li> <li>- The Site has soil and groundwater contamination; however, the site has been accepted in the Brownfield Cleanup Program (Site no. C734164). The Site will undergo soil remediation according to the Brownfield Cleanup Agreement, executed on June 21, 2024.</li> <li>- The Site has an Interim Site Management Plan (ISMP), dated July 2024, that was developed to manage contamination at the Site during all redevelopment actions. The Project is undergoing discussions with the NYS Department of Environmental Conservation to finalize the Remedial Action Objectives (RAOs) which will be included in the Final Site Management Plan.</li> <li>- RAOs are the specific actions that will be taken to clean the site and manage contaminants during all redevelop activities.</li> <li>- The Site, according to State policy, also needs an Air Monitoring Plan which has been prepared and is dated July 2024.</li> <li>- All activities and actions related to the cleanup will be in compliance with regulatory agencies and oversight by the NYSDEC and Department of Health, and these departments must approve the Site Management Plan before redevelopment commences.</li> <li>- The proposed parking lot design does not conform to ReZone Art. 4, Sec. 4.4F(5)b.2. because there are no landscaped parking islands breaking up parking bays of more than 12 spaces.</li> <li>- The proposal violates ReZone, Art. 4 Sec. 4.4F(6) because plans do not indicate where snow storage will be.</li> <li>- The proposal does not show any proposed bicycle parking spaces and violates ReZone, Art.4 Sec. 4.4H(1) and (2).</li> <li>- ReZone, 4.5B(4) states landscaping plans are required for site plan approval, the applicant has submitted a site layout plan that shows areas along the northern property line and the eastern façade of the building that will be landscaped but with</li> </ul>

	<p>no details.</p> <p><b><u>Recommended conditions if approved:</u></b></p> <ul style="list-style-type: none"> <li>- The applicant must submit the Stormwater Pollution Prevention Plan and get approval from Onondaga County Department of Water Environment Protection for the stormwater connection to the channelized portion of Harbor Brook.</li> <li>- The applicant shall submit a landscaping plan and coordinate with the City Arborist before being issued any site work permits.</li> <li>- The applicant shall comply with Parking Lot Standards in ReZone, Art. 4, Sec. 4.4F(5)b.2 and 4.4F(6) before any site work permits are issued.</li> <li>- Pursuant to ReZone, Art. 4, Sec. 4.4H(1)a., the applicant shall provide a 1 bicycle space per 6 vehicle parking spaces.</li> </ul>																																								
<p><b><i>Zoning Procedural History:</i></b></p>	<table border="1"> <thead> <tr> <th>Date</th> <th>Application Type</th> <th>Status</th> <th>Case #</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>06/12/91</td> <td>Off Premise Advertising</td> <td>Approved</td> <td>AS-91-12</td> <td>Signage - Command Services</td> </tr> <tr> <td>10/23/03</td> <td>Sign Waiver</td> <td>Approved with Conditions</td> <td>AS-03-32</td> <td>Waiver of area &amp; number (SEIU)</td> </tr> <tr> <td>07/24/17</td> <td>SP - Restaurant</td> <td>Denied Without Prejudice</td> <td>SP-17-14</td> <td>Interior alterations for proposed brewery and retail tasting area.</td> </tr> <tr> <td>10/17/17</td> <td>SP - Restaurant</td> <td>Approved with Conditions</td> <td>SP-17-19</td> <td>Interior alterations for proposed brewery and retail tasting area.</td> </tr> <tr> <td>03/05/18</td> <td>SP - Restaurant</td> <td>Approved</td> <td>SP-17-19 M1</td> <td>Modify floor plan (ROJI TEA KITCHEN)</td> </tr> <tr> <td>09/24/18</td> <td>SP - Indoor Amuse/Rec</td> <td>Approved</td> <td>SP-18-22</td> <td>Establish Indoor Amusement and Recreation</td> </tr> <tr> <td>09/18/23</td> <td>Resubdivision</td> <td>Approved</td> <td>R-23-45</td> <td>Divide on lot into two</td> </tr> </tbody> </table>	Date	Application Type	Status	Case #	Description	06/12/91	Off Premise Advertising	Approved	AS-91-12	Signage - Command Services	10/23/03	Sign Waiver	Approved with Conditions	AS-03-32	Waiver of area & number (SEIU)	07/24/17	SP - Restaurant	Denied Without Prejudice	SP-17-14	Interior alterations for proposed brewery and retail tasting area.	10/17/17	SP - Restaurant	Approved with Conditions	SP-17-19	Interior alterations for proposed brewery and retail tasting area.	03/05/18	SP - Restaurant	Approved	SP-17-19 M1	Modify floor plan (ROJI TEA KITCHEN)	09/24/18	SP - Indoor Amuse/Rec	Approved	SP-18-22	Establish Indoor Amusement and Recreation	09/18/23	Resubdivision	Approved	R-23-45	Divide on lot into two
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<p><b><i>Summary of Zoning History:</i></b></p>	<p>Before the 90s the Site was occupied by the Kemp &amp; Burpee Manufacturing Company that produced manure spreaders and was demolished sometime between 1938 and 1951. Afterwards the six-story industrial building was constructed for the Morris Distributing Company from approximately 1951 to 1988. Zoning records can be traced to the early 90s that approved a variety of commercial tenants. Site history can be found on Page 6 of the Phase II Environmental Site Assessment prepared by C&amp;S companies.</p>																																								
<p><b><i>Code Enforcement History:</i></b></p>	<p>See attached code enforcement history.</p>																																								
<p><b><i>Zoning Violations:</i></b></p>	<p>The proposed lot has no current zoning violations.</p>																																								
<p><b><i>Summary of Changes</i></b></p>	<p>This is not a continued application.</p>																																								
<p><b><i>Property Characteristics:</i></b></p>	<p>The subject property is irregularly shaped with 466.96 feet of frontage along W Fayette Street and bounded by a wooded area and a practice field to the west, a daylighted portion of Harbor Brook and Geddes Street Plaza to the South, and an asphalt parking lot to the east. The size of the lot is 2.656 acres and 84.1% of the site is impervious surface coverage.</p>																																								

**MaSPR-24-30**

<b>SEQR Determination</b>	Pursuant to 6 NYCRR § 617.4(b)(9), the proposal is a Type 1 Action. Lead Agency letters were sent out July 17, 2024.
<b>Onondaga County Planning Board Referral:</b>	Pursuant to GML §239-1, m and n, the proposal was reviewed by the Onondaga County Planning Board on July 31, 2024, with recommendations for modifications. The Office of Zoning Administration has considered the recommended modifications and obtained a copy of the Stormwater Prevention and Pollution Plan that address stormwater drainage and quantity and quality concerns for discharge into Harbor Brook, and has acquired more details of the site plan, usage of the facilities etc.

**Application Submittals:** The application submitted the following in support of the proposed project:

- Major Site Plan Review Application
- Full Environmental Assessment Form Part 1
- The rest of the submittals are the drawings such as the listed below.
- Boundary and Topographic Survey Map: FOR THE LANDS OF 1153 OWNER, LLC AND THE CITY OF SYRACUSE 1153 WEST FAYETTE STREET PART OF FARMLOTS 261 & 262 OF THE LATE ONONDAGA SALT SPRINGS RESERVATION/LOT A – FM 13566, CITY OF SYRACUSE, ONONDAGA COUNTY, NEW YORK; Licensed Land Surveyor: David Michael Sliski; C.T. Male Associates; date: 02/14/2024; Scaled: 1”=30’.
- Site Plan (Sheet C-100). Prepared by CHA Solutions. Date: 03/20/2024; Scaled as noted.
- Life Safety Plan (Sheets T2, T3). Prepared by MacKnight Architects and Planners, LLP. Date: 05/30/2024; Scale: 3/32”=1’.
- Floor Plan (Sheets A-102, A-103, A-104, A-105, A-106, A-107). Prepared by MacKnight Architects and Planners, LLP. Date: 05/30/2024; Scaled as noted.
- Elevation Plan (Sheets A-211, A-212, A-213, A-214, A-215). Prepared by MacKnight Architects and Planners, LLP. Date: 05/30/2024; Scale: 1/8”=1’.
- Section Plan (Sheets A-301, A-302, A-303). Prepared by MacKnight Architects and Planners, LLP. Date: 05/30/2024; Scaled as noted.

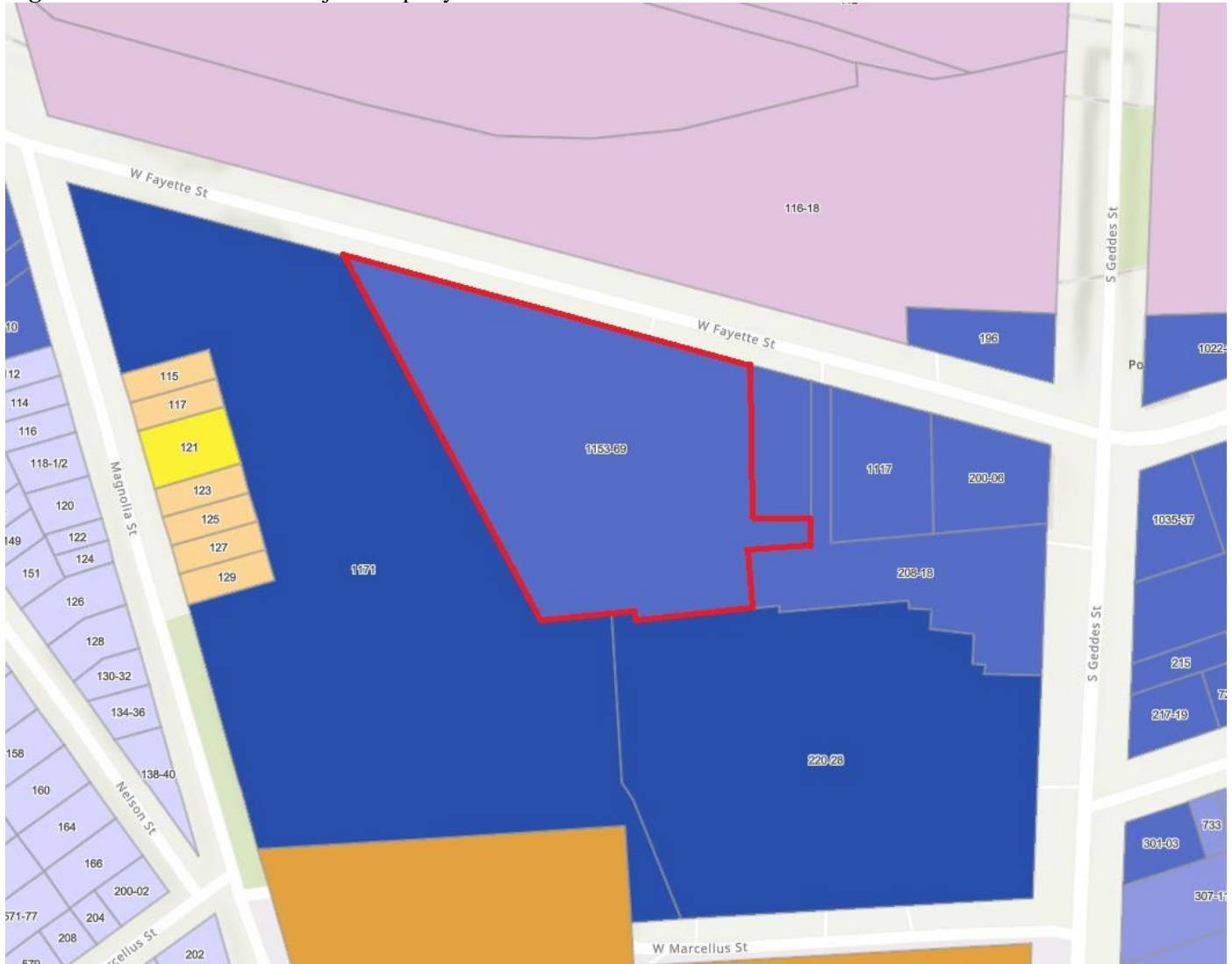
**Attachments:**

Major Site Plan Review Application  
Code Enforcement History

OCPB Comments  
IPS Comments from City Departments

**Context Maps:**

**Figure 1:** Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property

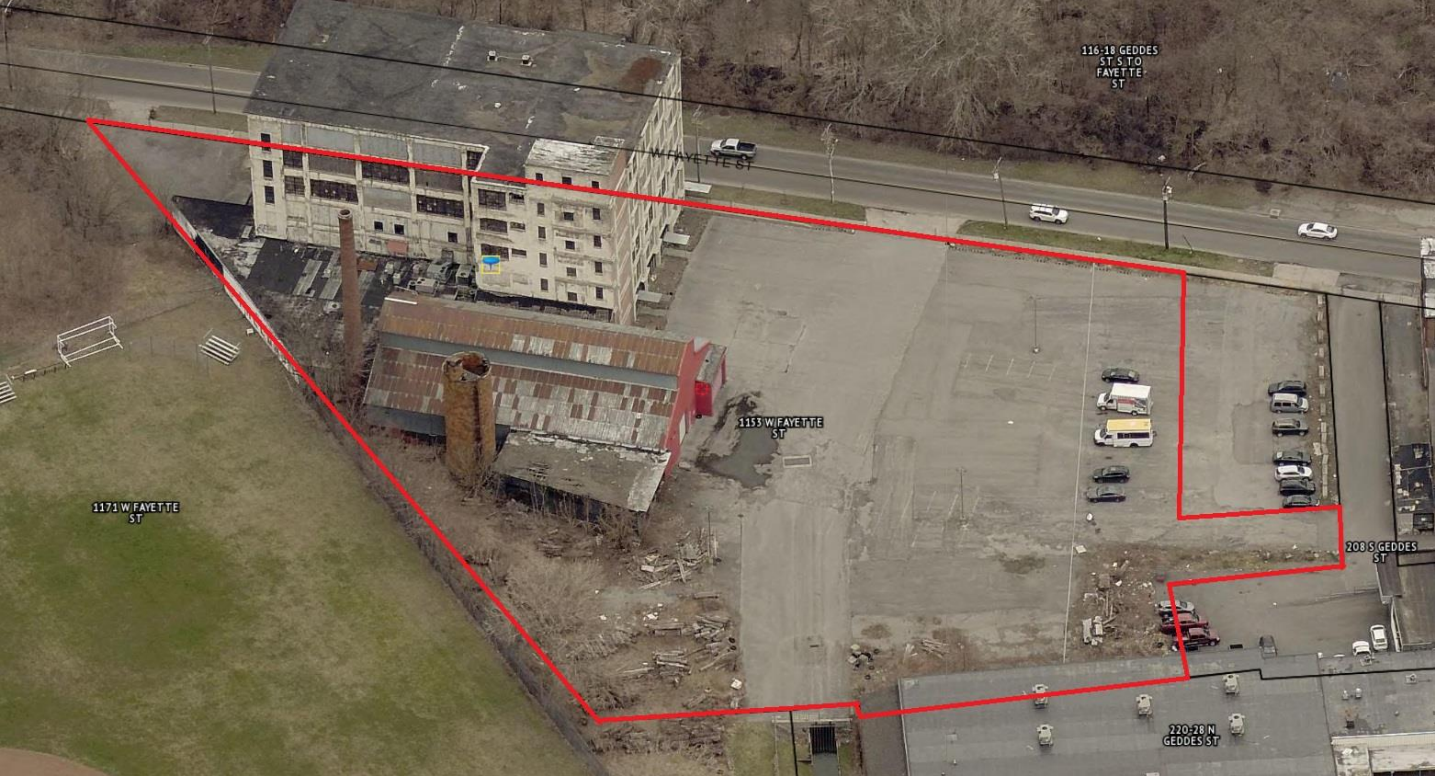


Image Source: ConnectExplorer™, Eagle View Technology Corporation



July 3, 2024

Syracuse Zoning Administration  
One Park Place  
300 S. State Street - Suite 700  
Syracuse NY 13202

**RE: Site Plan Review Application – Syracuse Public Safety Building  
1153 West Fayette Street  
CHA Project No. 088543**

Dear Syracuse Zoning Administration:

CHA, on behalf of the applicant/owner, is pleased to submit the enclosed Site Plan Review Application related to the above referenced property.

### **PROPERTY ZONING**

The subject property located at 1153 West Fayette Street is currently within the Mixed-Use Transition (MX-3) district. This district is established to provide variety of uses, including compatible nonresidential uses, such as offices and supporting commercial uses.

Allowable uses within the MX-3 district include Public Safety Facility (Article 3 – Table 3.1).

### **PROJECT SUMMARY**

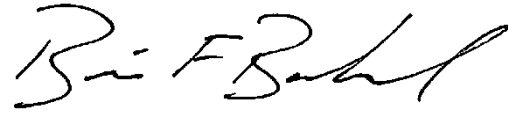
The project site is currently vacant with the existing Lipe-Rollway Building consisting of approximately 100,000 SF of the former industrial complex that is listed on the National Register. The project will transform these distressed and vacant structures into a renovated public safety facility for the City of Syracuse Police and Fire departments that includes: 71,500 SF of office and operations space, 14,300 of employee wellness facilities, and 16,707 in training facilities, indoor parking and secured storage. Additional site improvements will include new parking areas, fencing, sidewalks, stormwater management, and site utilities.

The following items are included in this submission:

- Site Plan Review Application
- SEQR Form
- Survey
- Site Plan
- Architectural Drawings

Should you have any questions related to the submission, please do not hesitate to contact me at 315-228-0036 or [bbouchard@chasolutions.com](mailto:bbouchard@chasolutions.com)

Very truly yours,

A handwritten signature in black ink, appearing to read "Brian F. Bouchard". The signature is fluid and cursive, with the first name "Brian" being the most prominent.

Brian F. Bouchard, P.E.  
Project Engineer V

BFB

Cc:

V:\Projects\ANY\K7\088543.000\07\_Permitting\Local\1 - Site Plan Review-6-20-24\0 - Site Plan Cover Letter - 7-3-24.docx



## Site Plan Review Application



### For Office Use Only

Zoning District: \_\_\_\_\_  
Application Number: S- \_\_\_\_\_ - \_\_\_\_\_  
Date: \_\_\_\_\_

Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syrgov.net


### Site Plan Review Application

*This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

### General Project Information

Business/project name: Syracuse Public Safety Building		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 1153 W. Fayette Street, Syracuse NY 13204 (TMP 099.-03-02.1)		
Lot numbers: 02.1	Block number: 03	Lot size (sq. ft.) 115,706
Current use of property: Existing 6 story commercial building	Proposed: Public Safety Building	
Current number of dwelling units (if applicable): NA	Proposed: NA	
Current onsite parking (if applicable): 84 Spaces	Proposed: 147 Spaces	
Zoning (base and any overlay) of property: MX-3 Mixed-Use Transition		
Companion zoning applications (if applicable, list any related zoning applications):		
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor		
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input type="checkbox"/> New construction <input checked="" type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size:	Type:	Location:
Size:	Type:	Location:
Nature and extent of Site Plan requested (attach additional pages if necessary): Partial demolition of existing single story portions of buildings and exterior improvements to the site for new parking layout, stormwater management system and pedestrian access.		

### Owner/Owner's Agent Certification

<i>By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.</i>	
Print owner name: 1153 Owner, LLC	
Signature: 	Date: 7/2/2024
Mailing address: P.O. Box 515 Syracuse NY 13205	
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.	



## Site Plan Review Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

### Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

*Please submit one copy of each of the following:*

- APPLICATION** – filled out completely, dated, and signed by property owner as instructed
- STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR)** – Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
- PHOTOGRAPHS (COLOR) of the PROJECT SITE** – keyed to a property survey or site plan
- PHOTOGRAPHS (COLOR) of the STREETScape** – including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
- APPLICATION FEE** – \$0

*Please submit three full sized and one no larger than 11x17" of all of the plans listed below (all plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below):*

- AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
- SITE PLAN(S)** illustrating site alterations and post project conditions that are/will be different from the as built property survey including:
  - Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
  - Demolitions and post demolition conditions
  - Structures
  - Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage
  - Loading dock and delivery areas
  - Dumpsters and/or trash receptacles
  - Landscaping including type, height, and number of plantings
  - Screening including parking, dumpsters, and site
  - Fencing including type and height
  - Lighting including structure heights and luminaries wattage
  - Ground signs
  - Street rights-of-way conditions, existing and proposed, including curb cuts, driveways, sidewalks, and plantings
  - Encroachments, existing or proposed, into the City rights-of-way including stairs, signs, and awning
- FLOOR PLANS** for new construction, additions, and change of zoning use/building occupancies with square footages and all applicable layouts (e.g., customer areas, kitchens, bathrooms, bedrooms, etc.) clearly labeled for land uses

## Site Plan Review Application



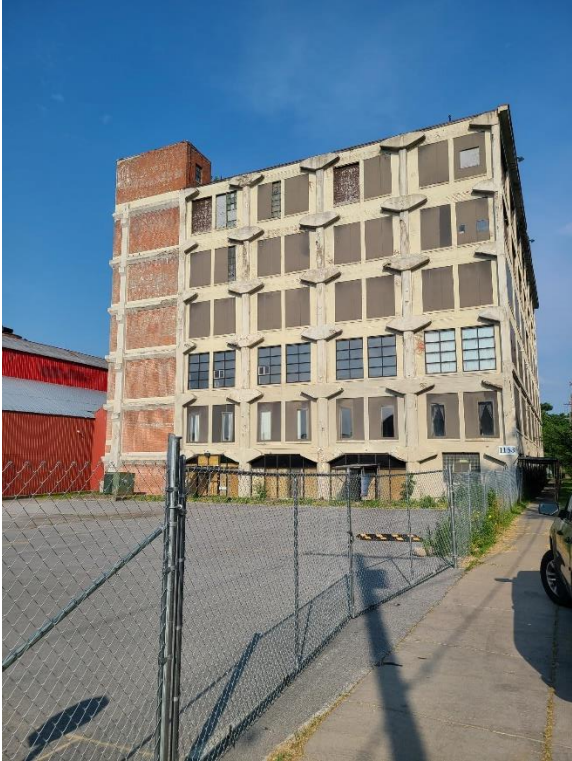
Office of Zoning Administration  
One Park Place, 300 S State St,  
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Phone: (315) 448-8640  
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**EXTERIOR BUILDING ELEVATIONS AND SPECIFICATIONS** with all dimensions, materials, and colors clearly illustrated and noted (Schematics or color renderings can be submitted in addition to elevation drawings, if available)

**EXTERIOR SIGNAGE DRAWINGS** showing all of the following:

- Size
- Type
- Location (photos may be used to show location. Exact placement must be included for ground signs – measurements from structure to sign location and distance from sign to property line (not sidewalk). For wall signs, the distance from the top of the sign to roofline, from ground to bottom of the sign, and measurement from the side of the building to the side of the sign must be shown)

EXISTING SITE – 1153 W. FAYETTE STREET





**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Proposed Syracuse Public Safety Building		
Project Location (describe, and attach a general location map): 1153 West Fayette Street, Syracuse NY 13204		
Brief Description of Proposed Action (include purpose or need): Renovation of existing building and construction of new parking layout to serve as a public safety building for the City of Syracuse police and fire departments. Exterior improvements will be construction of a new parking area with security fencing and electric vehicle chargers. A new drainage system will be installed to collect storm water runoff and treat/mitigate prior to releasing to the Harbor Brook culvert.		
Name of Applicant/Sponsor: 1153 Owner, LLC		Telephone: E-Mail:
Address: P.O. Box 515		
City/PO: Syracuse	State: NY	Zip Code: 13205
Project Contact (if not same as sponsor; give name and title/role): CHA Solutions		Telephone: 315-257-7258 E-Mail: BHarrell@chasolutions.com
Address: 300 S. State Street, Suite 600		
City/PO: Syracuse	State: NY	Zip Code: 13202
Property Owner (if not same as sponsor):		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City Planning Commission (Site Plan Review)	July 2024
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Syracuse IDA	July 2024
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	OCDWEP (Drainage Connection Permit)	August 2024
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC (Brownfield Clean Up / SWPPP) / SHPO	January 2024
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	National Park Service (NPS) Historic Preservation	January 2024
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

Remediation Sites: C734164  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
MX-3 - Mixed Use Transition

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Syracuse City School District

b. What police or other public protection forces serve the project site?  
Syracuse City Police

c. Which fire protection and emergency medical services serve the project site?  
Syracuse City Fire Department & AMR Ambulance

d. What parks serve the project site?  
Lipe Art Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial - Public Safety Building

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 2.66 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 1.75 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 2.90 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ 12 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 9,680 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: City of Syracuse Water District
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 9,680 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: Metropolitan Wastewater Plant
- Name of district: Onondaga County Sanitary District
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

Yes  No  
 Yes  No

Do existing sewer lines serve the project site?  
 Will a line extension within an existing district be necessary to serve the project?  
 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

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iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 2.23 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 2.66 acres (parcel size)
- ii. Describe types of new point sources. Discharge from proposed stormwater management area to Harbor brook as in existing conditions
- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
Stormwater will be directed to on-site stormwater management facilities and will then discharge to the Harbor Brook culvert
- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
  - Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- ii. In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
2.4 mWh per year

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Via grid (National Grid) through existing service

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>7am-5pm</u></li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>24/7 (Public Safety Building)</u></li> <li>• Saturday: <u>24/7 (Public Safety Building)</u></li> <li>• Sunday: <u>24/7 (Public Safety Building)</u></li> <li>• Holidays: <u>24/7 (Public Safety Building)</u></li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
Construction equipment during site improvements between 7am and 5pm Monday through Friday

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Pole and building mounted lighting that is directed downward and dark sky compliant for safety and security.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ 8 tons per \_\_\_\_\_ week (unit of time)  
 • Operation : \_\_\_\_\_ 2 tons per \_\_\_\_\_ week (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: Separation of metals, wood and waste in bins for appropriate recycling and disposal  
 \_\_\_\_\_  
 • Operation: Separation of recycling from general waste  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: Commercial waste hauler  
 \_\_\_\_\_  
 • Operation: Commercial waste hauler  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
Commercial and industrial land to the North and East, George Fowler High School to the south and city of Syracuse athletic fields to the west

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	2.13	2.23	+0.1
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.53	0.43	-0.1
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
George Fowler High School, Arc of Onondaga, Special Olympics Onondaga County, Frazer Pre-K-8 School, It Takes a Village Childcare Center

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): C734164  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
Site is an active Brownfield Cleanup Program site, Brownfield Cleanup Program application is still underview with NYSDEC so no corrective activities have been established at this point.  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 734022, C734160, C734164  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
734022 - Completed remediation, C734160 - Active Brownfield clean up plan still under review, C734164 - Active Brownfield clean up plan still under review

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >15' feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Urban Land \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 9-14 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ 100 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 Name - Pollutants - Uses: Harbor Brook, Lower, and tribs – Pathogens; Nutrients; Other Pollutants; Ammonia – Recreation; Public Bath...

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ <u>Small Birds</u> _____ <u>Squirrels</u> _____ _____                                      _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____	
ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat:	
• Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No  
 If Yes:  
 i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District  
 ii. Name: Eligible property: Kemp & Burpee Manufacturing Company Building, Eligible property: Brown & Lipe Company/Gear Factory, ...  
 iii. Brief description of attributes on which listing is based:  
 Kemp & Burpee - historic manufacturing mill, Brown & Lipe - Early Concrete framed daylight factory, Lipe Rollway - Historic Factory Kahn concrete system

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No  
 If Yes:  
 i. Describe possible resource(s): Lipe Rollway Building  
 ii. Basis for identification: Historic Factory built using Kahn concrete system construction method

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No  
 If Yes:  
 i. Identify resource: \_\_\_\_\_  
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_  
 iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No  
 If Yes:  
 i. Identify the name of the river and its designation: \_\_\_\_\_  
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

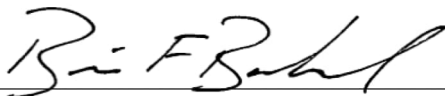
Attach any additional information which may be needed to clarify your project.

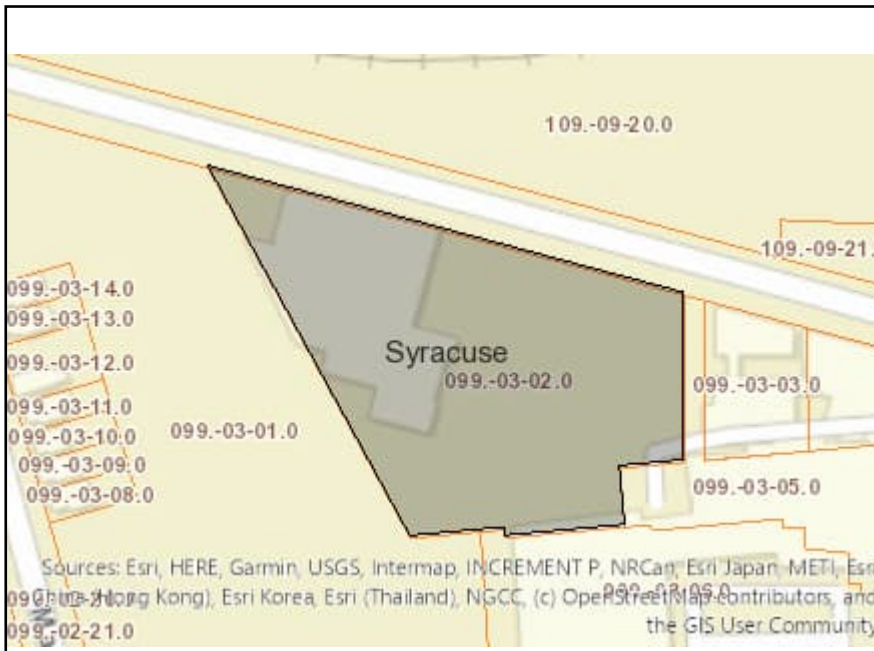
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name CHA Consulting, Inc c/o Brian Bouchard Date 7/1/24

Signature  Title Project Engineer

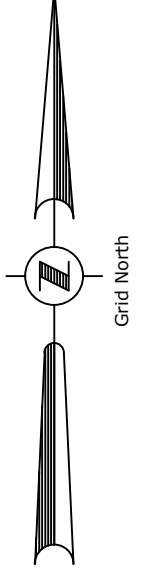


**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	Remediaton Sites:C734164
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Yes - Digital mapping data for Spills Incidents are not available for this location. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Yes
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Yes
E.1.h.i [DEC Spills or Remediation Site - DEC ID Number]	C734164
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	734022, C734160, C734164
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	Yes
E.2.h.v [Impaired Water Bodies - Name and Basis for Listing]	Name - Pollutants - Uses:Harbor Brook, Lower, and tribs – Pathogens;Nutrients;Other Pollutants;Ammonia – Recreation;Public Bathing;Habitat/Hydrology;Aquatic Life

E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:Kemp & Burpee Manufacturing Company Building, Eligible property:Brown & Lipe Company/Gear Factory, Lipe-Rollway Corporation Building, Kemp & Burpee / Brown-Lipe Factory Buildings
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



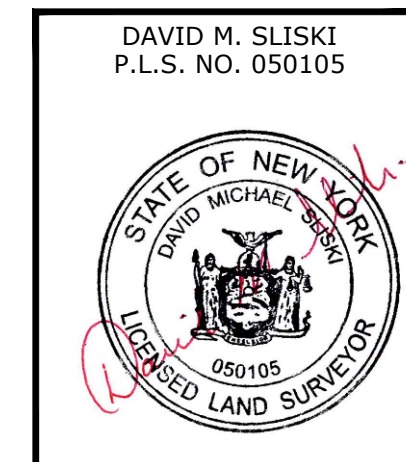
- MAP NOTES**
- 1.) NORTH ORIENTATION IS BASED ON GRID NORTH FROM RTK GPS OBSERVATIONS. ROTATION TO TITLE BEARINGS IS COUNTER CLOCKWISE 0°12'03". (ie: S 75°35'20" E (TITLE) = S 75°23'17" (GRID))
  - 2.) VERTICAL DATUM IS BASED ON NAVD 1988 DATUM FROM RTK GPS OBSERVATIONS.
  - 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
  - 4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY). THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
  - 5.) FIELD WORK PERFORMED ON JANUARY 23-FEBRUARY 7, 2024.

- MAP REFERENCES**
- 1.) FINAL SUBDIVISION MAP PART OF FARM LOT 261 & 262 PREPARED BY MICHAEL J. McCULLY, P.L.S. DATED 03-25-23 AND FILED IN THE ONONDAGA COUNTY CLERK'S OFFICE ON AS MAP 13566.



I CERTIFY THAT THIS SURVEY WAS PREPARED FROM AN ACTUAL FIELD SURVEY AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND HAS BEEN PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE OF THE N.Y.S. ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

*David M. Sliski* 02/14/2024  
 DAVID M. SLISKI PLS # 50105 DATE



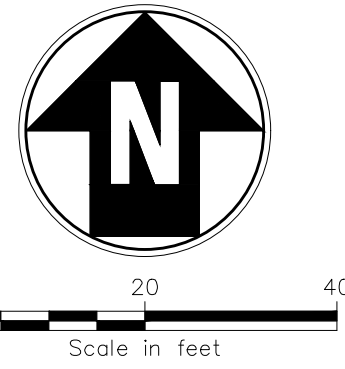
DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.

**BOUNDARY AND TOPOGRAPHIC SURVEY MAP**  
 FOR THE LANDS OF  
**1153 OWNER, LLC AND THE CITY OF SYRACUSE**  
 1153 WEST YAFETTE STREET

PART OF FARM LOTS 261 & 262 OF THE LATE ONONDAGA SALT SPRINGS RESERVATION / LOT A - FM 13566  
 CITY OF SYRACUSE ONONDAGA COUNTY, NEW YORK

**C.T. MALE ASSOCIATES**  
 Engineering, Surveying, Architecture, Landscape Architecture & Geology, P.C.  
 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH: 518.756.7400  
 COBLESKILL NY • GLENS FALLS, NY • POUGHKEEPSIE, NY  
 JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY  
 www.ctmale.com

SHEET 1 OF 1  
 DWG. NO: 24-0183



**APPLICANT:**  
**1153 OWNER, LLC**  
 PO BOX 515  
 SYRACUSE, NY 13205

R.O. - 1153 OWNER, LLC  
 INST. No. 2023-00021096  
 TM 99-03-02.2  
 (Lot B)

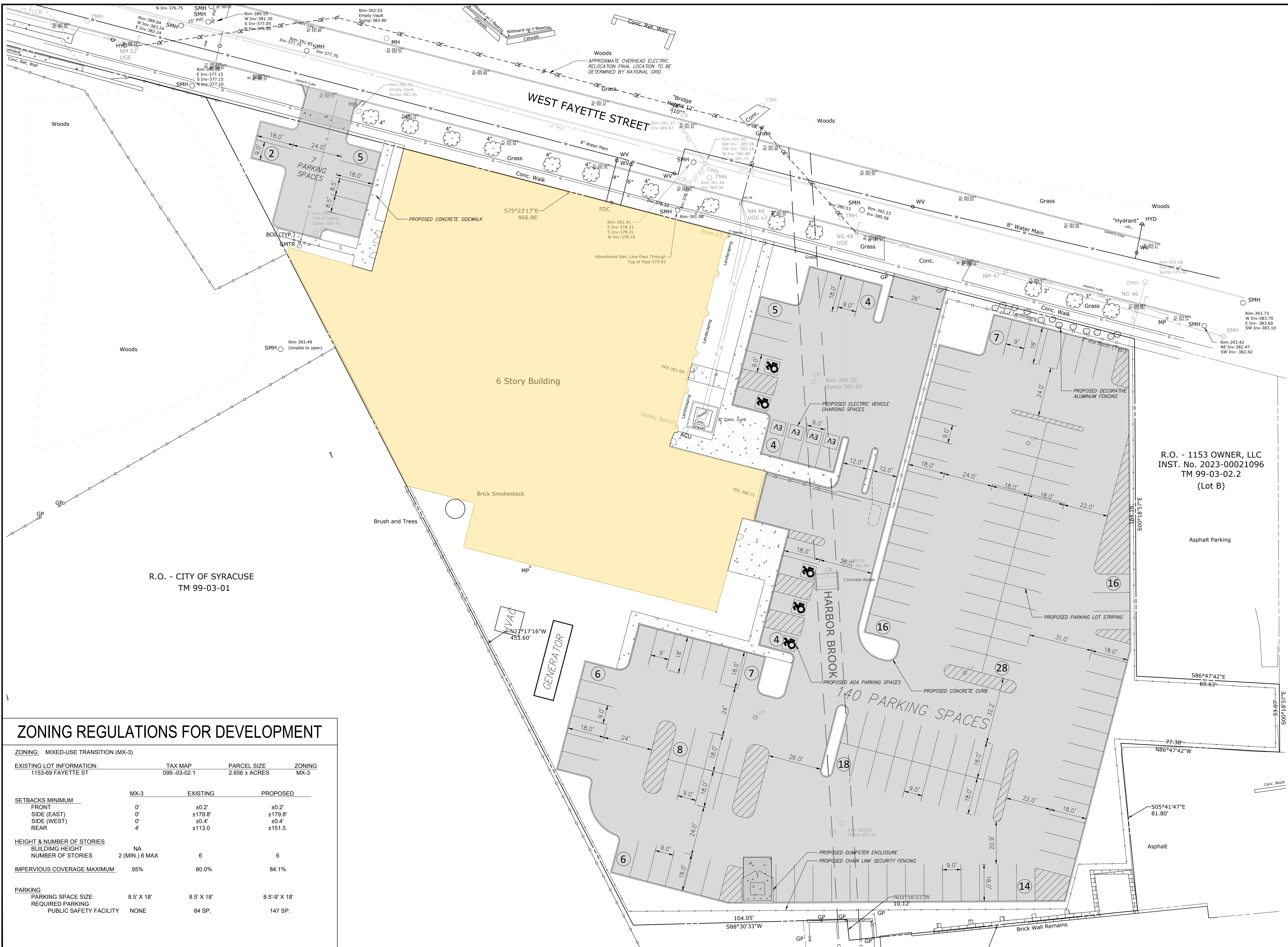
**PROJECT:**  
**SYRACUSE PUBLIC SAFETY BUILDING**  
 1153 WEST FAYETTE STREET  
 SYRACUSE NY 13204

No.	Submission / Revision	Appr	By	Date

**SITE LAYOUT PLAN**

Designed By: BFB	Drawn By: BGH	Checked By: BFB
Issue Date: 6/18/24	Project No.:088543	Scale: AS SHOWN

Drawing No.:  
**C-100**



R.O. - CITY OF SYRACUSE  
 TM 99-03-01

**ZONING REGULATIONS FOR DEVELOPMENT**

EXISTING LOT INFORMATION:	TAX MAP	PARCEL SIZE	ZONING
1153-69 FAYETTE ST	099-03-02.1	2.656 ± ACRES	MX-3

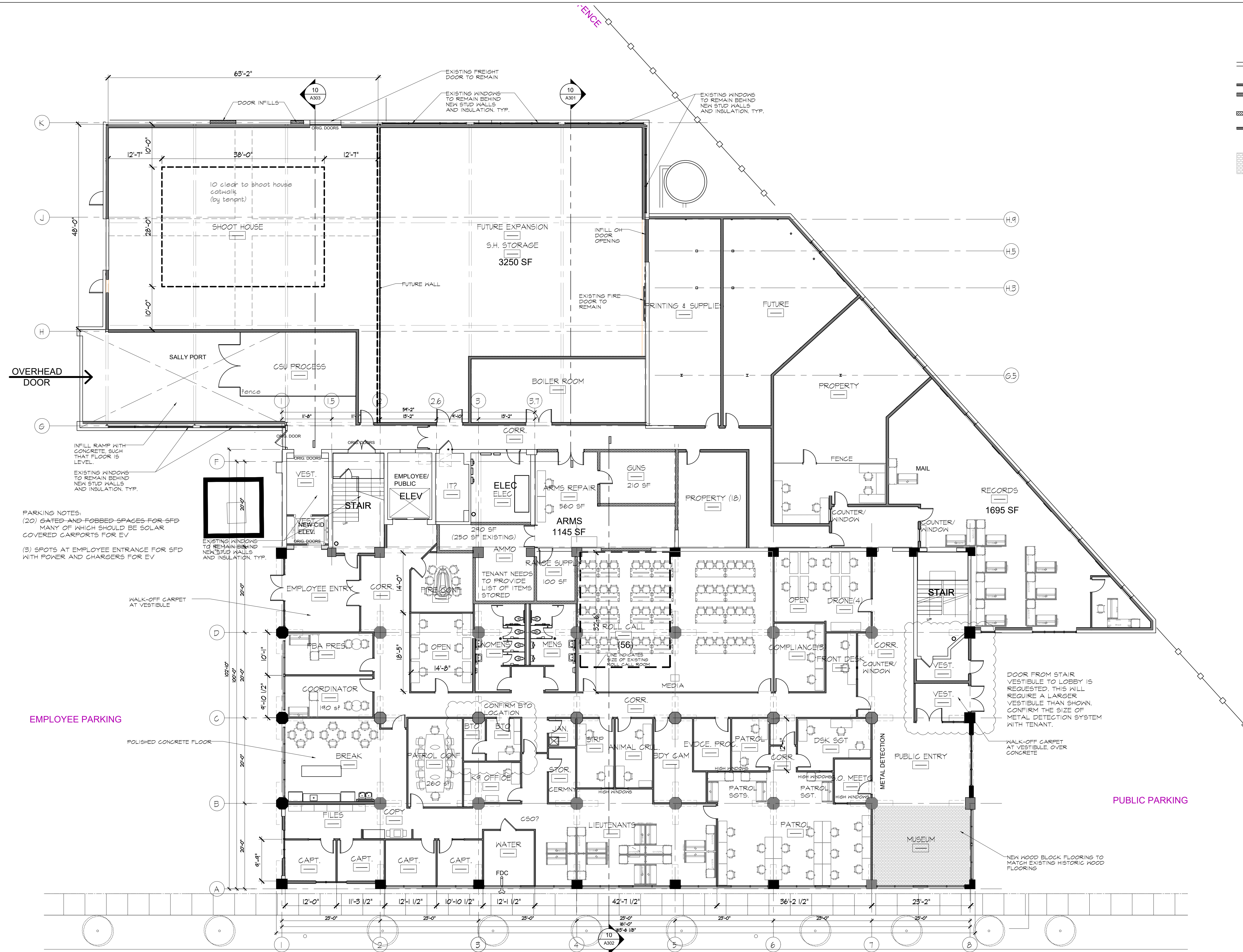
  

	MX-3	EXISTING	PROPOSED
<b>SETBACKS MINIMUM</b>			
FRONT	0'	±0.2'	±0.2'
SIDE (EAST)	0'	±179.8'	±179.8'
SIDE (WEST)	0'	±0.4'	±0.4'
REAR	4'	±113.0'	±151.5'
<b>HEIGHT &amp; NUMBER OF STORIES</b>			
BUILDING HEIGHT	NA		
NUMBER OF STORIES	2 (MIN.) 6 MAX	6	6
<b>IMPERVIOUS COVERAGE MAXIMUM</b>	95%	80.0%	84.1%
<b>PARKING</b>			
PARKING SPACE SIZE:	8.5' X 18'	8.5' X 18'	8.5'-9' X 18'
REQUIRED PARKING		84 SP.	147 SP.
PUBLIC SAFETY FACILITY	NONE		

File: V:\PROJECTS\NY\088543\_000\09\_DESIGN\DRAWINGS\01\_SHEETS\088543\_C-100-LAY1.DWG  
 Date: 6/20/2024 1:35:33 PM Plotter: 6/20/2024 1:39:42 PM Current User: Havel, Benjamin Location: 5727

LEGEND: RENOVATION PLAN

- EXISTING WALL TO REMAIN
- NEW METAL STUD AND GYPSUM WALL BOARD PARTITION
- NEW MASONRY PARTITION
- NEW DOOR IN NEW PARTITION
- NEW 4"x8" END GRAIN WOOD BLOCK FLOORING TO MATCH EXISTING HISTORIC WOOD FLOORING IN SHAPE AND TEXTURE.



PARKING NOTES:  
 (20) GATED AND FOLDED SPACES FOR SFD  
 MANY OF WHICH SHOULD BE SOLAR  
 COVERED CARPORTS FOR EV  
 (3) SPOTS AT EMPLOYEE ENTRANCE FOR SFD  
 WITH POWER AND CHARGERS FOR EV

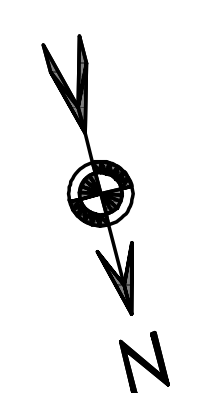
EMPLOYEE PARKING

PUBLIC PARKING

DOOR FROM STAIR  
 VESTIBULE TO LOBBY IS  
 REQUESTED. THIS WILL  
 REQUIRE A LARGER  
 VESTIBULE THAN SHOWN.  
 CONFIRM THE SIZE OF  
 METAL DETECTION SYSTEM  
 WITH TENANT.

WALK-OFF CARPET  
 AT VESTIBULE OVER  
 CONCRETE

NEW WOOD BLOCK FLOORING TO  
 MATCH EXISTING HISTORIC WOOD  
 FLOORING



10 PROPOSED FIRST FLOOR PLAN- POLICE  
 SCALE: 3/32"=1'-0"



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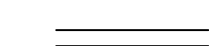




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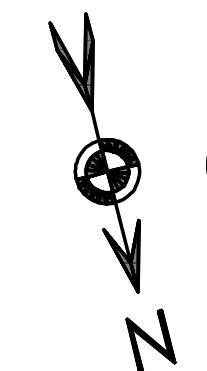
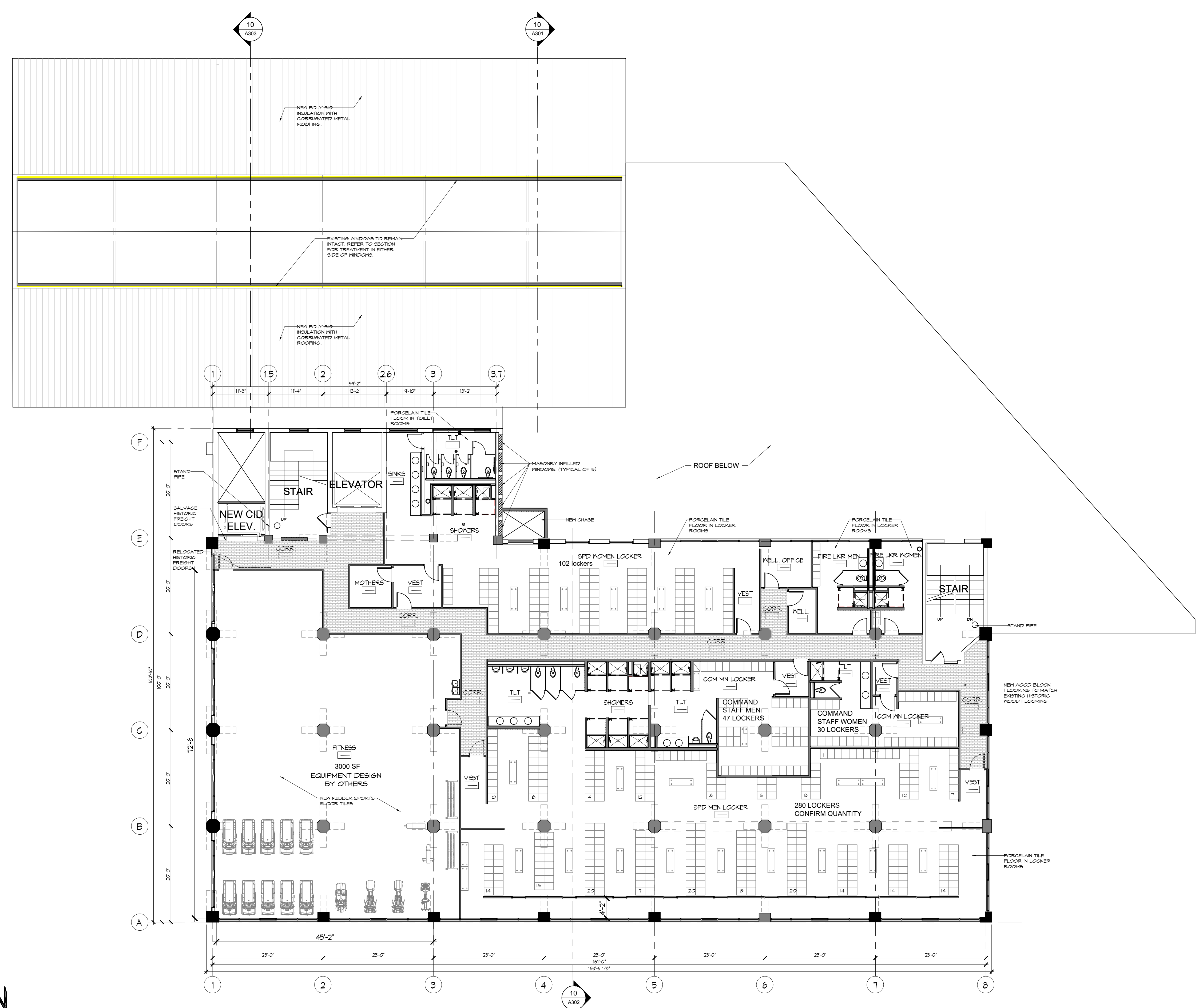
**PUBLIC SAFETY BUILDING**  
 1153 WEST FAYETTE STREET  
 SYRACUSE, NEW YORK 13204

REVISIONS			DATE
NO.	DATE	BY	5.30.24
			AA
			FIRST FLOOR PLAN
			A=101

DRAFT- NOT FOR CONSTRUCTION

LEGEND: RENOVATION PLAN

-  EXISTING WALL TO REMAIN
-  NEW METAL STUD AND GYPSUM WALL BOARD PARTITION
-  NEW MASONRY PARTITION
-  NEW DOOR IN NEW PARTITION
-  NEW 4"x8" END GRAIN WOOD BLOCK FLOORING TO MATCH EXISTING HISTORIC WOOD FLOORING IN SHAPE AND TEXTURE.



10 PROPOSED SECOND FLOOR PLAN  
SCALE: 3/32"=1'-0"

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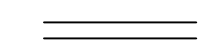



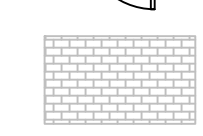
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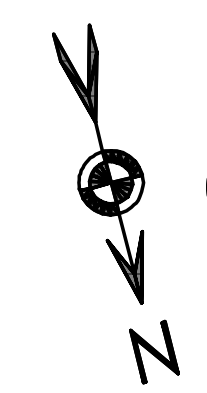
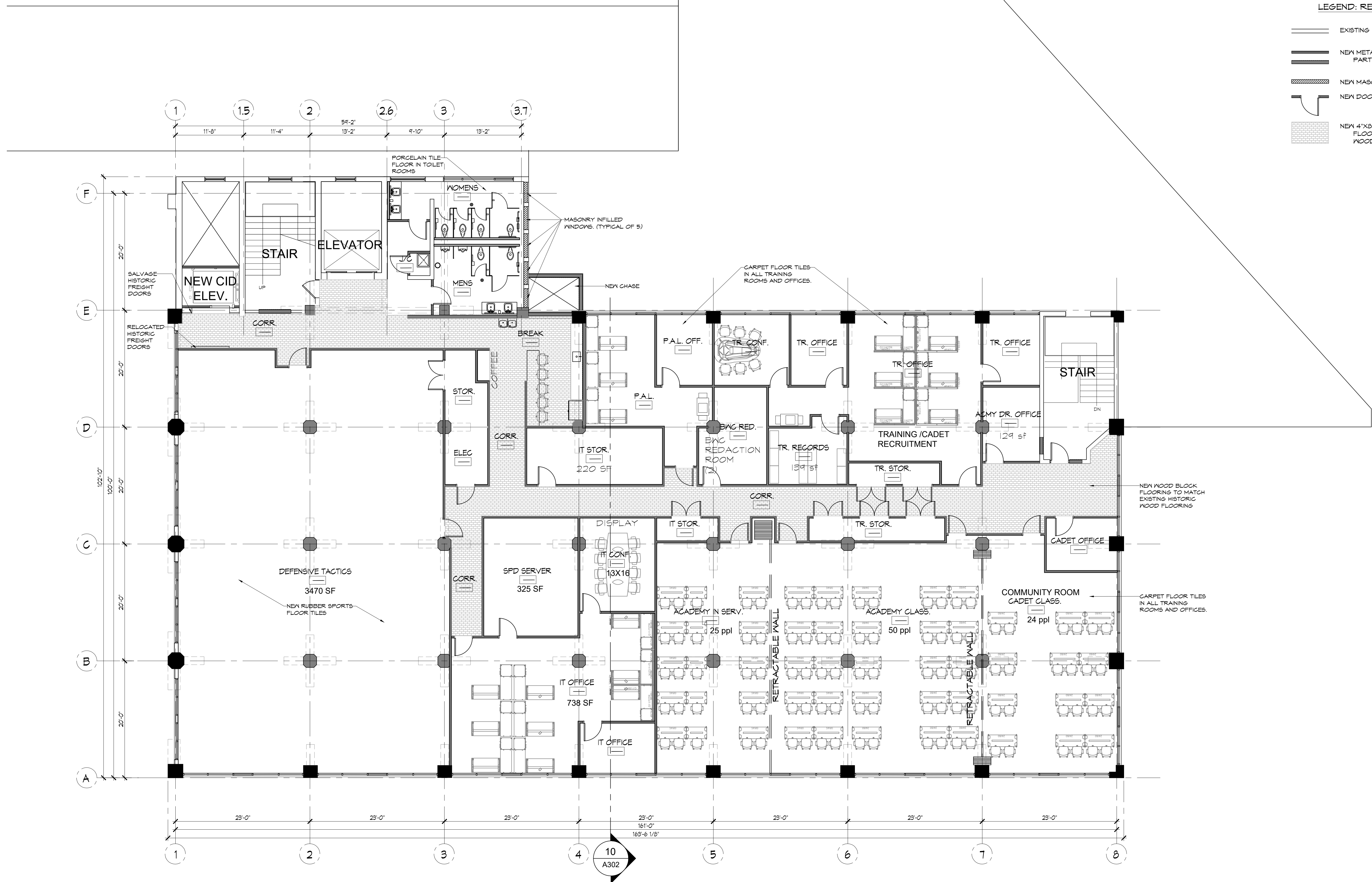
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REVISIONS			DATE
NO.	DATE	BY	
			5.30.24
			AA
			SECOND FLOOR PLAN
			<b>A-102</b>

LEGEND: RENOVATION PLAN

-  EXISTING WALL TO REMAIN
-  NEW METAL STUD AND GYPSUM WALL BOARD PARTITION
-  NEW MASONRY PARTITION
-  NEW DOOR IN NEW PARTITION
-  NEW 4"x8" END GRAIN WOOD BLOCK FLOORING TO MATCH EXISTING HISTORIC WOOD FLOORING IN SHAPE AND TEXTURE.



10 PROPOSED THIRD FLOOR PLAN- POLICE  
SCALE: 1/8"=1'-0"



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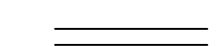




1153 WEST FAYETTE STREET  
SYRACUSE, NEW YORK 13204

REVISIONS			DATE	5.30.24
NO.	DATE	BY	DRAWN	AA
3RD FLOOR PROPOSED PLAN				
<b>A-103</b>				

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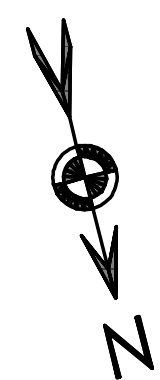


LEGEND: RENOVATION PLAN

-  EXISTING WALL TO REMAIN
-  NEW METAL STUD AND GYPSUM WALL BOARD PARTITION
-  NEW MASONRY PARTITION
-  NEW DOOR IN NEW PARTITION
-  NEW 4"x8" END GRAIN WOOD BLOCK FLOORING TO MATCH EXISTING HISTORIC WOOD FLOORING IN SHAPE AND TEXTURE.

WALL LEGEND

 SUGGESTED ACOUSTIC WALL TREATMENT LOCATION  
MOMENTUM NUFELT- FELT ROLL GOODS.



10 PROPOSED FOURTH FLOOR PLAN- POLICE  
SCALE: 1/8"=1'-0"



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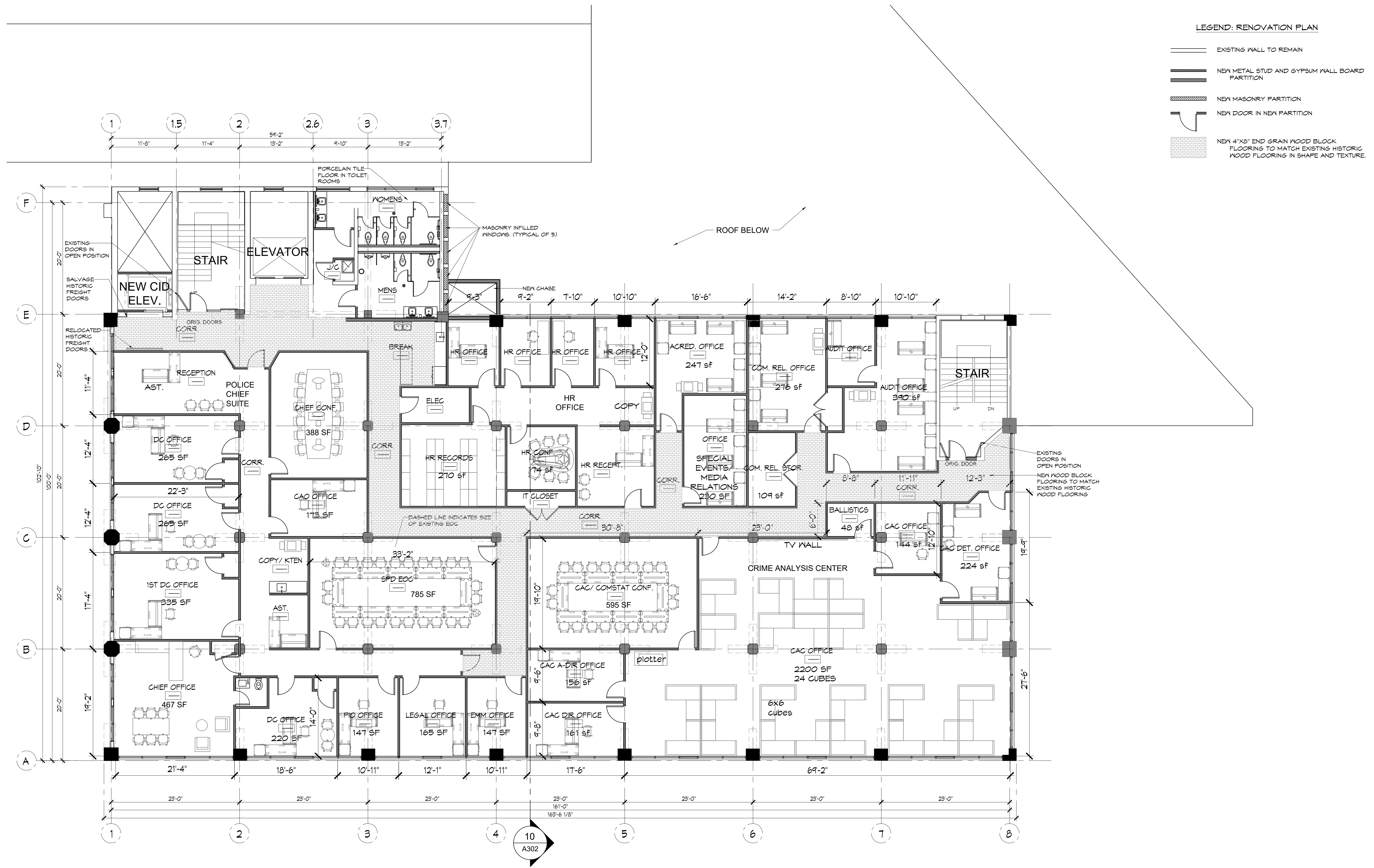
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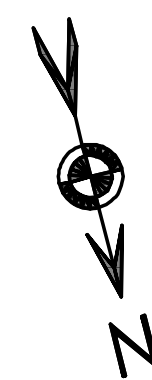
REVISIONS			DATE
NO.	DATE	BY	DATE
			5.30.24
			AA
			FOURTH FLOOR PLAN
			<b>A-104</b>

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**LEGEND: RENOVATION PLAN**

- EXISTING WALL TO REMAIN
- NEW METAL STUD AND GYPSUM WALL BOARD PARTITION
- NEW MASONRY PARTITION
- NEW DOOR IN NEW PARTITION
- NEW 4"X8" END GRAIN WOOD BLOCK FLOORING TO MATCH EXISTING HISTORIC WOOD FLOORING IN SHAPE AND TEXTURE



**10 PROPOSED FIFTH FLOOR PLAN- POLICE**  
SCALE: 1/8"=1'-0"



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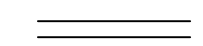




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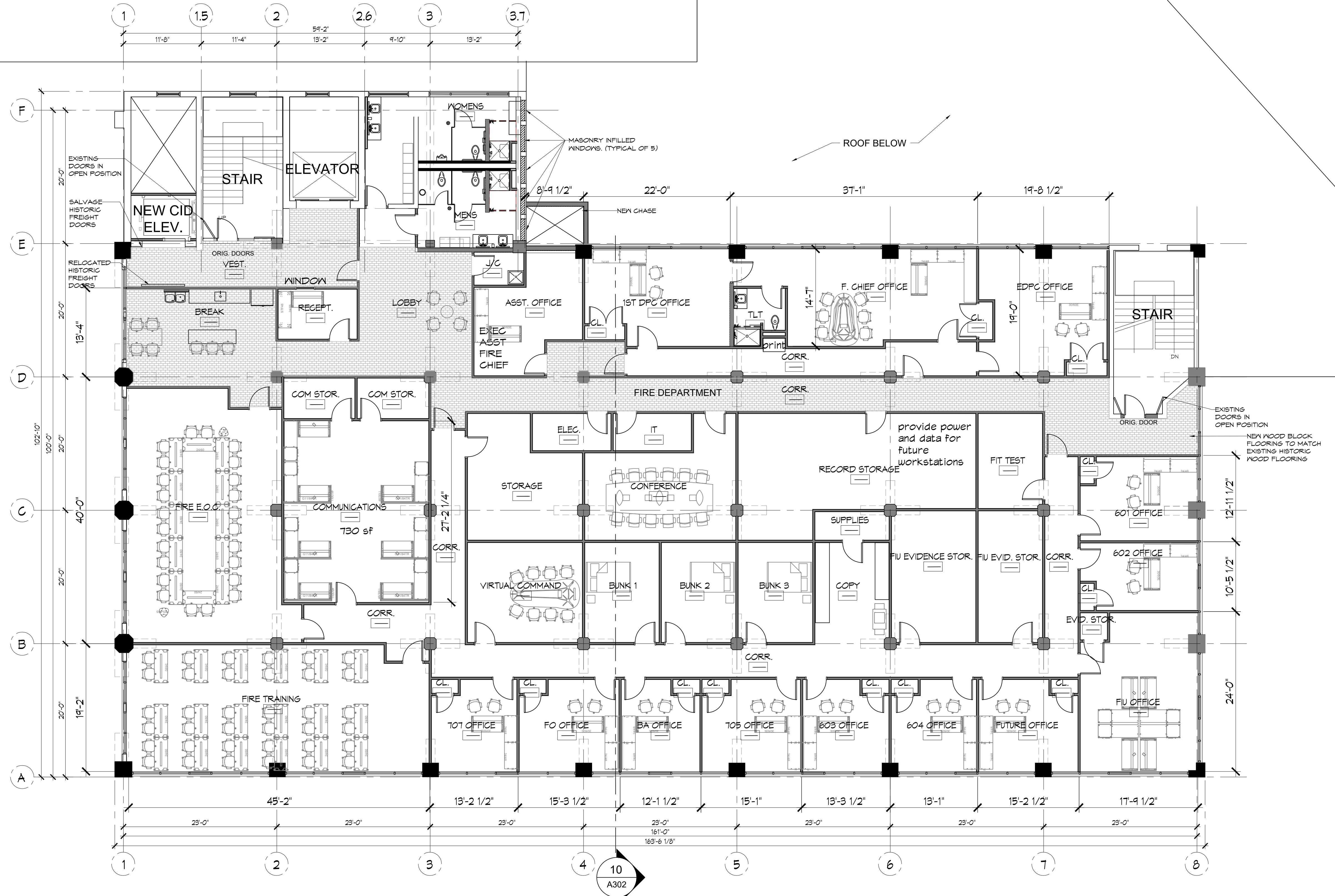
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SYRACUSE, NEW YORK 13204

REVISIONS			DATE
NO.	DATE	BY	5.30.24
			AA
			FIFTH FLOOR PLAN
			<b>A-105</b>

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LEGEND: RENOVATION PLAN

-  EXISTING WALL TO REMAIN
-  NEW METAL STUD AND GYPSUM WALL BOARD PARTITION
-  NEW MASONRY PARTITION
-  NEW DOOR IN NEW PARTITION
-  NEW 4"x8" END GRAIN WOOD BLOCK FLOORING TO MATCH EXISTING HISTORIC WOOD FLOORING IN SHAPE AND TEXTURE.



10 PROPOSED SIXTH FLOOR PLAN- FIRE  
SCALE: 1/8"=1'-0"



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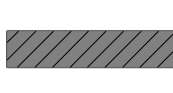




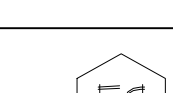
REVISIONS			DATE	5.30.24
NO.	DATE	BY	DRAWN	AA

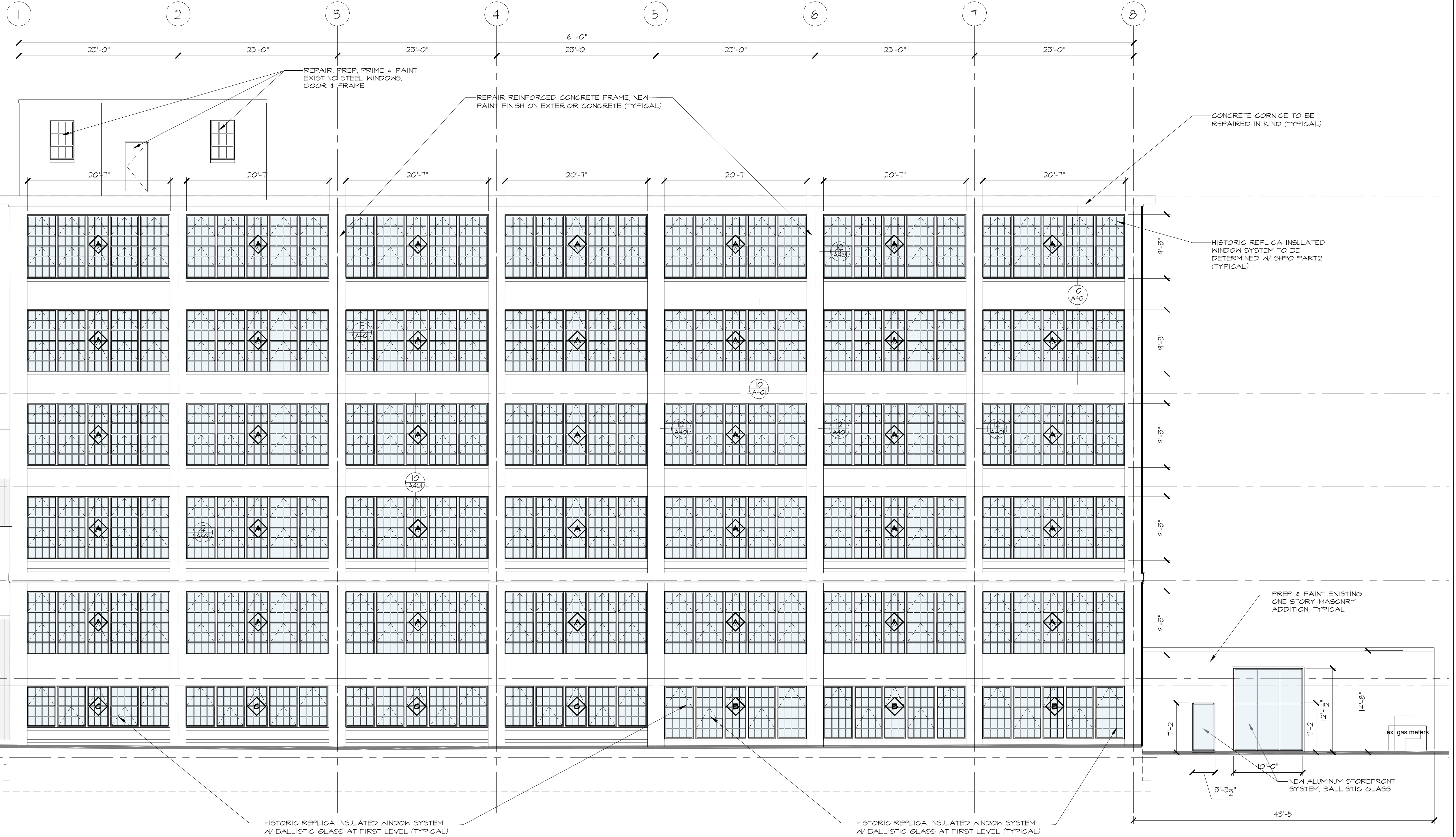
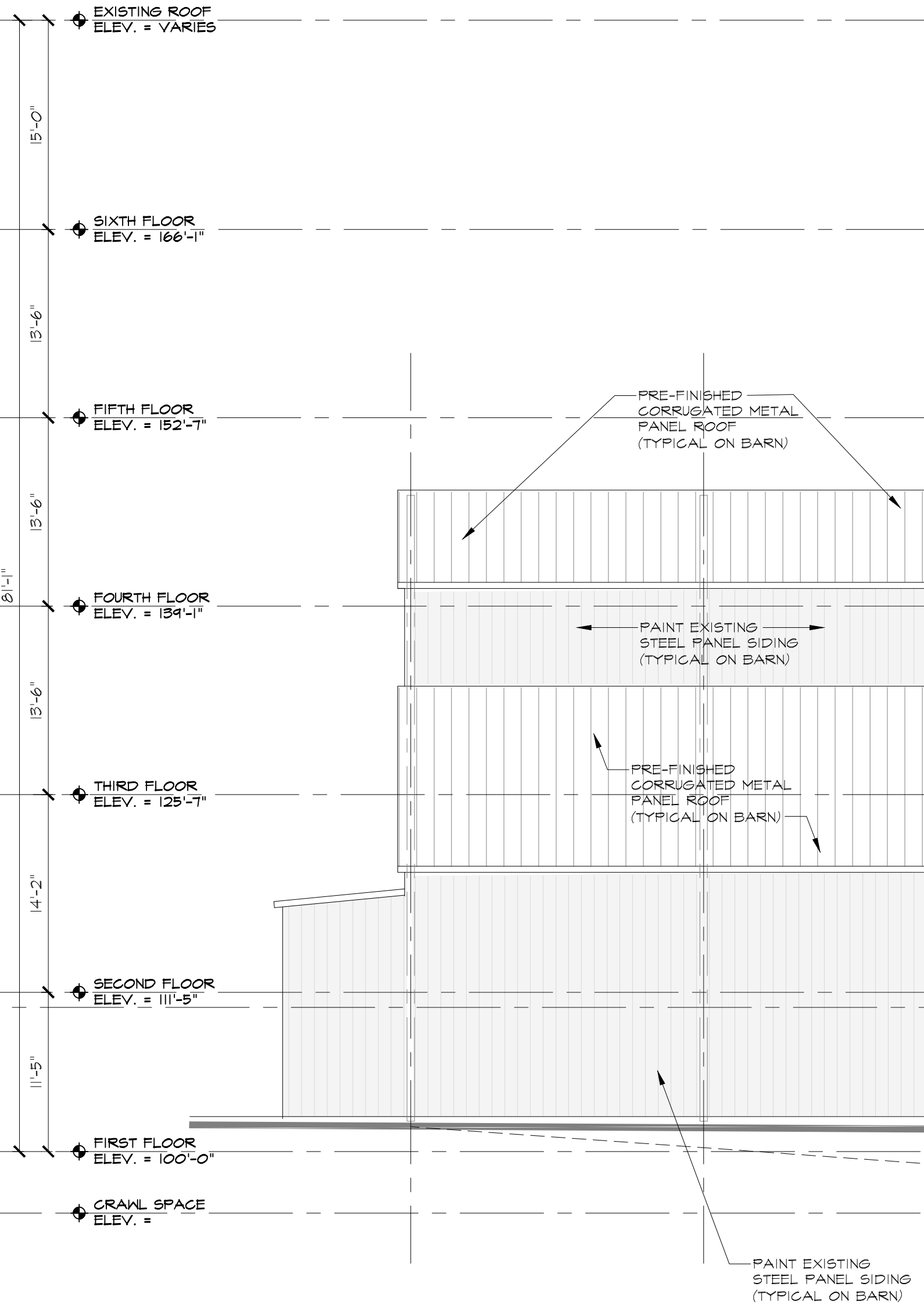
SIXTH FLOOR PLAN

**A-106**

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# RESTORATION KEY - EXTERIOR

-  NON- ORIGINAL EXTERIOR ELEMENT TO BE REMOVED  
NON-ORIGINAL WINDOW TO BE REMOVED
-  REPAIR EXISTING CONCRETE MASONRY SILL, MATCH ORIGINAL CONSTRUCTION, GROUT MINOR CRACKS SOLID, PAINT, SEAL
-  NEW CONCRETE MASONRY SILL, MATCH ORIGINAL SILL CONSTRUCTION WHERE MISSING OR DAMAGED BEYOND REPAIR
-  REPAIR EXISTING CONCRETE STRUCTURAL FRAME, SEE STRUCTURAL DRAWINGS, FINISH SMOOTH, PAINT, SEAL
-  EXISTING CONCRETE FRAME TO BE SELECTIVELY REPAIRED IN KIND, RE-PAINT. SEE STRUCTURAL DWGS
-  REPAIR OR REPLACE EXISTING LINTEL, MATCH EXISTING MORTAR TYPE & COLOR. SEE STRUCTURAL DWGS
- NOTE: NEW CONCRETE SILLS & STRUCTURAL FRAME REPAIR TO MATCH ORIGINAL HISTORIC APPEARANCE
-  NEW WINDOW, SEE WINDOW DETAILS.
-  EXTERIOR DOOR, SEE DOOR DETAILS & DOOR SCHEDULE



10 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



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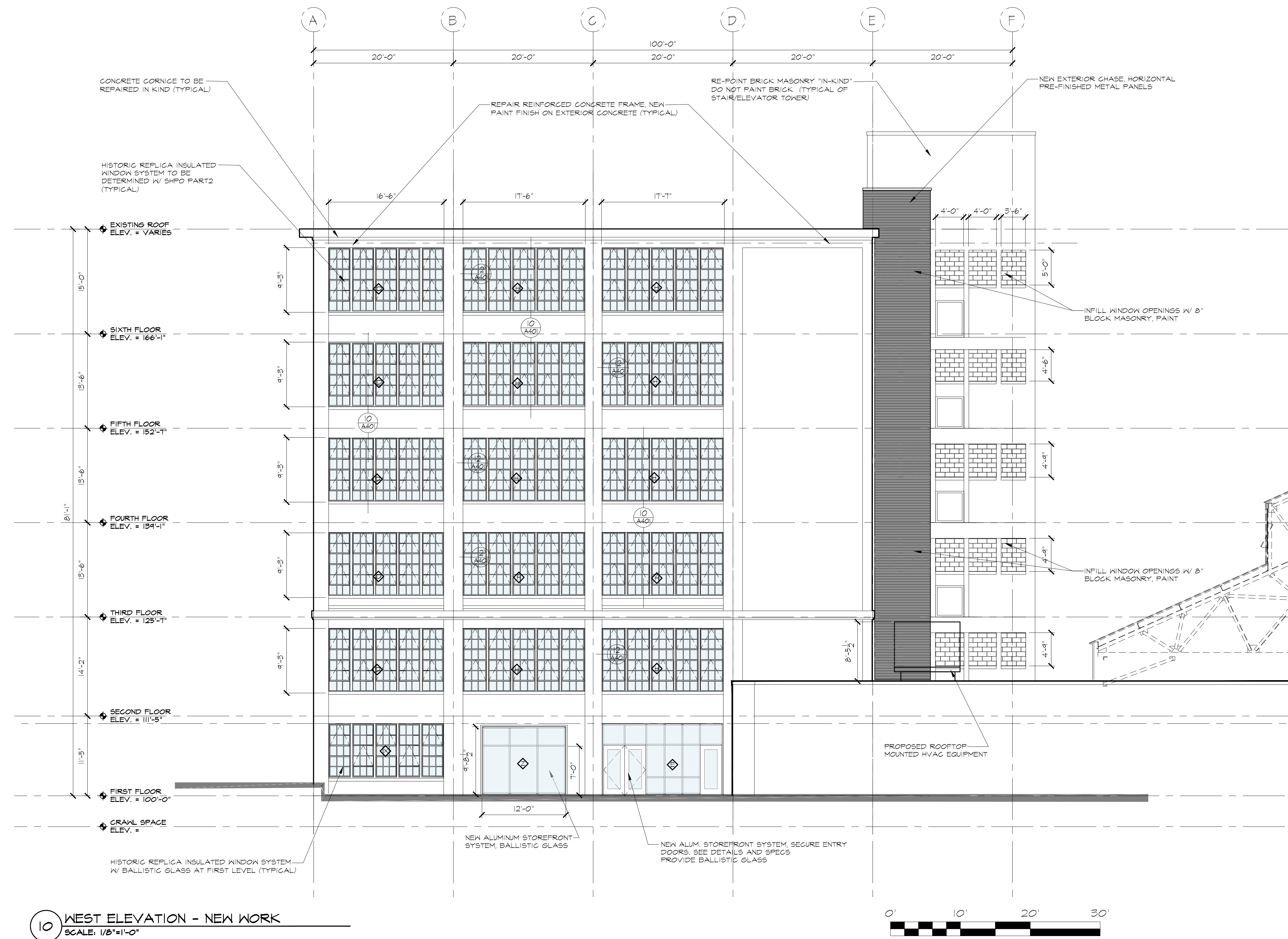
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1153 WEST FAYETTE STREET  
SYRACUSE, NEW YORK 13204

REVISIONS			DATE	5/30/24
NO.	DATE	BY	DRAWN	JFA

EXTERIOR ELEVATIONS  
A-211

# RESTORATION KEY - EXTERIOR

- NON- ORIGINAL EXTERIOR ELEMENT TO BE REMOVED  
NON-ORIGINAL WINDOW TO BE REMOVED
- REPAIR EXISTING CONCRETE MASONRY SILL, MATCH ORIGINAL CONSTRUCTION, GROUT MINOR CRACKS SOLID, PAINT, SEAL
- NEW CONCRETE MASONRY SILL, MATCH ORIGINAL SILL CONSTRUCTION WHERE MISSING OR DAMAGED BEYOND REPAIR
- REPAIR EXISTING CONCRETE STRUCTURAL FRAME, SEE STRUCTURAL DRAWINGS, FINISH SMOOTH, PAINT, SEAL
- M EXISTING CONCRETE FRAME TO BE SELECTIVELY REPAIRED IN KIND, RE-PAINT. SEE STRUCTURAL DWGS
- REPAIR OR REPLACE EXISTING LINTEL, MATCH EXISTING MORTAR TYPE & COLOR. SEE STRUCTURAL DWGS
- NOTE: NEW CONCRETE SILLS & STRUCTURAL FRAME REPAIR TO MATCH ORIGINAL HISTORIC APPEARANCE
- X NEW WINDOW, SEE WINDOW DETAILS.
- E9 EXTERIOR DOOR, SEE DOOR DETAILS & DOOR SCHEDULE



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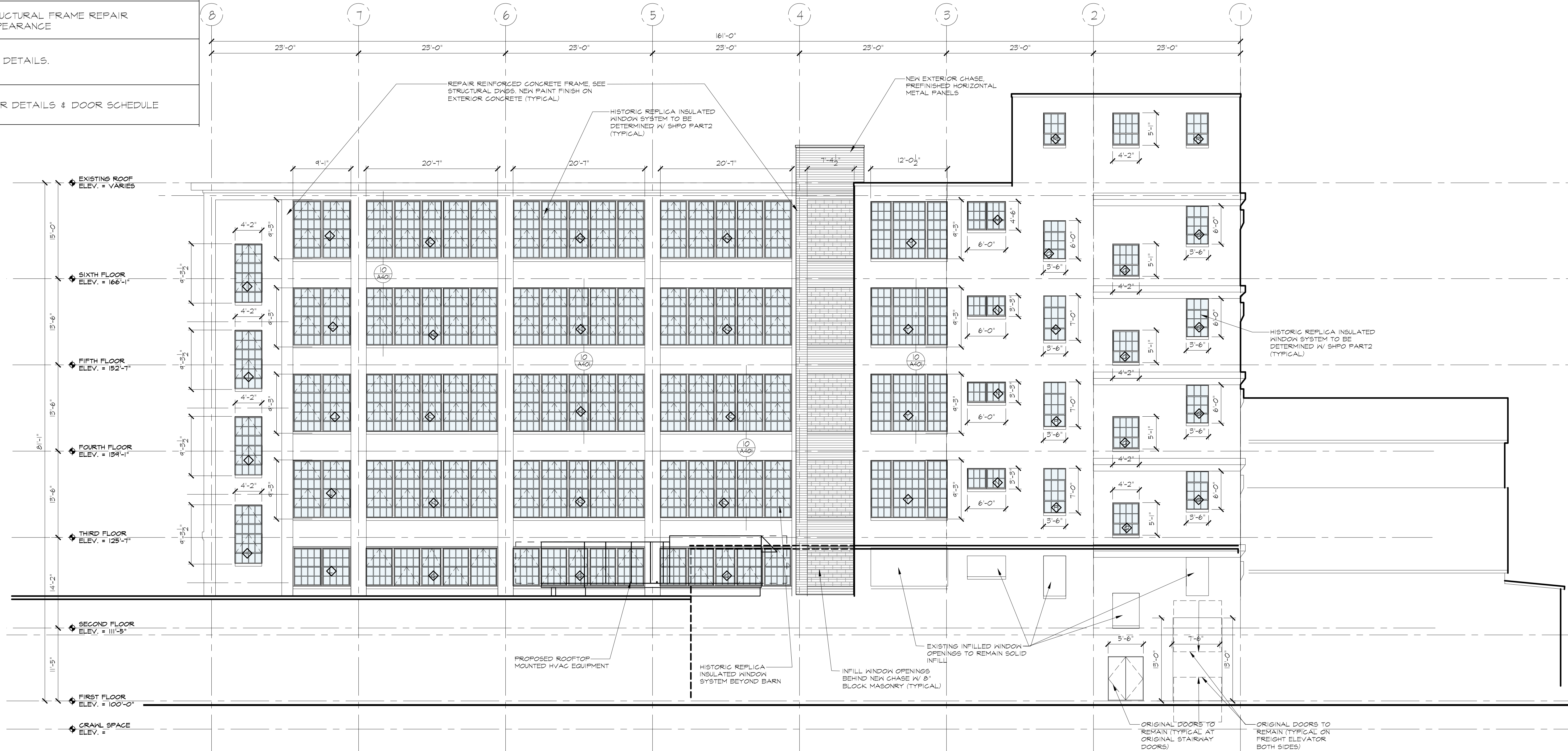
## PUBLIC SAFETY BUILDING

1153 WEST FAYETTE STREET  
SYRACUSE, NEW YORK 13204

REVISIONS			DATE
NO.	DATE	BY	DRAWN
			5/30/24
			JFA
			EXTERIOR ELEVATIONS
			A-212

# RESTORATION KEY - EXTERIOR

- NON- ORIGINAL EXTERIOR ELEMENT TO BE REMOVED  
NON-ORIGINAL WINDOW TO BE REMOVED
- REPAIR EXISTING CONCRETE MASONRY SILL, MATCH ORIGINAL CONSTRUCTION, GROUT MINOR CRACKS SOLID, PAINT, SEAL
- NEW CONCRETE MASONRY SILL, MATCH ORIGINAL SILL CONSTRUCTION WHERE MISSING OR DAMAGED BEYOND REPAIR
- REPAIR EXISTING CONCRETE STRUCTURAL FRAME, SEE STRUCTURAL DRAWINGS, FINISH SMOOTH, PAINT, SEAL
- M EXISTING CONCRETE FRAME TO BE SELECTIVELY REPAIRED IN KIND, RE-PAINT. SEE STRUCTURAL DWGS
- REPAIR OR REPLACE EXISTING LINTEL, MATCH EXISTING MORTAR TYPE & COLOR. SEE STRUCTURAL DWGS
- NOTE: NEW CONCRETE SILLS & STRUCTURAL FRAME REPAIR TO MATCH ORIGINAL HISTORIC APPEARANCE
- X NEW WINDOW, SEE WINDOW DETAILS.
- E9 EXTERIOR DOOR, SEE DOOR DETAILS & DOOR SCHEDULE



10 SOUTH ELEVATION - NEW WORK  
SCALE: 1/8"=1'-0"



**macknight architects**

212 north franklin st  
syracuse, new york 13202  
p. 315.424.0018  
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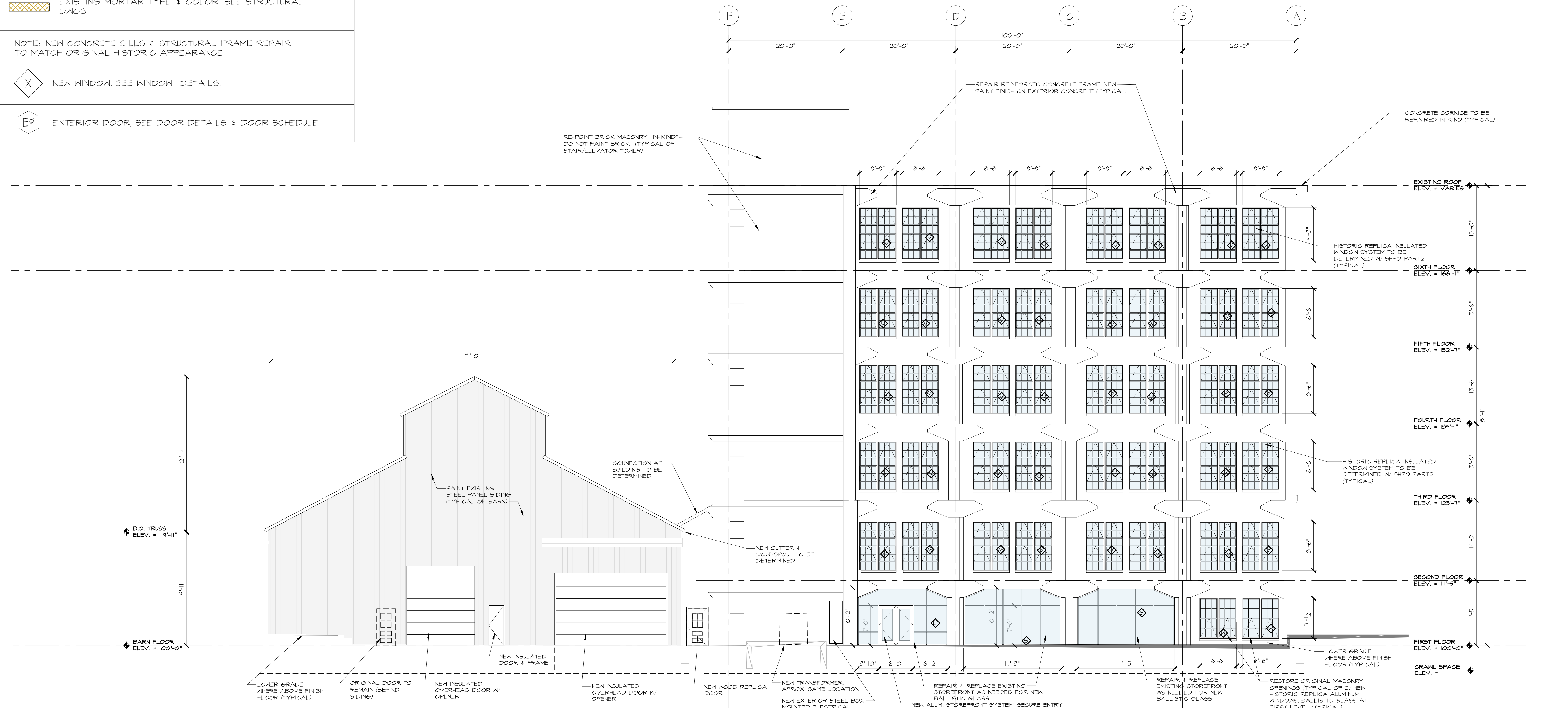
## PUBLIC SAFETY BUILDING

1153 WEST FAYETTE STREET  
SYRACUSE, NEW YORK 13204

REVISIONS			DATE	5/30/24
NO.	DATE	BY	DRAWN	JFA
				EXTERIOR ELEVATIONS
				A-213

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10 EAST ELEVATION  
SCALE: 1/8"=1'-0"



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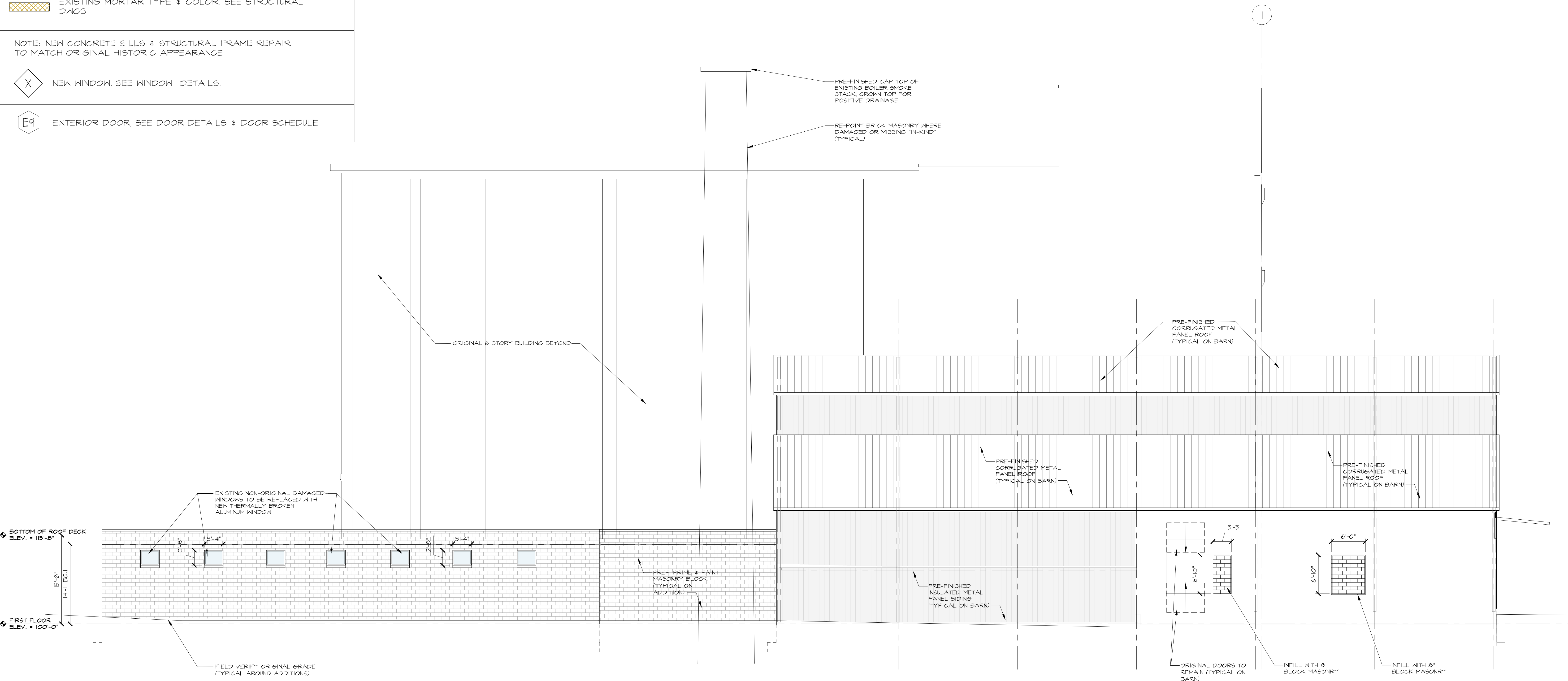
**PUBLIC SAFETY BUILDING**  
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SYRACUSE, NEW YORK 13204

REVISIONS			DATE	5/30/24
NO.	DATE	BY	DRAWN	JFA

EXTERIOR ELEVATIONS  
**A-214**

# RESTORATION KEY - EXTERIOR

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**10 EAST ELEVATION - NEW WORK**  
SCALE: 1/8"=1'-0"



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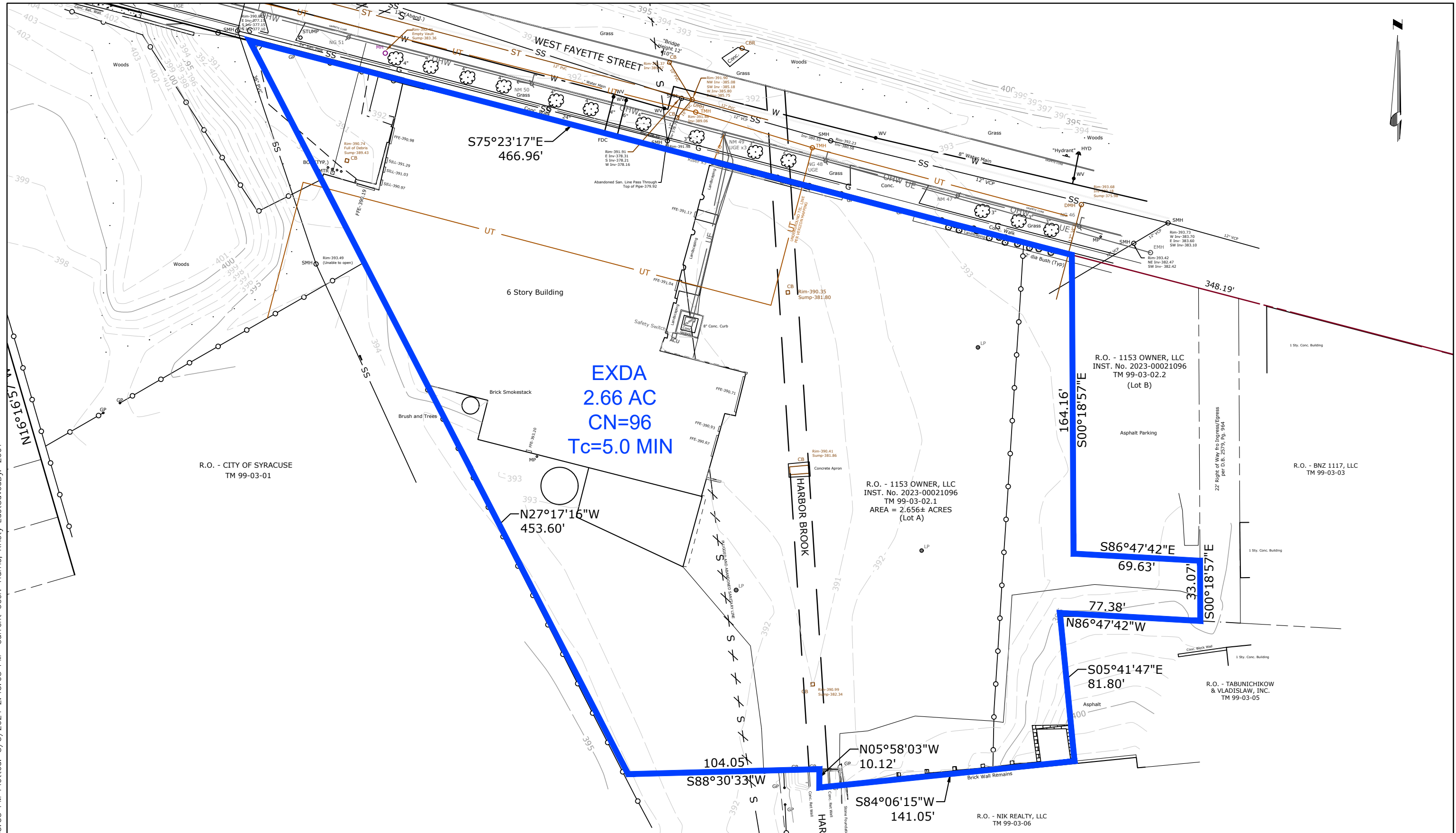
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**PUBLIC SAFETY BUILDING**  
1153 WEST FAYETTE STREET  
SYRACUSE, NEW YORK 13204

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			5/30/24
			JFA
			EXTERIOR ELEVATIONS
			A-215



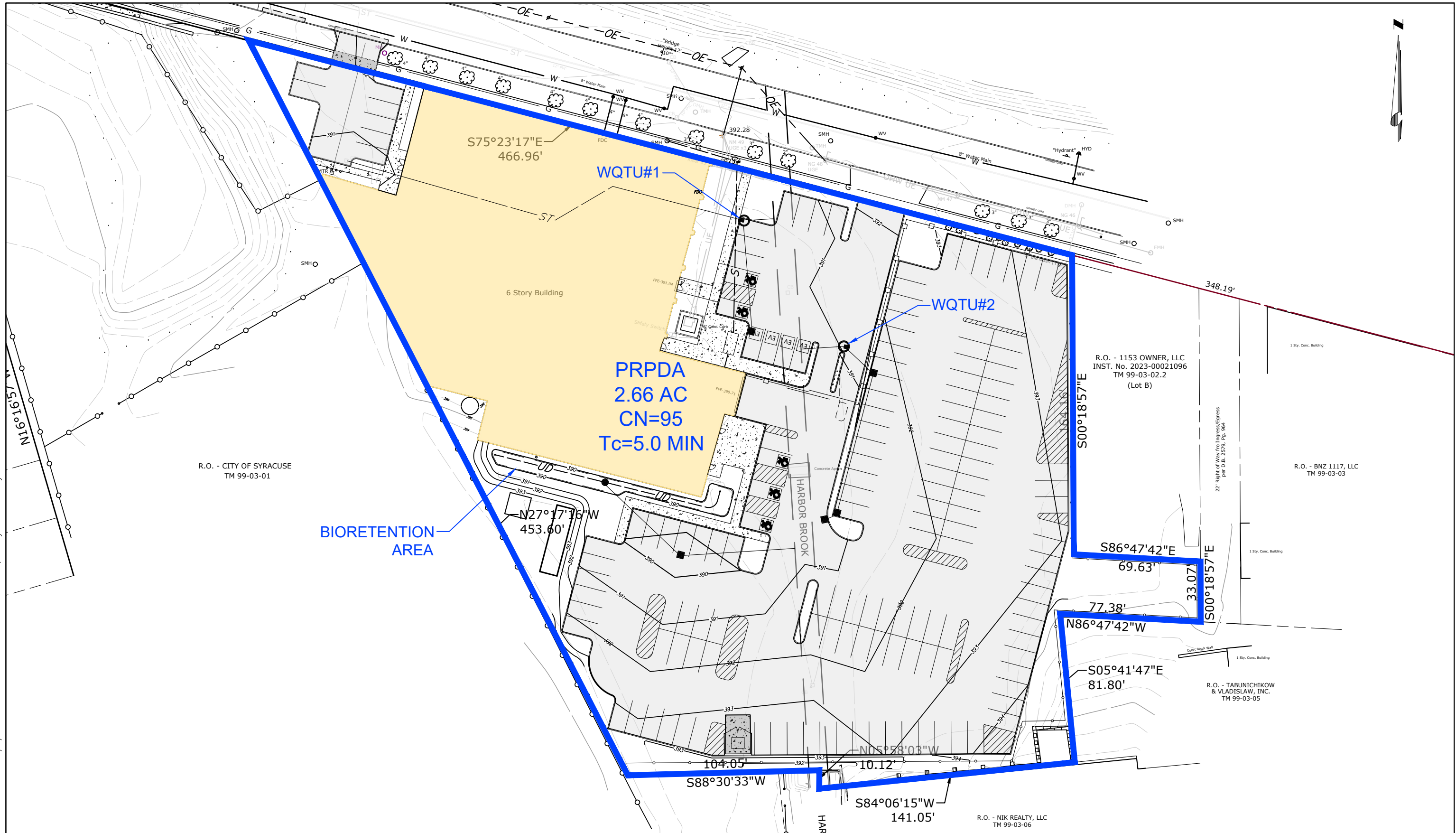
File: V:\PROJECTS\ANY\K7\088543\09\_DESIGN\EXHIBITS\STORMWATER\FIGURE 2 - EXISTING CONDITIONS.DWG  
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EXISTING CONDITIONS  
PROPOSED PUBLIC SAFETY BUILDING  
1153 W. FAYETTE STREET  
SYRACUSE, NEW YORK 13204  
SCALE: 1"=50'

PROJECT NO.  
088543  
DATE: 8/5/24  
FIGURE 2

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R.O. - CITY OF SYRACUSE  
 TM 99-03-01

R.O. - 1153 OWNER, LLC  
 INST. No. 2023-00021096  
 TM 99-03-02.2  
 (Lot B)

R.O. - BNZ 1117, LLC  
 TM 99-03-03

R.O. - TABUNICHKOW  
 & VLADISLAW, INC.  
 TM 99-03-05

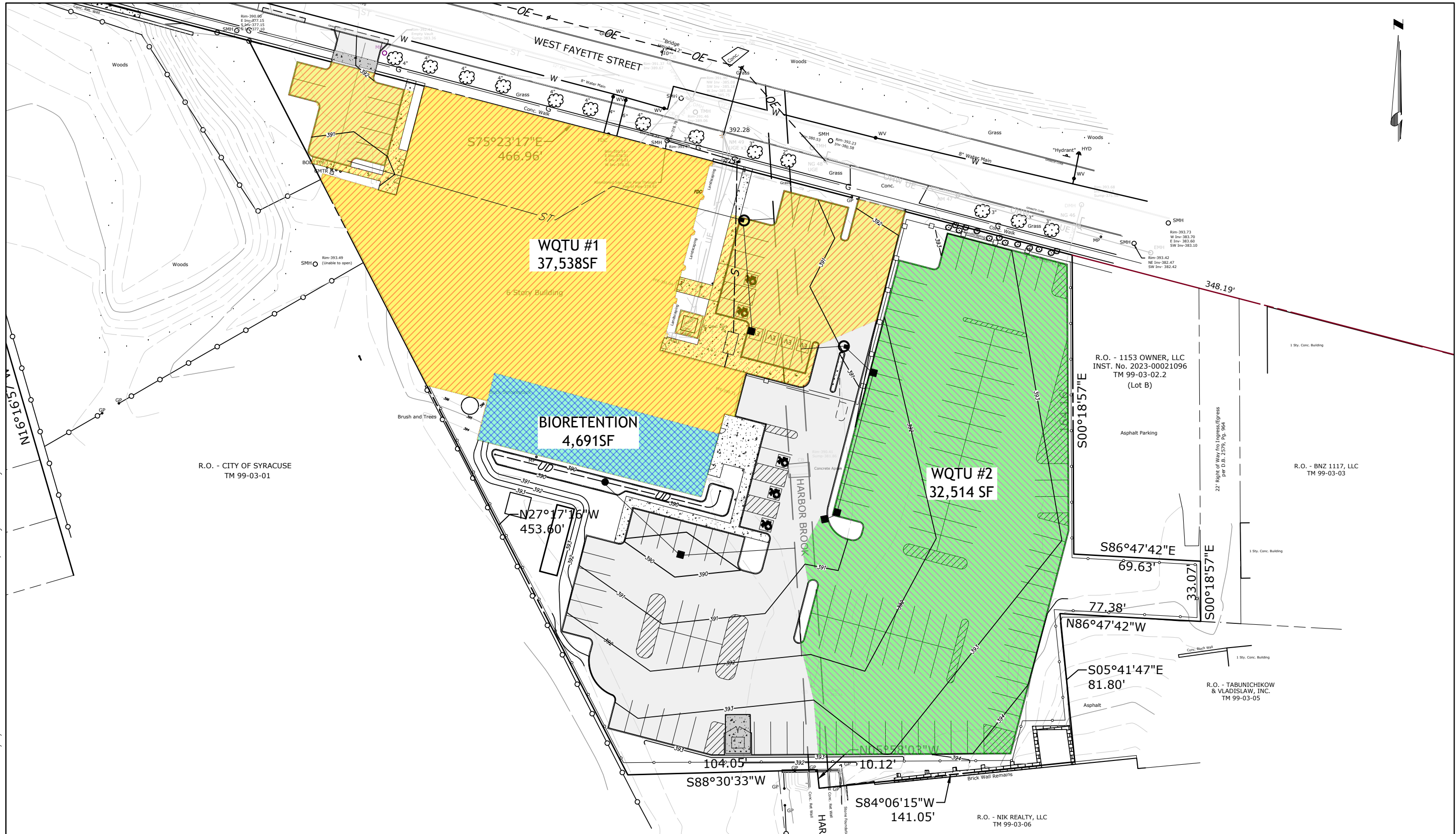
R.O. - NIK REALTY, LLC  
 TM 99-03-06



PROPOSED CONDITIONS  
 PROPOSED PUBLIC SAFETY BUILDING  
 1153 W. FAYETTE STREET  
 SYRACUSE, NEW YORK 13204  
 SCALE: 1"=50'

PROJECT NO.  
 088543  
 DATE: 8/5/24  
 FIGURE 3

File: V:\PROJECTS\ANY\K7\088543\009\DESIGN\EXHIBITS\STORMWATER\FIGURE 4 - WQV\_RRV AREAS.DWG  
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WQV/RRV AREAS  
 PROPOSED PUBLIC SAFETY BUILDING  
 1153 W. FAYETTE STREET  
 SYRACUSE, NEW YORK 13204  
 SCALE: 1"=50'

PROJECT NO.  
 088543  
 DATE: 8/5/24  
 FIGURE 4

# CASCADE

## separator<sup>®</sup>

## The Cascade Separator<sup>®</sup>

### Advanced Sediment Capture Technology

The **Cascade Separator<sup>®</sup>** is the newest innovation in stormwater treatment from Contech. The Cascade Separator was developed by Contech's stormwater experts using advanced modeling tools and Contech's industry leading stormwater laboratory.

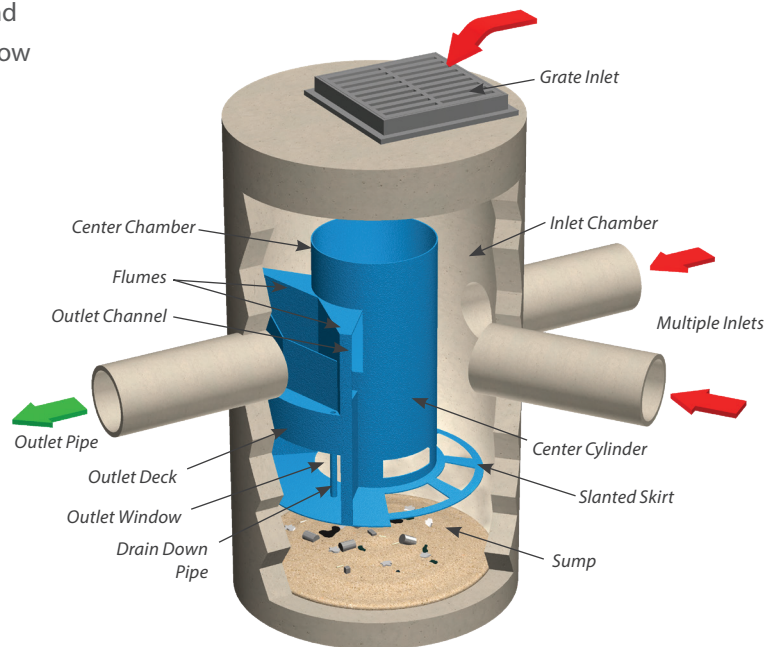
This innovative hydrodynamic separator excels at sediment capture and retention while also removing hydrocarbons, trash, and debris from stormwater runoff. What makes the Cascade Separator unique is the use of opposing vortices that enhance particle settling and a unique skirt design that allows for sediment transport into the sump while reducing turbulence and resuspension of previously captured material. These two factors allow the Cascade Separator to treat high flow rates in a small footprint, resulting in an efficient and economical solution for any site.



Learn More:  
[www.ContechES.com/cascade](http://www.ContechES.com/cascade)

FEATURE	BENEFIT
Unique skirt design & opposing vortices	Superior TSS removal; reduced system size and costs
Inlet area accepts wide range of inlet pipe angles	Design and installation flexibility
Accepts multiple inlet pipes*	Eliminates the need for separate junction structure
Grate inlet option*	Eliminates the need for a separate grate inlet structure
Internal bypass	Eliminates the need for a separate bypass structure
Clear access to sump and stored pollutants	Fast, easy maintenance

\* NJDEP testing based on Cascade Separator with one inlet pipe and no grate inlet



### CASCADE MAINTENANCE

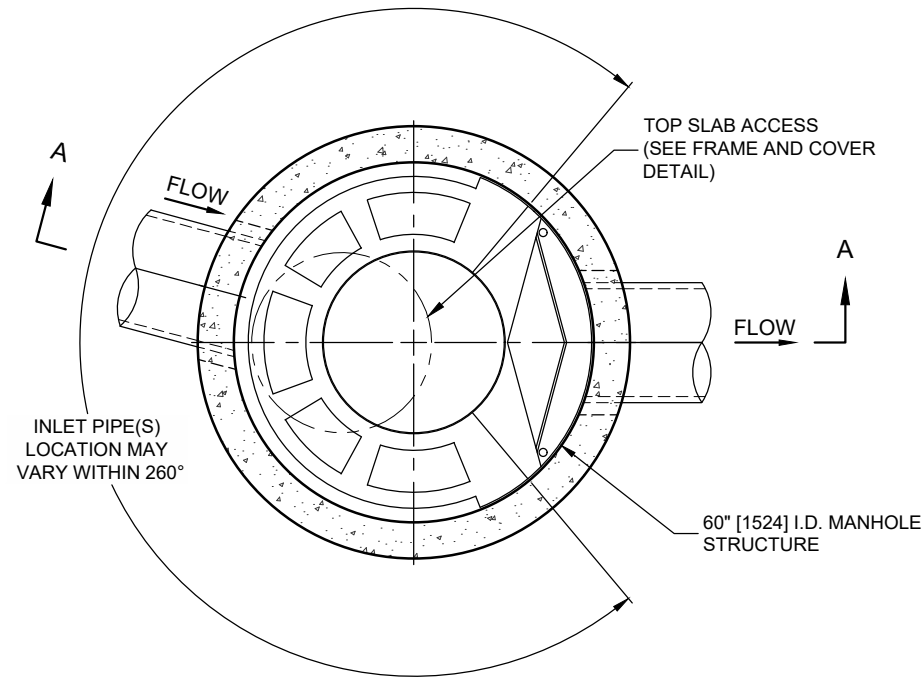
Cascade provides unobstructed access to stored pollutants, making it easy to maintain using a vacuum truck, with no requirement to enter the unit.

The Cascade Separator has received New Jersey Department of Environmental Protection (NJDEP) Certification\*

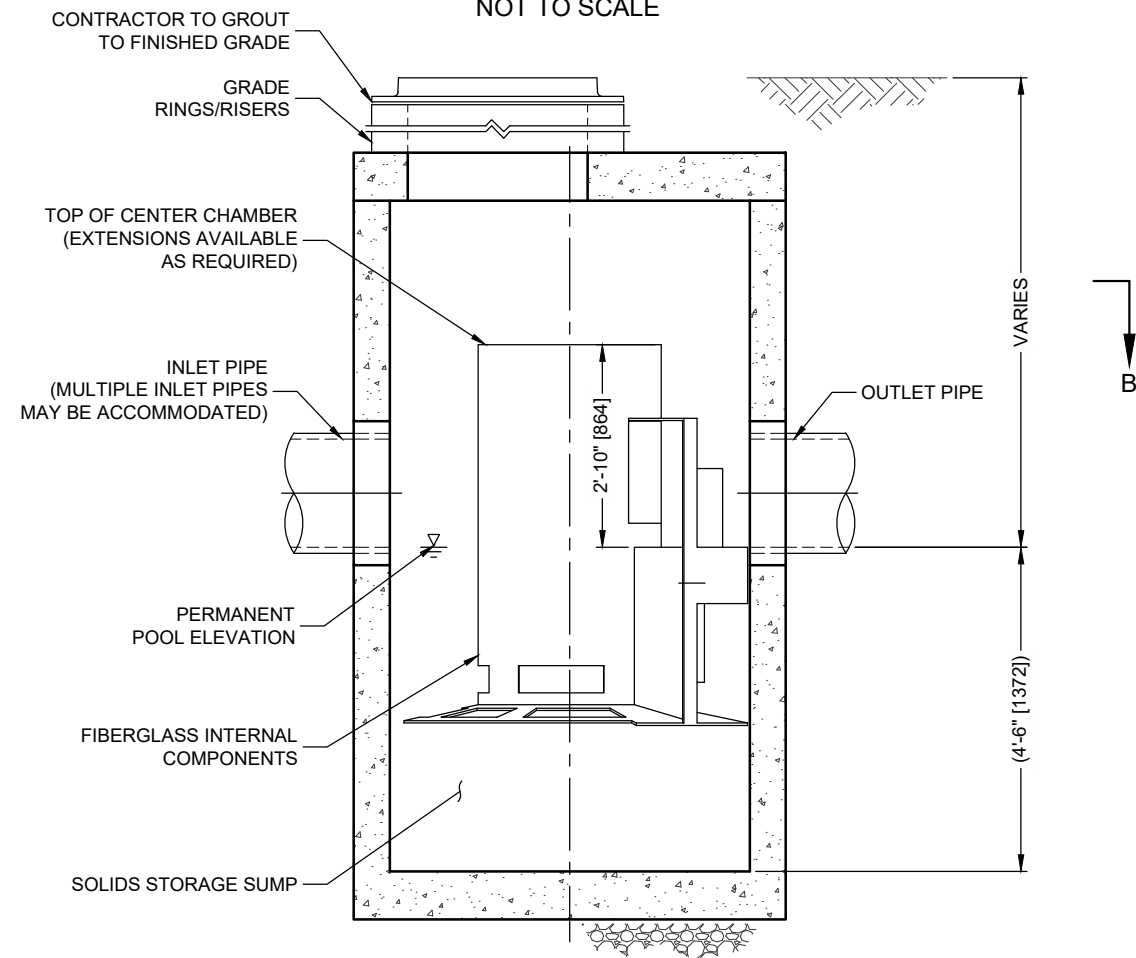
An efficient and economical solution



I:\COMMON\CAD\TREATMENT\21 CASCADE\40 STANDARD DRAWINGS\DWG\CS-5-DTL.DWG 1/22/2019 9:35 AM



**PLAN VIEW B-B**  
NOT TO SCALE



**ELEVATION A-A**  
NOT TO SCALE

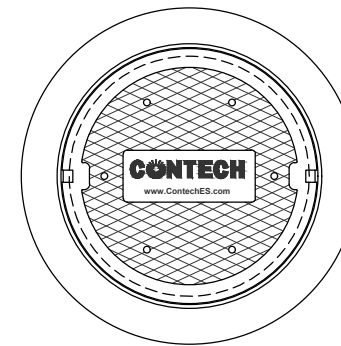
**CASCADE**  
separator™

**CASCADE SEPARATOR DESIGN NOTES**

THE STANDARD CS-5 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

**CONFIGURATION DESCRIPTION**

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES



**FRAME AND COVER**  
(DIAMETER VARIES)  
NOT TO SCALE

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID			
WATER QUALITY FLOW RATE (cfs [L/s])			
PEAK FLOW RATE (cfs [L/s])			
RETURN PERIOD OF PEAK FLOW (yrs)			
RIM ELEVATION			
PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

NOTES / SPECIAL REQUIREMENTS:

**APPROVED TREATMENT FLOW: 2.81 CFS**

**GENERAL NOTES**

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.ContechES.com](http://www.ContechES.com)
3. CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' [610], AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
6. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

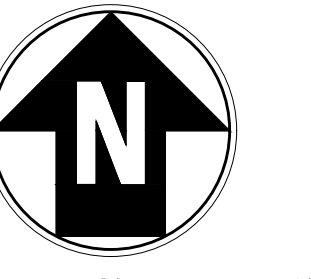
**INSTALLATION NOTES**

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CONTECH**  
ENGINEERED SOLUTIONS LLC

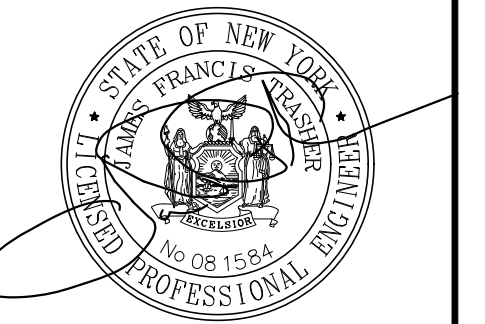
[www.contechES.com](http://www.contechES.com)  
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069  
800-338-1122 513-645-7000 513-645-7993 FAX

CS-5  
CASCADE SEPARATOR  
STANDARD DETAIL



Scale in feet  
0 20 40

**APPLICANT:**  
**1153 OWNER, LLC**  
PO BOX 515  
SYRACUSE, NY 13205



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ACTUALLY THE DESIGNER OR A REGISTERED PROFESSIONAL  
ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND  
SURVEYOR TO SEAL OR PREPARE ANY PART OF AN INSTRUMENT  
THE SEAL OF A LICENSED PROFESSIONAL IS ATTACHED. THE ALTERING  
OR DESTRUCTION OF ANY INSTRUMENT BY ANY PERSON OTHER THAN  
THE DESIGNER OR ARCHITECT, LANDSCAPE ARCHITECT OR LAND  
SURVEYOR SHALL BE CONSIDERED A VIOLATION OF THE  
PROVISIONS SET FORTH IN SECTION 1707 OF THE ERS LAW.  
THE DATE OF SUCH VIOLATION, AND A BRIEF DESCRIPTION  
OF THE VIOLATION.

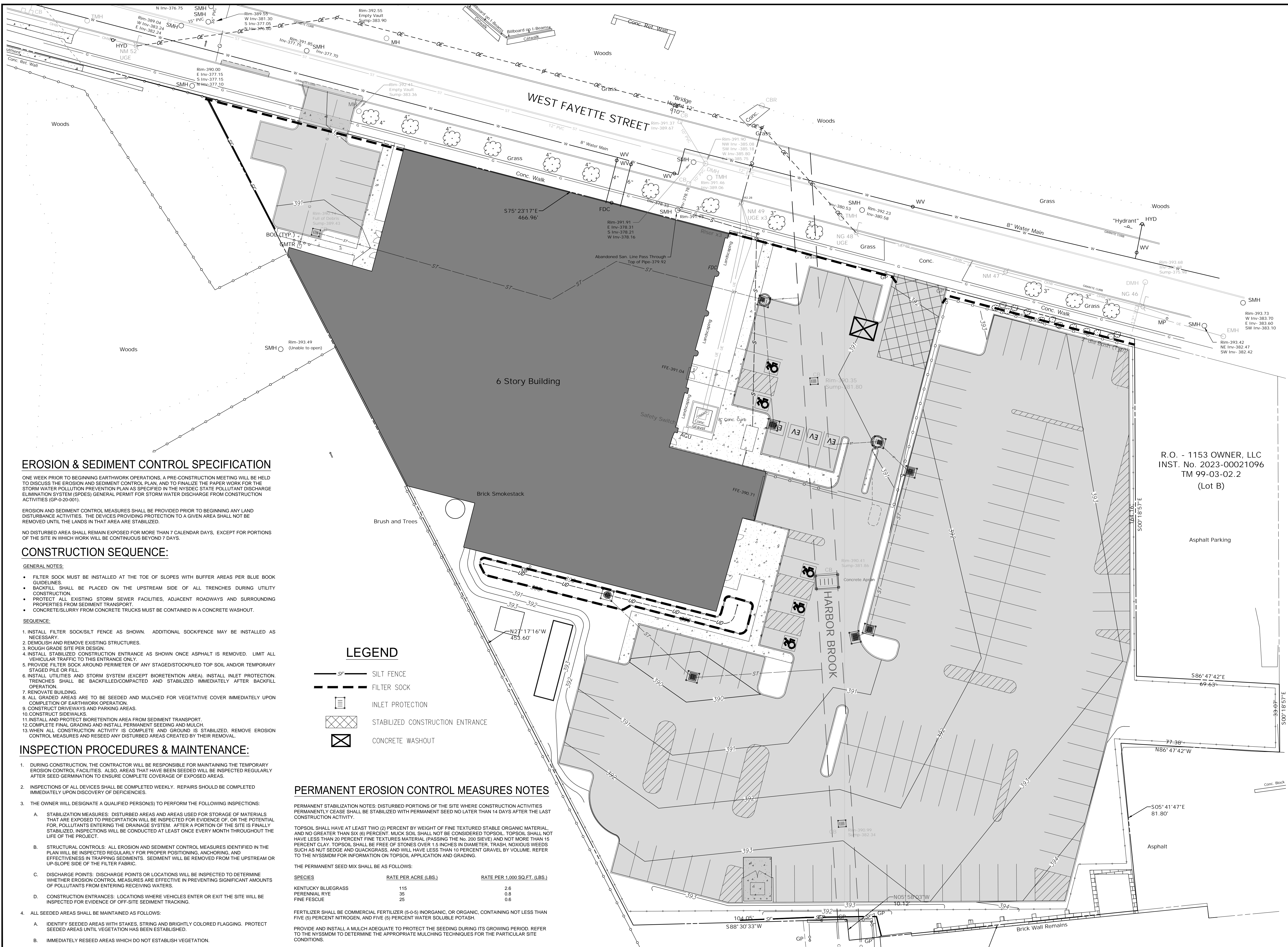
**PROJECT:**  
**SYRACUSE PUBLIC  
SAFETY BUILDING**  
1153 WEST FAYETTE STREET  
SYRACUSE NY 13204

No.	Submission / Revision	Appr.	By	Date

**EROSION & SEDIMENT CONTROL PLAN**

Designed By: **BFB** Drawn By: **BGH** Checked By: **BFB**  
Issue Date: **6/18/24** Project No.: **088543** Scale: **AS SHOWN**

Drawing No.:  
**C-501**



**EROSION & SEDIMENT CONTROL SPECIFICATION**

ONE WEEK PRIOR TO BEGINNING EARTHWORK OPERATIONS, A PRE-CONSTRUCTION MEETING WILL BE HELD TO DISCUSS THE EROSION AND SEDIMENT CONTROL PLAN, AND TO FINALIZE THE PAPER WORK FOR THE STORM WATER POLLUTION PREVENTION PLAN AS SPECIFIED IN THE NYSDEC STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITIES (GP-0-20-001).

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED PRIOR TO BEGINNING ANY LAND DISTURBANCE ACTIVITIES. THE DEVICES PROVIDING PROTECTION TO A GIVEN AREA SHALL NOT BE REMOVED UNTIL THE LANDS IN THAT AREA ARE STABILIZED.

NO DISTURBED AREA SHALL REMAIN EXPOSED FOR MORE THAN 7 CALENDAR DAYS, EXCEPT FOR PORTIONS OF THE SITE IN WHICH WORK WILL BE CONTINUOUS BEYOND 7 DAYS.

**CONSTRUCTION SEQUENCE:**

- GENERAL NOTES:**
- FILTER SOCK MUST BE INSTALLED AT THE TOE OF SLOPES WITH BUFFER AREAS PER BLUE BOOK GUIDELINES.
  - BACKFILL SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL TRENCHES DURING UTILITY CONSTRUCTION.
  - PROTECT ALL EXISTING STORM SEWER FACILITIES, ADJACENT ROADWAYS AND SURROUNDING PROPERTIES FROM SEDIMENT TRANSPORT.
  - CONCRETE/SLUDDY FROM CONCRETE TRUCKS MUST BE CONTAINED IN A CONCRETE WASHOUT.

- SEQUENCE:**
1. INSTALL FILTER SOCK/SILT FENCE AS SHOWN. ADDITIONAL SOCK/FENCE MAY BE INSTALLED AS NECESSARY.
  2. DEMOLISH AND REMOVE EXISTING STRUCTURES.
  3. ROUGH GRADE SITE PER DESIGN.
  4. INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ONCE ASPHALT IS REMOVED. LIMIT ALL VEHICULAR TRAFFIC TO THIS ENTRANCE ONLY.
  5. PROVIDE FILTER SOCK AROUND PERIMETER OF ANY STAGED/STOCKPILED TOP SOIL AND/OR TEMPORARY STAGED PILE OR FILL.
  6. INSTALL UTILITIES AND STORM SYSTEM (EXCEPT BIORETENTION AREA). INSTALL INLET PROTECTION. TRENCHES SHALL BE BACKFILLED/COMPACTED AND STABILIZED IMMEDIATELY AFTER BACKFILL OPERATION.
  7. RENOVATE BUILDING.
  8. ALL GRADED AREAS ARE TO BE SEEDED AND MULCHED FOR VEGETATIVE COVER IMMEDIATELY UPON COMPLETION OF EARTHWORK OPERATION.
  9. CONSTRUCT DRIVEWAYS AND PARKING AREAS.
  10. CONSTRUCT SIDEWALKS.
  11. INSTALL AND PROTECT BIORETENTION AREA FROM SEDIMENT TRANSPORT.
  12. COMPLETE FINAL GRADINGS AND INSTALL PERMANENT SEEDING AND MULCH.
  13. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND GROUND IS STABILIZED, REMOVE EROSION CONTROL MEASURES AND RESEED ANY DISTURBED AREAS CREATED BY THEIR REMOVAL.

**INSPECTION PROCEDURES & MAINTENANCE:**

1. DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE TEMPORARY EROSION CONTROL FACILITIES. ALSO, AREAS THAT HAVE BEEN SEEDED WILL BE INSPECTED REGULARLY AFTER SEED GERMINATION TO ENSURE COMPLETE COVERAGE OF EXPOSED AREAS.
2. INSPECTIONS OF ALL DEVICES SHALL BE COMPLETED WEEKLY. REPAIRS SHOULD BE COMPLETED IMMEDIATELY UPON DISCOVERY OF DEFICIENCIES.
3. THE OWNER WILL DESIGNATE A QUALIFIED PERSON(S) TO PERFORM THE FOLLOWING INSPECTIONS:
  - A. STABILIZATION MEASURES: DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION WILL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. AFTER A PORTION OF THE SITE IS FINALLY STABILIZED, INSPECTIONS WILL BE CONDUCTED AT LEAST ONCE EVERY MONTH THROUGHOUT THE LIFE OF THE PROJECT.
  - B. STRUCTURAL CONTROLS: ALL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN WILL BE INSPECTED REGULARLY FOR PROPER POSITIONING, ANCHORING, AND EFFECTIVENESS IN TRAPPING SEDIMENTS. SEDIMENT WILL BE REMOVED FROM THE UPSTREAM OR UP-SLOPE SIDE OF THE FILTER FABRIC.
  - C. DISCHARGE POINTS: DISCHARGE POINTS OR LOCATIONS WILL BE INSPECTED TO DETERMINE WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT AMOUNTS OF POLLUTANTS FROM ENTERING RECEIVING WATERS.
  - D. CONSTRUCTION ENTRANCES: LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE WILL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
4. ALL SEEDED AREAS SHALL BE MAINTAINED AS FOLLOWS:
  - A. IDENTIFY SEEDED AREAS WITH STAKES, STRING AND BRIGHTLY COLORED FLAGGING. PROTECT SEEDED AREAS UNTIL VEGETATION HAS BEEN ESTABLISHED.
  - B. IMMEDIATELY RESEED AREAS WHICH DO NOT ESTABLISH VEGETATION.

**LEGEND**

- SILT FENCE
- FILTER SOCK
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT

**PERMANENT EROSION CONTROL MEASURES NOTES**

PERMANENT STABILIZATION NOTES: DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

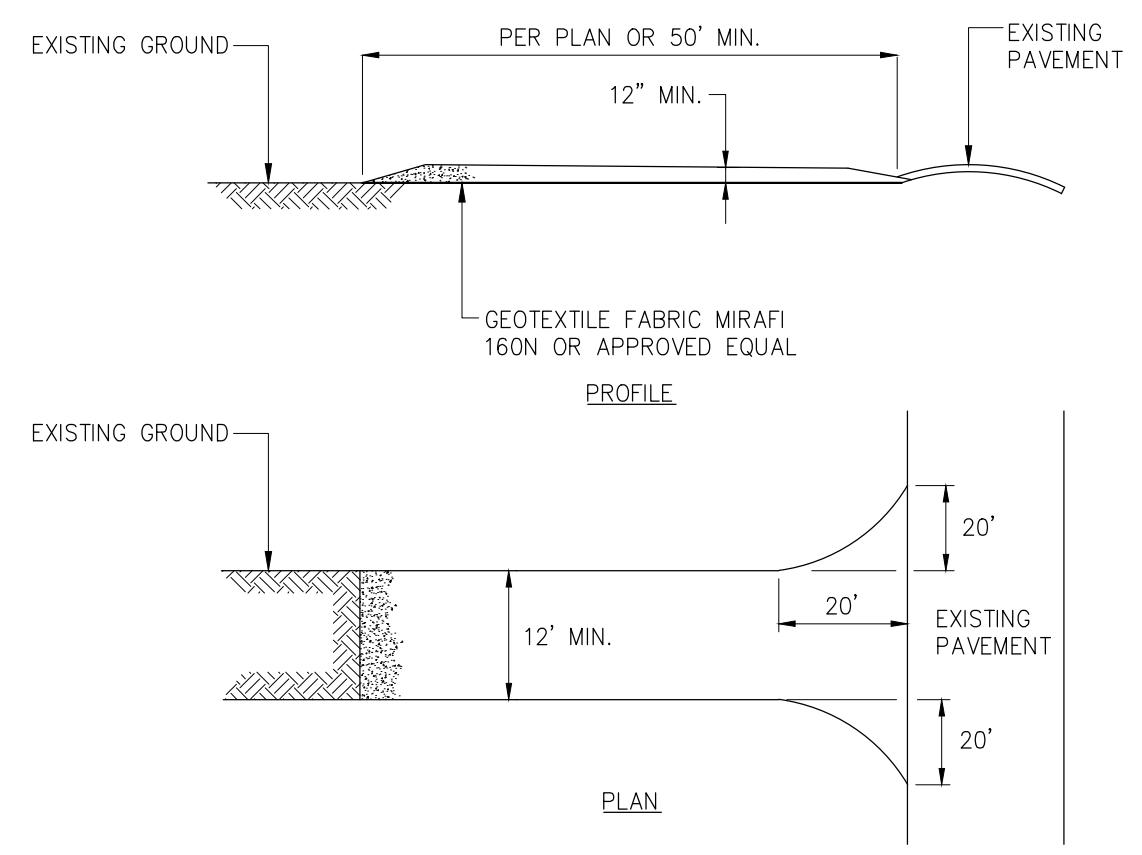
TOPSOIL SHALL HAVE AT LEAST TWO (2) PERCENT BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN SIX (6) PERCENT. MUCK SOIL SHALL NOT BE CONSIDERED TOPSOIL. TOPSOIL SHALL NOT HAVE LESS THAN 20 PERCENT FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15 PERCENT CLAY. TOPSOIL SHALL BE FREE OF STONES OVER 1.5 INCHES IN DIAMETER, TRASH, NOXIOUS WEEDS SUCH AS NUT SEDGE AND QUACKGRASS, AND WILL HAVE LESS THAN 10 PERCENT GRAVEL BY VOLUME. REFER TO THE NYSSMDM FOR INFORMATION ON TOPSOIL APPLICATION AND GRADING.

THE PERMANENT SEED MIX SHALL BE AS FOLLOWS:

SPECIES	RATE PER ACRE (LBS.)	RATE PER 1,000 SQ.FT. (LBS.)
KENTUCKY BLUEGRASS	115	2.6
PERENNIAL RYE	35	0.8
FINE FESCUE	25	0.6

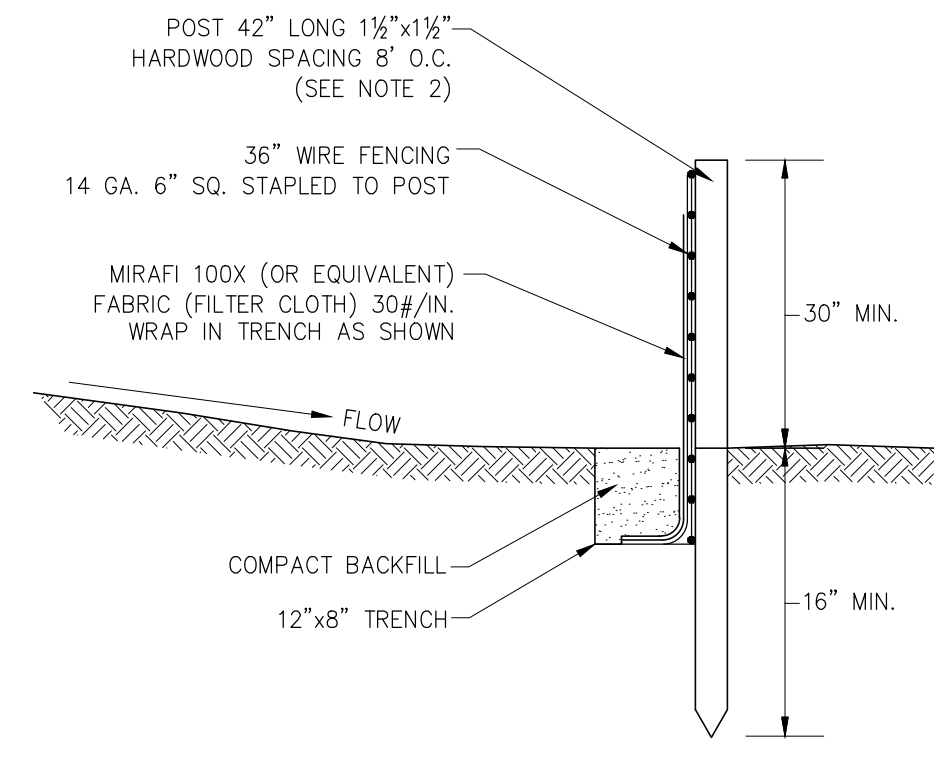
FERTILIZER SHALL BE COMMERCIAL FERTILIZER (5-0-5) INORGANIC, OR ORGANIC, CONTAINING NOT LESS THAN FIVE (5) PERCENT NITROGEN, AND FIVE (5) PERCENT WATER SOLUBLE POTASH.  
PROVIDE AND INSTALL A MULCH ADEQUATE TO PROTECT THE SEEDS DURING ITS GROWING PERIOD. REFER TO THE NYSSMDM TO DETERMINE THE APPROPRIATE MULCHING TECHNIQUES FOR THE PARTICULAR SITE CONDITIONS.

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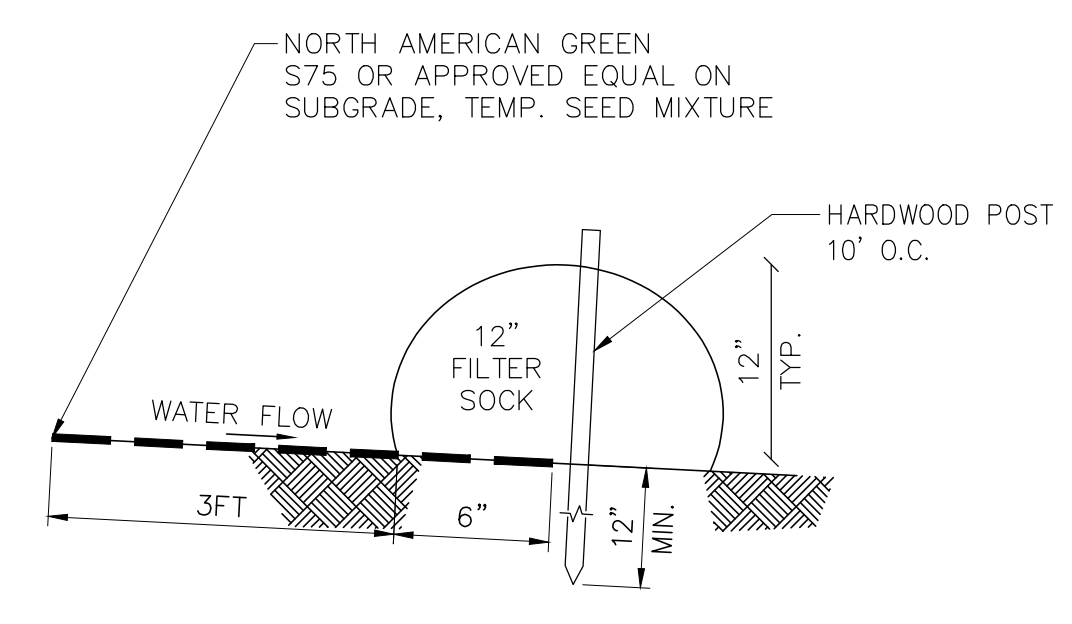
- NOTES:**
1. STONE SIZE—USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. THICKNESS—NOT LESS THAN 12".
  3. WOVEN GEOTEXTILE FABRIC WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  4. EXISTING ROAD SIDE DRAINAGE SHALL BE MAINTAINED.
  5. MAINTENANCE—THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT OR STONE SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**1 STABILIZED CONSTRUCTION ENTRANCE**  
 SCALE: N.T.S.



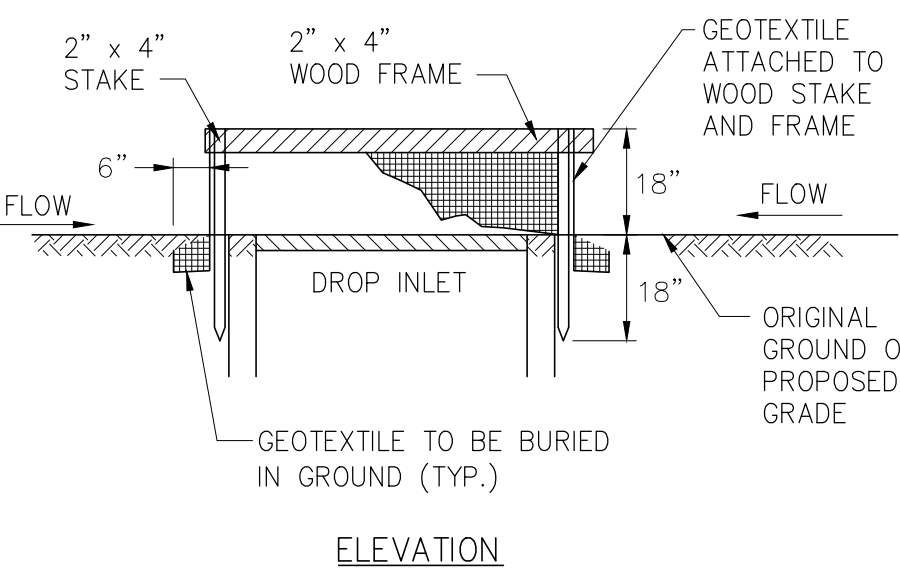
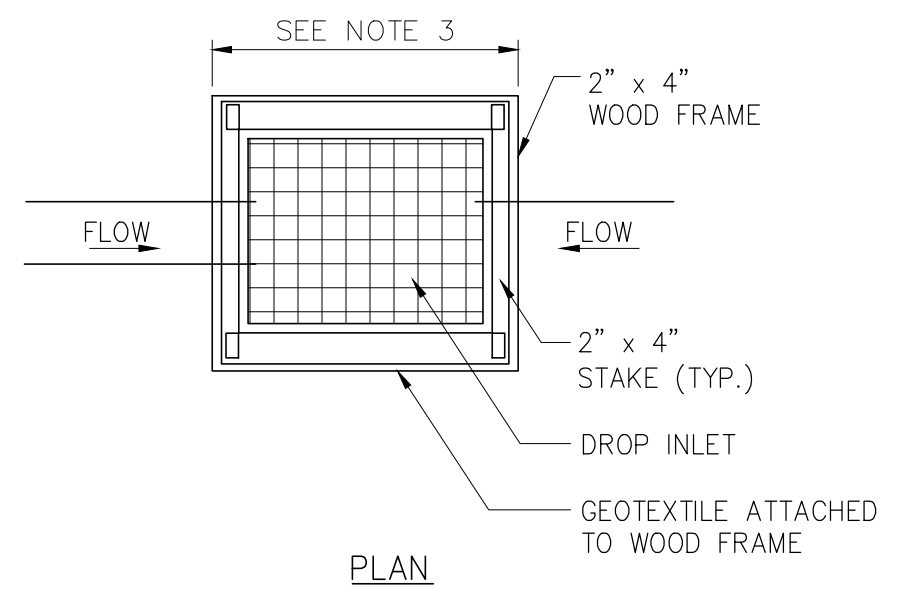
- NOTES:**
1. THE FABRIC TO WIRE FENCE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  2. IF EXTRA STRENGTH FABRIC (GREATER THAN 50#/INCH) IS USED, WIRE CAN BE DELETED IF POST SPACING IS REDUCED TO 6' O.C.
  3. AT THE ENDS OF THE FENCING THE FIRST 20' SHALL BE TURNED UP THE SLOPE 2'.
  4. POSTS SHOULD BE INCLINED TOWARD THE DIRECTION FLOW CAME FROM.
  5. OVERLAP FABRIC A MINIMUM OF 6" AND FOLDED AT JOINTS. ATTACH FILTER FABRIS TO STAKES ALLOWING EXTENSION INTO TRENCH AS SHOWN; SECURE TO STAKES AS NOTED.
  6. THE MAXIMUM AREA OF RUNOFF PER 100LF. OF FENCE SHALL NOT EXCEED 0.25 ACRES.
  7. MAINTENANCE SHALL BE PERFORMED AS NECESSARY. THE FENCING SHALL BE CHECKED AFTER EVERY STORM TO ENSURE THEIR PROPER FUNCTIONING.
  8. WHEN FENCE IS NO LONGER NEEDED, THE ACCUMULATED SILT, THE POSTS AND FABRIC SHALL BE REMOVED AND TRENCH BACK FILLED WITH TOPSOIL AND SEDED.
  9. FENCING SHOULD BE PLACED AS SHOWN ON THE DRAWING OR IF NOT SHOWN, 10' BEYOND THE TOE OF THE SLOPE.
  10. EXCAVATE TRENCH AS PER DETAIL AND SET POSTS AT 10' O.C.
  11. BACKFILL WITH COMPACTED, EXCAVATED SOIL FROM TRENCH.

**2 SILT FENCE**  
 SCALE: N.T.S.



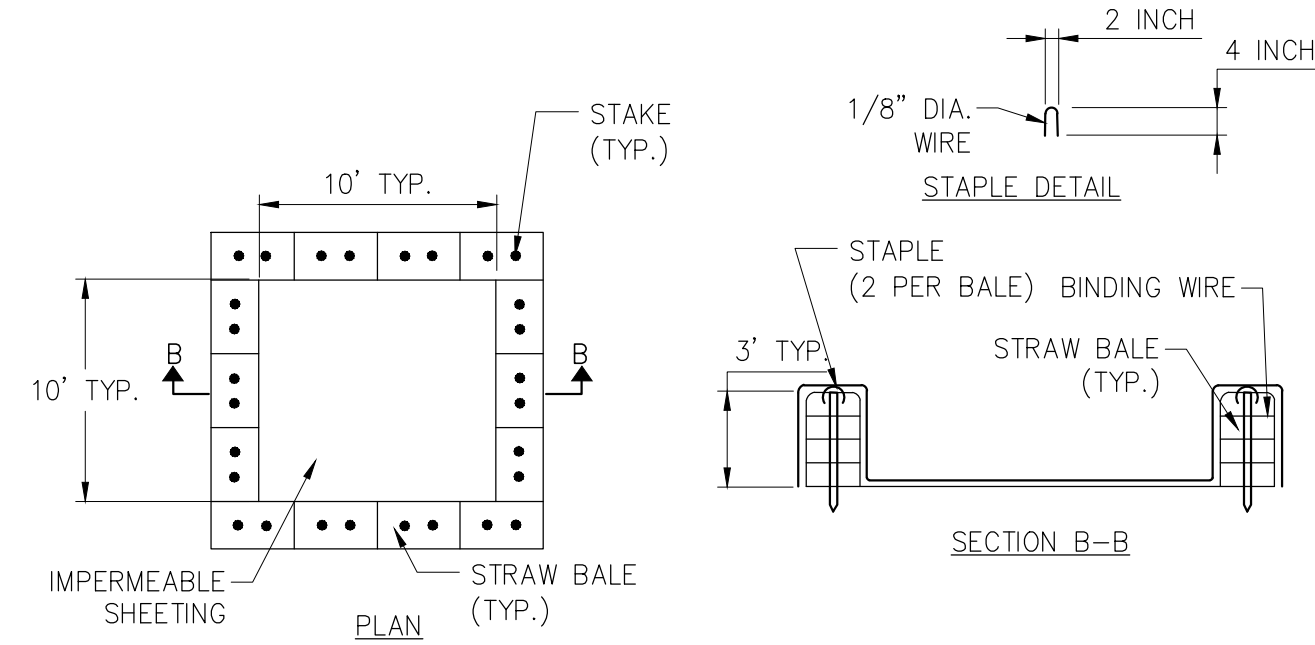
- NOTES:**
1. ALL MATERIAL TO MEET MANUFACTURER SPECIFICATIONS.
  2. ALL FILTER SOCKS SHALL BE 12" DIAMETER.
  3. INSTALL PERPENDICULAR TO FLOW.
  4. THE CONTRACTOR SHALL MAINTAIN SOCK IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
  5. DAMAGED SOCKS SHALL BE REPAIRED IN THE MANNER REQUIRED BY THE MANUFACTURER OR REPLACED WITHIN 24 HOURS OF INSPECTION NOTIFICATION.
  6. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE SOCK WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE SOCK, OR AS DIRECTED BY THE REPRESENTATIVE.
  7. UPON STABILIZATION OF THE AREA CONTRIBUTORY TO THE SOCK, STAKES SHALL BE REMOVED. THE INTERNAL COMPOST MATERIAL WITHIN THE SOCK SHALL BE DISPERSED ON SITE.

**3 COMPOST FILTER SOCK DETAIL**  
 SCALE: N.T.S.



- NOTES:**
1. GEOTEXTILE SHALL BE CUT FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NECESSARY THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  2. STAKE MATERIAL WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
  3. SPACE STAKES EVENLY AROUND INLET WITH A MAXIMUM SPACING OF 3 FEET DRIVE STAKES 18" MINIMUM INTO GROUND. WIRE MESH MAY BE REQUIRED BEHIND GEOTEXTILE TO PROVIDE SUPPORT.
  4. GEOTEXTILE SHALL BE EMBEDDED 12" BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO STAKES AND FRAME.
  5. GEOTEXTILE FABRIC SHALL HAVE EOS OF 40-85.
  6. A 2"x 4" WOOD FRAME SHALL BE FORMED AROUND THE CREST OF FABRIC FOR OVERFLOW STABILITY.
  7. INLET PROTECTION TO REMAIN IN-PLACE UNTIL AREA IS STABILIZED.

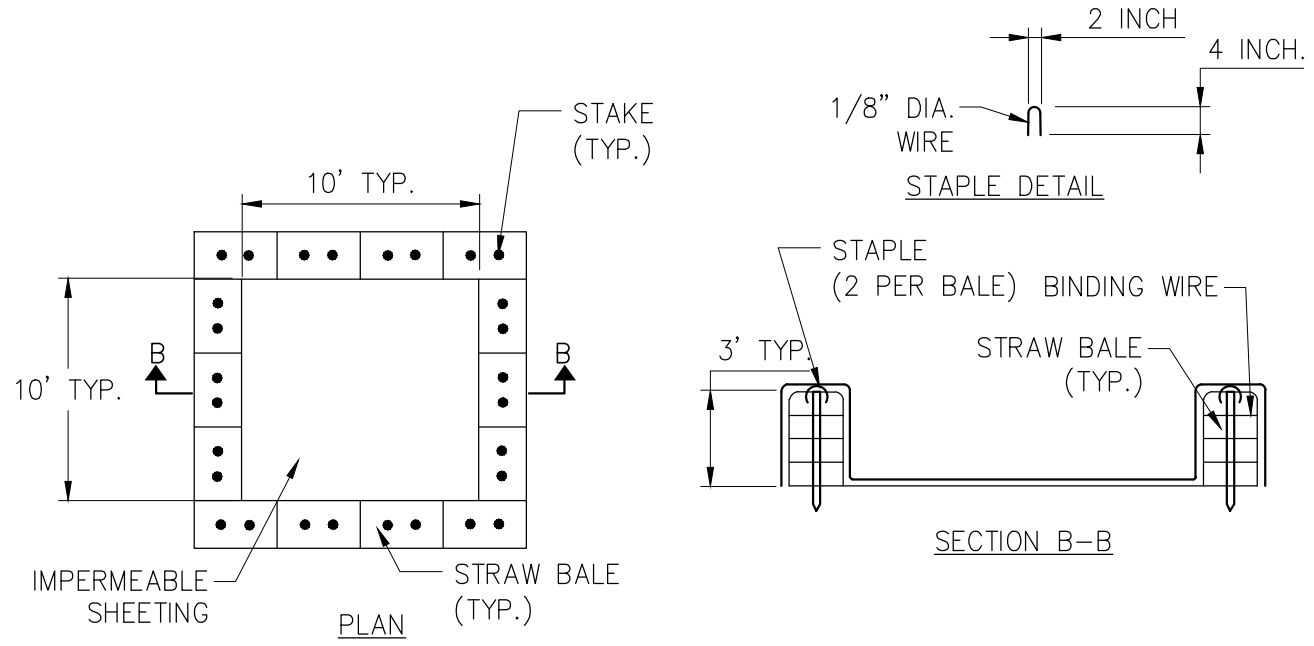
**4 FILTER FABRIC DROP INLET PROTECTION**  
 SCALE: N.T.S.



**5 CONCRETE WASHOUT**  
 SCALE: N.T.S.

- CONSTRUCTION SPECIFICATIONS:**
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 30 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS BUFFERS, AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC
  2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
  3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEET, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
  4. PROVIDE SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
  5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGE (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

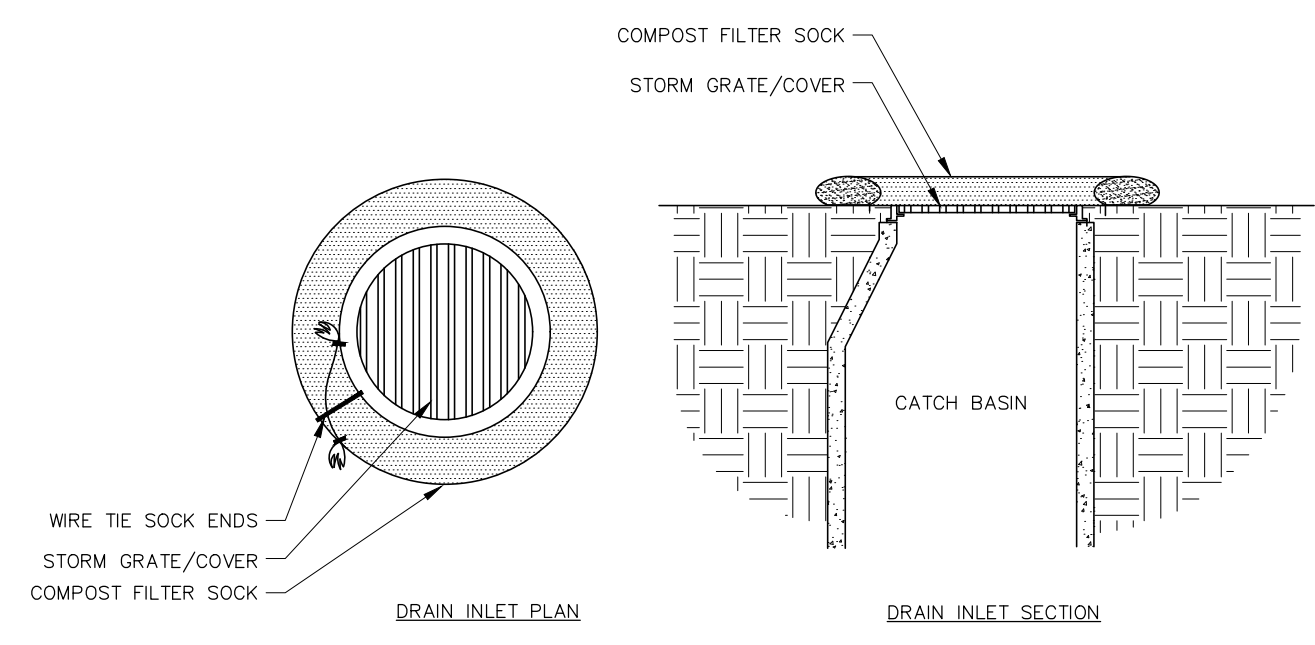
**5 CONCRETE WASHOUT**  
 SCALE: N.T.S.



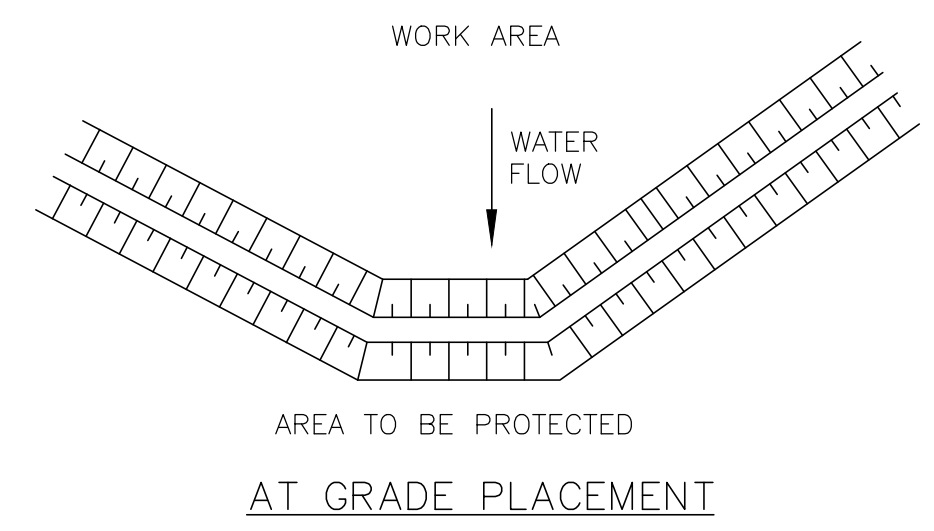
**6 COMPOST FILTER SOCK INLET PROTECTION**  
 SCALE: N.T.S.

- CONSTRUCTION SPECIFICATIONS:**
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 30 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS BUFFERS, AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC
  2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
  3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEET, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
  4. PROVIDE SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
  5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGE (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

**7 CONCRETE WASHOUT**  
 SCALE: N.T.S.



**6 COMPOST FILTER SOCK INLET PROTECTION**  
 SCALE: N.T.S.



**APPLICANT:**  
 1153 OWNER, LLC  
 PO BOX 515  
 SYRACUSE, NY 13205

**PROJECT:**  
 SYRACUSE PUBLIC SAFETY BUILDING  
 1153 WEST FAYETTE STREET  
 SYRACUSE NY 13204

No.	Submittal / Revision	Appr	By	Date

**DETAILS**

Designed By:	Drawn By:	Checked By:
BFB	BGH	BFB
Issue Date:	Project No.:	Scale:
6/18/24	088543	AS SHOWN

Drawing No.:  
**C-604**



J.Ryan McMahon, II  
COUNTY EXECUTIVE

# Onondaga County Planning Board

## RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: July 31, 2024

OCPB Case # Z-24-202

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a SITE PLAN from the City of Syracuse Planning Commission at the request of Brian Bouchard for the property located at 1153 West Fayette Street; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Harbor Brook, a county-owned drainage channel; and
- WHEREAS, the applicant is proposing to renovate an existing property to establish a new police and fire department facility on a 2.656-acre parcel in a Mixed-Use Transition (MX-3) zoning district; and
- WHEREAS, the Board previously recommended Modification of a site plan referral (Z-24-12) and No Position with Comment of a subdivision (S-24-3) to redevelop a nearby warehouse into a residential apartment building and subdivide this site to utilize a portion of the parking lot for the building; the Board advised that as the site is located in a County Drainage District, a Stormwater Pollution Prevention Plan (SWPPP) would need to be provided to the Onondaga County Department of Water Environment Protection (OCDWEP) and OCDWEP would need to approve any proposed stormwater connection to the channelized portion of Harbor Brook running beneath the lot; the Board also provided a comment encouraging the applicant and City to ensure adequate stormwater protections were in place for Harbor Brook which drains directly into Onondaga Lake; and
- WHEREAS, the site is located along West Fayette Street near its intersection with South Geddes Street, both local roads, in the Near Westside neighborhood of the City of Syracuse in a mixed use area that includes George W. Fowler High School, the recently renovated Gear Factory building, and other commercial and residential lots; parcels north across the street from the site contain short line rail lines; and
- WHEREAS, the site contains a 100,000 sf complex located on the western side of an irregularly shaped parcel; a small parking lot in the northwest corner and large parking lot in the eastern portion of the site comprises most of the remaining land; per aerial imagery from May 2024, small areas along the rear site boundaries appear to be the only permeable surface on site; and
- WHEREAS, per the referral materials, the applicant is proposing to renovate the Lipe-Rollway Building to transform the property into a new public safety facility for the City of Syracuse Police and Fire departments including “71,500 sf of office and operations space, 14,300 sf of employee wellness facilities, and 16,707 sf in training facilities”; the proposal also includes “partial demolition of existing single story portions of buildings”, parking lot improvements, fencing, sidewalks, and stormwater infrastructure;
- ADVISORY NOTE: Per the Onondaga County Department of Water Environment



Protection, any and all demolition of buildings requires a permit for sewer disconnects; the applicant must contact Plumbing Control to ensure appropriate permits are obtained; and

WHEREAS, per the Site Layout Plan dated 6/18/24, the existing parking lot will be renovated, possibly removing some asphalt, but the exact amount is unclear from the Site Plan; the small northwest lot will have 7 parking spaces and a 24'-wide driveway to West Fayette Street; the large parking lot will be renovated and formalized to contain multiple sections, totaling 140 parking spaces with a 26'-wide driveway to West Fayette Street; concrete sidewalks will be installed between the building and parking lots; it is not clear from the Site Plan which specific parts of the complex will be demolished, but it appears a small portion of building at the rear of the building complex will be removed; per the Environmental Assessment Form (EAF) dated 7/1/24, the 2.90-acre site contains 2.13 acres of impervious surface and the proposal will result in an increase to 2.23 acres of impervious surface; and

WHEREAS, the referral materials do not include an existing conditions plan, detailing regarding any onsite stormwater infrastructure (existing, to be retained, or proposed), and the Site Plan does not depict whether the land not occupied by building or parking will remain asphalt or will be lawn or landscaping; a Landscaping or Planting Plan was not included, but some trees and landscaping along the road frontage are depicted; per Google Streetview, this landscaping appears to be existing; and

WHEREAS, per the Environmental Assessment Form (EAF) dated 7/1/24, 1.75 acres of the site will be disturbed by the proposed project and "discharge from proposed stormwater management area to Harbor Brook as in existing conditions" and "stormwater will be directed to on-site stormwater management facilities and will then discharge to the Harbor Brook culvert"; the parking lot occurs over a section of channelized Harbor Brook, an Onondaga County-owned drainage channel that drains directly into Onondaga Lake; the Onondaga County Department of Water Environment Protection (OCDWEP) advises the applicant to connect stormwater infrastructure to the existing catch basin rather than with a new connection to Harbor Brook;

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the referral notice, the site is served by public drinking water; the proposed project will result in an increase in flow; per the EAF, the site is anticipated to require 9,680 gallons of drinking water per day; and

WHEREAS, per the referral notice, the site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant service area; the proposed project will result in an increase in flow; per the EAF, the site is anticipated to generate 9,680 gallons of wastewater per day;

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required due to an anticipated increase in use; additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer

unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:  
<http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and

WHEREAS, per the EAF Mapper, the site contains waterbodies listed as water-quality impaired (Lower Harbor Brook and tributaries); aerial imagery shows Harbor Brook is channelized and crosses the existing parking lot below ground; and

WHEREAS, the EAF Mapper indicates that the project is within 2,000 feet of multiple sites (IDs: C734160, C734164, 734022) in the New York State Department of Environmental Conservation (NYS DEC) Environmental Site Remediation database; and

WHEREAS, the site contains the Lipe-Rollway Corporation site which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places; and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board recommends the following MODIFICATION(S) to the proposed action prior to local board approval of the proposed action:

1. Projects within an Onondaga County Drainage District that require a Stormwater Pollution Prevention Plan (SWPPP) must submit a copy of the SWPPP to the Onondaga County Department of Water Environment Protection for review. The municipality must ensure any mitigation as may be determined by the Department is reflected on project plans prior to, or as a condition of, municipal approval.
2. The applicant must coordinate and obtain approval from the Onondaga County Department of Water Environment Protection regarding the proposed stormwater connection to the channelized portion of Harbor Brook prior to, or as a condition of, municipal approval.

The Board offers the following comments:

1. The City is encouraged to require more information from the applicant regarding the nature and usage of facilities and buildings on site, including employee parking, drainage, maintenance, screening, and fencing.
2. Given the site's proximity to a channelized section of Harbor Brook, a stream and Onondaga County-owned drainage channel running under the parking lot, draining directly to Onondaga Lake, the Board encourages the applicant and municipality to ensure adequate protections are in place for this important stream and watershed. The applicant and municipality are advised to ensure stormwater quantity and quality are managed appropriately for any drainage from the site.
3. Given the stormwater drainage concerns on site and proximity to Harbor Brook, the the applicant is encouraged to 1) retain as much existing tree cover as possible, 2) reduce impermeable surfaces, 3) utilize green infrastructure (e.g., permeable pavement), and 4) add landscaping, plantings, and trees to improve

community appearance, reduce the visual impact of the expansive parking lot, and reduce stormwater and protect stormwater quality.

A handwritten signature in black ink, appearing to read 'Martin E. Voss', with a long horizontal stroke extending to the right.

Martin E. Voss, Chairman  
Onondaga County Planning Board

## Parcel History

01/01/1900 - 08/12/2024

Tax Map #: 099.-03-02.1

Owners: 1153 Owner LLC

Zoning:

Address	Date	Transaction	Transaction Type	Status	Description
1153 Fayette St W	07/10/24	Project	Major Site Plan Review	Active	MaSPR-24-30   Renovation of existing building and construction of new parking layout to serve as a public safety building for the City of Syracuse police and fire departments. Exterior improvements will be construction of a new parking area with security fencing and electric vehicle chargers. A new drainage system will be installed to collect stormwater runoff and treat/mitigate prior to releasing to the Harbor Brook culvert.
1153 Fayette St W	07/30/24	Permit Application	Com. Reno/Rem/Chg Occ	Holding For	51120   public safety building reno



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: 1153 Owner LLC  
From: Cristian Toellner, Zoning Planner  
Date: 8/15/2024 1:05:39 PM  
Re: Major Site Plan Review MaSPR-24-30  
1153 Fayette St W, Syracuse, 13204

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov.net if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	07/11/2024	Vinny Esposito	SWPPP and grading plan must be approved by the City Engineer. Cover depth of brook must be determined for grading and installation of charging stations.
DPW - Transportation Planner	Conditionally Approved	07/22/2024	Neil Milcarek-Burke	<ul style="list-style-type: none"> <li>- All nose-in parking stalls adjacent to sidewalk areas must incorporate conc. filled bollards (no wheel stops) to prevent overhang into the sidewalk space.</li> <li>- All leadwalks to/from the public sidewalk and public points of entry should be no less than 6' wide, to accommodate significant increase in use at this site.</li> <li>- All drive isles and parking areas to be curbed or make use of guiderail/fixxed vertical objects (no wheel stops.)</li> <li>- Bike parking to be provided near public entry using 3xstaple-style racks or more, in a conspicuous and well-lit area. Additional 3x staples at employee entry and/or interior parking if feasible within proposed layout.</li> <li>- Planting plan required, through consultation with City Forestry Dept. Buffer areas along street scape and other areas should incorporate varied schedule of perennial plant materials and trees.</li> </ul>
Zoning Planner	On Hold	08/14/2024	Cristian Toellner	On hold until Doreen Simmons, ESQ advises me on DEC easement agreement and until the NYS DEC reaches out re: response to submitted BCP application and site remediation
Parks - Forestry	Approved	07/29/2024	Jeff Romano	No impacts on Forestry
Planning Commission	Pending	07/10/2024		
Eng. Design & Cons. - Zoning	Conditionally Approved	07/11/2024	Mirza Malkoc	• All construction in the R.O.W. will require a permit, all construction in the R.O.W. to be per City standards

and specifications.

- Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review.
- Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf.
- Stormwater Access & Maintenance Agreements shall be submitted for review.
- Proposed elevations shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W.
- The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council Approval.
- Onondaga County Plumbing Control shall review and approve the plans as well.

City Engineer - Zoning	Pending	07/10/2024		
Eng. Mapping - Zoning	Approved	07/19/2024	Ray Wills	Work should have no impact on Mapping Division assets. Work in the ROW should have permits reviewed before start.
Water Engineering - Zoning	Conditionally Approved	07/17/2024	Kim Kelchner	07/17/2024 conditionally approved: Contact SWD for any water related items.
Fire Prevention - Zoning	Conditionally Approved	08/05/2024	Elton Davis	Construction, alteration, or demolition shall adhere to applicable sections of the 2020 FCNYS and the 2020 BCNYS.
DPW Traffic Control- Zoning	Approved	07/29/2024	Charles Gafrancesco	7.29.24 No concern.
Onondaga Co Planning Board	Pending	07/10/2024		
Landmark Preservation Board	On Hold	08/12/2024	Kate Auwaerter	To be reviewed at the 8/22 SLPB meeting.