

Mango Brother's Reality, Inc. Clinic project roadmap

The applicant will introduce the project and present the Major Site Plan Review application and the Special Use Permit Application.

Then the Planning Commission will deliberate on the SEQR review for this Type II action.

Below is the order in which the Mango Brother's Reality, Inc. Clinic agenda items appear in the Agenda Packet.

MaSPR-24-18 – Major Site Plan Review

SP-24-10 – Special Use Permit

SEQR Review

- SEAF Part 1
- SEAF Part 2
- SEAF Part 3



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>MaSPR-24-18</i>	<i>Staff Report – July 8, 2024</i>
<i>Application Type:</i>	Major Site Plan Review
<i>Project Address:</i>	2108-22 Erie Blvd E & Bruce St (Tax Map ID: 036.-03-01.0)
<i>Summary of Proposed Action:</i>	The applicant proposes to apply for a major site plan review to change existing “Office” use into “Clinic” use and renovate the interior tenant space. The vacant office space will be divided into 6 areas for Diagnostic, Urgent Care, Endocrine, Neurology, Pharmacy and Common Waiting Area.
<i>Owner/Applicant</i>	Safoora Shakoor Usmani (Owner) Ibrahim Anse (Applicant)
<i>Existing Zone District:</i>	Neighborhood Center, MX-2 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north is located in the Commercial, CM Zone District, to the south is located in the High Density Residential, R5 Zone District, to the west are located in the Neighborhood Center, MX-2 Zone District and the Mixed-Use Transition, MX-3 Zone District, and to the east of the property is located in the Neighborhood Center, MX-2 Zone District.
<i>Companion Application(s)</i>	SP-24-10 (Special Use Permit): to establish a “clinic” use in the MX-2 Zone District.
<i>Scope of Work:</i>	The scope of work includes (1) demolishing part of the interior partitioning walls and doors, the existing exterior walls will be remained; (2) renovating the interior spaces with new partitioning walls and doors to divide 6 spaces for the clinic use; (3) installing a new entrance with awning for Common Waiting Area on building façade facing East Erie Boulevard; (4) raising the middle portion of the roof to match the elevation of the rest of the building.
<i>Staff Analysis:</i>	<p><u>Factors:</u></p> <ul style="list-style-type: none"> - There is an existing psychiatrist office in the building. No works are proposed for this office and the owner will continue providing ingress and egress for the office after the interior renovation. - The existing on-site parking spaces are sufficient for the new clinic use. - There are existing landscaping features on the south property boundary to provide buffers for adjacent residential Zone District. <p><u>Recommended conditions</u></p> <ul style="list-style-type: none"> - The landscaping features on the south property boundary shall be maintained in good shapes to buffer the parking lot from the adjacent residential Zone District.
<i>Zoning Procedural History:</i>	- 12/10/2015 PR-15-49 Project Site Review to alter the building façade Approved
<i>Summary of Zoning History:</i>	A Project Plan Review regarding façade alteration was approved by the end of 2015.
<i>Code Enforcement History:</i>	See attached code enforcement history.
<i>Summary of Changes:</i>	This is not a continued application.

MaSPR-24-18

Property Characteristics:	The lot is irregularly shaped with 395.73 feet of frontage on East Erie Boulevard, and 125.00 feet of frontage on Bruce Street.
SEQR Determination:	Pursuant to the 6 NYCRR §617.5(c)(18), the proposal is a Type II Action.
Onondaga County Planning Board Referral:	Pursuant to GML §239-l, m and n, the proposal meets the referral criteria for Onondaga County Planning Board to review. The Onondaga County Planning Board reviewed the proposal with no opposition.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review application
- Short Environmental Assessment Form Part 1
- Location Survey on Lot 2, 3, 4, 6, 7 & 8 of the Henry H. White Tract, Filed Nov. 24, 1919 as Map No. 1664 and Part of Military Lot No. 49, Former Town of Dewitt, Now City of Syracuse. Known as No. 2108-2122 Erie Boulevard East, City Of Syracuse, County Of Onondaga, NY; Licensed Land Surveyor: Douglas R. LEHR; LEHR Land Surveyors D.P.C.; Dated: 11/22/2011; Scale: 1"= 20'
- Site Plan (Sheet A-100.00). Prepared by IAA Architects PLLC and Tasheed Building Consultants LLC; dated: 06/08/2024; Scale: 1/16"=1'
- Existing Floor Plan and Demolishing Plan (Sheet A-200.00). Prepared by IAA Architects PLLC and Tasheed Building Consultants LLC; dated: 06/08/2024; Scale: 1/8"=1'
- Proposed Floor Plan and Elevation Plan (Sheet A-300.00). Prepared by IAA Architects PLLC and Tasheed Building Consultants LLC; dated: 06/08/2024; Scale: 1/8"=1'
- Egress Floor Plan (Sheet A-400.00). Prepared by IAA Architects PLLC and Tasheed Building Consultants LLC; dated: 01/08/2024; Scale: 1/8"=1'

Attachments:

Major Site Plan Review Application	Code Enforcement History
Short Environmental Assessment Form Part 2 & Part 3	IPS Comments from City Departments



For Office Use Only	
Zone District:	_____
Application Number:	_____ - _____ - _____
Date:	_____

Office of Zoning Administration
 300 S State St, Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syr.gov.net

Site Plan Review Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name: MANGO BROTHER'S REALTY LLC	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 2108-22 Erie Blvd E & Bruce St	
Tax Map ID#: 01	Lot size (sq. ft.): 81631.44
Current use of property: COMMERCIAL	Proposed: CLINICS
Current number of dwelling units (if applicable): NA	Proposed: NA
Current onsite parking (if applicable): 70	Proposed: 70
Zone District (base and any overlay) of property: MX-2	
Companion zoning applications (if applicable, list any related zoning applications):	
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor	
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input type="checkbox"/> New construction <input checked="" type="checkbox"/> Exterior alterations <input type="checkbox"/> Site changes	
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):	
Size: 3X5	Type: CONCETE Location: CORNER
Size:	Type: Location:
Nature and extent of Site Plan requested (attach additional pages if necessary): FILING FOR SPECIAL PERMIT AT THE EXISTING 20,000 SF COMMERCIAL MASONRY BUILDING. PROPOSING 6 CLINIC SPACES AS PER ATTACHED PLANS WITH A COMMON WAITING AREA AND SHARED EXISTING PARKING . WORK WILL BE INCLUDING THE FOLLOWING: - INTERIOR NON-BEARING PARTITION WORK TO ACCOMMODATE THE PROPOSED LAYOUT. - PROPOSE TO RAISE THE MIDDLE PORTION OF THE ROOF TO MATCH THE OTHER SPACES ELEVATION USING SAME MATERIALS EXTERIORS AND INTERIOR TO MATCH EXISTING. - NEW ENTRANCE AT ERIE BLVD E, WITH AWNING AND TO WIDEN FEW WINDOWS. - SIGN TO USE THE EXISTING SAME LOCATION WITH CHANGE IN LETTERING	



Site Plan Review Application

Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syrgov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

Print owner's name: SAFOORA SHAKOOR USMANI

Signature: SAFOORA SHAKOOR USMANI

Date: 4.16.2024

Mailing address: 6302 COUNTY LINE RD SHANEATELES NY 13152

Print authorized agent's name: IBRAHIM ANSE

Date: 4.16.2024

Signature: Ibrahim Anse

Mailing address: 480 BAYRIDGE AVE BROOKLYN NY 11220

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- APPLICATION - filled out completely, dated, and signed by property owner as instructed
STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR) - Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
PHOTOGRAPHS (COLOR) of the PROJECT SITE - keyed to a property survey or site plan
PHOTOGRAPHS (COLOR) of the STREETScape - including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
APPLICATION FEE - \$0

Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, separate site plan review applications must be submitted for each project site. Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below:

- AS BUILT PROPERTY SURVEY(S) of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
SITE PLAN(S) illustrating site alterations and post project conditions that are/will be different from the as built property survey including:
- Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
- Demolitions and post demolition conditions
- Structures
- Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>SP-24-10</i>	<i>Staff Report – July 8, 2024</i>
<i>Application Type:</i>	Special Use Permit
<i>Project Address:</i>	2108-22 Erie Blvd E & Bruce St (Tax Map ID: 036.-03-01.0)
<i>Summary of Proposed Action:</i>	The applicant proposes to apply for a special use permit to change existing “Office” use into “Clinic” use. The vacant office space will be divided into 6 areas for Diagnostic, Urgent Care, Endocrine, Neurology, Pharmacy and Common Waiting Area.
<i>Owner/Applicant</i>	Safoora Shakoor Usmani (Owner) Ibrahim Anse (Applicant)
<i>Existing Zone District:</i>	Neighborhood Center, MX-2 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north is located in the Commercial, CM Zone District, to the south is located in the High Density Residential, R5 Zone District, to the west are located in the Neighborhood Center, MX-2 Zone District and the Mixed-Use Transition, MX-3 Zone District, and to the east of the property is located in the Neighborhood Center, MX-2 Zone District.
<i>Companion Application(s)</i>	MaSPR-24-18 (Major Site Plan Review): to establish a “clinic” use in a vacant office space of more than 10,000 SF gross floor area.
<i>Scope of Work:</i>	The scope of work includes (1) demolishing part of the interior partitioning walls and doors, the existing exterior walls will be remained; (2) renovating the interior spaces with new partitioning walls and doors to divide 6 spaces for the clinic use; (3) installing a new entrance with awning for Common Waiting Area on building façade facing East Erie Boulevard; (4) raising the middle portion of the roof to match the elevation of the rest of the building.
<i>Staff Analysis:</i>	<p><u>Factors:</u></p> <ul style="list-style-type: none"> - There is an existing psychiatrist office in the building. No works are proposed for this office and the owner will continue providing ingress and egress for the office after the interior renovation. - The existing on-site parking spaces are sufficient for the new clinic use. - There are existing landscaping features on the south property boundary to provide buffers for adjacent residential Zone District. <p><u>Recommended conditions</u></p> <ul style="list-style-type: none"> - The landscaping features on the south property boundary shall be maintained in good shapes to buffer the parking lot from the adjacent residential Zone District.
<i>Zoning Procedural History:</i>	- 12/10/2015 PR-15-49 Project Site Review to alter the building façade Approved
<i>Summary of Zoning History:</i>	A Project Plan Review regarding façade alteration was approved by the end of 2015.
<i>Code Enforcement History:</i>	See attached code enforcement history.
<i>Summary of Changes:</i>	This is not a continued application.

SP-24-10

Property Characteristics:	The lot is irregularly shaped with 395.73 feet of frontage on East Erie Boulevard, and 125.00 feet of frontage on Bruce Street.
SEQR Determination:	Pursuant to the 6 NYCRR §617.5(c)(18), the proposal is a Type II Action.
Onondaga County Planning Board Referral:	Pursuant to GML §239-l, m and n, the proposal meets the referral criteria for Onondaga County Planning Board to review. The Onondaga County Planning Board reviewed the proposal with no opposition.

Application Submittals: The application submitted the following in support of the proposed project:

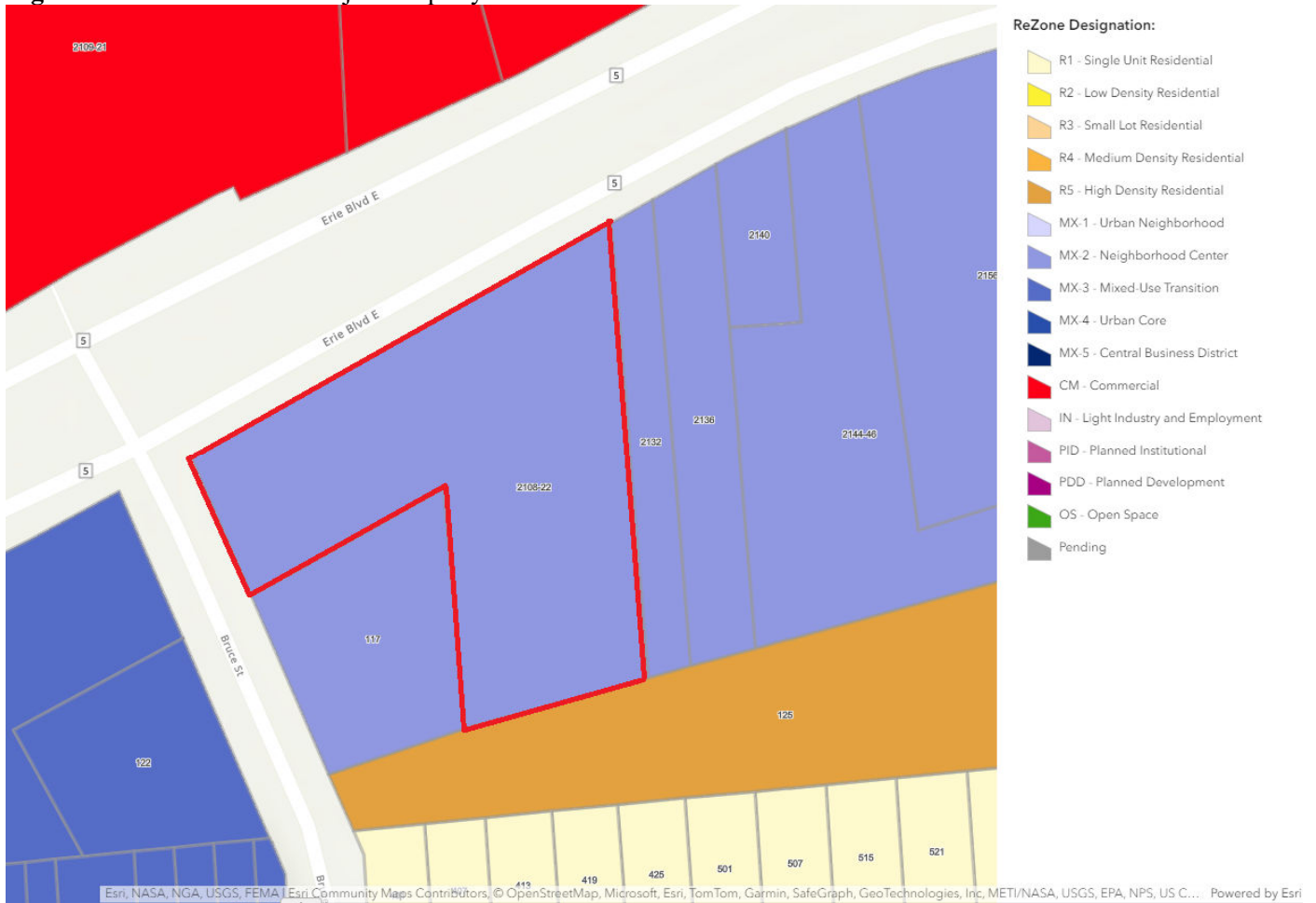
- Special Use Permit application
- Short Environmental Assessment Form Part 1
- Location Survey on Lot 2, 3, 4, 6, 7 & 8 of the Henry H. White Tract, Filed Nov. 24, 1919 as Map No. 1664 and Part of Military Lot No. 49, Former Town of Dewitt, Now City of Syracuse. Known as No. 2108-2122 Erie Boulevard East, City Of Syracuse, County Of Onondaga, NY; Licensed Land Surveyor: Douglas R. LEHR; LEHR Land Surveyors D.P.C.; Dated: 11/22/2011; Scale: 1"= 20'
- Site Plan (Sheet A-100.00). Prepared by IAA Architects PLLC and Tasheed Building Consultants LLC; dated: 06/08/2024; Scale: 1/16"=1'
- Existing Floor Plan and Demolishing Plan (Sheet A-200.00). Prepared by IAA Architects PLLC and Tasheed Building Consultants LLC; dated: 06/08/2024; Scale: 1/8"=1'
- Proposed Floor Plan and Elevation Plan (Sheet A-300.00). Prepared by IAA Architects PLLC and Tasheed Building Consultants LLC; dated: 06/08/2024; Scale: 1/8"=1'
- Egress Floor Plan (Sheet A-400.00). Prepared by IAA Architects PLLC and Tasheed Building Consultants LLC; dated: 01/08/2024; Scale: 1/8"=1'

Attachments:

Special Use Permit Application	Code Enforcement History
Short Environmental Assessment Form Part 2 & Part 3	IPS Comments from City Departments (refer to MaSPR-24-18)

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.
Image Source: ConnectExplorer™, Eagle View Technology Corporation

Special Use Permit Application



Office of Zoning Administration
One Park Place, 300 S State St,
Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov.net

Summary of Special Use Permit Procedure

The Special Use Permit procedure is summarized below. For complete details, see Sections 7.3 and 7.4.B of the Zoning Ordinance.

1	Pre-Application Conference	<i>Required</i>	Submittal and Internal Review
2	Application Submittal and Processing	<i>Submit to Office of Zoning Administration</i>	
3	Staff Review and Action	<i>Review by Office of Zoning Administration</i>	Hearings and Decision-Making
4	Scheduling and Notice of Public Hearings	<i>Public hearing required for Common Council</i>	
5	Review and Decision	<i>Review and decision by Common Council</i>	
6	Post-Decision Actions and Limitations	<i>Special use permits run with land</i>	

1. Pre-Application Conference

- Opportunity for the applicant to meet with Zoning staff to review applicable submittal requirements, identify applicable procedures, and identify any issues associated with the proposed development

2. Application Submittal and Processing

- Submit to Office of Zoning Administration along with applicable fees

3. Staff Review and Action

- Applications are not considered complete until all required submittals are received
- Includes evaluation of the application under the State Environmental Quality Review Act (SEQR)

4. Scheduling and Notice of Public Hearings

- Once an application is determined ready for a public hearing, it will be scheduled for the next available hearing date with the Common Council
- Notice of hearing is mailed to the applicant (and representative, if any), approximately 10 days prior to hearing
- Unless otherwise notified, all public hearings are held at 1:00 p.m. in Common Council Chambers on the third floor of City Hall

5. Review and Decision

- The Common Council shall hold a public hearing within 62 days of the application being determined complete, unless the applicant consents to an extension
- The decision on the complete application must be made within 62 days of the close of the public hearing

6. Post-Decision Actions and Limitations

- A special use permit shall expire if the authorized use or construction has not obtained all necessary building permits within one year of after the date of special use permit approval
- All conditions of the special use permit approval shall be met within 18 months or the approval shall become null and void

Special Use Permit Application



For Office Use Only

Zoning District: _____
Application Number: SP- _____ - _____
Date: _____

Office of Zoning Administration
One Park Place, 300 S State St,
Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov.net

Special Use Permit Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name: MANGO BROTHER'S REALTY LLC		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 2108-22 Erie Blvd E & Bruce St		
Lot numbers: 01	Block number: 03	Lot size (sq. ft.)
Current use of property: COMMERCIAL	Proposed: CLINICS	
Current number of dwelling units (if applicable): NA	Proposed: NA	
Current hours of operation (if applicable):	Proposed:	
Current onsite parking (if applicable): 70	Proposed: 70	
Zoning (base and any overlay) of property:		
Companion zoning applications (if applicable, list any related zoning applications):		
Has the owner obtained a certificate of use: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size: 3'X5'	Type: CONCRETE	Location: CORNER
Size:	Type:	Location:
Nature and extent of Special Use requested (attach additional pages if necessary): FILING FOR SPECIAL PERMIT AT THE EXISTING 20,000 SF COMMERCIAL MASONRY BUILDING. PROPOSING 6 CLINIC SPACES AS PER ATTACHED PLANS WITH A COMMON WAITING AREA AND SHARED EXISTING PARKING . WORK WILL BE INCLUDING THE FOLLOWING: - INTERIOR NON-BEARING PARTITION WORK TO ACCOMMODATE THE PROPOSED LAYOUT. - PROPOSE TO RAISE THE MIDDLE PORTION OF THE ROOF TO MATCH THE OTHER SPACES ELEVATION USING SAME MATERIALS EXTERIORS AND INTERIOR TO MATCH EXISTING. - NEW ENTRANCE AT ERIE BLVD E, WITH AWNING AND TO WIDEN FEW WINDOWS. - SIGN TO USE THE EXISTING SAME LOCATION WITH CHANGE IN LETTERING		

Special Use Permit Application



Office of Zoning Administration
One Park Place, 300 S State St,
Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

Print owner's name: SAFOORA SHAKOOR USMANI

Signature: SAFOORA SHAKOOR USMANI

Date: 4.2.24

Mailing address: 6302 COUNTY LINE RD SHANEATELES NY 13152

Print authorized agent's name: IBRAHIM ANSE

Date: 4.2.24

Signature: Ibrahim Anse

Mailing address: 480 BAYRIDGE AVE BROOKLYN NY 11220

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. **If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney.** Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

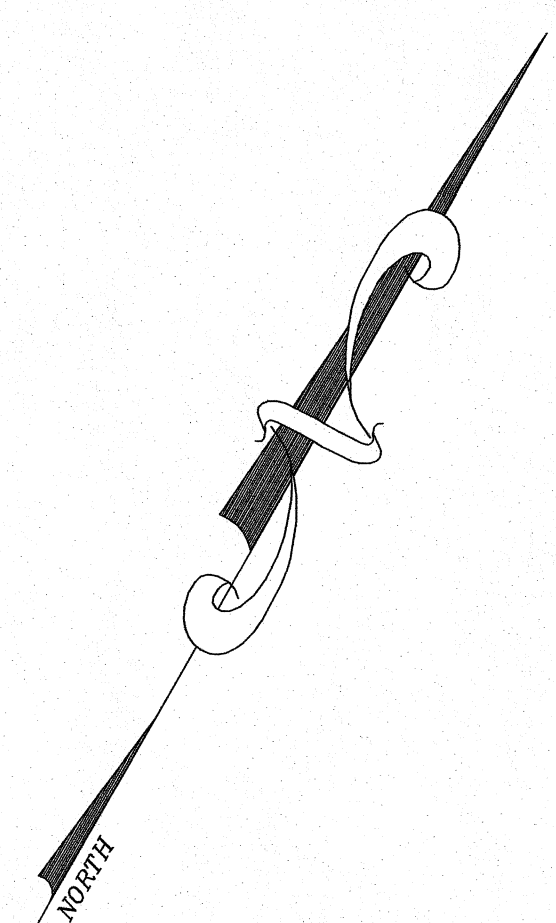
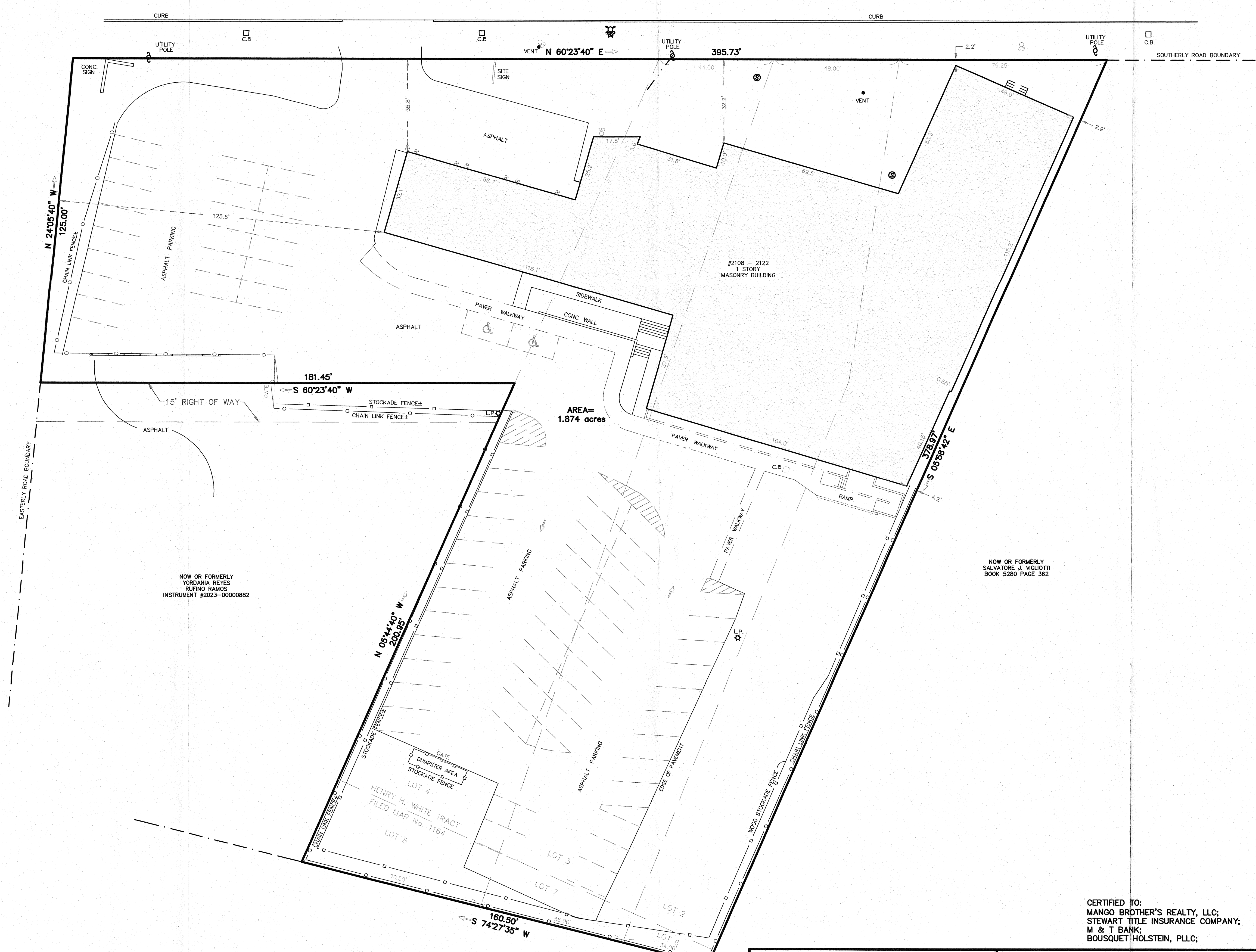
- APPLICATION** – filled out completely, dated, and signed by property owner as instructed
- STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR)** – Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
- PHOTOGRAPHS (COLOR) of the PROJECT SITE** – keyed to a property survey or site plan
- PHOTOGRAPHS (COLOR) of the STREETScape** – including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
- APPLICATION FEE** – \$0

Please submit three full sized and one no larger than 11x17" of all of the plans listed below (all plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below):

- AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
- SITE PLAN(S)** illustrating site alterations and post project conditions that are/will be different from the as built property survey including:

ERIE BOULEVARD EAST
VARIOUS WIDTHS

BRUCE STREET
66' WIDE



Only survey maps with the Land Surveyor's embossed seal are genuine true and correct copies of the surveyor's original work and opinion. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law. Certifications indicated hereon shall apply only to the persons for whom this survey was performed and on their behalf to the title insurance company governing agency and lending institution and to the assignees of the lending institution and/or subsequent owners. This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain insurance for any subsequent or future grantees. Survey prepared with the benefit of an abstract prepared by Salina Abstract and Title Services, Reference Number 101889-A, dated June 29, 2023. Blanket and/or non-plottable easements are not mentioned hereon. Location surveys do not include the staking of the property corners except as shown.

CERTIFIED TO:
MANGO BROTHER'S REALTY, LLC;
STEWART TITLE INSURANCE COMPANY;
M & T BANK;
BOUSQUET HOLSTEIN, PLLC;

No.	DATE	DESCRIPTION	BY
1	07/27/23	FIELD UPDATED	WJH
2	08/04/23	ABSTRACT REVIEW	WJH

LEHR
LAND SURVEYORS D.P.C.
116 SALINA STREET - SUITE 6
LIVERPOOL, NEW YORK 13088
315-461-3333
info@lehrlandsurveyors.com

I HEREBY CERTIFY THAT THIS IS AN ACCURATE MAP MADE FROM AN ACTUAL SURVEY.
DOUGLAS R. LEHR
LICENSED LAND SURVEYOR
NO. 49223

LOCATION SURVEY ON LOT 2, 3, 4, 6, 7 & 8 OF THE HENRY H. WHITE TRACT, FILED NOV. 24, 1919 AS MAP No. 1664 AND PART OF MILITARY LOT No. 49, FORMER TOWN OF DEWITT, NOW CITY OF SYRACUSE.
KNOWN AS No. 2108-2122 ERIE BOULEVARD EAST, CITY OF SYRACUSE, COUNTY OF ONONDAGA, NY
DATE: 22 NOV. 2011 SCALE: 1"=20' DRAWN BY: TWW
REVISIONS: DRAWING No. 11-J-91

2112 Erie Blvd E
Syracuse, NY 13224

PROPERTY PHOTOS



STREET VIEW



STREET VIEW



STREET VIEW



STREET VIEW



ENTRANCE



ROOF TO BE RAISED

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

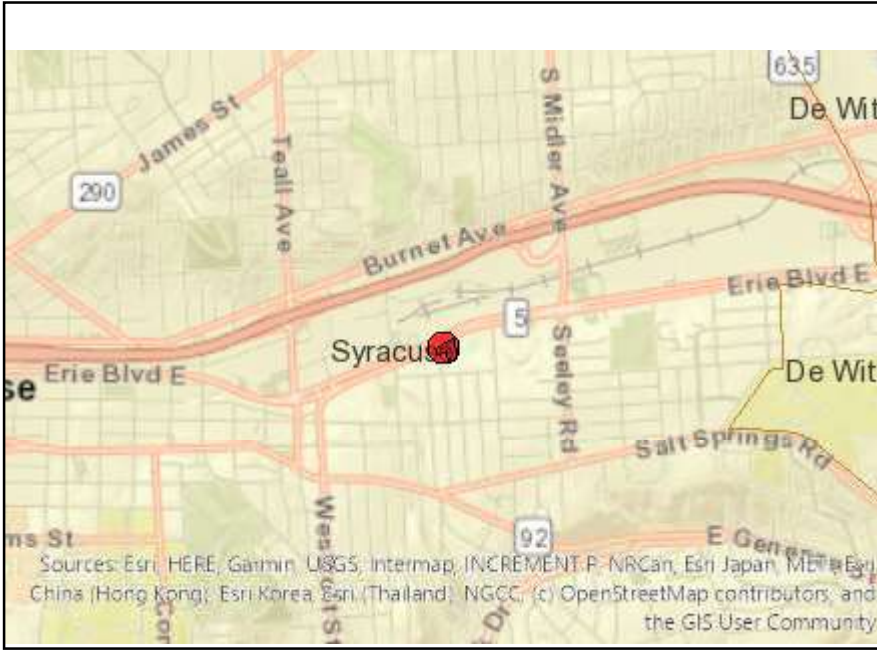
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
MANGO BROTHER'S REALTY LLC - SAFOORA SHAKOOR USMANI			
Name of Action or Project: MEDICALA OFFICES			
Project Location (describe, and attach a location map): 2108-22 Erie Blvd E & Bruce St			
Brief Description of Proposed Action: FILING FOR ZONING SPECIAL PERMIT AT THE EXISTING 20,000 SF COMMERCIAL MASONRY BUILDING. PROPOSING 6 CLINIC SPACES AS PER ATTACHED PLANS WITH A COMMON WAITING AREA AND SHARED EXISTING PARKING . WORK WILL BE INCLUDING THE FOLLOWING: - INTERIOR NON-BEARING PARTITION WORK TO ACCOMMODATE THE PROPOSED LAYOUT. - PROPOSE TO RAISE THE MIDDLE PORTION OF THE ROOF TO MATCH THE OTHER SPACES ELEVATION USING SAME MATERIALS EXTERIORS AND INTERIOR TO MATCH EXISTING. - NEW ENTRANCE AT ERIE BLVD E, WITH AWNING AND TO WIDEN FEW WINDOWS. - SIGN TO USE THE EXISTING SAME LOCATION WITH CHANGE IN LETTERING			
Name of Applicant or Sponsor: SAFOORA SHAKOOR USMANI		Telephone: 347-656-5429 E-Mail: safoorashakoor@gmail.com	
Address: 6302 COUNTY LINE RD			
City/PO: SHANEATELES		State: NY	Zip Code: 13152
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>IT IS MEETING THE STATE CODE. IN THE PROPOSED WORK ONLY. PROPOSED WORK IS INTERIOR MINOR NEW GLASS PROPOSED</u> _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ EXISTING _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ EXISTING WORKING CONNECTION NO ACTION NEEDED AT THIS TIME _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	EXISTING TO REMAIN, NO ADDITIONAL DRAINAGE OR STORM WORK PROPOSED _____	
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
THIS ITEM CHECKED AUTOMATICALLY WHEN GENERATED, TO THE BEST OF OUR KNOWLEDGE NO REMEDIATION WAS DONE TO THIS PROPERTY.		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>SAFOORA SHAKOOR USMANI</u> Date: <u>4.15.24</u>		
Signature: <u>SAFOORA SHAKOOR USMANI</u> Title: <u>OWNER REP</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

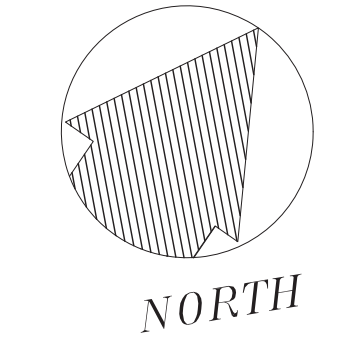
ERIE BLVD EAST

BRUCE STREET

EASTERLY ROAD BOUNDARY

CURB

SOUTHERLY ROAD BOUNDARY



REVISIONS		DESCRIPTION
DATE	BY	

This drawing is the property of IAA ARCHITECTS PLLC. Production of this drawing or the use of the information indicated on this drawing without the express written consent of IAA ARCHITECTS PLLC is prohibited. The user assumes all responsibility for any errors or omissions. IAA ARCHITECTS PLLC reports discrepancies to the Architect prior to the start of work.

IAA ARCHITECTS PLLC
TASHEED BUILDING CONSULTANTS LLC
480 Bay Ridge
Brooklyn, NY 11220
718-219-6598



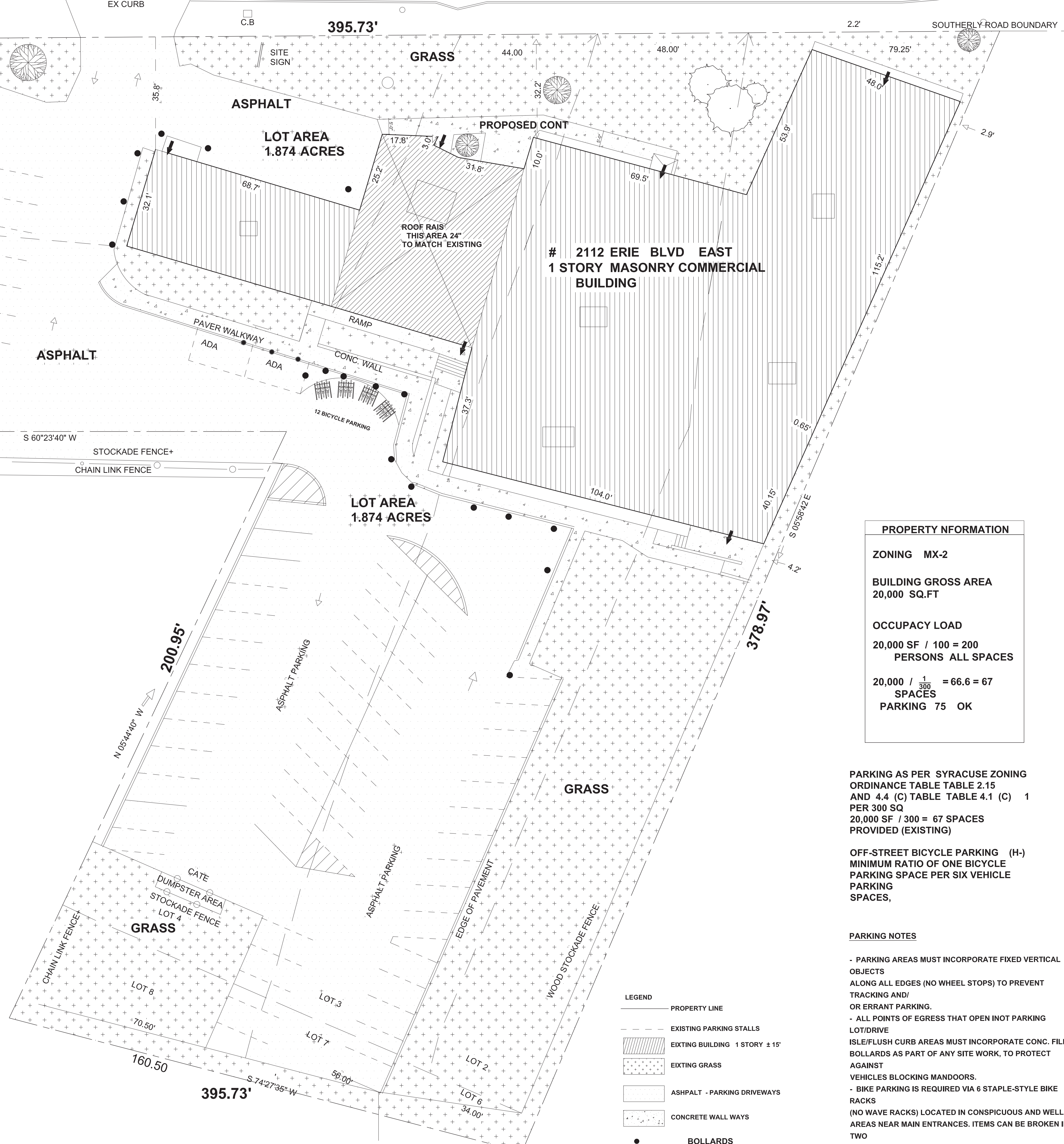
APPROVAL STAMP:

PROJECT ADDRESS:
*2122 ERIE BLVD EAST
SYRACUSE NY*

JOB DESCRIPTION:
*INTERIOR WORK
AT EXISTING COMM
BUILDING*

DRAWING TITLE:
SITE PLAN

	DATE: 06.08.2024
	PROJECT NO: 1210
	DRAWING BY: A.L.S.G.
	CHK BY: <i>[Signature]</i>
DWG NO. A-100.00	Cad File No: 1210
	10F 4



PROPERTY INFORMATION
ZONING MX-2
BUILDING GROSS AREA 20,000 SQ.FT
OCCUPANCY LOAD 20,000 SF / 100 = 200 PERSONS ALL SPACES
20,000 / $\frac{1}{300}$ = 66.6 = 67 SPACES PARKING 75 OK

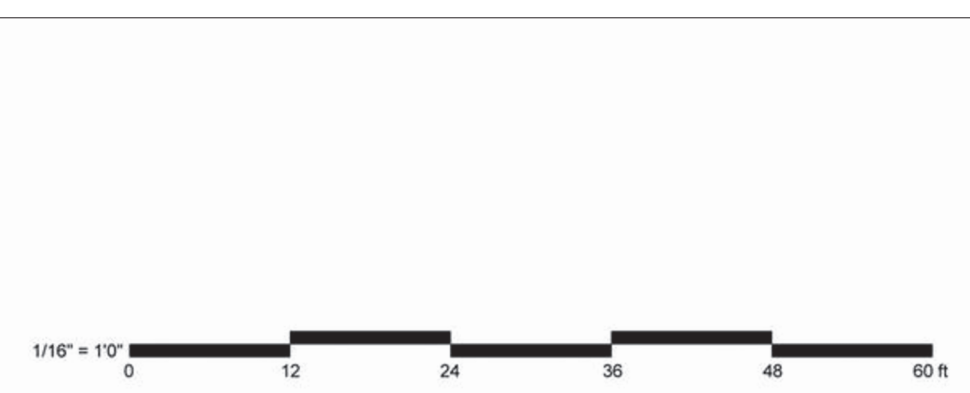
PARKING AS PER SYRACUSE ZONING ORDINANCE TABLE 2.15 AND 4.4 (C) TABLE 4.1 (C) 1 PER 300 SQ 20,000 SF / 300 = 67 SPACES PROVIDED (EXISTING)

OFF-STREET BICYCLE PARKING (H-) MINIMUM RATIO OF ONE BICYCLE PARKING SPACE PER SIX VEHICLE PARKING SPACES,

- PARKING NOTES**
- PARKING AREAS MUST INCORPORATE FIXED VERTICAL OBJECTS ALONG ALL EDGES (NO WHEEL STOPS) TO PREVENT TRACKING AND/OR ERRANT PARKING.
 - ALL POINTS OF EGRESS THAT OPEN INOT PARKING LOT/DRIVE ISLE/FLUSH CURB AREAS MUST INCORPORATE CONC. FILLED BOLLARDS AS PART OF ANY SITE WORK, TO PROTECT AGAINST VEHICLES BLOCKING MANDOORS.
 - BIKE PARKING IS REQUIRED VIA 6 STAPLE-STYLE BIKE RACKS (NO WAVE RACKS) LOCATED IN CONSPICUOUS AND WELL-LIT AREAS NEAR MAIN ENTRANCES. ITEMS CAN BE BROKEN INTO TWO GROUPS OF 3, AT SEPARATE ENTRANCES.

- LEGEND**
- PROPERTY LINE
 - - - EXISTING PARKING STALLS
 - [Hatched Box] EXISTING BUILDING 1 STORY ± 15'
 - [Dotted Box] EXISTING GRASS
 - [Stippled Box] ASPHALT - PARKING DRIVEWAYS
 - [Dashed Box] CONCRETE WALL WAYS
 - BOLLARDS

1 SITE PLAN
SCALE: 1/16" = 1'-0"



NOW OR FORMERLY
YORDANIA REYES
RUFINO RAMOS
INSTRUMENT #2023-00000882

ADA EXIT TO PARKING

EXISTING VANCANT OFFICES TO BE REMODELED

EXISTING PSYCHIATRIST OFFIE TO REMAIN

ADA EXIT TO PARKING

EXISTING OFFICES TO BE PHARMACY

EXISTING COMM OFFICES TO BE MEDICAL OFFICE

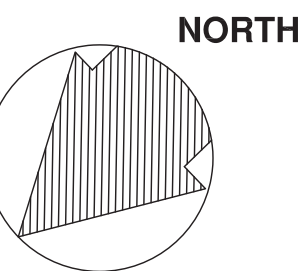
EXISTING ACCOUNTING OFFICE TO BE MEDICAL OFFICES

----- PARTITION TO REMOVE
 _____ PARTITION TO REMAIN

SCOPE OF WORK

- REMOVE ALL UNSUED FURNITURE AND MOVABLE ITEM
- PARTIAL DEMO AT THE INDICATED NON BEARING PARITIONS
- RELOCATE ANY ELECTRICAL OR PLUMBING
- CAP ANY UNUSED PLUMBING TO THE MAIN RISER
- MAINTAIN EXISTING EXTERIOR WALLS

1 EXISTING FLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS

NO.	DATE	BY	DESCRIPTION

REVISIONS

DATE	BY	DESCRIPTION

This drawing is the property of IAA ARCHITECTS PLLC, PA. The reproduction or the use of the ideas and arrangements indicated on this drawing without the written approval of this office is prohibited. Written dimensions take precedence over scaled dimensions. The contractor shall verify dimensions and conditions at the job and report discrepancies to the Architect prior to the start of work.

IAA ARCHITECTS PLLC
 TASHEED BUILDING CONSULTANTS LLC
 480 Bay Ridge
 Brooklyn, NY 11220
 718-219-6598



APPROVAL STAMP:

PROJECT ADDRESS:

2122 ERIE BLVD EAST
 SYRACUSE NY

JOB DESCRIPTION:

PROPOSED
 MEDICAL CENTER
 CLINICS

DRAWING TITLE:

EXISTING FLOOR
 PLANS

SEAL:



DATE: 06.08.2024

PROJECT NO: 1210

DRAWING BY: AI.SG

CHK BY:

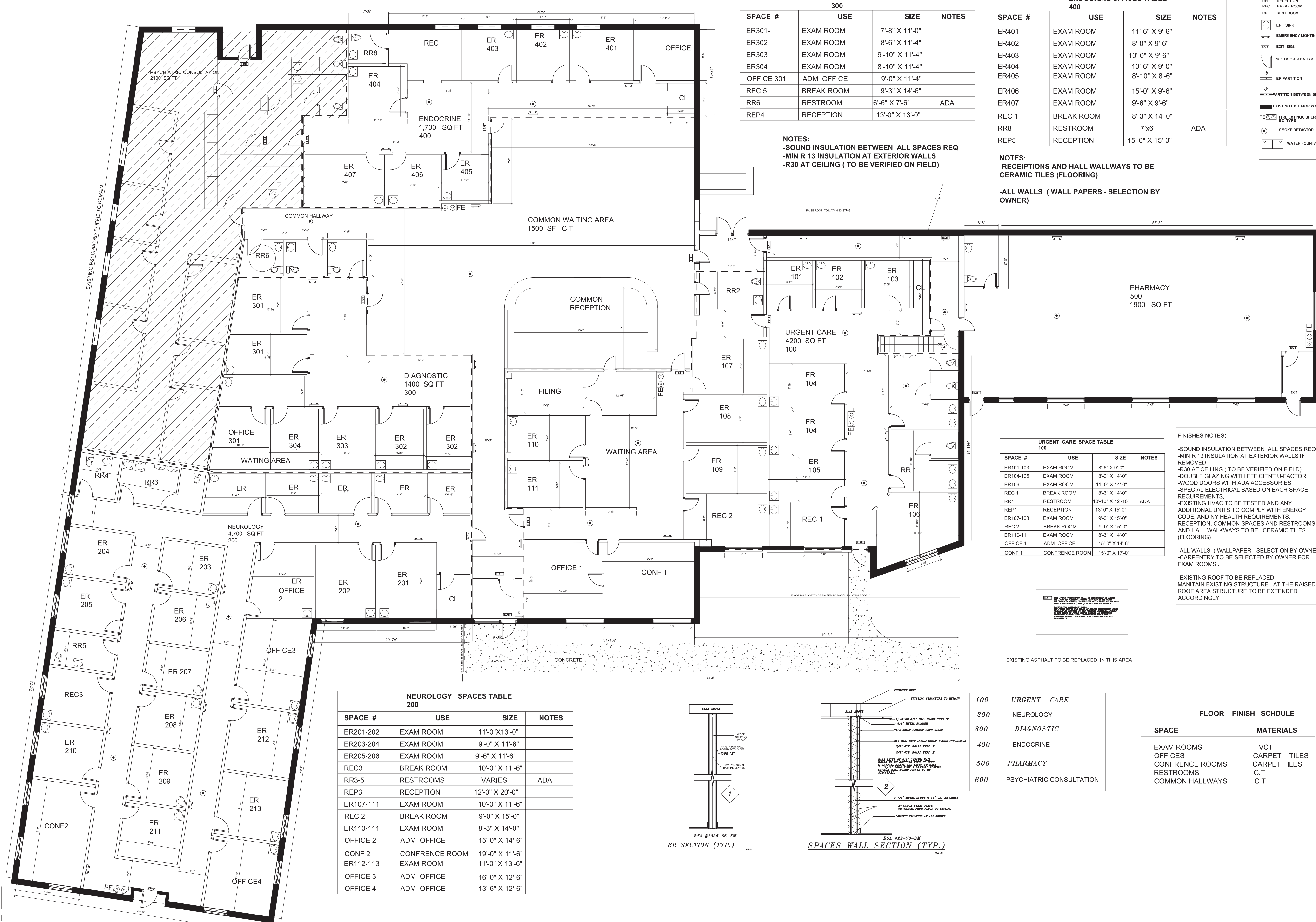
DWG NO.

A-200.00

Cad File No:

1210

2 OF 4



DIAGNOSTIC SPACES TABLE 300			
SPACE #	USE	SIZE	NOTES
ER301-	EXAM ROOM	7'-8" X 11'-0"	
ER302	EXAM ROOM	8'-6" X 11'-4"	
ER303	EXAM ROOM	9'-10" X 11'-4"	
ER304	EXAM ROOM	8'-10" X 11'-4"	
OFFICE 301	ADM OFFICE	9'-0" X 11'-4"	
REC 5	BREAK ROOM	9'-3" X 14'-6"	
RR6	RESTROOM	6'-6" X 7'-6"	ADA
REP4	RECEPTION	13'-0" X 13'-0"	

ENDOCRINE SPACES TABLE 400			
SPACE #	USE	SIZE	NOTES
ER401	EXAM ROOM	11'-6" X 9'-6"	
ER402	EXAM ROOM	8'-0" X 9'-6"	
ER403	EXAM ROOM	10'-0" X 9'-6"	
ER404	EXAM ROOM	10'-6" X 9'-0"	
OFFICE 405	EXAM ROOM	8'-10" X 8'-6"	
ER406	EXAM ROOM	15'-0" X 9'-6"	
ER407	EXAM ROOM	9'-6" X 9'-6"	
REC 1	BREAK ROOM	8'-3" X 14'-0"	
RR8	RESTROOM	7'x6'	ADA
REP5	RECEPTION	15'-0" X 15'-0"	

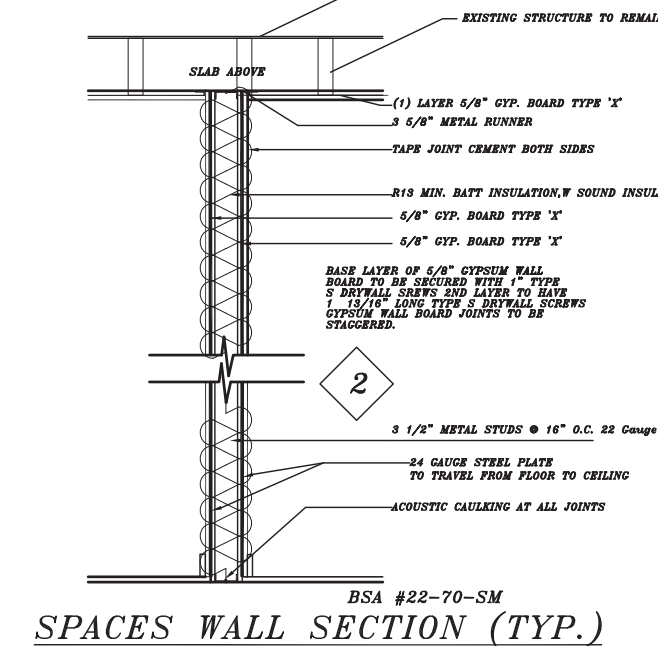
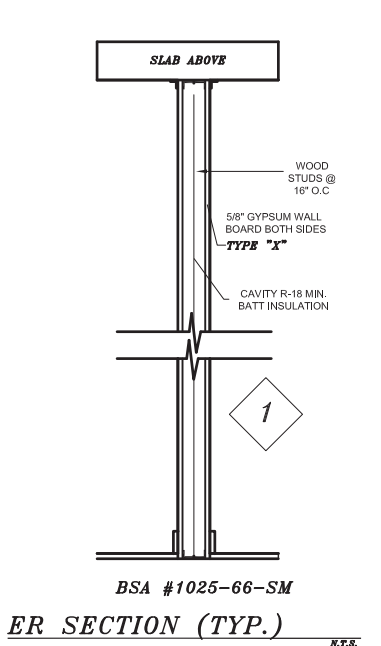
NOTES:
 -SOUND INSULATION BETWEEN ALL SPACES REQ
 -MIN R 13 INSULATION AT EXTERIOR WALLS
 -R30 AT CEILING (TO BE VERIFIED ON FIELD)

NOTES:
 -RECEPTIONS AND HALL WALLWAYS TO BE CERAMIC TILES (FLOORING)
 -ALL WALLS (WALL PAPERS - SELECTION BY OWNER)

URGENT CARE SPACE TABLE 100			
SPACE #	USE	SIZE	NOTES
ER101-103	EXAM ROOM	8'-6" X 9'-0"	
ER104-105	EXAM ROOM	8'-0" X 14'-0"	
ER106	EXAM ROOM	11'-0" X 14'-0"	
REC 1	BREAK ROOM	8'-3" X 14'-0"	
RR1	RESTROOM	10'-10" X 12'-10"	ADA
REP1	RECEPTION	13'-0" X 15'-0"	
ER107-108	EXAM ROOM	9'-0" X 15'-0"	
REC 2	BREAK ROOM	9'-0" X 15'-0"	
ER110-111	EXAM ROOM	8'-3" X 14'-0"	
OFFICE 1	ADM OFFICE	15'-0" X 14'-0"	
CONF 1	CONFERENCE ROOM	15'-0" X 17'-0"	

FINISHES NOTES:
 -SOUND INSULATION BETWEEN ALL SPACES REQ
 -MIN R 13 INSULATION AT EXTERIOR WALLS IF REMOVED
 -R30 AT CEILING (TO BE VERIFIED ON FIELD)
 -DOUBLE GLAZING WITH EFFICIENT U-FACTOR
 -WOOD DOORS WITH ADA ACCESSORIES.
 -SPECIAL ELECTRICAL BASED ON EACH SPACE REQUIREMENTS.
 -EXISTING HVAC TO BE TESTED AND ANY ADDITIONAL UNITS TO COMPLY WITH ENERGY CODE AND NY HEALTH REQUIREMENTS.
 -RECEPTION, COMMON SPACES AND RESTROOMS AND HALL WALKWAYS TO BE CERAMIC TILES (FLOORING)
 -ALL WALLS (WALLPAPER - SELECTION BY OWNER)
 -CARPENTRY TO BE SELECTED BY OWNER FOR EXAM ROOMS .
 -EXISTING ROOF TO BE REPLACED. MAINTAIN EXISTING STRUCTURE. AT THE RAISED ROOF AREA STRUCTURE TO BE EXTENDED ACCORDINGLY.

NEUROLOGY SPACES TABLE 200			
SPACE #	USE	SIZE	NOTES
ER201-202	EXAM ROOM	11'-0" X 13'-0"	
ER203-204	EXAM ROOM	9'-0" X 11'-6"	
ER205-206	EXAM ROOM	9'-6" X 11'-6"	
REC3	BREAK ROOM	10'-0" X 11'-6"	
RR3-5	RESTROOMS	VARIES	ADA
REP3	RECEPTION	12'-0" X 20'-0"	
ER107-111	EXAM ROOM	10'-0" X 11'-6"	
REC 2	BREAK ROOM	9'-0" X 15'-0"	
ER110-111	EXAM ROOM	8'-3" X 14'-0"	
OFFICE 2	ADM OFFICE	15'-0" X 14'-6"	
CONF 2	CONFERENCE ROOM	19'-0" X 11'-6"	
ER112-113	EXAM ROOM	11'-0" X 13'-6"	
OFFICE 3	ADM OFFICE	16'-0" X 12'-6"	
OFFICE 4	ADM OFFICE	13'-6" X 12'-6"	



100	URGENT CARE
200	NEUROLOGY
300	DIAGNOSTIC
400	ENDOCRINE
500	PHARMACY
600	PSYCHIATRIC CONSULTATION

FLOOR FINISH SCHEDULE	
SPACE	MATERIALS
EXAM ROOMS	. VCT
OFFICES	CARPET TILES
CONFERENCE ROOMS	CARPET TILES
RESTROOMS	C.T
COMMON HALLWAYS	C.T

1 PROPOSED FLOOR PLAN
 SCALE: 1/8" = 1'-0"

2 PROPOSED ELRIE BLVD ELVATION
 SCALE: 1/8" = 1'-0"

REVISIONS			
NO.	DATE	BY	DESCRIPTION

This drawing is the property of IAA ARCHITECTS PLLC, RA. The reproduction of this drawing or the use of the ideas and arrangements indicated on this drawing without the written approval of this office is prohibited. Written dimensions take precedence over scaled dimensions. The contractor shall verify dimensions and conditions at the job and report discrepancies to the Architect prior to the start of work.

IAA ARCHITECTS PLLC
 TASHEED BUILDING CONSULTANTS LLC
 480 Bay Ridge
 Brooklyn, NY 11220
 718-219-6598



APPROVAL STAMP:

PROJECT ADDRESS:
 2122 ERIE BLVD EAST
 SYRACUSE NY

JOB DESCRIPTION:

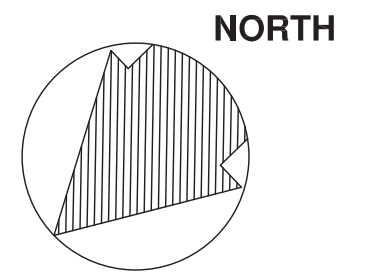
PROPOSED
 MEDICAL CENTER
 CLINICS

DRAWING TITLE:
 PROPOSED FLOOR
 PLANS / FRONT
 ELEVATION

SEAL:

DATE: 06.08.2024
 PROJECT NO: 1210
 DRAWING BY: A.L.S.G.
 CHK BY:
 DWG NO.
A-300.00
 Cad File No: 1210
3 OF 4

WORK TO COMPLY WITH
2020 NEW YORK STATE
BUILDING CODE



REVISIONS			
NO.	DATE	BY	DESCRIPTION

NO.	DATE	BY	DESCRIPTION

This drawing is the property of IAA ARCHITECTS PLLC, P.A. The reproduction of this drawing or the use of the ideas and arrangements indicated on this drawing without the written approval of this office is prohibited. Written dimensions take precedence over scaled dimensions. The contractor shall verify dimensions and conditions at the job and report discrepancies to the Architect prior to the start of work.

IAA ARCHITECTS PLLC
TASHEED BUILDING CONSULTANTS LLC
480 Bay Ridge
Brooklyn, NY 11220
718-219-6598

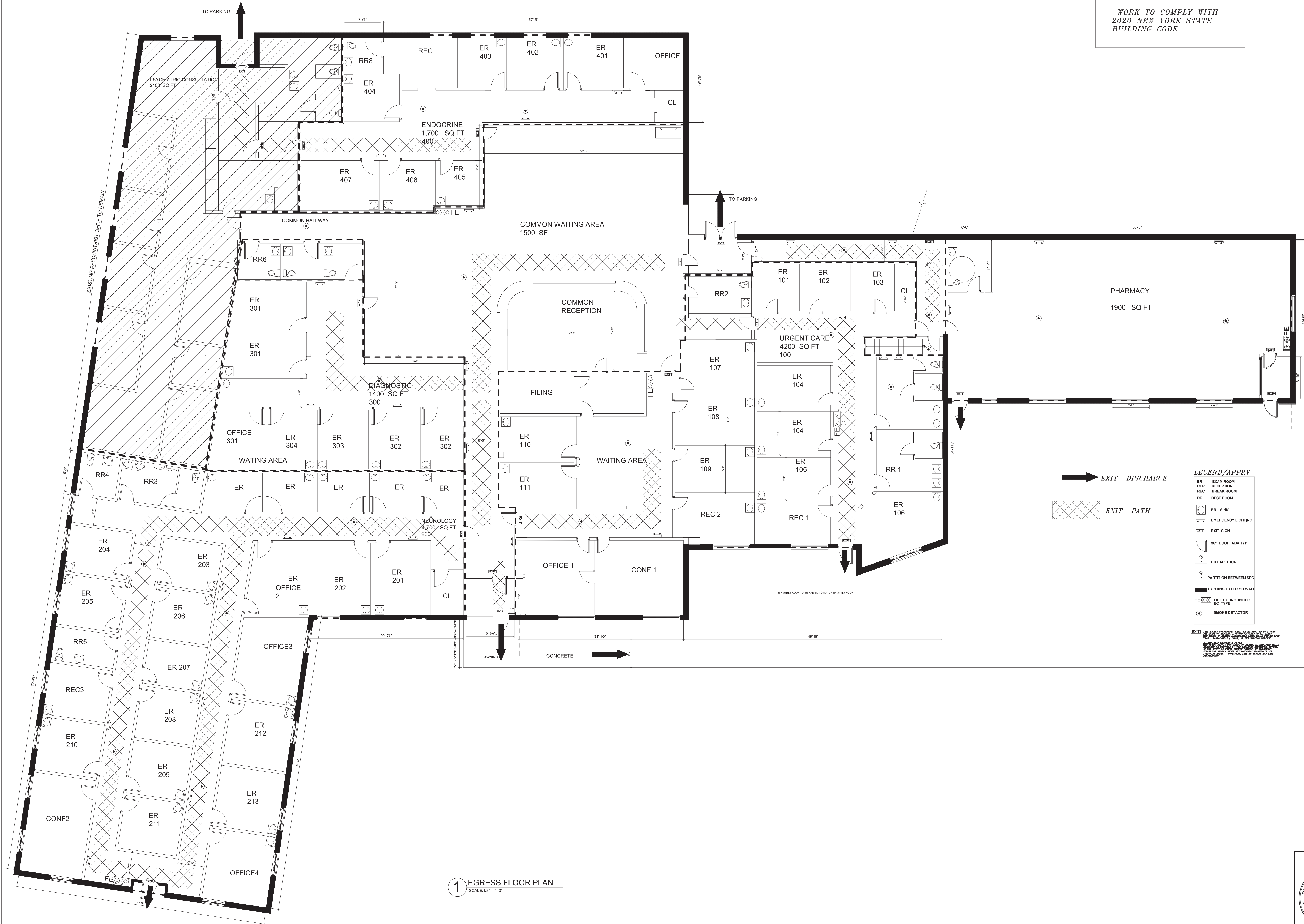


APPROVAL STAMP:

PROJECT ADDRESS:
**2122 ERIE BLVD EAST
SYRACUSE NY**

JOB DESCRIPTION:
**PROPOSED
MEDICAL CENTER**

DRAWING TITLE:
EGRESS PLAN



LEGEND/APPRV

- ER EXAM ROOM
- REC RECEPTION
- BR BREAK ROOM
- RR REST ROOM
- ER SINK
- EMERGENCY LIGHTING
- EXIT EXIT SIGN
- 36" DOOR ADA TYP
- ER PARTITION
- PARTITION BETWEEN SPC
- EXISTING EXTERIOR WALL
- FE FIRE EXTINGUISHER BC TYPE
- SMOKE DETECTOR

EXIT DISCHARGE (indicated by a solid arrow)

EXIT PATH (indicated by a cross-hatched box)

1 EGRESS FLOOR PLAN
SCALE: 1/8" = 1'-0"



SEAL: [Seal]
DATE: 01.08.2024
PROJECT NO: 1210
DRAWING BY: A.I.S.G.
CHK BY:
DWG NO. **A-400.00**
Cad File No: 1210
4 OF 4

Project:	MaSPR-24-18 & SP-24-10
Date:	7/8/2024

Short Environmental Assessment Form Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Short Environmental Assessment Form

Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

City of Syracuse City Planning Commission

7/8/2024

Name of Lead Agency

Date

Steven Kulick

Chairperson

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

ONONDAGA COUNTY

DEPARTMENT OF PLANNING



J. Ryan McMahon, II
County Executive

Don M. Jordan, Jr.
Acting Director

TO: Members, Syracuse City Planning Commission
FROM: Don Jordan Jr, Acting Director *DJ*
Onondaga County Department of Planning (OCDOP)
DATE: 5/2/2024
RE: Administrative Review – Medical Offices
RECOMMENDATION: No Position

Per General Municipal Law, §§239-m and -n, and the Onondaga County Planning Board Rules of Procedure and Referral Policy, the Board may delegate review and recommendation on certain referral actions to the Director of the Onondaga County Department of Planning.

These actions, determined as being generally routine in nature with minimal and/or well-understood intercommunity or countywide concerns, are listed within the Rules of Procedure, and at this website: <http://www.ongov.net/planning/ocpbpreferableactions.html>.

Please contact OCDOP staff at (315)435-2611 or countyplanning@ongov.net with any questions.

CASE NUMBER: Z-24-126
REFERRING BOARD: Syracuse City Planning Commission
DATE RECEIVED: 4/26/24
TYPE OF ACTION: Site Plan
APPLICANT: Safoora Shakoor Usmani
LOCATION: 2108-2122 Erie Boulevard East
WITHIN 500' OF: Erie Boulevard East (NYS Route 5)
TAX ID(s): 036.-03-01.0
RELATED CASES: Z-24-127

Project Summary:

The site is an existing multi-tenant building located on Erie Boulevard East in the City of Syracuse. The applicant is proposing to renovate an existing 20,000 sf commercial building to house six clinic spaces with a common waiting area and shared parking. The interior of the building will be converted to accommodate the clinics, the middle portion of the roof will be raised to match other roof levels with associated matching façade work, a new sign, and a new entrance with awning will be installed. The main entrance to the facility at the rear of the building will remain the primary entry.

The site has road access to Erie Boulevard East, a NYS road, and Bruce Street, a local road. No changes proposed to access, parking, or site layout.

Advisory Notes:

This referral would be considered exempt from review by the Onondaga County Planning Board (OCPB) per an inter-municipal agreement between Onondaga County and the City, if executed. If the City would like to revisit execution of the agreement, OCDOP can provide one.

Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required due to a probably increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:
<http://www.ongov.net/wep/CapacityAssuranceReviews.html>

Recommendation: No Position

Parcel History

01/01/1900 - 06/12/2024

Tax Map #: 036.-03-01.0

Owners: Mango Brothers Realty LLC

Zoning: MX-2

Address	Date	Transaction	Transaction Type	Status	Description
2108-22 Erie Blvd E & Bruce St	05/11/12	Permit Application	HVAC/Mechanical	Issued	06313
2108-22 Erie Blvd E & Bruce St	08/23/13	Permit Application	Site Work	Issued	12382 Parking lot Site work for porous asphalt, pavers, landscaping, seal and stripe parking lot as per the attached engineered plans dated (09-09-2013) and associated documentation. Comply with all attached reviews and approvals. H.C. signage is required for parking spaces, & "NO PARKING ANYTIME" for loading zone's. contractors shall maintain sediment and erosion control during construction.
2108-22 Erie Blvd E & Bruce St	10/11/13	Completed Permit	Site Work	Certificate Issued	12382 Parking lot Site work for porous asphalt, pavers, landscaping, seal and stripe parking lot as per the attached engineered plans dated (09-09-2013) and associated documentation. Comply with all attached reviews and approvals. H.C. signage is required for parking spaces, & "NO PARKING ANYTIME" for loading zone's. contractors shall maintain sediment and erosion control during construction. Certificate of Completion #12382
2108-22 Erie Blvd E & Bruce St	10/15/13	Inspection	Inspector Notification	Pass	
2108-22 Erie Blvd E & Bruce St	10/31/13	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	11/06/13	Permit Application	Electric	Issued	13308 SMARTWATT LIGHTING UPGRADE
2108-22 Erie Blvd E & Bruce St	11/06/13	Completed Permit	Electric	Certificate Issued	13308 SMARTWATT LIGHTING UPGRADE Certificate of Completion #13308
2108-22 Erie Blvd E & Bruce St	11/07/13	Inspection	Inspector Notification	Pass	
2108-22 Erie Blvd E & Bruce St	11/15/13	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	11/20/13	Inspection	Footer Inspection	Pass	
2108-22 Erie Blvd E & Bruce St	11/26/13	Inspection	Final Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	01/16/14	Permit Application	HVAC/Mechanical	Issued	13945 Roof top
2108-22 Erie Blvd E & Bruce St	01/16/14	Completed Permit	HVAC/Mechanical	Certificate Issued	13945 Roof top Certificate of Completion #13945
2108-22 Erie Blvd E & Bruce St	01/17/14	Inspection	Inspector Notification	Pass	
2108-22 Erie Blvd E & Bruce St	02/27/14	Inspection	Final Inspection	Pass	

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
2108-22 Erie Blvd E & Bruce St	05/07/14	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	06/05/14	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	07/10/14	Inspection	Final Inspection	Pass	
2108-22 Erie Blvd E & Bruce St	11/13/15	Permit Application	Com. Reno/Rem/Chg Occ	Issued	21773 Convert existing garage/shipping area into a [B] occupancy office of type [Iib] construction per the attached architectural plans dated (11-09-2015). Comply with all attached reviews and approvals. Separate permits are required for any and all HVAC, electric, plumbing, etc... . Comply with Chapter 33 of the Building Code of New York State 2010 for safeguards during construction. Contact: Gary Frost - 1-315-447-5835 2/1/2016-C of O issued
2108-22 Erie Blvd E & Bruce St	12/10/15	Project	Project Site Review	Approved	PR-15-49 FACADE ALTERATIONS
2108-22 Erie Blvd E & Bruce St	12/16/15	Permit Application	Electric	Issued	22090 Electrical for New Employment Agency
2108-22 Erie Blvd E & Bruce St	12/17/15	Inspection	Inspector Notification	In Progress	
2108-22 Erie Blvd E & Bruce St	12/17/15	Inspection	Inspector Notification	In Progress	
2108-22 Erie Blvd E & Bruce St	12/17/15	Inspection	Fire Inspector Notification	Pass	
2108-22 Erie Blvd E & Bruce St	12/18/15	Inspection	Rough-In Wiring Before Enclosing	Pass	
2108-22 Erie Blvd E & Bruce St	12/18/15	Inspection	Framing Before Enclosing	Pass	
2108-22 Erie Blvd E & Bruce St	12/18/15	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	12/28/15	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	01/11/16	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	01/14/16	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	01/14/16	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	01/15/16	Inspection	Backfill	In Progress	
2108-22 Erie Blvd E & Bruce St	01/29/16	Inspection	Progress Inspection	Pass	
2108-22 Erie Blvd E & Bruce St	01/29/16	Completed Permit	Electric	Certificate Issued	22090 Electrical for New Employment Agency Certificate of Completion #22090

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
2108-22 Erie Blvd E & Bruce St	02/01/16	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	21773 Convert existing garage/shipping area into a [B] occupancy office of type [Iib] construction per the attached architectural plans dated (11-09-2015). Comply with all attached reviews and approvals. Separate permits are required for any and all HVAC, electric, plumbing, etc... . Comply with Chapter 33 of the Building Code of New York State 2010 for safeguards during construction. Contact: Gary Frost - 1-315-447-5835 2/1/2016-C of O issued Certificate of Completion #21773
2108-22 Erie Blvd E & Bruce St	03/25/16	Permit Application	HVAC/Mechanical	Issued	23259 HVAC
2108-22 Erie Blvd E & Bruce St	03/28/16	Inspection	Inspector Notification	Pass	
2108-22 Erie Blvd E & Bruce St	03/28/16	Completed Permit	HVAC/Mechanical	Certificate Issued	23259 HVAC Certificate of Completion #23259
2108-22 Erie Blvd E & Bruce St	04/26/16	Inspection	Final Inspection	Pass	
2108-22 Erie Blvd E & Bruce St	01/20/17	Permit Application	Com. Reno/Rem/Chg Occ	Issued	27216 Interior alterations
2108-22 Erie Blvd E & Bruce St	01/23/17	Inspection	Inspector Notification	Pass	
2108-22 Erie Blvd E & Bruce St	01/25/17	Inspection	Framing Before Enclosing	Pass	
2108-22 Erie Blvd E & Bruce St	01/30/17	Permit Application	Electric	Issued	27507 Electric
2108-22 Erie Blvd E & Bruce St	01/31/17	Inspection	Rough-In Wiring Before Enclosing	Pass	
2108-22 Erie Blvd E & Bruce St	02/06/17	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	02/24/17	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	03/02/17	Inspection	Final Inspection	Pass	
2108-22 Erie Blvd E & Bruce St	03/02/17	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	03/02/17	Completed Permit	Electric	Certificate Issued	27507 Electric Certificate of Completion #27507
2108-22 Erie Blvd E & Bruce St	03/06/17	Inspection	Inspector Notification	Pass	
2108-22 Erie Blvd E & Bruce St	03/13/17	Inspection	Final Inspection	Pass	
2108-22 Erie Blvd E & Bruce St	03/13/17	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	27216 Interior alterations Certificate of Completion #27216

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
2108-22 Erie Blvd E & Bruce St	07/17/17	Permit Application	Sign	Issued	29168 Wall sign 3' X 8'
2108-22 Erie Blvd E & Bruce St	07/27/17	Inspection	Inspector Notification	In Progress	
2108-22 Erie Blvd E & Bruce St	08/09/17	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	08/31/17	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	09/15/17	Inspection	Progress Inspection	In Progress	
2108-22 Erie Blvd E & Bruce St	09/28/17	Inspection	Final Inspection	Pass	
2108-22 Erie Blvd E & Bruce St	10/02/17	Completed Permit	Sign	Certificate Issued	29168 Wall sign 3' X 8' Certificate of Completion #29168
2108-22 Erie Blvd E & Bruce St	04/26/24	Project	Major Site Plan Review	In Review	MaSPR-24-18 Major site plan review to establish "clinic" uses into vacant tenant space. Companion application: SP-24-10
2108-22 Erie Blvd E & Bruce St	04/26/24	Project	SP - Other	In Review	SP-24-10 Special Use Permit to establish a clinical use. Companion App: MaSPR-24-18



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Safoora Usmani
From: Zhitong Wu, Zoning Planner
Date: 6/13/2024 1:11:00 PM
Re: Major Site Plan Review MaSPR-24-18
2108-22 Erie Blvd E & Bruce St, Syracuse, 13224

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	04/29/2024	Vinny Esposito	All exterior site modifications must be detailed on site grading plan. All storm and sanitary sewer structures and laterals must be cleaned and televised and any deficiencies corrected by the owner/developer.
DPW - Transportation Planner	Conditionally Approved	05/14/2024	Neil Milcarek-Burke	6/13/24 Revised plans have addressed previous comments 5/14/24 Updated plans required. - Parking areas must incorporate fixed vertical objects along all edges (no wheel stops) to prevent tracking and/or errant parking. - All points of egress that open inot parking lot/drive isle/flush curb areas must incorporate conc. filled bollards as part of any site work, to protect against vehicles blocking mandooors. - Bike parking is required via 6 staple-style bike racks (no wave racks) located in conspicuous and well-lit areas near main entrances. Items can be broken into two groups of 3, at separate entrances.
Zoning Planner	On Hold	04/29/2024	Zhitong Wu	On hold for CPC approval.
Parks - Forestry	Approved	05/03/2024	Jeff Romano	No storage of materials (soil, stone, bedding stone, building materials) on the tree lawn within the Tree Protection Zone. If storage of materials on the tree lawn is necessary, contractors shall lay down plywood and tarps to protect the soils from compaction and siltation. Location shall be pre-approved by Forestry Division.
Planning Commission	Pending	04/26/2024		

Eng. Design & Cons. - Zoning	Conditionally Approved	04/26/2024	Mirza Malkoc	<ul style="list-style-type: none"> The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. Onondaga County Plumbing Control shall review and approve the plans as well.
City Engineer - Zoning	Pending	04/26/2024		
Eng. Mapping - Zoning	Conditionally Approved	04/30/2024	Ray Wills	Work shown should have no impact on Mapping Division assets in the area. Do not deviate from the proposed work without prior written review and authorization from all reviewing depts/.
Water Engineering - Zoning	Conditionally Approved	05/29/2024	Kim Kelchner	05/29/2024 Conditionally Approved: Need to see Mechanicals, Mechanical Room, Meter Set, CCCP, Existing Domestic water is 1.5 inch Copper. No Fire. Update on proposed fixture count and water demand to confirm that existing service is still adequate. Domestic service needs to have a RPZ Back flow preventer installed. Cross Connection Control Plan (CCCP) need to be submitted to SWD, Kim Kelchner, Kkelchner@syr.gov.,
Fire Prevention - Zoning	Conditionally Approved	05/15/2024	Elton Davis	<p>Construction, alteration, or demolition, including underground buildings shall adhere to applicable sections of Chapter 33 of the 2020 FCNYS. Items not specifically addressed in Chapter 33 shall comply with NFPA 241.</p> <p>All work must comply with applicable sections of the NYS Uniform Code.</p>
DPW Traffic Control- Zoning	Conditionally Approved	05/03/2024	Charles Gafrancesco	4.3.24 4.3.24 Any work that affects vehicular or pedestrian traffic in the ROW shall require an MUTCD compliant WZTP.
Onondaga Co Planning Board	Approved	05/08/2024	Zhitong Wu	No Position