

411-413 University Avenue Mixed-Use project roadmap

The applicant will introduce the project and present the Major Site Plan Review application and the Resubdivision Application.

Then the Planning Commission will deliberate on the SEQR review for this Unlisted action.

Below is the order in which the 411-413 University Avenue Mixed-Use project agenda items appear in the Agenda Packet.

MaSPR-24-08 – Major Site Plan Review

R-24-23 – Resubdivision

SEQR Review

- SEAF Part 2
- SEAF Part 3



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>MaSPR-24-08</i>	<i>Staff Report – July 29, 2024</i>
<i>Application Type:</i>	Major Site Plan Review
<i>Project Address:</i>	411 University Avenue (Tax Map ID: 048.-11-13.0), 413 University Avenue (Tax Map ID: 048.-11-12.0)
<i>Summary of Proposed Action:</i>	<p>The project is to resubdivide two properties (411 & 413 University Ave) into one new lot and to demolish both existing structures to build a 9-story multi-unit and mixed-use building on a new lot of 11,481 SF with a commercial tenant space on the first half of the building and an underground parking garage to be accessed from University Avenue.</p> <p>The applicant proposes 47 apartment units including four types of dwelling units (five studios, one 2-bedroom unit, 32 4-bedroom units, and nine 5-bedroom units).</p>
<i>Owner/Applicant</i>	Gem Street Holdings, LLC (Owner) David Mosher, President, Mosher Architects, PC (applicant)
<i>Existing Zone District:</i>	Urban Core, MX-4 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the south, east and west are the MX-4 Zone District, and to the north of the property is the Neighborhood Center MX-2 Zone District.
<i>Companion Application(s)</i>	Resubdivision, R-24-23: Combine (411 & 413 University Ave) into one new lot
<i>Summary of Changes</i>	Since this application was last heard by the Planning Commission on June 17 th , the development team has visited and adequately satisfied the Landmark Preservations concerns and the LPB determined on July 11 th that this project will have a minimal impact on the National Registered Grace Church historical resource. The applicant has provided a massing and shadow study and have added the stone “water course” detail on the piers between the ground floor shopfronts to the full height of the piers per the LPB’s request. The applicant has also submitted a new iteration of site plans that address DPW - Transportation comments regarding turning diagrams for interior parking stalls, abandonment of existing driveways with a full reveal granite curb, a type-3 drive to conform to 24’ max width with a 30’ apron, bike parking racks have been provided, applicant has proposed a planting plan along the northern property line and lawn area along the southern property line.
<i>Scope of Work:</i>	<ol style="list-style-type: none"> 1. Entirely demolish two existing residential buildings on 411 & 413 University Ave.; 2. Install 6 parking spaces including 1 ADA spot, as well as an office, study room and a gym at the proposed lower level; 3. Build 47 apartments from floors one through nine; 4. Build one retail space at the ground floor fronting University Ave.; 5. Screen the rooftop equipment penthouse; and 6. Install a roof-top terrace.
<i>Staff Analysis:</i>	<p><u>Factors:</u></p> <ul style="list-style-type: none"> - The proposed 47 apartments are required to provide 10% affordable units pursuant ReZone, Syracuse, Art 3, Sec. 3.3 A(4) 1. Specifically, 5 affordable units. - The Neighborhood and Business Development Department has verified the required affordability of the 5 units. - The Onondaga County Planning Agency letter confirms the 911 address for the new lot “4113” will be known as 411 University Avenue.

	<p><u>Recommended Conditions:</u></p> <ol style="list-style-type: none"> 1. The applicant shall commit to the provision of 10% affordable units for the proposed 47 apartment units. The required number of affordable units may vary if there is a change to the total number of apartment units; any such changes require recertification with the Department of Neighborhood & Business Development. 2. All affordable units will have the same structural, fixtures, appliances, and materials as the market rate apartments. 3. Affordable units must be evenly distributed among the different types (# bedrooms) of units. 4. The applicant shall verify the income of qualified households every year with the Department of Neighborhood and Business Development. 5. The affordability requirement shall be in perpetuity and shall not expire. 6. Applicant shall submit and execute a SWPPP before any permits will be issued.
<p><i>Zoning Procedural History:</i></p>	<p>411 University Ave.:</p> <ul style="list-style-type: none"> - V-91-54 Area Variance, permit enlarged parking area behind existing 3- dwelling unit. BZA approved on 8/22/1991 - V-79-45 Use Variance, to convert a two-dwelling unit and 6 rooms to a four-dwelling unit. BZA approved on 10/2/1979 <p>413 University Ave:</p> <ul style="list-style-type: none"> - No Zoning history available, existing 7 apartments unit building.
<p><i>Summary of Zoning History:</i></p>	<p>411 University Ave. was approved in 1979 to convert a two-dwelling unit to a four-dwelling unit. Between 1979 and 1991, the owner converted the building again to three-dwelling unit. In 1991, BZA granted an Area Variance (V-91-54) for enlarging the onsite parking area for the existing three-dwelling unit. An existing 7 apartment unit on 413 University has no Zoning history.</p>
<p><i>Code Enforcement History:</i></p>	<p>See attached code enforcement history.</p>
<p><i>Zoning Violations:</i></p>	<p>The proposed lot has no zoning violations.</p>
<p><i>Property Characteristics:</i></p>	<p><u>Existing property characteristics</u></p> <p>The subject property is a rectangle-shaped lot with 45 feet of frontage on 411 University Ave. and a lot depth of 129 feet.</p> <p>The subject property is a rectangle-shaped lot with 44 feet of frontage on 413 University Ave. and a lot depth of 129 feet.</p> <p><u>Proposed property characteristics</u></p> <p>The proposed subject property will be 11,481 SF with an 8,880 SF building footprint totaling 79,920 Gross Square Feet (8,880 X 9). The total structural coverage allowed is 95% in the MX-4 Zone District for a mixed-use development and the proposed structural and impervious surface coverage is 77.4% (8,880 SF / 11,480 SF). The subject lot will be rectangular in shape and the northernly property line will extend from University Ave. eastward for 122.5 feet then go south for 74 feet, westward for 118.5 feet and north for 89 feet and the total frontage along University Ave.</p>
<p><i>SEQR Determination:</i></p>	<p>Pursuant to the New York State Environmental Quality Review Regulations, the proposal is an Unlisted Action.</p>
<p><i>Onondaga County Planning Board Referral:</i></p>	<p>The proposal does not meet the referral criteria for Onondaga County Planning Board pursuant to GML §239-l, m and n</p>

MaSPR-24-08

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan application
- Short Environmental Assessment Form Part 1
- Subdivision Map. Part of Block # 373 “Syracuse” To be new Lot #4113, Known as No.411-13 University Avenue, City Of Syracuse, County Of Onondaga, New York, State Of New York; Licensed Land Surveyor: R.J. Lighton Si, R. J Lighton SR Land Surveying; Scale: 1”= 20’; Dated: 09/22/2023.
- Site Plan Package (Sheets LC-1. L-0, L-1, L-2, PH-1; SK-100, SK-101, SK-102, SK-103, SK-300, R-1, R-2, SS-1) NEW MIXED USE DEVELOPMENT, 411-13 UNIVERSITY AVE. SYRACUSE, NEW YORK; Dated: 07/24/24; Sealed by: David E. Mosher, State of New York Registered Architect; Scale: As Noted.

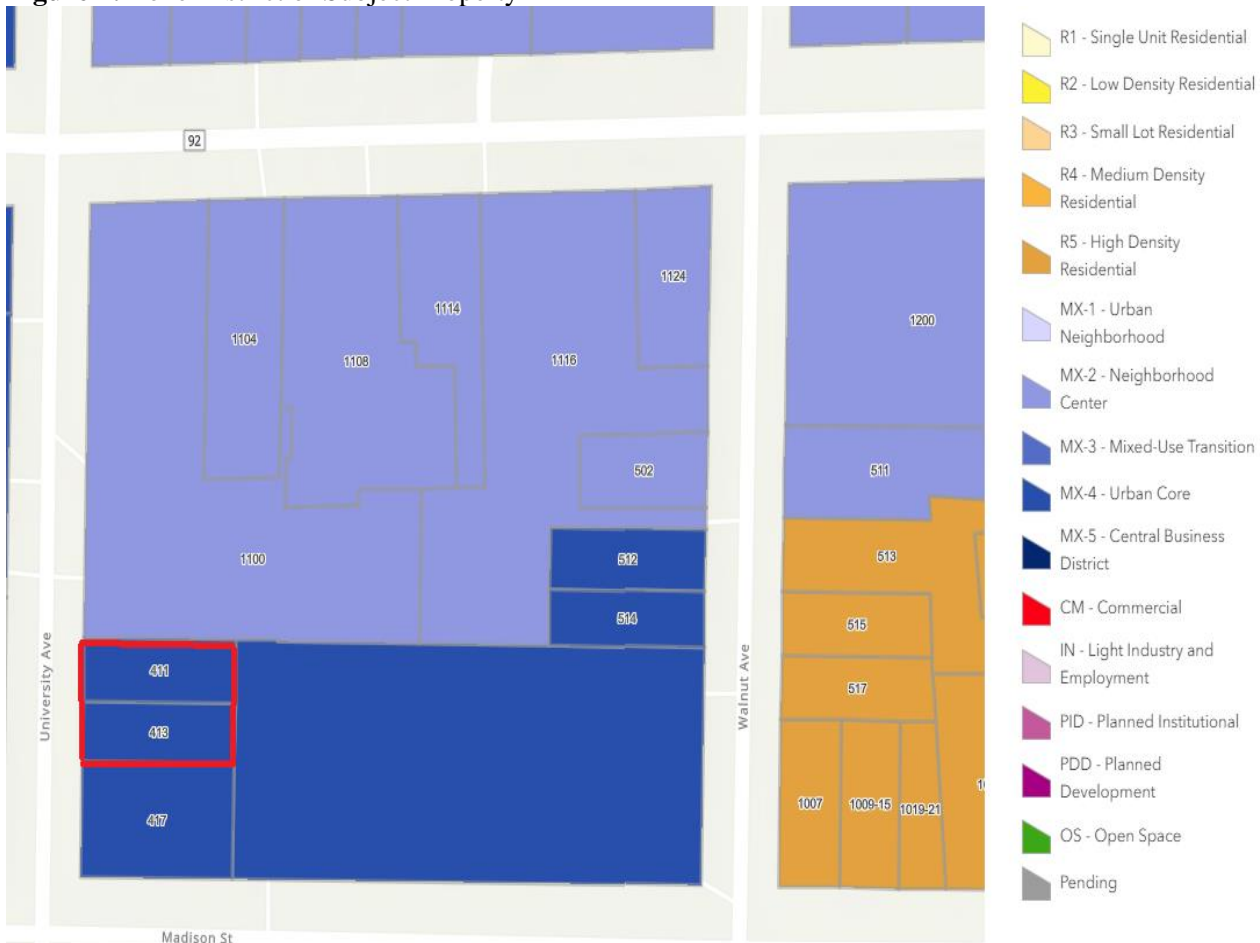
Attachments:

Major Site Plan Review Application
Affordable Housing commitment letter
Short Environmental Assessment Form Part 2 & Part 3

Code Enforcement History
IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>



Site Plan Review Application

Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syrgov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.
Print owner's name: Gem Street Holdings, LLC
Signature: [Signature] Date:
Mailing address: 188 E 78th St Apt 15B New York NY 10075
Print authorized agent's name: Date:
Signature:
Mailing address:
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- Application - filled out completely, dated, and signed by property owner as instructed
State Environmental Quality Review Act (SEQR) - Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
Photographs (Color) of the Project Site - keyed to a property survey or site plan
Photographs (Color) of the Streetscape - including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
Application Fee - \$0

Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, separate site plan review applications must be submitted for each project site. Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below:

- As Built Property Survey(s) of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
Site Plan(s) illustrating site alterations and post project conditions that are/will be different from the as built property survey including:
- Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
- Demolitions and post demolition conditions
- Structures
- Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage

Short Environmental Assessment Form

Part 1 - Project Information

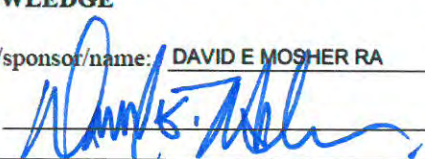
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: UNIVERSITY AVENUE MIXED USE			
Project Location (describe, and attach a location map): 411-413 UNIVERSITY AVE. SYRACUSE, NY			
Brief Description of Proposed Action: DEMOLISH EXISTING 2 STORY BUILDINGS CONSTRUCT NEW 9 STORY 47 DWELLING UNIT MIXED USE FACILITY WITH BASEMENT PARKING			
Name of Applicant or Sponsor: Gem Street Holdings, LLC		Telephone: 732 688-5008	
Address: 188 E 78th St Apt 15B		E-Mail:	
City/PO: NEW YORK		State: NEW YORK	Zip Code: 10075
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: BUIDLING PERMIT / ZONING			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		11,480.8 SF acres	
b. Total acreage to be physically disturbed?		11,480.8 SF acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		11,480.8 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: DAVID E MOSHER RA	Date: 3-25-2024	
Signature: 	Title: ARCHITECT	

May 28th 2024

Cristian Toellner

Syracuse Zoning Administration

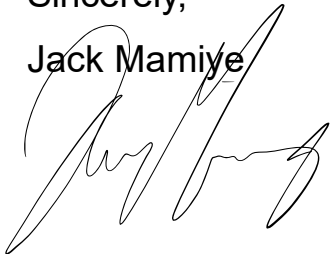
300 South State Street, Syracuse, NY 13202

To Whom It May Concern:

This letter is written to state that Gem Street Holdings LLC, owner of 411/413 University Avenue in Syracuse, NY intends to comply with the following zoning requirements under its proposed project. Gem Street Holdings LLC will meet the 10% affordable housing requirement. Affordable units will be reserved for qualifying households or individuals and offered at rental rates predicated on 80% AMI; Gem Street Holdings LLC will also commit to providing annual income verification to The Department of Neighborhood and Business Development for tenants that qualify and rent under these provisions.

Sincerely,

Jack Mamiye

A handwritten signature in black ink, appearing to read 'Jack Mamiye', written over the printed name.

Managing Member

Gem Street Holdings LLC



DEPARTMENT OF NEIGHBORHOOD & BUSINESS DEVELOPMENT

CITY OF SYRACUSE, MAYOR BEN WALSH

June 28, 2024

RE: 411-13 University Avenue

Steve Kulick
City Planning Commission
300 S State St., Suite 700
Syracuse, NY 13202

Dear Mr. Kulick,

It has been determined that the project at 411-13 University Ave will conform with affordability requirements pursuant to ReZone Article 3.3 Subsection 4(1)(i).

As the project is zoned MX-4 - Urban Core and plans to introduce between 20 and 75 units, they are required to set aside 10 percent units as affordable. The project at 411-13 University Ave will include the creation of 47 dwelling units with 5 units being marketed to and reserved for individuals earning 80% or less than the area median income. Studio rents are projected to be set at \$1,308.

To maintain compliance with ReZone affordability requirements, I confirm Gem Street Holdings LLC has agreed to complete an annual tenant income recertification.

Thank you,

Michael Collins
Commissioner of Neighborhood and Business Development

Cc:

Michelle Sczpanski, Deputy Commissioner of Neighborhood Development
Jake Dishaw, Deputy Commissioner of Code Enforcement & Zoning
Administration

Commissioner
Michael Collins

**Deputy Commissioner of
Neighborhood Development**
Michelle Sczpanski

**Deputy Commissioner of
Business Development**
Eric Ennis

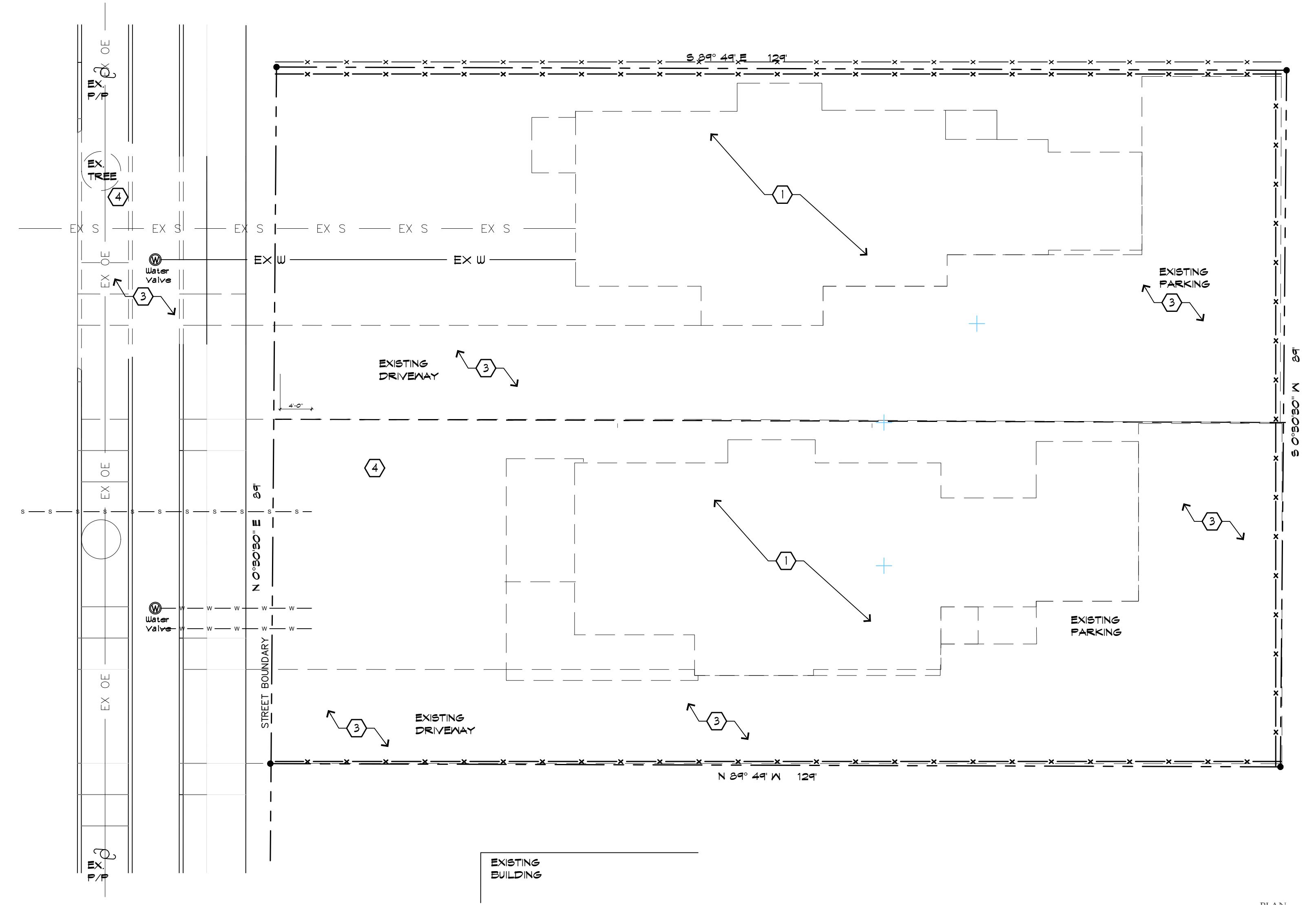
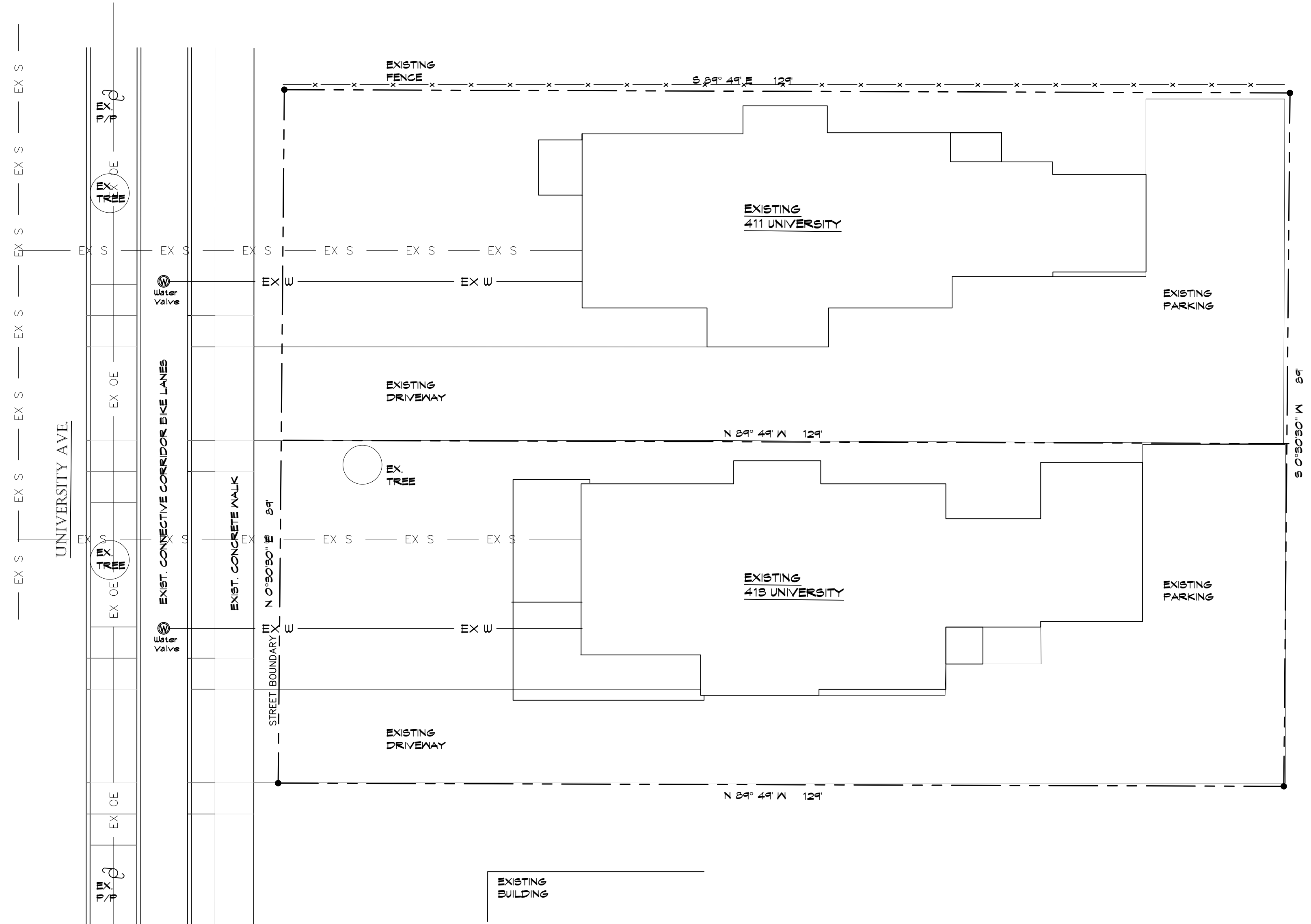
**Deputy Commissioner of
Planning & Sustainability**
Owen Kerney

**Deputy Commissioner of
Code Enforcement**
Jake Dishaw

**Department of Neighborhood
& Business Development**
300 South State St
Suite 700
Syracuse, NY 13202

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- EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES**
- ① RAZE EXISTING BUILDING / FOUNDATION AND DISPOSE OF OFF SITE.
 - ② REMOVE EXISTING CONCRETE WALK INCLUDING BASE MATERIAL AND DISPOSE OF OFF SITE.
 - ③ REMOVE EXISTING ASPHALT PAVING INCLUDING BASE MATERIAL AND DISPOSE OF OFF SITE.
 - ④ REMOVE EXISTING TREE + STUMP, DISPOSE OF OFF SITE.

NEW MIXED USE DEVELOPMENT
411-413 UNIVERSITY AVENUE
SYRACUSE, NE YORK

NO.	DATE	DESCRIPTION
01	07/24/2024	PRELIMINARY PER SUPR COMMENTS
02	07/25/2024	SUPR REVISED PER SUPR COMMENTS
03	07/26/2024	PRELIMINARY PER SUPR COMMENTS
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100	07/26/2024	PRELIMINARY PER SUPR COMMENTS

MOSHER ARCHITECTS, P.C.
1085 7TH NORTH STREET, SUITE 1A
LIVERPOOL, N.Y. 13088 (P) (315) 420-6677

SITE PREPARATION PLAN

SCALE: AS NOTED

DRAWN BY: DEW

CHECKED BY: DEW

ARCHITECT'S SEAL SIGNATURE

2354

L-O

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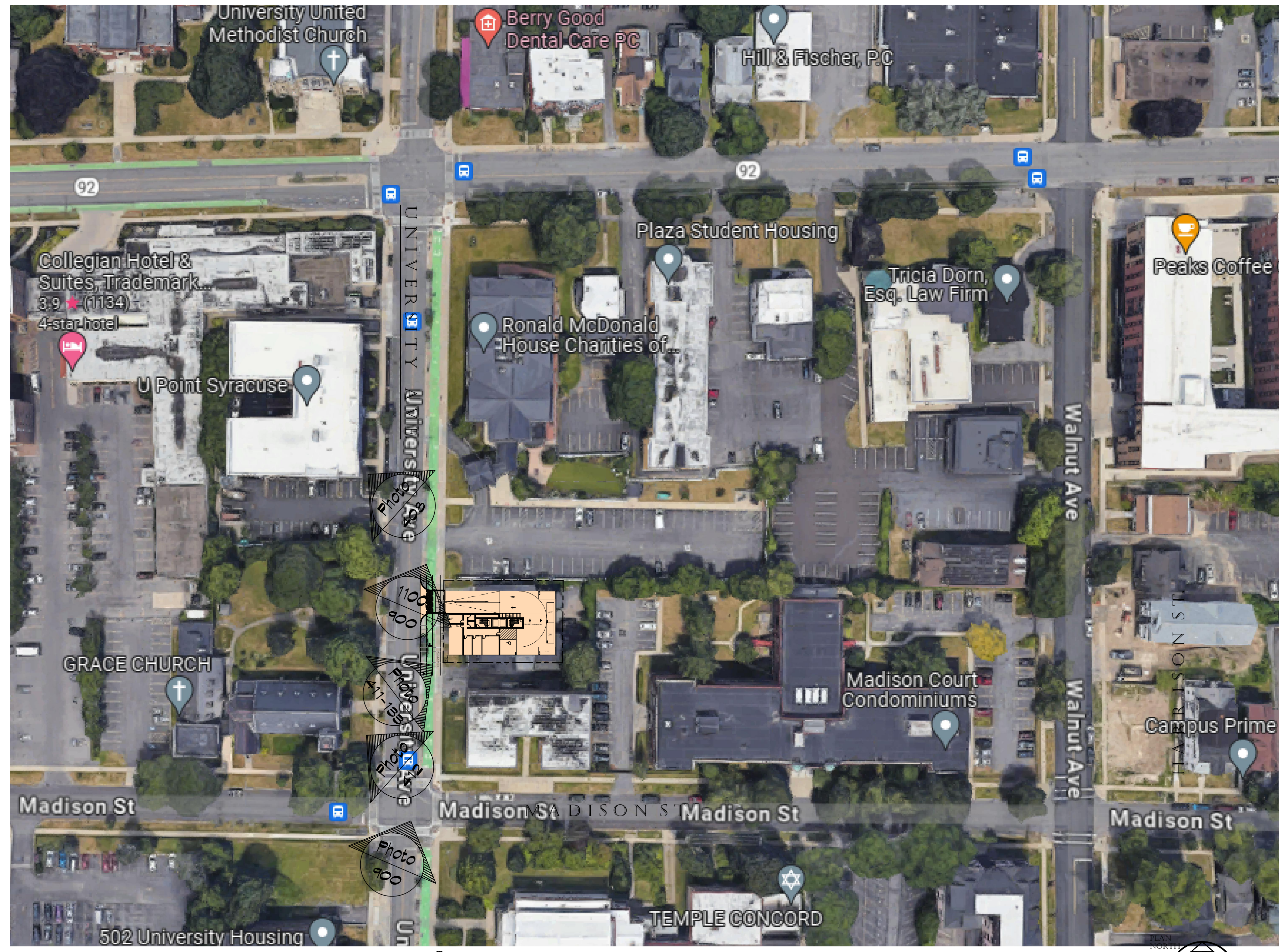


PHOTO KEY PLAN
SCALE NOT TO SCALE

NEW MIXED USE DEVELOPMENT
411-413 UNIVERSITY AVENUE
SYRACUSE, NE WYORK

PSR / PERM / RESUB APP	06/20/2024
PRR / PERM / RESUB APP	06/20/2024
PCI / PERM / PRE-APP. CONF	06/19/2024
PS / PLANS PROGRESS	06/19/2024
PC / PERM / PRE-APP. CONF	06/19/2024
PT / SITE PROGRESS	06/20/2024
NO. DRAWING ISSUED	DATE

MOSHER ARCHITECTS, P.C.
1085 7TH NORTH STREET, SUITE 1A
LIVERPOOL, N.Y. 13088 (PT) (315) 420-6877

PHOTO KEY PLAN

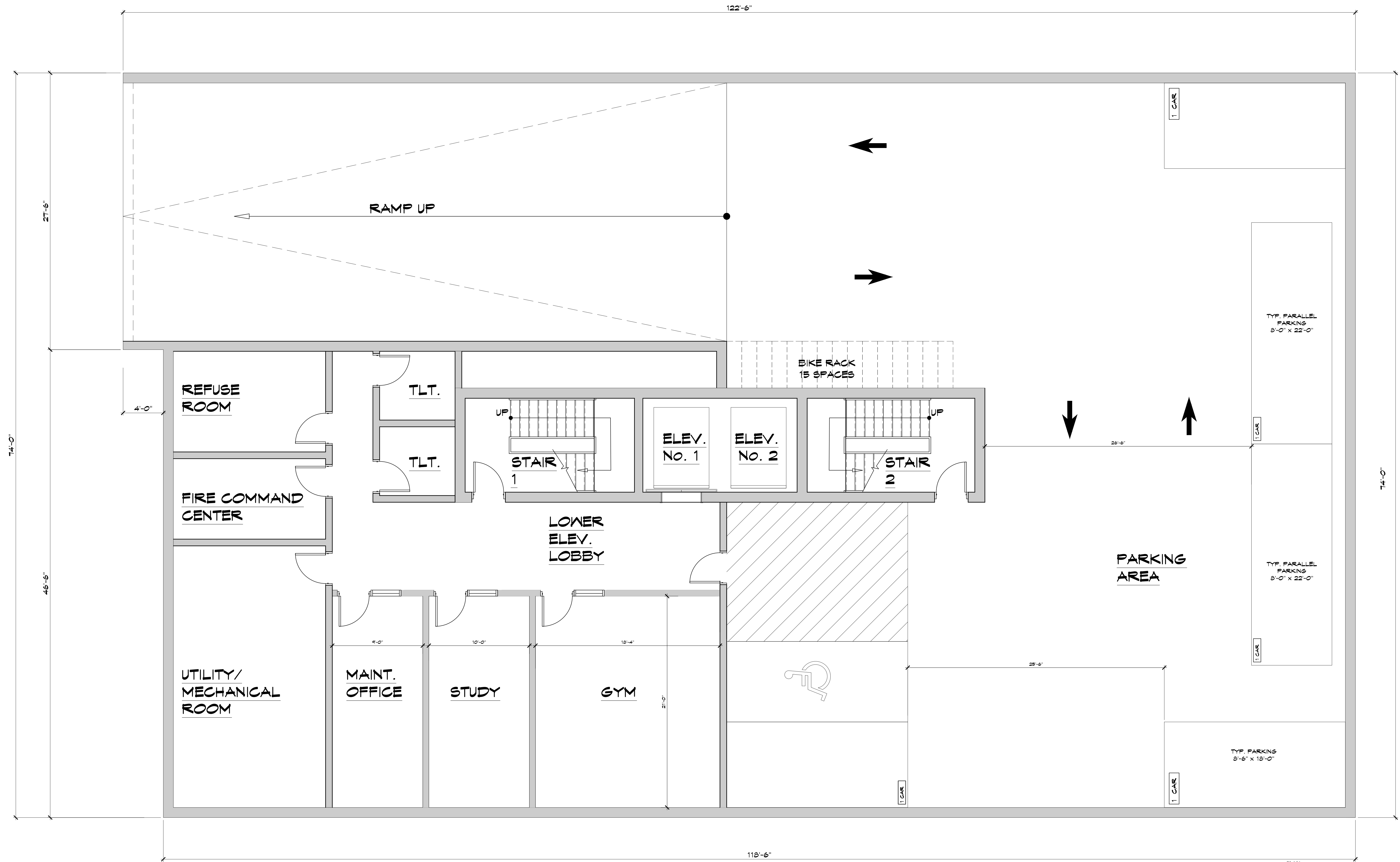
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DRAWN BY: DEM
CHECKED BY: DEM

ARCHITECT'S SEAL SIGNATURE

2354

PH-1

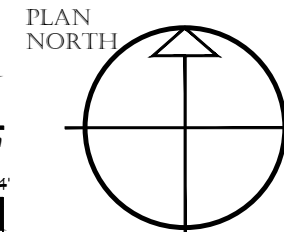
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1
SK-100

BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"
GRAPHIC SCALE: 1/4" = 1'-0"



NEW MIXED USE DEVELOPMENT
411-413 UNIVERSITY AVENUE
SYRACUSE, NE YORK

DATE	NO.	DRAWING ISSUED
07/24/2024	1	PREL. REVISED PER SUP COMMENTS
07/25/2024	2	SUBMITTED PER SUP COMMENTS
07/26/2024	3	FOR PER. REVISED PER COMMENTS
07/26/2024	4	FOR PER. REVISED PER COMMENTS
07/26/2024	5	FOR PER. REVISED PER COMMENTS
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07/26/2024	10	FOR PER. REVISED PER COMMENTS
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07/26/2024	99	FOR PER. REVISED PER COMMENTS
07/26/2024	100	FOR PER. REVISED PER COMMENTS

MOSHER ARCHITECTS, P.C.
1085 7TH NORTH STREET, SUITE 1A
LIVERPOOL, N.Y. 13088 (P) (315) 420-6877

PROPOSED
BASEMENT
PLAN

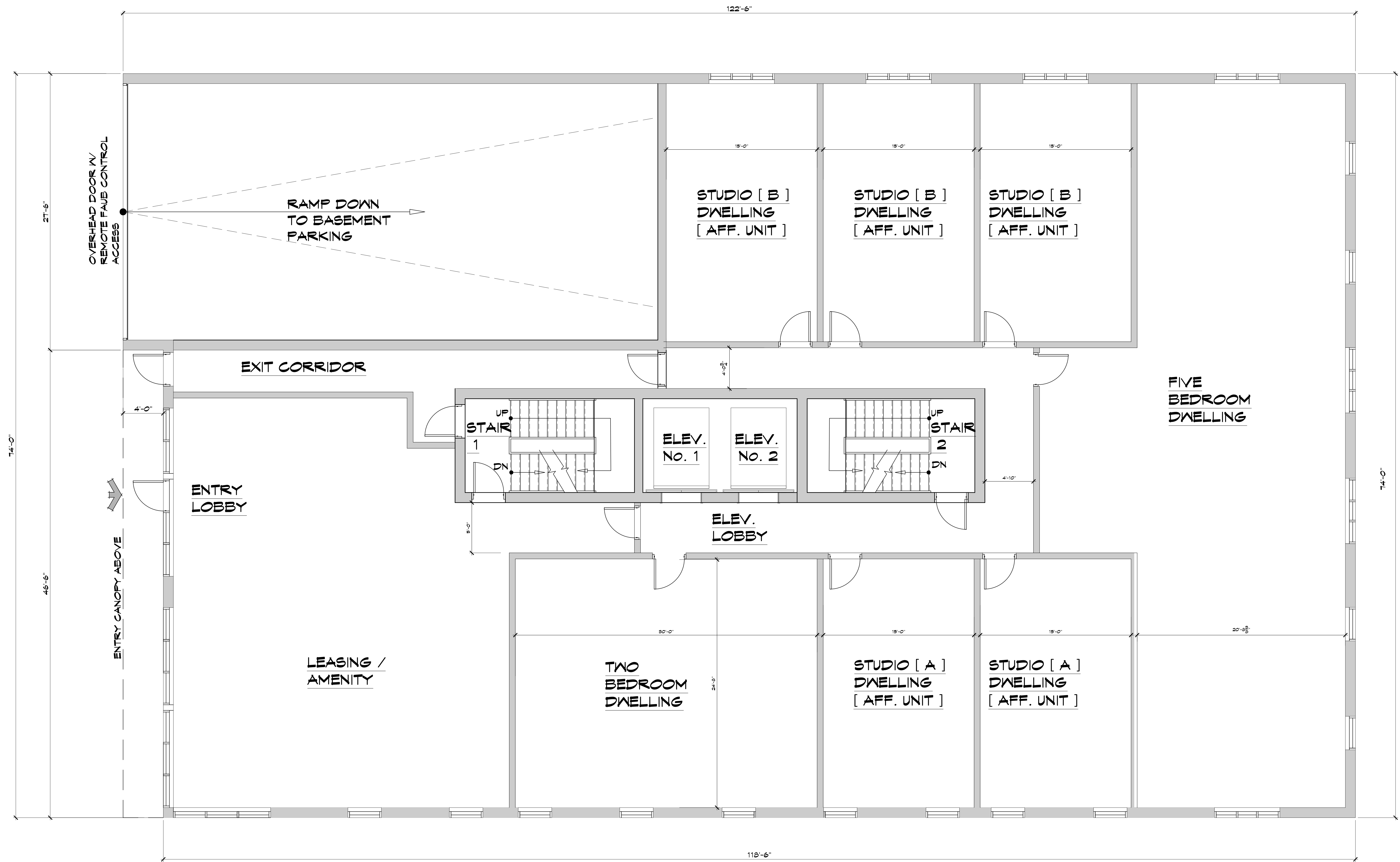
SCALE: AS NOTED
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2394

SK-100

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1
SK-101

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



NEW MIXED USE DEVELOPMENT
411-413 UNIVERSITY AVENUE
SYRACUSE, NE NYORK

NO.	DATE	DESCRIPTION
07/24/2024	07/24/2024	PRELIMINARY PER SUPR COMMENTS
07/25/2024	07/25/2024	SUPR REVISED PER SUPR COMMENTS
07/26/2024	07/26/2024	PER SUPR REVISED
07/27/2024	07/27/2024	PER SUPR / REVISED APP
07/28/2024	07/28/2024	PER SUPR / REVISED APP
07/29/2024	07/29/2024	PC1 PER PRE-APP CONF
07/30/2024	07/30/2024	PC2 PLANS PROGRESS
07/31/2024	07/31/2024	PC3 SITE PROGRESS
07/31/2024	07/31/2024	NO. DRAWING ISSUED

MOSHER
ARCHITECTS, P.C.
1085 7TH NORTH STREET, SUITE 1A
LIVERPOOL, N.Y. 13088 (PT) (315) 420-6877

PROPOSED
FIRST
PLAN

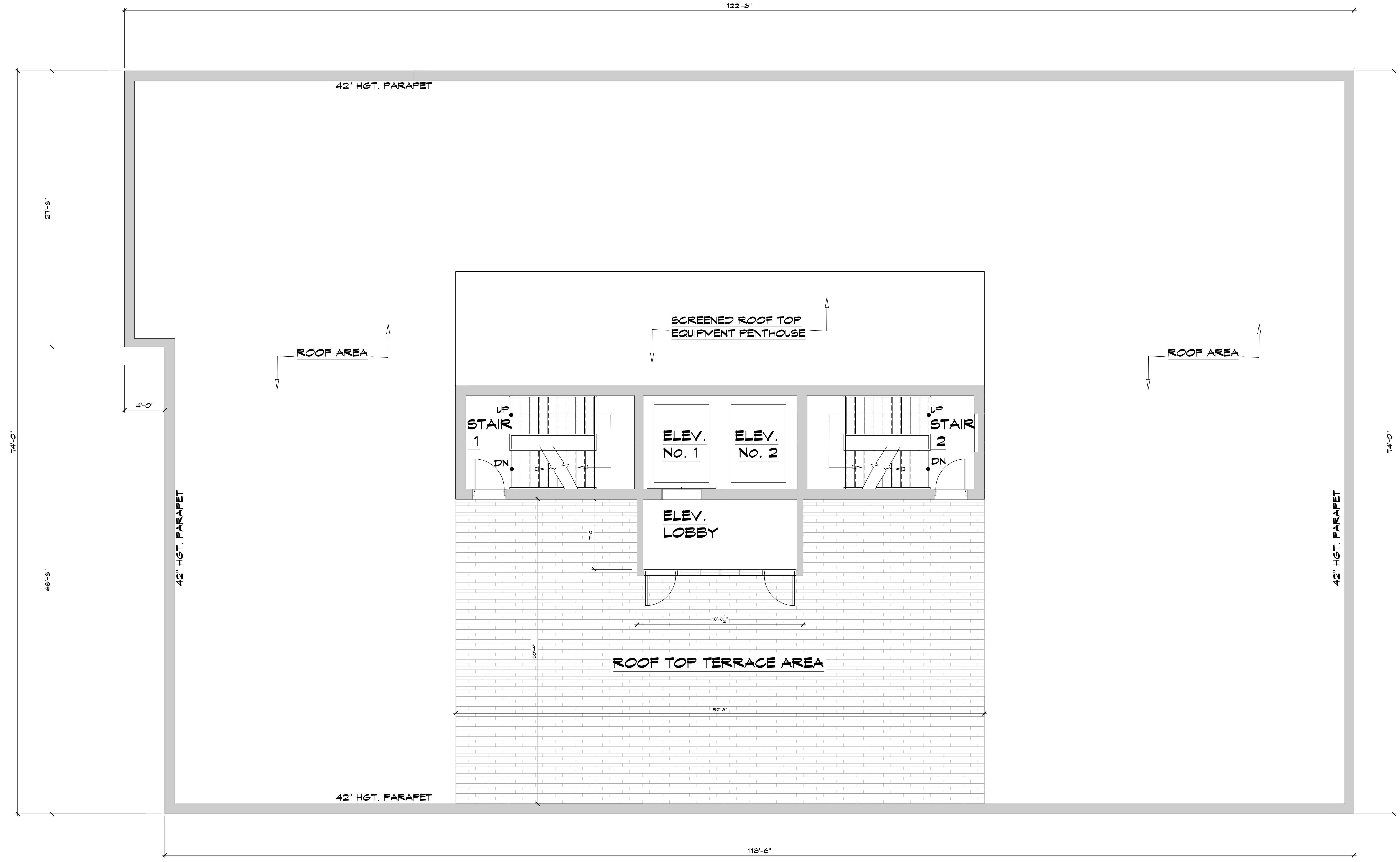
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CHECKED BY: DEW



2334

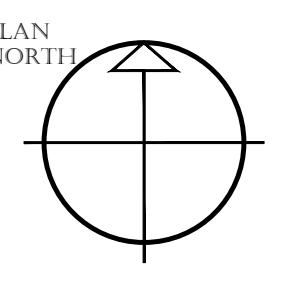
SK-101

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1
SK-103

ROOF PLAN
SCALE: 1/4" = 1'-0"
GRAPHIC SCALE: 1/4" = 1'-0"



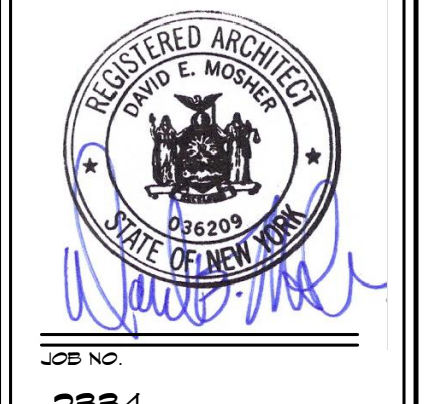
NEW MIXED USE DEVELOPMENT
411-413 UNIVERSITY AVENUE
SYRACUSE, NE WYORK

NO.	DATE	DESCRIPTION
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100	07/24/2024	PRELIMINARY

MOSHER ARCHITECTS, P.C.
1085 7TH NORTH STREET, SUITE 1A
LIVERPOOL, N.Y. 13088 (P) (315) 420-6877

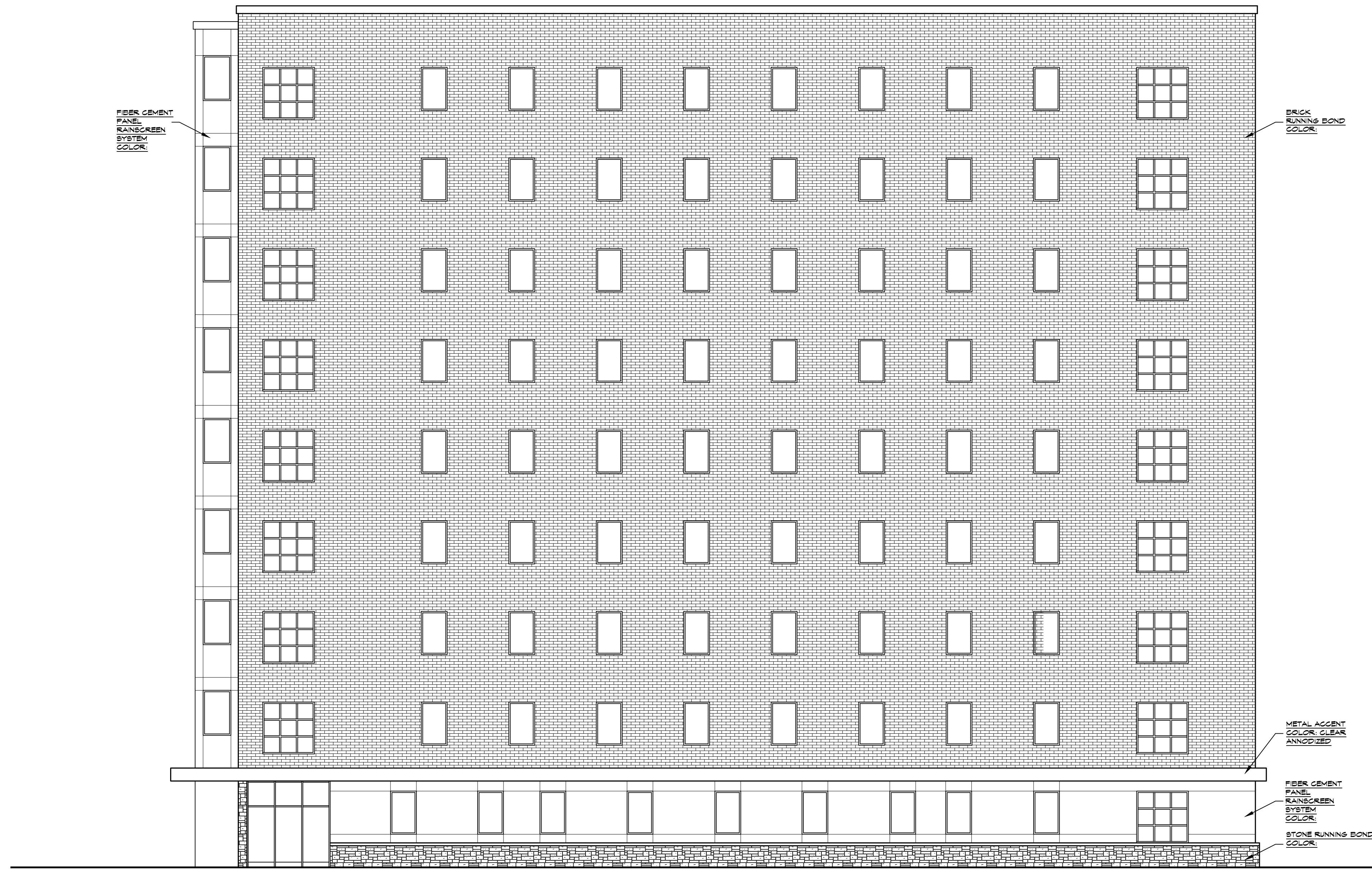
PROPOSED
ROOF PLAN

SCALE: AS NOTED
DRAWN BY: DEM
CHECKED BY: DEM



2394
SHEET NO.
SK-103

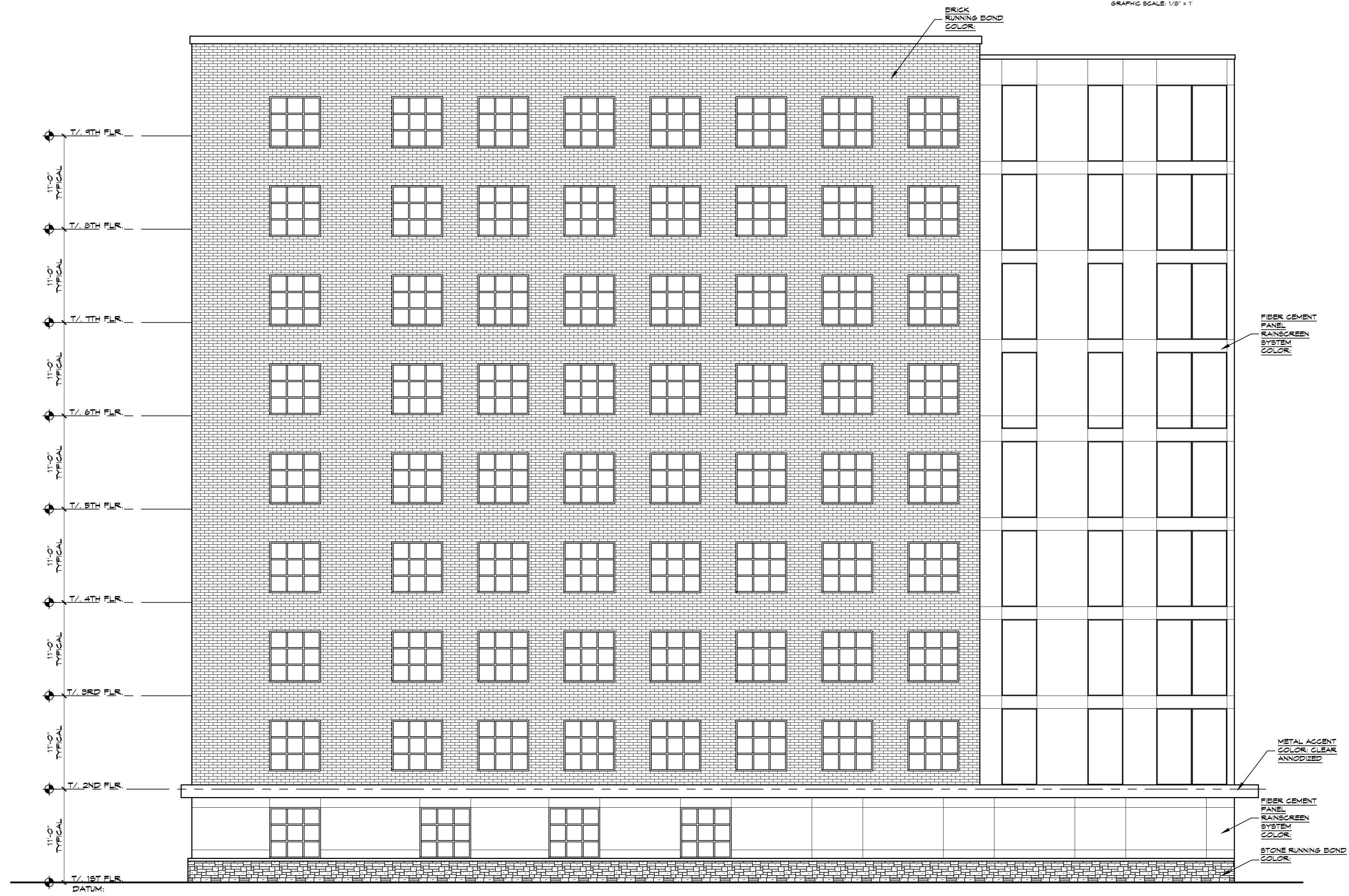
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1
SK-300

RIGHT [SOUTH] EXTERIOR ELEVATION

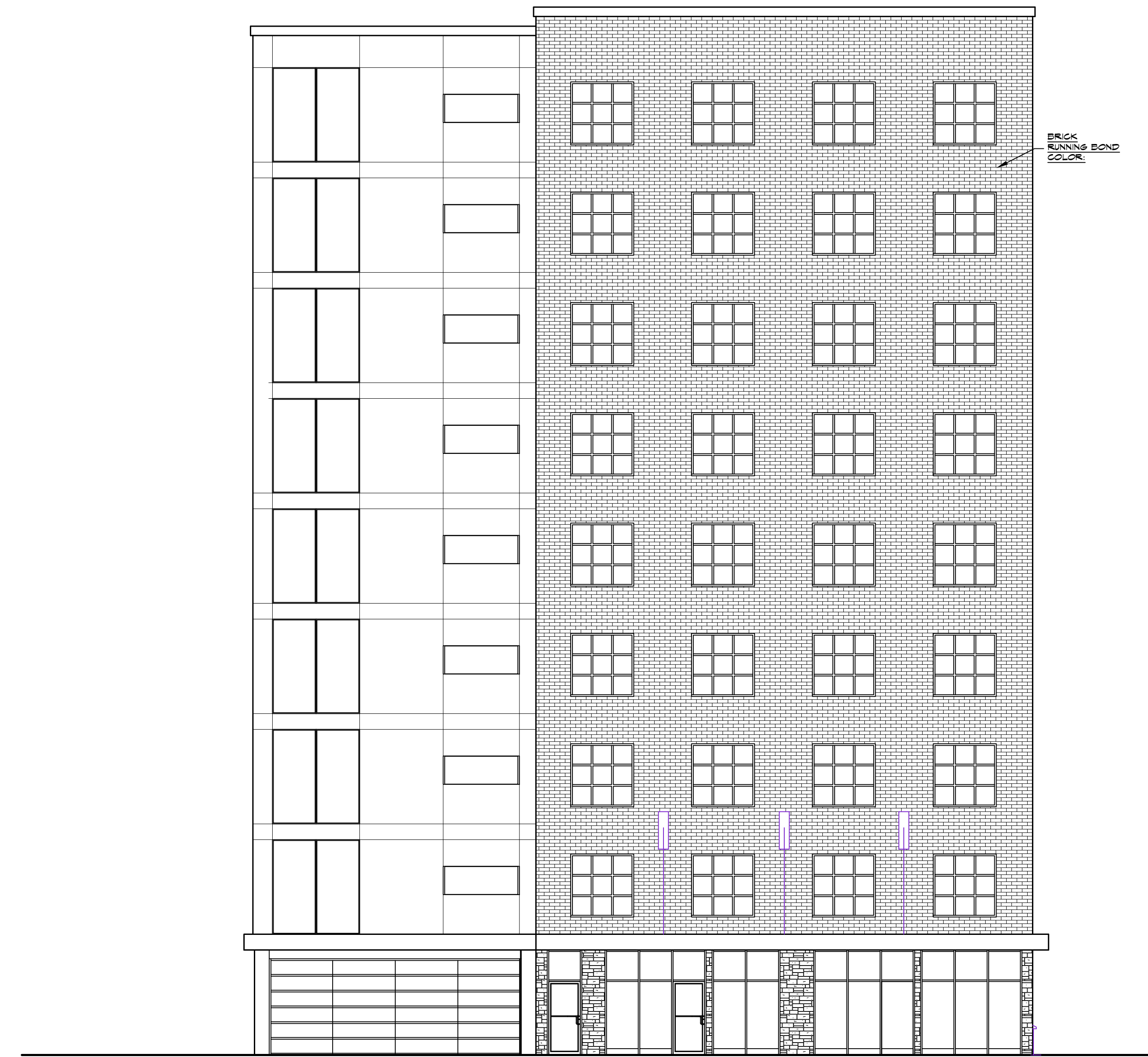
SCALE: 1/8" = 1'-0"
GRAPHIC SCALE 1/8" = 1'



3
SK-300

LEFT [NORTH] EXTERIOR ELEVATION

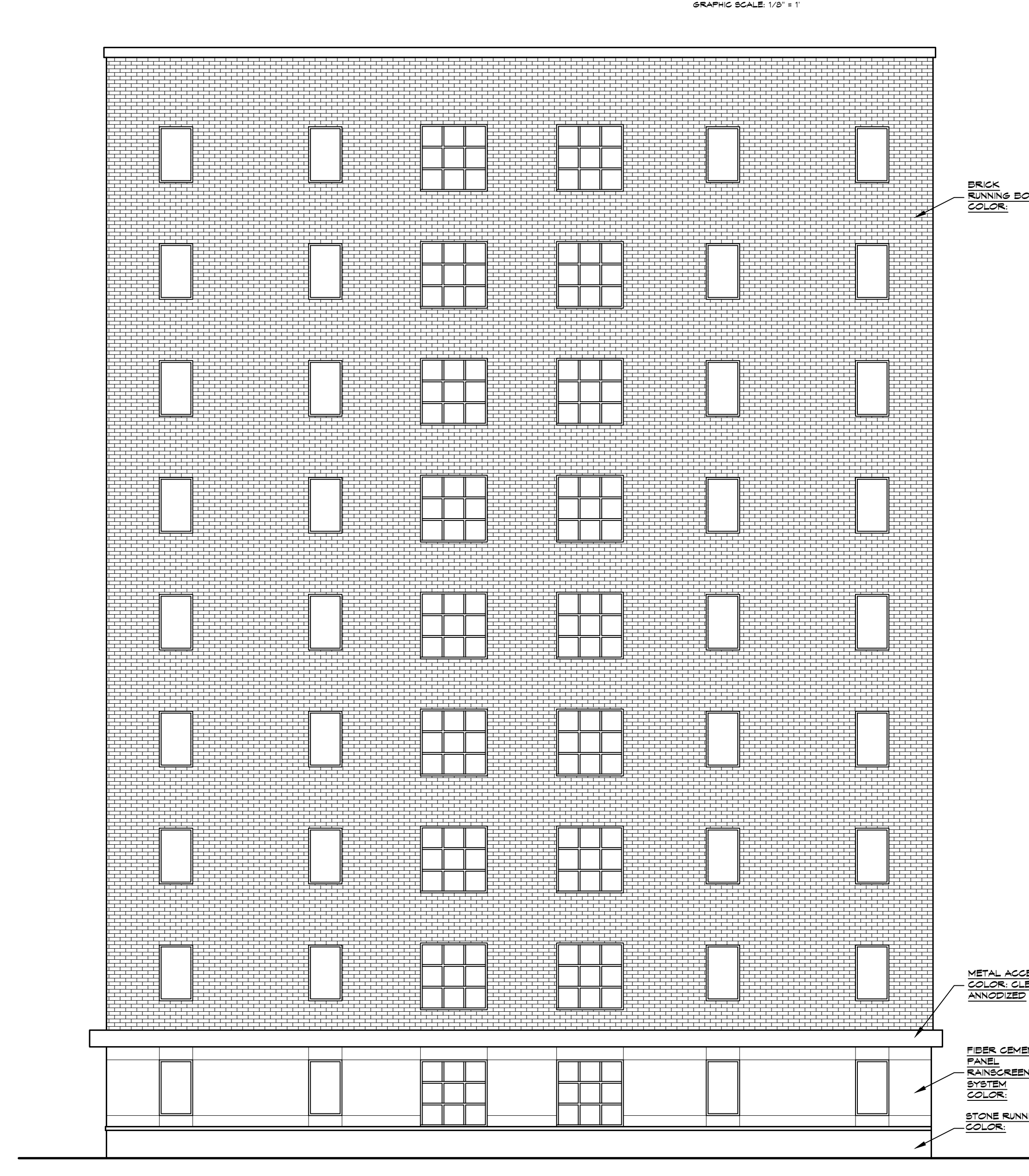
SCALE: 1/8" = 1'-0"



2
SK-300

FRONT [WEST] EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"
GRAPHIC SCALE 1/8" = 1'



4
SK-300

REAR [EAST] EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

NEW MIXED USE DEVELOPMENT
411-413 UNIVERSITY AVENUE
SYRACUSE, NE NYORK

NO.	DATE	DESCRIPTION
07/24/2024	07/24/2024	PRELIMINARY PER SUPR COMMENTS
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07/26/2024	07/26/2024	PER SUPR REVISED PER COMMENTS
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07/31/2024	07/31/2024	PER SUPR REVISED PER COMMENTS
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08/31/2024	08/31/2024	PER SUPR REVISED PER COMMENTS

MOSHER ARCHITECTS, P.C.
1035 7TH NORTH STREET, SUITE 1A
LIVERPOOL, N.Y. 13088 (P) (315) 420-6877

PROPOSED EXTERIOR ELEVATIONS

SCALE: AS NOTED
DRAWN BY: DVM
CHECKED BY: DVM

ARCHITECT'S SEAL/SIGNATURE
REGISTERED ARCHITECT
MOSHER & MOSHER
STATE OF NEW YORK
2354

SK-300

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2
R-1

BUILDING RENDERING LOOKING SOUTH EAST
SCALE: NOT TO SCALE



1
R-1

BUILDING RENDERING LOOKING NORTH EAST
SCALE: NOT TO SCALE



10
R-1

BUILDING MASS STUDY LOOKING SOUTHEAST
SCALE: NOT TO SCALE

NEW MIXED USE DEVELOPMENT
411-413 UNIVERSITY AVENUE
SYRACUSE, NE WYORK

DATE	NO.	DESCRIPTION
07/24/2024	1	PRELIMINARY PER SUPR COMMENTS
06/26/2024	2	SUPR REVISED PER SUPR COMMENTS
06/26/2024	3	PER SUPR REVISED PER SUPR COMMENTS
06/26/2024	4	PER SUPR REVISED PER SUPR COMMENTS
06/26/2024	5	PER SUPR REVISED PER SUPR COMMENTS
06/26/2024	6	PER SUPR REVISED PER SUPR COMMENTS
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MOSHER
ARCHITECTS, P.C.
1095 7TH NORTH STREET, SUITE 1A
LIVERPOOL, N.Y. 13088 (PT) (315) 420-6877

PROPOSED
BUILDING
RENDERINGS

SCALE: AS NOTED
DRAWN BY: DEM
CHECKED BY: DEM

REGISTERED ARCHITECT
MOSHER & MOSHER
STATE OF NEW YORK

2354
R-1

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2
R-2

BUILDING RENDERING LOOKING NORTH EAST
SCALE: NOT TO SCALE



1
R-2

BUILDING RENDERING LOOKING NORTH
SCALE: NOT TO SCALE



3
R-2

BUILDING RENDERING LOOKING SOUTH EAST
SCALE: NOT TO SCALE

NEW MIXED USE DEVELOPMENT
411-413 UNIVERSITY AVENUE
SYRACUSE, NE YORK

DATE	NO.	DRAWING ISSUED
07/24/2024		NO. 1, DRAWING ISSUED
06/26/2024		NO. 2, SITE PROGRESS
06/26/2024		NO. 3, PLANS PROGRESS
06/26/2024		NO. 4, PRE-APP. CONF
06/26/2024		NO. 5, PRE-APP. CONF
06/26/2024		NO. 6, PRE-APP. CONF
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06/26/2024		NO. 99, PRE-APP. CONF
06/26/2024		NO. 100, PRE-APP. CONF

MOSHER
ARCHITECTS, P.C.
1085 7TH NORTH STREET, SUITE 1A
LIVERPOOL, N.Y. 13088 (PT) (315) 420-6877

PROPOSED
BUILDING
RENDERINGS

SCALE: AS NOTED
DRAWN BY: DEM
CHECKED BY: DEM

ARCHITECT'S SEAL/SIGNATURE

REGISTERED ARCHITECT
MOSHER & MOSHER
STATE OF NEW YORK
2354
R-2



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>R-24-23</u>	<u>Staff Report – July 29, 2024</u>
Application Type:	Resubdivision
Project Address:	411 University Avenue (Tax Map ID: 048.-11-13.0), 413 University Avenue (Tax Map ID: 048.-11-12.0)
Summary of Proposed Action:	The applicant proposes to combine two lots (411 & 413 University Ave) into one new lot. The two existing buildings (a four-dwelling unit and a seven dwelling unit building) will be demolished for the redevelopment of a new 9-story, mixed-use Building with 47 dwelling units. New Lot 4113: 0.3 Acres/11,481SF
Owner/Applicant	Gem Street Holdings, LLC (Owner) David Mosher, President, Mosher Architects, PC (applicant)
Existing Zone District:	Urban Core, MX-4 Zone District
Surrounding Zone Districts:	The neighboring properties to the south, east and west are the MX-4 Zone District, and to the north of the property is the Neighborhood Center MX-2 Zone District.
Companion Application(s)	Major Site Plan Review, MaSPR-24-08 : Construction of a 9-story, mixed-use building with 47 apartments.
Scope of Work:	Eliminate the property line between 411 University Ave. and 413 University Ave. to create a new lot with 11,481 SF.
Staff Analysis:	Factors: <ul style="list-style-type: none"> - The proposed lot complies with the standards of lot width and size in MX-4 Zone District, pursuant to Rezone, Art 2, Sec 2.10B - The Onondaga County Planning Agency letter confirms the 911 address for new lot “4113” will be known as 411 University Avenue.
Zoning Procedural History:	411 University Ave.: <ul style="list-style-type: none"> - V-91-54 Area Variance, permit enlarged parking area behind existing 3- dwelling unit. BZA approved on 8/22/1991 - V-79-45 Use Variance, to convert a two-dwelling unit and 6 rooms to a four-dwelling unit. BZA approved on 10/2/1979 413 University Ave: <ul style="list-style-type: none"> - No Zoning history available, existing 7 apartments unit building.
Summary of Zoning History:	411 University Ave. was approved in 1979 to convert a two-dwelling unit to a four-dwelling unit. Between 1979 and 1991, the owner converted the building again to a three-dwelling unit. In 1991, BZA granted an Area Variance (V-91-54) for enlarging the onsite parking area for the existing three-dwelling unit. An existing 7 apartment unit on 413 University has no Zoning history.
Code Enforcement History:	See attached code enforcement history.
Zoning Violations:	The proposed lot has no zoning violations.
Summary of Changes:	This is not a continued application.
Property Characteristics:	The subject property is a rectangle-shaped lot with 45 feet of frontage on 411 University Ave. and a lot depth of 129 feet. The subject property is a rectangle-shaped lot with 44 feet of frontage on 413 University Ave. and a lot depth of 129 feet.

SEQR Determination:	Pursuant to the New York State Environmental Quality Review Regulations, the proposal is an Unlisted Action.
Onondaga County Planning Board Referral:	The proposal does not meet the referral criteria for Onondaga County Planning Board pursuant to GML §239-1, m and n

Application Submittals: The application submitted the following in support of the proposed project:

- Resubdivision application
- Short Environmental Assessment Form Part 1
- Subdivision Map. Part of Block # 373 “Syracuse” To be new Lot #41113, Known as No.411-13 University Avenue, City Of Syracuse, County Of Onondaga, New York, State Of New York; Licensed Land Surveyor: R.J. Lighton Si, R. J Lighton SR Land Surveying; Scale: 1”= 20’; Dated: 09/22/2023.

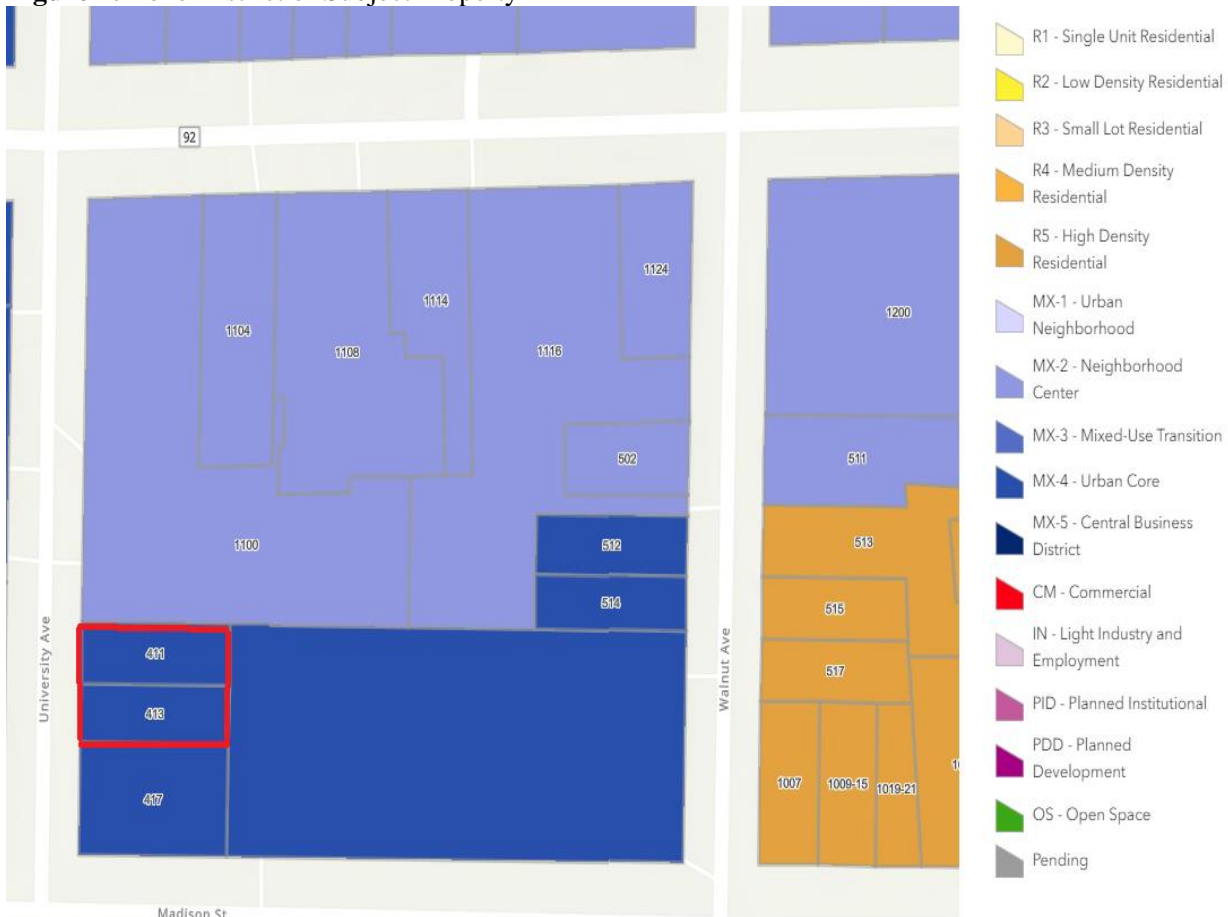
Attachments:

- Major Site Plan Review Application
- Power of Attorney (if applicable)
- Short Environmental Assessment Form Part 2 & Part 3

- Code Enforcement History
- IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

LETTER OF TRANSMITTAL

MOSHER, ARCHITECTS, P.C.
1035 SEVENTH NORTH ST., SUITE 1A
LIVERPOOL, NEW YORK 13088
TEL (315) 420-6677

DATE: 03-25-2024

TO: CITY OF SYRACUSE ZONING
OFFICE OF ZONING ADMINISTRATION
300 PARK ST. STREET
CITY OF SYRACUSE, NEW YORK 13202

ATTN: CRISTIAN TOELLNER
PLANS EXAMINER II

RE: 411-413 UNIVERSITY AVENUE
RESUBDIVISION SUBMISSION

VIA: GROUND OVERNIGHT E- MAIL HAND CARRIED

WE ARE SENDING YOU THE ATTACHED:

SHOP DRAWINGS DRAWINGS
 AS LISTED BELOW SPECIFICATIONS

COPIES	DATE	DESCRIPTION
1	3-25-24	SIGNED RESUBDIVISION APPLICATION
1	3-25-24	SEQR SHORT FORM SIGNED BY SPONSOR
5	9-22-2023	SEALED PROPERTY SURVEYS (AS BUILTS) RESUBDIVISION SURVEY
5	3-25-24	LC-1 COVER SHEET L-0 SITE PREPARATION PLAN L-1 SITE LAYOUT PLAN

REMARKS

COPY: FILE

BY: DAVID E MOSHER, RA

City of Syracuse
Office of Zoning Administration

RESUBDIVISION / LOT ALTERATION APPLICATION

One Park Place, 300 S State St *Suite 700* Syracuse, NY 13202

315-448-8640 * zoning@syr.gov *

****www.syr.gov/Departments/Zoning-Administration****

Office Use Filing Date: Case: Zoning District:

REQUESTED (Check applicable and provide the subdivision name, existing and proposed number of lots, and total area.)

	<u>Subdivision Name</u>	<u>Number of Lots</u>	<u>Total Area</u>
<input type="checkbox"/> Resubdivision:			
<input checked="" type="checkbox"/> Lot Alteration:	411- 413 Mixed Use	2	11480.8 sf

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) 411 Univsersity Avenue	048-11-13.0	Gem Street Holdings, LLC	4/29/2019
2) 413 Univsersity Avenue	048-11-12.0	Gem Street Holdings, LLC	4/29/2019
3) _____	_____	_____	_____
4) _____	_____	_____	_____

As listed in the Department of Assessment property tax records at <http://syrgov.net/Assessment.aspx> - 315-448-8280.

COMPANION ZONING APPLICATION(S) (List any related City Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

1) Project Site Review 2) _____ 3) _____

PROJECT CONSTRUCTION (Check all that apply and briefly describe, as applicable.)

- Demolition (full and partial): Demolition of Existing Structures
- New Construction: Construct 9 Story 47 Dwelling Unit Mixed Use
- Façade (Exterior) Alterations: _____
- Site Changes: _____

PROJECT INFORMATION (Briefly describe, as applicable.)

Project Name: 411 University Mixed Use
Current Land Use(s): 3 Family, 7 family
Proposed Land Use(s): MX-4 Urban Core
Number of Dwelling Units: 47
Days and Hours of Operation: 24 / 7
Number of Onsite Parking Spaces: Proposed 6 in Basement

PROJECT DESCRIPTION (Provide a brief description of the project, including purpose or need, and justification.)

Combine Lots to one Lot...
Demolish Existing Structures
Construct New 9 Story Mixed Use Apartment Building with 47 Dwelling Units
with Basement Access Parking
Proposed Use is n allowed use per MX-4 zoning regulations

City of Syracuse Office of Zoning Administration

PROPERTY OWNER(S) (required)

As listed in Department of Assessment property tax records (<http://syrgov.net/Assessment.aspx> - 315-448-8280). If not listed as the owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a letter describing the legal arrangement. If the property owner is a Corporation or Organization, the person signing must provide member verification. **Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.**

Gem Street Holdings, LLC			Gem Street Holdings, LLC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
188 E 78th S	15B	New York	NY	10075	Phone: 732 688-5008
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: jackmamiye@gmail.com</i>
<i>* Signature:</i>			<i>Date:</i>		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
<i>Street Address</i>			<i>St</i>	<i>Zip</i>	<i>Phone:</i>
<i>* Signature:</i>			<i>Date:</i>		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
<i>Street Address</i>			<i>St</i>	<i>Zip</i>	<i>Phone:</i>
<i>* Signature:</i>			<i>Date:</i>		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
<i>Street Address</i>			<i>St</i>	<i>Zip</i>	<i>Phone:</i>
<i>* Signature:</i>			<i>Date:</i>		

*** OWNER SIGNATURE DECLARATION**
 I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

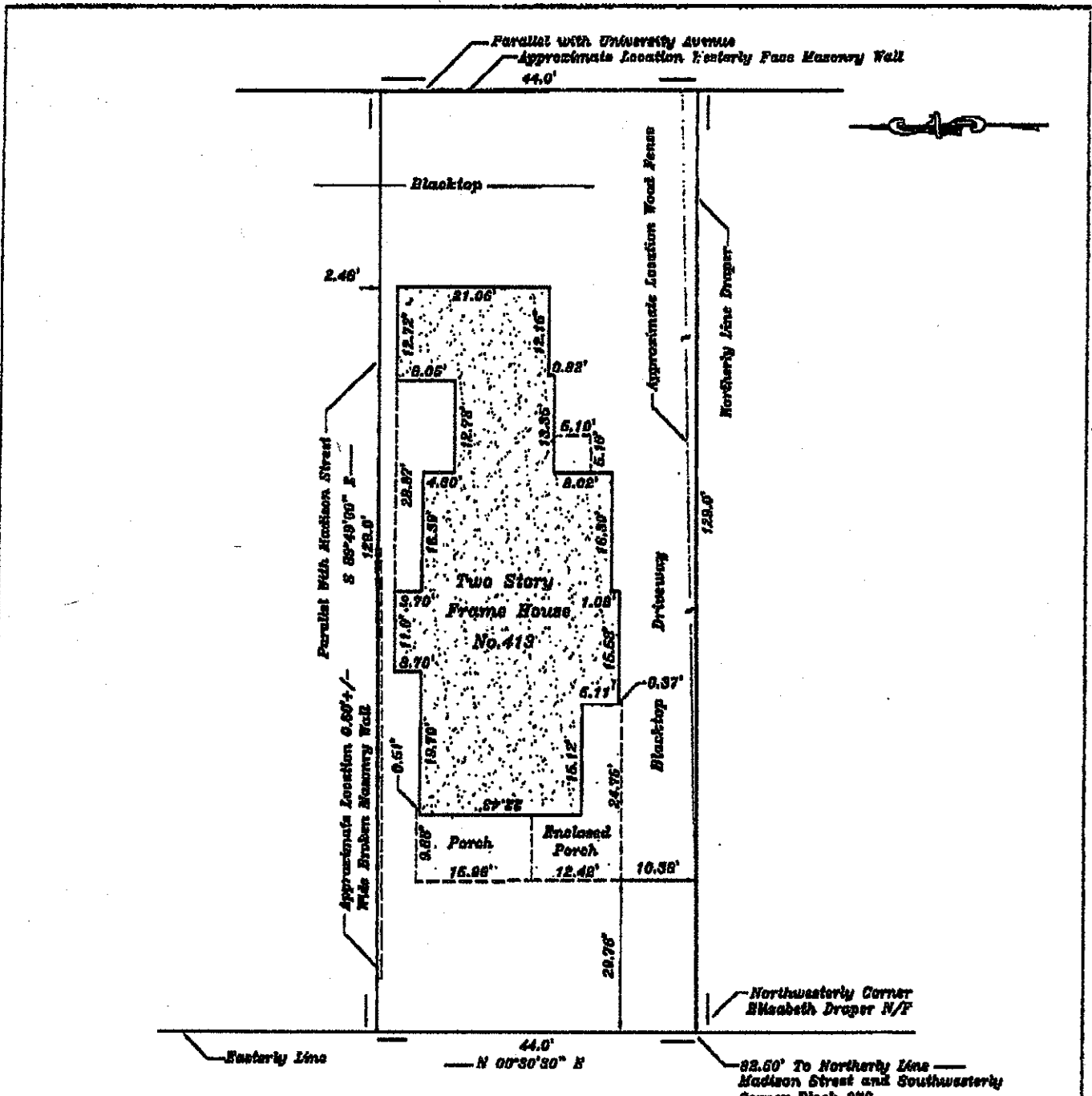
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
<i>Street Address</i>			<i>St</i>	<i>Zip</i>	<i>Phone:</i>
<i>* Signature:</i>			<i>Date:</i>		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
<i>Street Address</i>			<i>St</i>	<i>Zip</i>	<i>Phone:</i>
<i>* Signature:</i>			<i>Date:</i>		

REPRESENTATIVE(S)/CONTACT(S) (if applicable)

David	Mosher	President	Mosher Architrects, PC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
1035 7th N. St	1A	Liverpool	NY	13088	Phone: 315 420-6677
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: Dmosher@mosherarchitects.com</i>

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
<i>Street Address</i>			<i>St</i>	<i>Zip</i>	<i>Phone:</i>
<i>* Signature:</i>			<i>Date:</i>		



University Avenue
(66' Wide)

	<p>R. J. LIGHTON SR. 888 E. Washington Ave., Syracuse, New York 13205 Phone: (315) 482-2483</p>	<p>Location Survey on part of Block 373 * City of Syracuse *</p>	
<p>Whereby certifying that this map was made from an actual survey and is to correct.</p>		<p>Known as No. 413 University Avenue, City of Syracuse, County of Onondaga, State of New York.</p>	
<p>R. J. Lighton SR. NYSLS 45873 J. P. Lighton NYSLS 60606 M. J. Lighton NYSLS 60886</p>		<p>Drawn by: JRL</p>	<p>Scale: 1" = 20' Date: 03-04-12</p>
<p>Revisions:</p>			
<p><small>Unauthorized alteration of this survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Real Property Law. Only copies from the original of this survey marked with an original of the land surveyor's embossed seal or his embossed signature shall be considered to be valid true copies. Certifications shall run only to the person or persons for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2012, R.J. Lighton Sr. Land Surveying, all rights reserved.</small></p>			



Tax ID# 048-11-10
Madison Court Condominiums R.O.

S 00°30'30" W 89.00'

11480.8 Sq. Feet
0.3 Acres

New Lot 4113

No. 411

Tax ID#048-11-13.0

GEM STREET HOLDINGS LLC R.O.

N. 413

Tax ID#048-11-12.0

GEM STREET HOLDINGS LLC R.O.

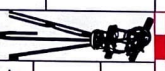
Tax ID#048-11-14.1
CNY Ronald McDonald House LLC R.O.
S 89°49'00" E 129.00'

N 89°49'00" W 129.00'
Tax ID#048.0-11-11.0
LIH ReHab Y Assoc. LLC R.O.

Street Line

82.50' to
Madison Street

N 00°30'30" E 89.00'
UNIVERSITY AVENUE
(Open 66.0' Wide)



R.J. LIGHTNER
SURVEYOR
888 E. ...
I hereby certify that this is a true and correct copy of the original of this survey marked with an original of the land surveyor's seal.

Resubdivision Map on Part of Block #373
Syracuse To be New Lot #4113
Known as No. 411-13 University Avenue, City
of Syracuse, County of Onondaga, New York
Drawn by: JML sh | Soales: 1" = 40' | Date: Sep 22, 2023
Revisions:

Unrecorded alterations to this map may be made by the original surveyor or his successors. Any other alterations are void. This map is subject to the provisions of the Real Property Law of the State of New York, Chapter 120, Section 120.1, which provides that any map or plan filed with the State Department of State after the effective date of this law shall be subject to the provisions of this law.

City of Syracuse

Parcel History

01/01/1900 - 06/11/2024

Tax Map #: 048.-11-13.0

Owners: UMC Orange Space Holdings LLC, BV Capital Group LLC C/O TJMG Properties LLC, Gem Street Holdings, LLC, ORANGE RESIDENTIAL PROP LLC,
Upstate Management of NY LLC
Zoning: MX-4

Address	Date	Transaction	Transaction Type	Status	Description
411 University Ave	05/31/12	Completed Complaint	Sewer Back Up	Completed	2012-12653 sewer bu
411 University Ave	07/13/12	Completed Complaint	Jet Lateral/Main	Completed	2012-16892 flush # 6998 dispatched to 504
411 University Ave	10/16/12	Periodic Inspection	C of C	CC - Valid/Cert	
411 University Ave	04/27/15	Completed Complaint	Blue Bin Skip	Completed	2015-08142 Erica 299-4277 wants to know why their blue bins have not been emptied for the last few weeks and wants them emptied asap. She states that both 411 and 413 have not been emptied.
411 University Ave	03/11/16	Completed Complaint	Sewer Back Up	Completed	2016-05347 sewer backup- bill 956-1510
411 University Ave	09/29/16	Completed Complaint	Trash Skip	Completed	2016-27964 trash skipped 2 weeks in a row. Is there a problem? If not, please pick up 9/23/16.
411 University Ave	10/05/16	Completed Complaint	Blue Bin Skip	Completed	2016-28841 4 bbs
411 University Ave	10/05/16	Completed Complaint	Sanitation/Special Reqst	Completed	2016-29159 Caller is requesting that the recyclables at this adress please be picked up and not skipped again on 10/5/16.
411 University Ave	10/06/16	Completed Complaint	Bulk Household Items	Completed	2016-28824 states they are residential and keep getting skipped for blue bin pickup.. Janette 299-4277
411 University Ave	10/20/16	Completed Complaint	Illegal Trash Set Out	Completed	2016-28151 illegal trash set out
411 University Ave	10/20/16	Completed Complaint	Illegal Trash Set Out	Completed	2016-28745 Caller states that the trash from this address is blowing all over. They have called for their trash being skipped and IPS says it was picked up on the 26th, caller says it was not. Can we issue them a citation or pick up the trash please?
411 University Ave	10/20/16	Periodic Inspection	Smoke Certification	SC - Issued	
411 University Ave	10/25/17	Completed Complaint	Bulk Household Items	Completed	2017-30956 mattress
411 University Ave	11/01/17	Completed Complaint	Bulk Household Items	Completed	2017-31504 mattres
411 University Ave	12/06/17	Completed Complaint	Bulk Household Items	Completed	2017-33998 mat + metal frame
411 University Ave	02/27/18	Inspection	Inspector Notification	In Progress	
411 University Ave	03/05/18	Inspection	Service Inspection	Pass	
411 University Ave	03/19/18	Inspection	Final Inspection	Pass	

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
411 University Ave	04/06/18	Violation	2015 IMPC - 304.7 - Roofs and Drainage	Closed	
411 University Ave	04/06/18	Violation	2015 IMPC - 305.3 - Interior Surfaces	Closed	
411 University Ave	04/06/18	Violation	2015 IMPC - 403.2 - Bathrooms and Toilet Rooms	Closed	
411 University Ave	04/06/18	Violation	2015 IMPC - 305.3 - Interior Surfaces	Closed	
411 University Ave	04/06/18	Violation	2015 IMPC - 305.3 - Interior Surfaces	Closed	
411 University Ave	04/06/18	Violation	2015 IMPC - 309.1 - Infestation	Closed	
411 University Ave	04/06/18	Violation	2015 IMPC - 304.13.2 - Openable Windows	Closed	
411 University Ave	04/06/18	Violation	2015 IMPC - 304.15 - Doors	Closed	
411 University Ave	04/06/18	Violation	2015 IMPC - 702.1 - General	Closed	
411 University Ave	04/06/18	Inspection	Complaint Inspection	Fail	
411 University Ave	04/06/18	Violation	2015 IMPC - 305.3 - Interior Surfaces	Closed	
411 University Ave	04/23/18	Inspection	Complaint Re-Inspection	No Progress	
411 University Ave	05/07/18	Completed Complaint	Property Maintenance-Int	Completed	2018-07909 APT 3 Faulty Light in the bathroom, tenant also states there is mold everywhere in the bathroom, the shower doesn't work, Faulty light in bathroom,Nails poking out in several places in the bedroom, possible infestation, tenant states they look like stink bugs.
411 University Ave	05/07/18	Inspection	Complaint Re-Inspection	Pass	
411 University Ave	05/17/19	Inspection	Inspector Notification	In Progress	
411 University Ave	05/22/19	Inspection	Progress Inspection	Pass	
411 University Ave	09/16/21	Inspection	Complaint Inspection	Fail	

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
411 University Ave	09/16/21	Violation	2020 PMCNYS - Section 304.13.2 - Openable Windows	Closed	
411 University Ave	09/16/21	Violation	2020 PMCNYS - Section 305.6 - Interior Doors	Closed	
411 University Ave	09/16/21	Violation	2020 PMCNYS - Section 704.6.1.2 - Groups R-2, R-3, R-4, I-1, and other dwellings	Closed	
411 University Ave	09/16/21	Violation	2020 PMCNYS - Section 605.1 - Installation	Closed	
411 University Ave	09/30/21	Inspection	Complaint Re-Inspection	No Progress	
411 University Ave	10/01/21	Completed Complaint	Smoke Alarm Certification	Completed	2021-20911
411 University Ave	10/14/21	Inspection	Complaint Re-Inspection	No Progress	
411 University Ave	10/28/21	Inspection	Complaint Re-Inspection	No Progress	
411 University Ave	11/19/21	Inspection	Complaint Re-Inspection	No Progress	
411 University Ave	12/09/21	Inspection	Complaint Inspection	Pass	
411 University Ave	01/06/22	Inspection	BAA - 1st Ticket Plea	Hear Rqst: Not	
411 University Ave	01/20/22	Inspection	Complaint Inspection	Pass	
411 University Ave	02/15/22	Inspection	BAA - 1st Ticket Hearing	Ticket Reduced	
411 University Ave	02/18/22	Inspection	BAA - Hearing 30 Day Deadline	Ticket Paid	
411 University Ave	02/24/22	Completed Complaint	Property Maintenance-Int	Completed	2021-21995 Apt 3- Water damage through everywhere, windows throughout apartment in disrepair, cold water not working properly, railing on stairs is loose
411 University Ave	11/08/22	Completed Complaint	Smoke Alarm Certification	Completed	2022-08938
411 University Ave	09/19/23	Complaint	Certificate of Compliance	x Issued	2023-06634 C of C
411 University Ave	09/19/23	Violation	SPCC - Section 27-15 (b) Multiple dwelling	Open	

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
411 University Ave	10/17/23	Inspection	Complaint Re-Inspection	Fail	
411 University Ave	10/31/23	Inspection	Complaint Re-Inspection	No Progress	
411 University Ave	11/14/23	Inspection	Complaint Re-Inspection	No Progress	
411 University Ave	11/17/23	Inspection	Complaint Inspection	Pass	
411 University Ave	11/20/23	Inspection	Complaint Re-Inspection	In Progress	
411 University Ave	11/27/23	Inspection	Complaint Re-Inspection	In Progress	
411 University Ave	12/20/23	Inspection	Complaint Re-Inspection	In Progress	
411 University Ave	01/03/24	Inspection	Complaint Re-Inspection	In Progress	
411 University Ave	01/04/24	Completed Complaint	Smoke Alarm Certification	Completed	2023-08412
411 University Ave	01/11/24	Inspection	Complaint Re-Inspection	Pass	

City of Syracuse

Parcel History

01/01/1900 - 06/11/2024

Tax Map #: 048.-11-12.0

Owners: BV Capital Group LLC C/O TJMG Properties LLC, Gem Street Holdings, LLC, ORANGE RESIDENTIAL PROP LLC, Upstate Management of NY LLC

Zoning: MX-4

Address	Date	Transaction	Transaction Type	Status	Description
413 University Ave	04/04/12	Violation	2010 IMC - Section 304.10 - Stairways, decks, porches and balconies	Open	
413 University Ave	10/01/12	Periodic Inspection	C of C	CC - Valid/Cert	
413 University Ave	11/29/12	Completed Complaint	Trash Skip	Completed	2012-26016 trash skipped
413 University Ave	09/20/13	Completed Complaint	Trash Skip	Completed	2013-23319 trash skipped
413 University Ave	09/20/13	Completed Complaint	Trash Skip	Completed	2013-23385 trash was skipped tuesday...please get
413 University Ave	10/10/13	Completed Complaint	Trash Skip	Completed	2013-24865 trash skip
413 University Ave	09/21/15	Periodic Inspection	Smoke Certification	SC - Issued	
413 University Ave	06/25/16	Completed Complaint	DeadAnimal in Right ofWay	Completed	2016-17474 dead animal in road
413 University Ave	10/05/16	Completed Complaint	Blue Bin Skip	Completed	2016-28842 4 bbs
413 University Ave	03/22/17	Completed Complaint	Blue Bin: request new BB	Completed	2017-05518 3 bbs
413 University Ave	02/27/18	Inspection	Inspector Notification	In Progress	
413 University Ave	03/06/18	Inspection	Service Inspection	Pass	
413 University Ave	03/20/18	Inspection	Final Inspection	Pass	
413 University Ave	10/01/21	Completed Complaint	Smoke Alarm Certification	Completed	2021-21526
413 University Ave	03/14/22	Inspection	Complaint Inspection	Pass	
413 University Ave	11/07/22	Completed Complaint	Smoke Alarm Certification	Completed	2022-09233
413 University Ave	09/19/23	Complaint	Certificate of Compliance	x Issued	2023-06635 C of C
413 University Ave	09/19/23	Violation	SPCC - Section 27-15 (b) Multiple dwelling	Open	
413 University Ave	10/17/23	Inspection	Complaint Re-Inspection	Fail	
413 University Ave	10/31/23	Inspection	Complaint Re-Inspection	No Progress	
413 University Ave	11/14/23	Inspection	Complaint Re-Inspection	No Progress	

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
413 University Ave	11/17/23	Inspection	Complaint Inspection	In Progress	
413 University Ave	12/04/23	Inspection	Complaint Re-Inspection	In Progress	
413 University Ave	12/26/23	Inspection	Complaint Re-Inspection	Pass	
413 University Ave	12/29/23	Inspection	Complaint Re-Inspection	In Progress	
413 University Ave	01/04/24	Completed Complaint	Smoke Alarm Certification	Completed	2023-08382
413 University Ave	01/11/24	Inspection	Complaint Re-Inspection	Pass	



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Gem Street Holdings, LLC Jack Mamiye
From: Haohui Pan, Zoning Planner
Date: 7/24/2024 10:11:56 AM
Re: Resubdivision R-24-23
411 University Ave, Syracuse, 13210

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Zoning Planner	Approved	04/12/2024	Haohui Pan	The proposed lot complies with the standards of lot width, and size pursuant to Rezone, Art 2, Sec 2.10B
Eng. Mapping - Zoning	Internal Review Complete	04/15/2024	Ray Wills	-The bearings for the streets in question AGREE with the Official City Records for the area. The Office of the City Engineer only verifies ROW bearings, not interior angles, bearings abutting neighboring properties or private easements. City Plat# 174
Finance - Zoning	Internal Review Complete	04/16/2024	Veronica Voss	BOTH 411 & 413 University owe April CS & CO taxes.
Eng Stormwater (SWPPP)-Zoning	Internal Review Complete	04/18/2024	Romeo Kpolo	Development on these lots will be treated as one project, as such the project shall be subject to the City's stormwater requirements & process and a SWPPP shall be required.
Eng Sewers- Zoning	Internal Review Complete	04/18/2024	Romeo Kpolo	Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. All installation & restoration work to be done to City of Syracuse specifications & details.
Eng. Design & Cons. - Zoning	Conditionally Approved	04/18/2024	Romeo Kpolo	Construction/development on the lots will be subject to the City plan review, approval and permitting process as applicable.
Planning Commission	Pending	04/11/2024		



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Gem Street Holdings, LLC Jack Mamiye
From: Cristian Toellner, Zoning Planner
Date: 7/24/2024 11:36:38 AM
Re: Major Site Plan Review MaSPR-24-08
411 University Ave, Syracuse, 13210

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov.net if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	07/24/2024	Vinny Esposito	This will require a full SWPPP be submitted and approved. A sewer study will be required.
DPW - Transportation Planner	Conditionally Approved	04/24/2024	Neil Milcarek-Burke	5/21/24 Updated plans required - Previous comments still apply - Bike parking requirement has been met 4/24/24 -Applicant must provide turning diagrams for interior parking stalls - Existing driveways to be abandoned, including portion of Southerly shared opening, with full-reveal granite curbing - NYSDOT type 3 drive to be used, opening to conform to 24' max width including wing/transition curb, plans show 48' with radial curb - Bike parking is required, interior space in a secure area that does not require stairs/or has access to/from elevator, with accommodations for locking bikes. Exterior, one staple-style (no wave style) rack in a conspicuous and well-lit area near the main entrance, on private property. - Planting plan required, including a varied mix of perennial plant materials as foundation plantings to enhance the streetscape. - Sidewalks, snow storage, and related items to be repaired as necessary, to meet City spec.
Water Engineering	Conditionally Approved	05/29/2024	Kim Kelchner	05/29/2024 Conditionally Approved: Building service kills are \$1,000.00/per service. Back flow preventers on domestic and fire services are required, Cross

Connection Control Plans (cccp) need to be submitted to the SWD Kkelchner@syr.gov,, New Water Service application need to be submitted to SWD, Fee's paid. Required documents Site Plan with proposed utilities. Plan and Profile view of Mechanical Room, note: most of this information is in the CCCP submittal.

Zoning Planner	On Hold	04/16/2024	Cristian Toellner	on hold pending pre development
Eng. Design & Cons. - Zoning	Conditionally Approved	04/25/2024	Mirza Malkoc	<p>****05-20-2024****</p> <ul style="list-style-type: none"> • All construction in the R.O.W. will require a road cut permit, all construction in the R.O.W. to be per City standards and specifications. • Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review. No permits are allowed to be issued until the site plans, County's 1:1 offset & the SWPPP are approved. • Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf. • Stormwater Access & Maintenance Agreements shall be submitted for review. • Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W. • The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council Approval. • Onondaga County Plumbing Control shall review and approve the plans as well. <p>****04-25-2024****</p> <ul style="list-style-type: none"> • All construction in the R.O.W. will require a road cut permit, all construction in the R.O.W. to be per City standards and specifications. • Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review. No permits are allowed to be issued until the site plans, County's 1:1 offset & the SWPPP are approved. • Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf. • Stormwater Access & Maintenance Agreements shall be submitted for review. • Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W. • The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council Approval. • Onondaga County Plumbing Control shall review and approve the plans as well.
City Engineer - Zoning	Pending	04/01/2024		
Eng. Mapping - Zoning	Internal Review Complete	04/04/2024	Ray Wills	Work should pose no impact on Mapping Division assets.
Planning Commission	Pending	04/01/2024		
Fire Prevention - Zoning	Internal Review Complete	04/12/2024	Elton Davis	<p>Construction, alteration, or demolition shall adhere to applicable sections of the 2020 FCNYS and the 2020 BCNYS.</p> <p>1. A fire access plan sheet shall be submitted clearly</p>

documenting:

a. The locations and dimensions of all required fire apparatus access roadways (Fire Code of New York State §503) and all required aerial fire apparatus access roadways (FCNYS §D105). Widths and distances from the access roadway to all portions of exterior walls shall be documented.

b. Locations of all fire hydrants. Distances from each building to the nearest hydrant shall be shown (FCNYS §507.5.1). Any buildings that will require standpipe systems shall have a hydrant located within 100 feet of the Fire Department Connection serving the system (FCNYS §507.5.1.1).

2. Aerial Fire Apparatus Access Roads are required to be a minimum of 26 feet wide in the immediate vicinity

of buildings in excess of 30 feet in height. If the buildings on the site will be greater than 30 feet in height,

as such aerial apparatus access roads will be required in accordance with §D105 of the FCNYS. Aerial Fire

Apparatus Access Roads are required to be a minimum of 26 feet wide for the entire length of one side of

the building and shall be no further than 30 feet from the face of the building.

3. The location of any hydrants on the plans. Hydrants are required to be located within 600 feet of all

portions of the exterior of the building measured along a natural path of travel (FCNYS §507.5.1). Hydrants

are also required to be located within 100 feet of Fire Department Connections serving any standpipe systems. FDC's should be located close to the main entrance of a building.

4. Meet all requirements of Section 403 - High Rise Buildings of the 2020 BCNYS.

5. Meet all requirements of Section 911 - Fire Command Center of the 2020 BCNYS

DPW Traffic Control- Zoning	Conditionally Approved	05/21/2024	Charles Gafrancesco	5.21.24 Any construction that will effect the safe passage of pedestrians or vehicular traffic in ROW will require an MUTCD compliant WZTP to be submitted. 5.3.24 Any construction the ROW that will affect pedestrian or vehicular traffic will require an MUTCD compliant WZTP.
Landmark Preservation Board	Internal Review Complete	07/11/2024	Kate Auwaerter	7/11/24 The SLPB reviewed the additional information provided at its 7/11/24 regular meeting. It determined that the proposed project will have minimal impact on historic resources. In order to address scale at the pedestrian level, the board recommended that the stone "water course" detail on the piers between the ground floor shopfronts be extended to the full height of the piers in order to give the base of the building more visual massing. No further preservation review is required. SLPB reviewed the application materials at its 6/20/24 meeting. Dave Mosher presented the materials. The board determined that it did not have sufficient information to comment on the impact of the project on historic resources (specifically, National Register-listed Grace Church). The board requested street-level/eye-level perspectives from each direction, shadow studies,

a site plan that shows the building in relationship to the buildings on the block, and a detail of the fenestration pattern on the main facade.

Project: MaSPR-24-08 & R-24-23

Date: 7/29/24

Short Environmental Assessment Form

Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Syracuse City Planning Commission	6/17/2024
Name of Lead Agency	Date
Steven Kulick	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)