



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>SP-24-07</u>	<i>Staff Report – May 6, 2024</i>
<i>Application Type:</i>	Special Use Permit
<i>Project Address:</i>	900-16 Fayette St E & Irving Ave (Tax Map ID: 048.-04-01.1)
<i>Summary of Proposed Action:</i>	The applicant proposes to renovate the existing tenant space on the first floor to establish a “Food and Beverage Retail” use. No exterior work or site changes are proposed.
<i>Owner/Applicant</i>	Christopher Geiger, East Fayette, LLC (Owner) William J Pitcher, Pitcher Architect, PLLC (Applicant)
<i>Existing Zone District:</i>	Urban Core, MX-4 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north, south, west, and east are the Urban Core, MX-4 Zone District.
<i>Companion Application(s)</i>	None
<i>Scope of Work:</i>	Change the use of vacant tenant space into a “Food and Beverage Retail” use. Interior build-out for the new retail store includes construction of interior doors and partitioning walls, and installation of utilities and furniture.
<i>Staff Analysis:</i>	<p><u>Facts:</u></p> <ul style="list-style-type: none"> - The proposed retail store located in an area with medium- to high-density residence which is consistent with the goal of MX-4 Zone District: to provide for pedestrian-friendly, transit-supportive areas of higher density residential development and a well-integrated mix of nonresidential uses and to promote an active streetscape and accommodate larger-scale commercial and retail uses. - The property is proximate to public transit and there are on-street parking spaces available on East Fayette Street near to the property. <p><u>Suggest Condition:</u></p> <ul style="list-style-type: none"> - No beer and/or wine sales are allowed for consumption on the premises. - No drive-through /drop-off windows are allowed.
<i>Zoning Procedural History:</i>	<ul style="list-style-type: none"> - R-16-64 Resubdivision to combine four properties situated at 305-07 Irving Avenue and 900-16, 918, and 922-24 E Fayette St into one new Lot, approved on 12/19/2016. - SP-19-18 Special Use Permit to establish a restaurant named Strong Hearts Cafe, approved on 4/8/2019. - SP-22-01 Special Use Permit to establish a restaurant named Buried Acorn, approved on 2/4/2022.
<i>Summary of Zoning History:</i>	In 2016, a resubdivision was approved to combine 4 properties to form the parcel at 900-16 Fayette St E & Irving Ave. In 2019 and 2022, 2 restaurant, Strong Hearts Café and Buried Acorn, were established in the 2 of the tenant spaces on the first floor, respectively.
<i>Code Enforcement History:</i>	See attached code enforcement history.
<i>Zoning Violations:</i>	The proposed work has no zoning violations.
<i>Summary of Changes:</i>	This is not a continued application.
<i>Property Characteristics:</i>	The subject property is irregular in shape with 165.01 feet of frontage on East Fayette Street and 165 feet of frontage on Irving Avenue.
<i>SEQR Determination:</i>	Pursuant to the 6 NYCRR §617.5(c)(18), the proposal is a Type II Action.
<i>Onondaga County Planning Board</i>	Pursuant to GML §239-1, m and n, the proposal was reviewed by the Onondaga County Planning Board with no opposition.

Referral:

Application Submittals: The application submitted the following in support of the proposed project:

- Special Use Permit application
- Short Environmental Assessment Form Part 1
- Lot No. 17A – Resubdivision map of part of block No. 240, filed 12/21/2028, Map No. 12688, City Of Syracuse, County Of Onondaga, New York, State Of New York; Licensed Land Surveyor: Colin M. Kraft; Land Lines Surveying PC; Scale: 1"= 20'; Dated: 12/21/2018.
- Floor Slab & Under Slab Plumbing Plans (Sheet A-1). Prepared by Pitcher Architect, PLLC; Scale: 1/8"=1'; Dated: 2/20/2024.
- First Floor Plan (Sheet A-2). Prepared by Pitcher Architect, PLLC; Scale: 1/8"=1'; Dated: 2/20/2024.
- Fixture and Equipment Plan (Sheet A-3). Prepared by Pitcher Architect, PLLC; Scale: 1/8"=1'; Dated: 2/20/2024.
- Electrical Plan (Sheet E-1). Prepared by Pitcher Architect, PLLC; Scale: 1/8"=1'; Dated: 2/20/2024
- HVAC System Plan (Sheet ME-1). Prepared by Pitcher Architect, PLLC; Scale: 1/8"=1'; Dated: 2/20/2024.

Attachments:

Special Use Permit Application

Short Environmental Assessment Form Part 2 & Part 3

Code Enforcement History

OCPB Comments

IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of Embassy Suites on the subject property.
Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

Site Plan Review Application



For Office Use Only

Zoning District: _____
Application Number: S- _____ - _____
Date: _____

Office of Zoning Administration
One Park Place, 300 S State St,
Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syrgov.net

Site Plan Review Application

This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.

General Project Information

Business/project name: Irving Ave Grocery		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 919 E Genesee & Crouse Ave (aka: 900 E Fayette Ave; 309 Irving Ave; resubdivisions #12334, #12688)		
Lot numbers: 5.1	Block number: 04	Lot size (sq. ft.): 37,200
Current use of property: mixed use commercial & retail	Proposed: same	
Current number of dwelling units (if applicable):	Proposed: same	
Current onsite parking (if applicable):	Proposed: same	
Zoning (base and any overlay) of property: MX-4		
Companion zoning applications (if applicable, list any related zoning applications): none		
Type of Site Plan: <input type="checkbox"/> Major <input checked="" type="checkbox"/> Minor		
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input type="checkbox"/> Site changes		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size: 2-6H x 8-0L	Type: backlit plexiglass	Location: front window
Size:	Type:	Location:
Nature and extent of Site Plan requested (attach additional pages if necessary): Unfinished tenant space, buildout for new grocery store. Permitted by-right under MX-4. No exterior work or changes are proposed.		

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.	
Print owner name: Christopher Berse	
Signature:	Date: 2-23-24
Mailing address: 21 Greener Ave. Amityville NY 11701	
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.	

617.20
Appendix B
Short Environmental Assessment Form

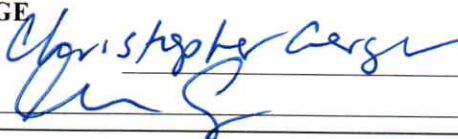
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		
Name of Action or Project: 309 Irving Ave Grocery		
Project Location (describe, and attach a location map): 919 E Genesee St at S Crouse Ave; Syracuse, NY 13210 (a.k.a. mailing address 309 Irving Avenue)		
Brief Description of Proposed Action: interior renovations, no exterior work.		
Name of Applicant or Sponsor: <i>Christopher Berger</i>	<i>516 413 6689</i>	<i>christoscuselectstat.com</i>
<i>21 Greene Ave.</i>		
<i>Amityville</i>	<i>NY</i>	<i>11701</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse, building permit and grant application	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?	<u>0.85</u> acres	
b. Total acreage to be physically disturbed?	<u>0</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	<u>0.85</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland		

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input type="checkbox"/> NO <input type="checkbox"/> YES		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
 _____		2-23-27 _____

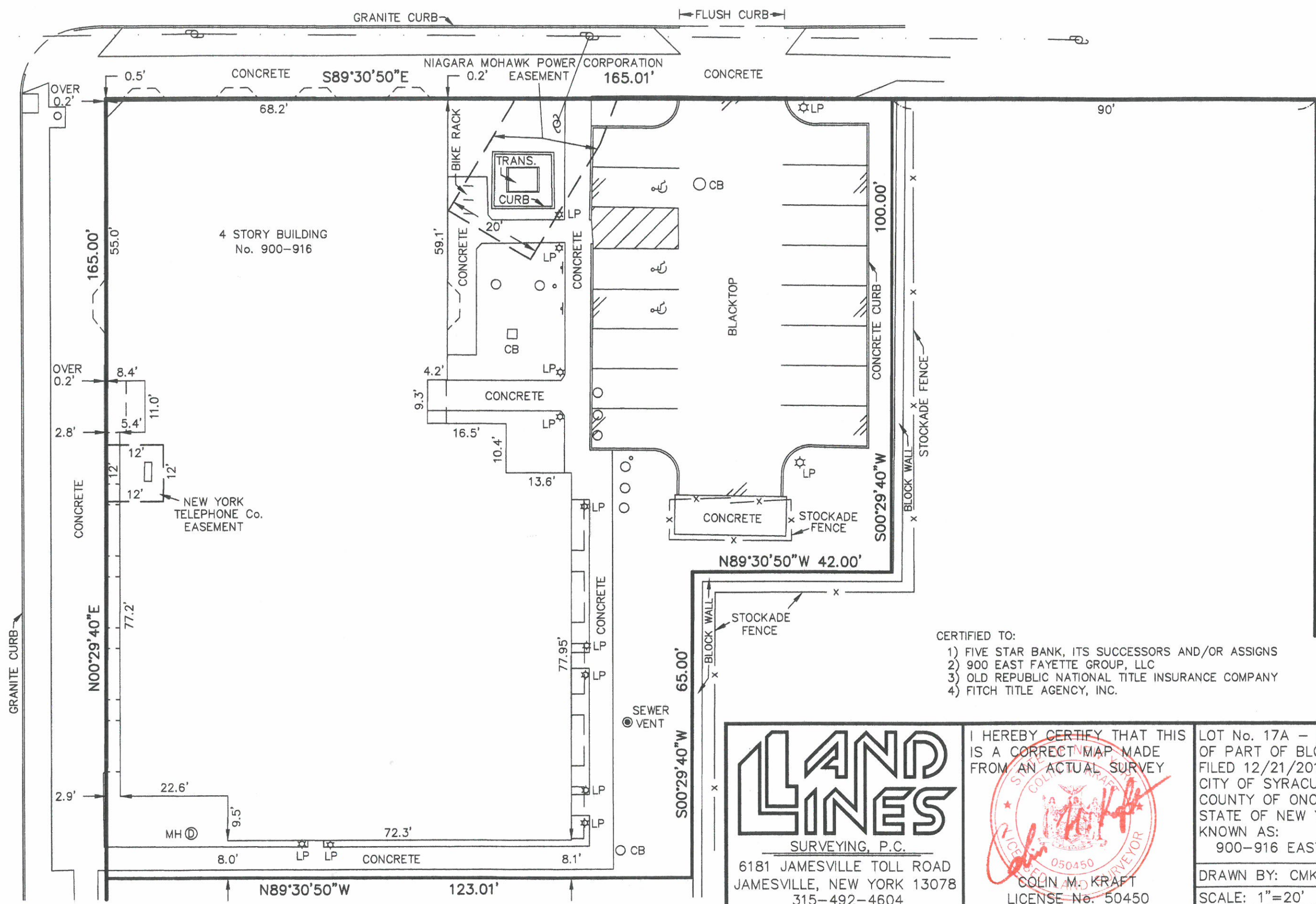
Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

EAST FAYETTE STREET

IRVING AVENUE

SOUTH CROUSE AVENUE



- CERTIFIED TO:
- 1) FIVE STAR BANK, ITS SUCCESSORS AND/OR ASSIGNS
 - 2) 900 EAST FAYETTE GROUP, LLC
 - 3) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 - 4) FITCH TITLE AGENCY, INC.

LAND LINES
 SURVEYING, P.C.
 6181 JAMESVILLE TOLL ROAD
 JAMESVILLE, NEW YORK 13078
 315-492-4604

I HEREBY CERTIFY THAT THIS IS A CORRECT MAP MADE FROM AN ACTUAL SURVEY

COLIN M. KRAFT
 LICENSE No. 50450

LOT No. 17A - RESUBDIVISION MAP OF PART OF BLOCK No. 240 FILED 12/21/2018 MAP No. 12688 CITY OF SYRACUSE COUNTY OF ONONDAGA STATE OF NEW YORK KNOWN AS: 900-916 EAST FAYETTE STREET	
DRAWN BY: CMK	DATE: 12/21/2018
SCALE: 1"=20'	DWG.No.: 181036



REZONE SYRACUSE 2023

1.3 DEFINITIONS

"FOOD AND BEVERAGE RETAIL: ...SELL FOODS AND/OR DRINKS TO CUSTOMERS FOR CONSUMPTION OFF-SITE. THIS DOES NOT INCLUDE RESTAURANTS, GROCERY STORES, LIQUOR STORES, MICROBREWERIES, AND/OR BEVERAGE CAFES..."

"GENERAL RETAIL: COMMERCIAL ENTERPRISE THAT PROVIDES GOODS AND SERVICES DIRECTLY TO CUSTOMER, WHERE SUCH GOODS ARE AVAILABLE FOR IMMEDIATE PURCHASE AND REMOVAL FROM PREMISES BY THE CUSTOMER. EXAMPLES INCLUDE...GROCERY STORES..."

PROPERTY IS IN AN MX-4 ZONE.
GROCERY STORE USES ARE BY-RIGHT.

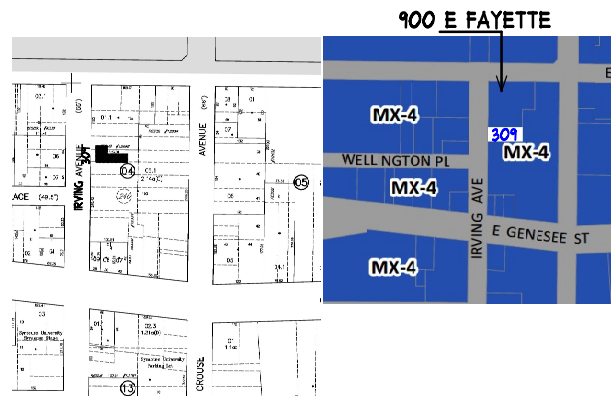
PROPERTY IDENTIFICATIONS:

ORIGINAL BUILDING PERMIT "900 E FAYETTE ST"

RESUBDIVISION: 919 E GENESEE & CROUSE AVE S'

048-04-051 - RESUB #12334, #12688

GROCERY STORE MAILING ADDRESS:
309 IRVING AVENUE



EXISTING CONDITIONS

EXISTING PLUMBING AND BUILDING DIMENSIONS ARE BASED ON THE "AS BUILT" DRAWINGS PROVIDED.

THE CONTRACTOR SHALL VERIFY THE LOCATION, TYPE OF DRAIN LINE, AND DEPTH BELOW FINISHED SLAB BEFORE INSTALLING NEW PLUMBING.

THE TOP OF FINISHED CONCRETE SLAB IS BENCHMARK ELEVATION 100.0 FEET.

IF PLUMBING LINES CAN NOT BE INSTALLED TO MEET PLUMBING CODE REQUIREMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT.

IF NECESSARY, THE FLOOR SLAB ELEVATION WILL BE MODIFIED, AND SLOPED RAMP WITH MAXIMUM SLOPE OF 1:12, INSTALLED FROM EXISTING DOOR THRESHOLDS TO NEW SLAB FINISHED ELEVATION, AND/OR PIPING WILL BE MODIFIED TO MEET THE SIZE AND SLOPE REQUIREMENTS OF THE NYS PLUMBING CODE.

NYS EXISTING BUILDINGS CODE

COMPLIANCE BY WORK AREA METHOD.

WORK AREA: TENANT SPACE, ALTERATIONS LEVEL 2

HVAC PROVIDED BY HEAT-PUMP. NO COMBUSTION APPLIANCES.

NO CARBON DIOXIDE BEVERAGE EQUIPMENT. EXISTING FULL SPRINKLER AND FIRE ALARM SYSTEM IN BUILDING.

SPRINKLER MODIFICATIONS AND FIRE ALARM SHOP DRAWINGS BY OTHERS.

BUILDING CODE ANALYSIS: SEE ORIGINAL BUILDING PERMIT DRAWINGS.

PROPOSED OCCUPANCY - GROUP M

ABBREVIATIONS

- F.D. FLOOR DRAIN, 4", METAL DRAIN GRATE
- F.S.-1 FLOOR SINK, 6"X6", DROP 1/4" FOR TEMPORARY T"X1"X1/4" STEEL COVER.
- F.S.-2 FLOOR SINK, 6"X6"
- C.O. CLEAN OUT, 4", SOLID METAL FLOOR CAP
- G.T. FUTURE GREASE TRAP, 4" PVC LINE, THROUGH FOUNDATION WALL, CAPPED 12" FROM WALL.
- T.F. TOILET FLANGE
- V VENT PIPE
- CW --- EXISTING COLD WATER AT CEILING
- HW --- EXISTING HOT WATER AT CEILING

CONCRETE SLAB

- CJ CONTROL JOINT IN SLAB: 3/8" T ASPHALT FIBER FILLER, LEAVE 1/2" LOW, FILL WITH BOND BREAKER AND 1/2" T SEALANT.
- AT EXISTING COLUMNS EMBEDDED IN WALLS, INSTALL SPACER BETWEEN COLUMN & SLAB
- SJ SAW JOINT, 1/4" W X 1/2" D, FILL WITH SEALANT.
- DOW SELF-LEVELING SEALANT: ELASTOMERIC, RATED FOR FOOT TRAFFIC

PLUMBING NOTES

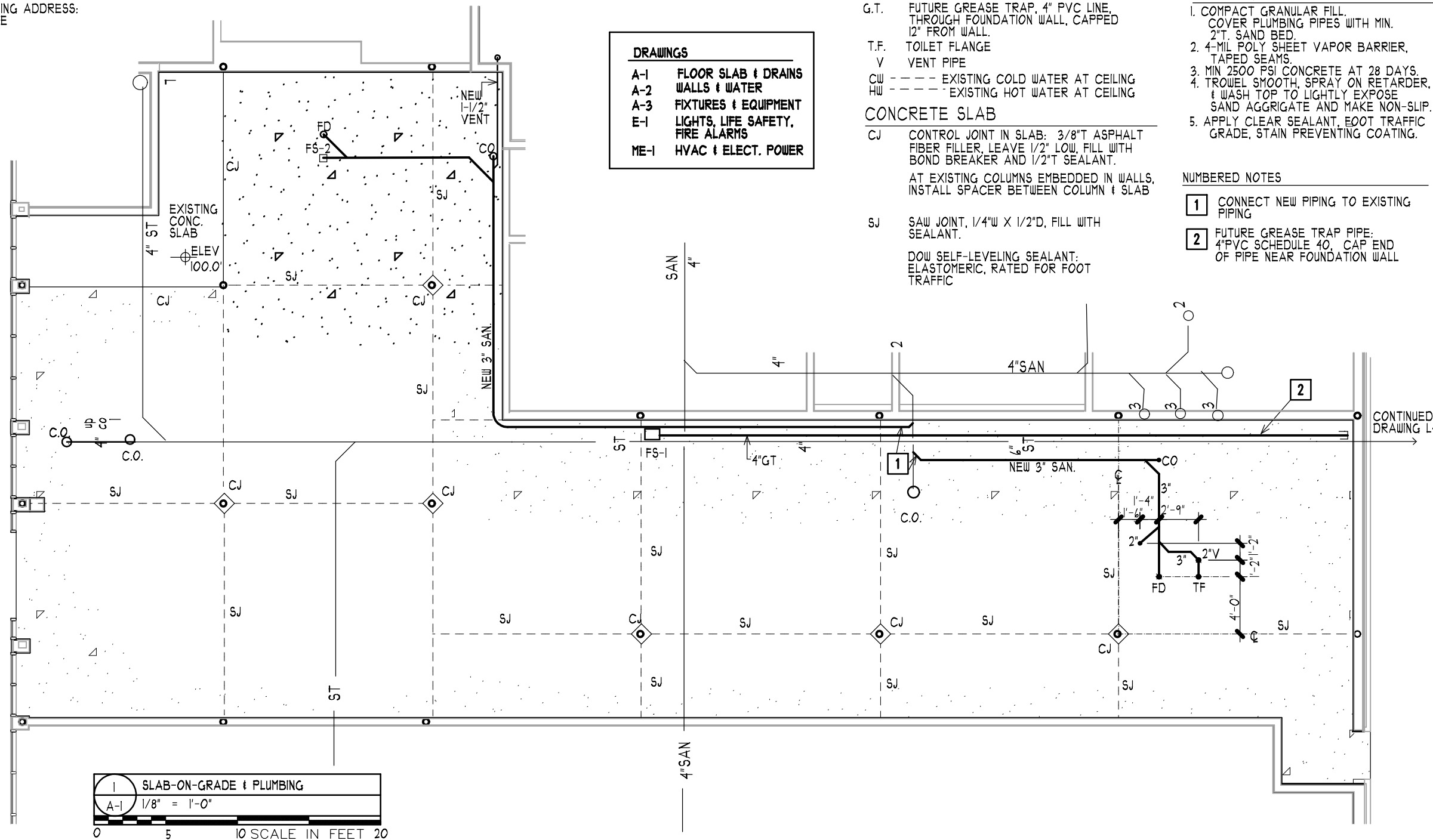
1. DETERMINE EXACT LOCATIONS OF EXISTING UNDER-SLAB PLUMBING LINES BEFORE INSTALLING NEW.
 2. IF NECESSARY, MOVE BELOW SLAB LOCATIONS OF NEW PLUMBING LINES.
 3. PROVIDE TRAPS AT ALL FLOOR DRAINS AND FIXTURES.
 4. BATHROOM: SINK AND DRINKING FOUNTAIN DRAINS IN STUD WALLS HORIZONTALLY AND DRAIN TO TOILET VENT PIPE
 5. VERIFY JANITOR SINK TO BE INSTALLED. IF NECESSARY RELOCATE DRAIN AND TRAP BEFORE CONCRETE POUR.
 6. MAKE ALL DRAIN GRATES, CLEAN OUT CAPS AND FLOOR-SINK TOPS FLUSH WITH CONCRETE FLOOR SURFACE.
 7. PROVIDE & INSTALL ON ALL EXISTING DRAINS CLEAN OUT COVERS AND DRAIN GRATES
- SLAB ON GRADE:**
1. COMPACT GRANULAR FILL. COVER PLUMBING PIPES WITH MIN. 2" T. SAND BED.
 2. 4-MIL POLY SHEET VAPOR BARRIER, TAPED SEAMS.
 3. MIN 2500 PSI CONCRETE AT 28 DAYS.
 4. TROWEL SMOOTH, SPRAY ON RETARDER, & WASH TOP TO LIGHTLY EXPOSE SAND AGGREGATE AND MAKE NON-SLIP.
 5. APPLY CLEAR SEALANT, FOOT TRAFFIC GRADE, STAIN PREVENTING COATING.

NUMBERED NOTES

1. CONNECT NEW PIPING TO EXISTING PIPING
2. FUTURE GREASE TRAP PIPE: 4" PVC SCHEDULE 40, CAP END OF PIPE NEAR FOUNDATION WALL

DRAWINGS

- A-1 FLOOR SLAB & DRAINS
- A-2 WALLS & WATER
- A-3 FIXTURES & EQUIPMENT
- E-1 LIGHTS, LIFE SAFETY, FIRE ALARMS
- ME-1 HVAC & ELECT. POWER



No modifications shall be made to these drawings except as provided by NYS Education Law.

JOB#: 224-03
2-20-2024

124 Peigel Avenue
Syracuse, N.Y. 13203

PITCHER architect PLLC

315.474.1219

TENANT SPACE RENOVATIONS
GROCERY STORE
309 IRVING AVENUE
SYRACUSE, NY 13210

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FLOOR SLAB & UNDER SLAB PLUMBING & NOTES
A-1

GENERAL NOTES

1. SEAL AROUND PIPES, CONDUITS, AND OTHER PENETRATIONS IN DEMISING WALL WITH FIRE RATED FOAM OR CAULK.
2. SPRINKLER ENGINEER TO REVIEW EXISTING SPRINKLER HEAD LOCATIONS AND NEW INTERIOR WALL LOCATIONS. PROVIDE ADDITIONAL HEADS AND/OR RELOCATE EXISTING HEADS AS NECESSARY.

PLUMBING

--- EXISTING PLUMBING AT CEILING
 ——— NEW PLUMBING AT CEILING

CW EXISTING COLD WATER LINE
 HW EXISTING HOT WATER LINE
 V EXISTING VENT, SANITARY

1. WHERE NECESSARY, PROVIDE AND INSTALL UNISTRUT MEMBERS TO SUPPORT PLUMBING LINES.
2. WHERE POSSIBLE, CONCEAL NEW PIPING WITHIN NEW WALLS AND SOFFITS.
3. PROVIDE SHUT-OFF VALVES AT ALL PLUMBING FIXTURES.

(P1) NEW DOMESTIC WATER LINES: 1/2" HOT, 1/2" COLD TO NEAREST EXISTING DISTRIBUTION LINES. NEW PEX PIPE.

(P2) NEW 1-1/2" SANITARY VENT LINE TO NEAREST EXISTING VENT LINE.

DOORS

(D1) PREHUNG, METAL FACE DOOR, 36"X80", 3 HINGES WITH 180-DEGREE ROTATION, LEVER HANDLE, "PRIVACY" LOCK FUNCTION

(D2) PREHUNG, METAL FACE DOOR, 36"X80", 3 HINGES, CLOSER WITH HOLD-OPEN STOP, LEVER HANDLE, "CLOSET" LOCK FUNCTION

WALL CONSTRUCTION

ALL DIMENSIONS ARE:
 TO FACE OF WALL STUD
 TO CENTER LINE OF COLUMNS

(W1) EXISTING DIMISING WALL OF TENANT SPACE
 SAND ALL TAPED JOINTS & PATCHES, FINISH PAINT WALLS.

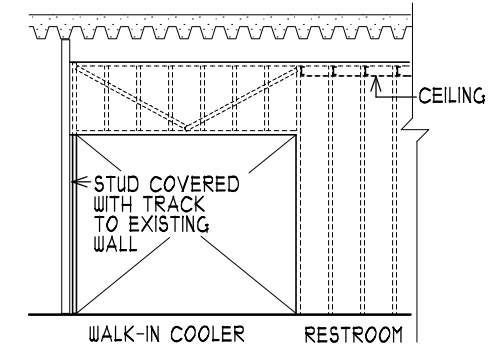
(W2) NEW NON-RATED WALL: NOMINAL 2X4 METAL STUDS, 16" O.C. AT EVERY 1/2" T DRYWALL EACH SIDE
 8'-0" MAX, BRACE STUD TO CEILING ABOVE. REPAIR ALL DISTURBED AREAS OF FIRE-PROOFING.
 PROVIDE BLOCKING BETWEEN STUDS TO SUPPORT RESTROOM GRAB BARS.

(W3) NON-RATED SOFFIT WALL
 SEE DETAIL 2/A-2.

(W4) COLUMN ENCLOSURES, SEE DETAIL 3/A-2

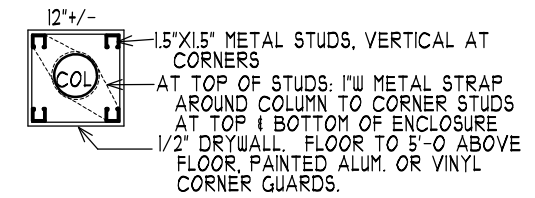
(C1) RESTROOM CEILING: 2X6 18GA METAL JOISTS 16" O.C. 1/2" DRYWALL CEILING, TOP 1/2" FIRE-RETARDANT PLYWOOD.

1. PAINTING: ALL NEW & EXISTING DRYWALL, LATEX PRIMER COAT & 2 FINISH COATS, ROLLER OR SPRAY, FLOOR TO TOP OF STOREFRONT WINDOW HEIGHT., OFF-WHITE.
2. PAINTING ABOVE TOP OF STOREFRONT HEIGHT, BLACK PAINT AS RECOMMENDED BY FIRE-PROOFING MANUFACTURER. COATS AS NECESSARY TO MAKE UNIFORMLY BLACK COLOR, ON WALLS AND CEILING.
3. WALL BASE: NEW & EXISTING WALLS CAULK ALL JOINTS BETWEEN DRYWALL AND FLOOR SLAB. NEW 4" VINYL WALL BASE, OFF-WHITE COLOR.

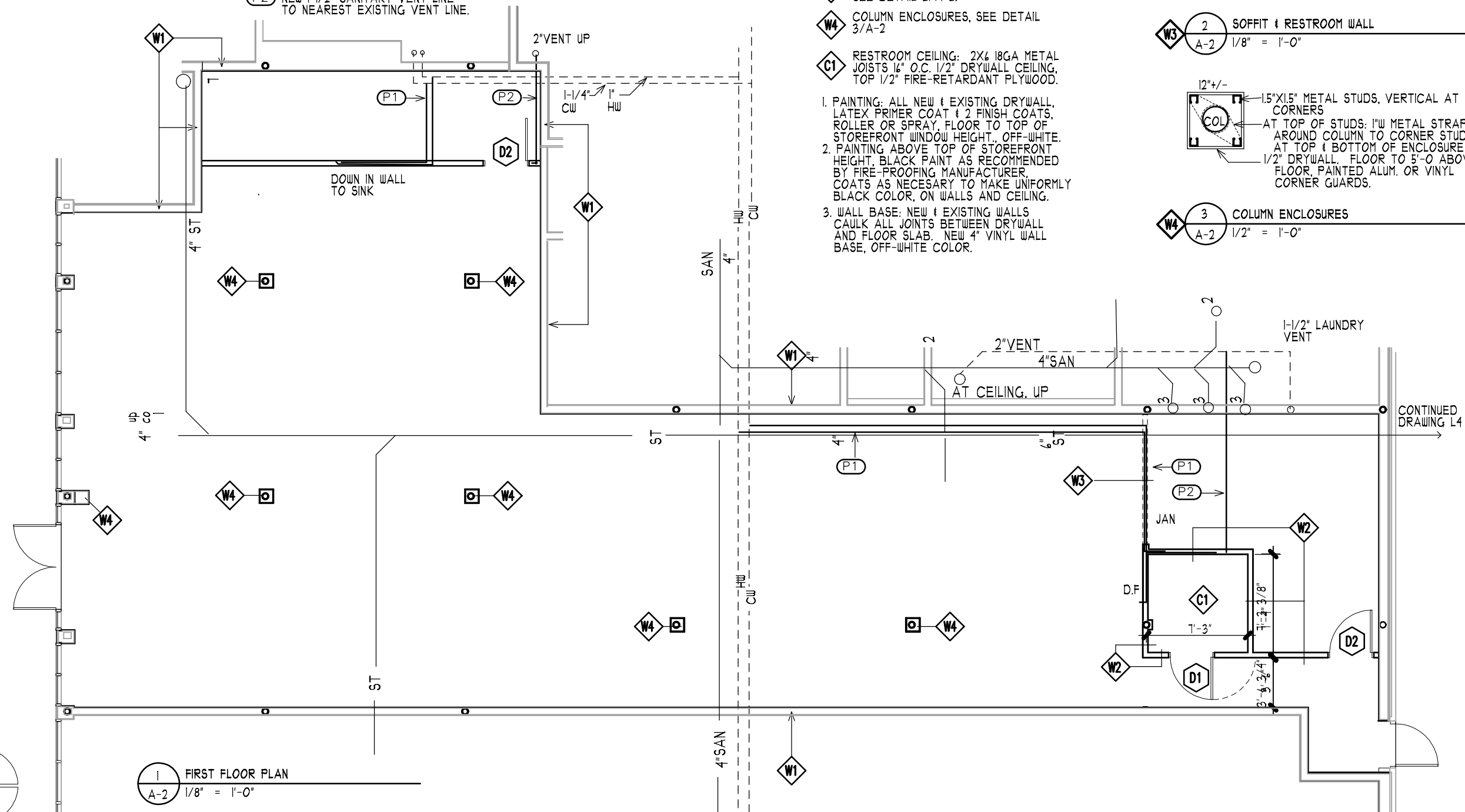


WALK-IN COOLER RESTROOM
 NOMINAL 2X4 METAL STUDS 16" O.C. ABOVE OPENING 2"x18GA METAL DIAGONAL BRACING STRIPS
 RESTROOM CEILING: NOMINAL 2X6 METAL JOISTS, 18GA, 1/2" DRYWALL CEILING.
 RESTROOM WALLS: DRYWALL ALL SIDES TO CEILING.

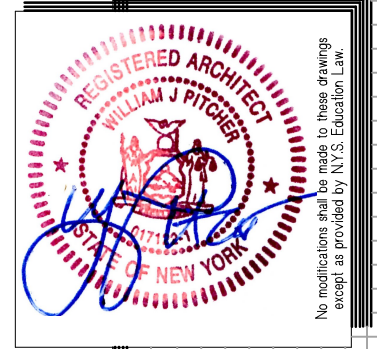
(W3) 2 SOFFIT & RESTROOM WALL
 A-2 1/8" = 1'-0"



(W4) 3 COLUMN ENCLOSURES
 A-2 1/2" = 1'-0"



1 FIRST FLOOR PLAN
 A-2 1/8" = 1'-0"



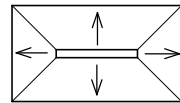
No modifications shall be made to these drawings except as provided by N.Y.S. Education Law.

JOB#: 224-03
 2-20-2024

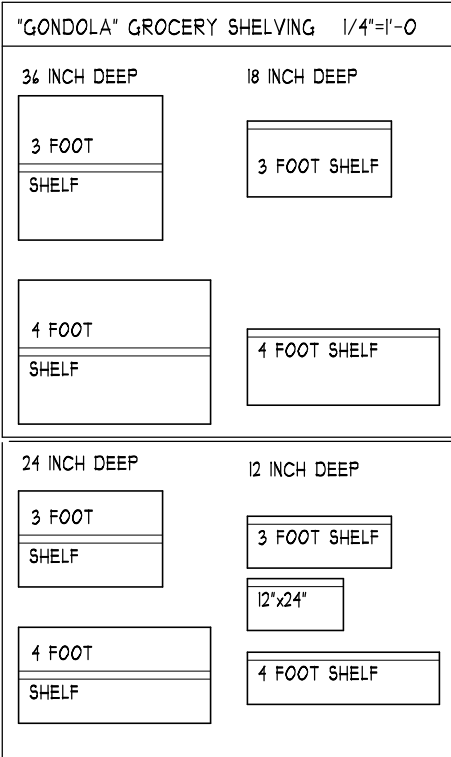
124 Peigel Avenue
 Syracuse, N.Y. 13203
PITCHER architect PLLC
 315.474.1219

TENANT SPACE RENOVATIONS
 GROCERY STORE
 309 IRVING AVENUE
 SYRACUSE, NY 13210
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FIRST FLOOR
 PLAN
 &
 DETAILS
A-2



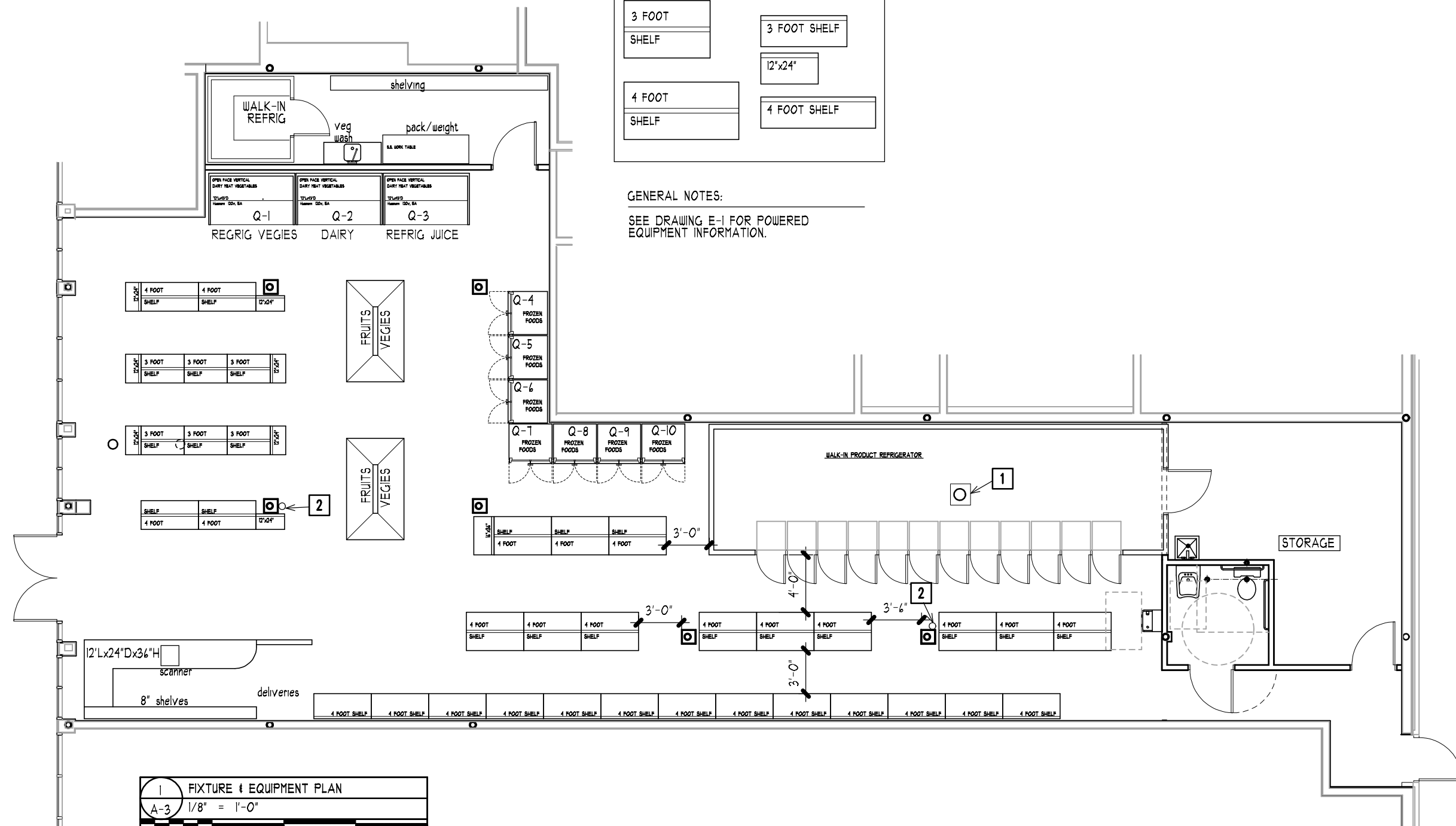
PLATFORM FOOD DISPLAY,
SLOPED BEDS & EDGE
RAILS, 3/8" H



NUMBERED NOTES

- IF REFRIGERATOR ROOM HAS AN INSULATED FLOOR ASSEMBLY, PROVIDE REMOVABLE FLOOR PANEL FOR MAINTENANCE ACCESS TO PLUMBING CLEAN OUT. SPRAY-PAINT STENCIL "PLUMBING CLEANOUT" ON FACE OF PANEL.
- FIRE EXTINGUISHERS: WALL MOUNTED ON BRACKET, WITH SIGN ABOVE. CLASS C EQUAL TO 5-B REQUIREMENTS

GENERAL NOTES:
SEE DRAWING E-1 FOR POWERED
EQUIPMENT INFORMATION.



1 FIXTURE & EQUIPMENT PLAN
A-3 1/8" = 1'-0"
0 5 10 SCALE IN FEET 20



No modifications shall be made to these drawings except as provided by N.Y.S. Education Law.

JOB#: 224-03
2-16-2024

124 Paige Avenue
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FIXTURES & EQUIPMENT PLAN & NOTES
A-3

UNISTRUT SUPPORT SYSTEM FOR LIGHT FIXTURES

UNISTRUT
 BASIS OF DESIGN: UNISTRUT 1-5/8"X1-5/8" CHANNELS.
 ATKORE, UNISTRUT BUFFALO, UNISTRUT MIDWEST, OR EQUAL
 PROVIDE SUPPORTS AT MAX 8'-0" OC, CLAMPS ON BEAM FLANGES AND THREADED ROD, METAL ANCHORS INTO INTO METAL CEILING DECK MINIMUM 500 POUND PULLOUT CAPACITY, OR TO METAL STUDS IN NEW AND EXISTING WALLS.
 FIRMLY ATTACH WITH METAL CLIPS ALL ELECTRIC CABLES, CONDUIT, PLUMBING AND LIGHT FIXTURES TO UNISTRUT MEMBERS
 FIRMLY ATTACH UTILITIES TO DRYWALL WITH METAL CLIPS.
 INSTALL UNISTRUT WITH BOTTOM AT 4" BELOW HORIZONTAL RUNS OF SPRINKLER PIPING. MOUNT LIGHTING ON UNDERSIDE.
 INSTALL ALL UTILITY RUNS VERTICAL AND PLUMB, HORIZONTAL, AND PERPENDICULAR OR PARALLEL TO WALLS.

LIGHTING CONTROL GROUPS

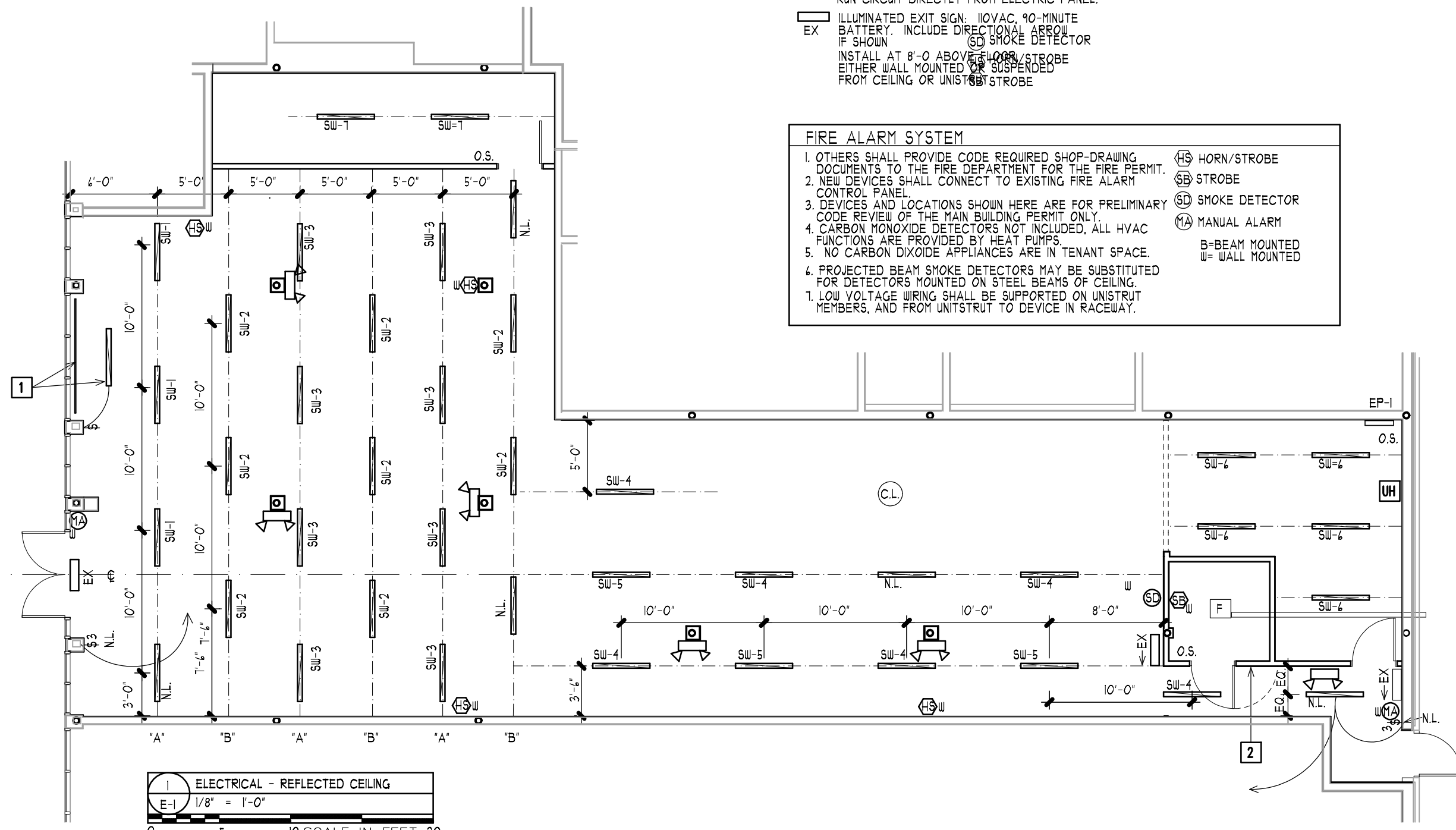
- SW-n LIGHTING GROUPS, CONTROLLED BY SINGLE WALL SWITCH, OR DIVIDED AND CONTROLLED BY MULTIPLE ADJACENT WALL SWITCHES.
- N.L. NIGHTLIGHT CIRCUIT, 3-WAY, WALL SWITCHES ADJACENT TO FRONT AND REAR DOORS.
- O.S. OCCUPANCY SENSOR CONTROLLED CIRCUIT
- SW-6 REMOTE O.S. ADJACENT TO ELECTRIC PANEL

LIGHT FIXTURES

- BASIS OF DESIGN:
 LITHONIA - CCS L48 4000LM 341 35K 80CRI FIXTURES
 PER FIXTURE: 8FT LONG, 4191 LUMINS, 39.8 WATTS, 120VAC
- F COMBINATION CEILING LIGHT AND EXHAUST FAN, MIN. 125 CFM, CONTROLLED BY O.C. WALL SWITCH.
 BY HVAC CONTRACTOR: PROVIDE AND INSTALL 4" DIA SHEET METAL DUCT & OUTDOOR SCREEN AND WEATHER CAP.
 - CL PROVIDE AND INSTALL LIGHT FIXTURES, SWITCHES, & WIRING AS PROVIDED BY WALK-IN COOLER SUPPLIER, OR AS SPECIFIED BY COOLER MANUFACTURER.
 - EMERGENCY LIGHT: 110VAC, 90-MINUTE BATTERY, MOUNT AT 8'-0" ABOVE FINISHED FLOOR
 DO NOT ATTACH TO SWITCHED POWER CIRCUIT, RUN CIRCUIT DIRECTLY FROM ELECTRIC PANEL.
 - EX ILLUMINATED EXIT SIGN: 110VAC, 90-MINUTE BATTERY. INCLUDE DIRECTIONAL ARROW IF SHOWN
 INSTALL AT 8'-0" ABOVE FLOOR, STROBE EITHER WALL MOUNTED OR SUSPENDED FROM CEILING OR UNISTRUT

LIGHT FIXTURES

- 1 STORE SIGN: TRANSLUCENT PLEXIGLASS, SILK SCREENED OPAQUE COPY ON FRONT, 8'-0" X 2'-4", HANG FROM CEILING ON CHAINS. SUSPEND LIGHT FIXTURE AT CENTER OF SIGN, ROTATE LIGHT 90-DEGREES TO SHINE ON BACK OF SIGN. CONTROLLED WITH INDIVIDUAL WALL SWITCH.
- 2 GROUP WALL SWITCHES FOR ALL LIGHT CONTROL GROUPS HERE, UNLESS OTHER WISE SHOWN.

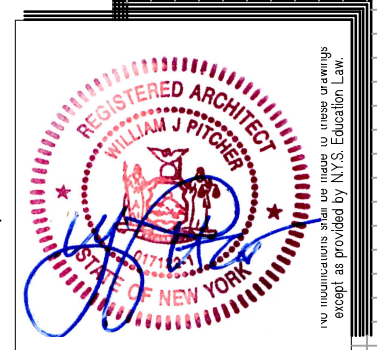


FIRE ALARM SYSTEM

1. OTHERS SHALL PROVIDE CODE REQUIRED SHOP-DRAWING DOCUMENTS TO THE FIRE DEPARTMENT FOR THE FIRE PERMIT.
2. NEW DEVICES SHALL CONNECT TO EXISTING FIRE ALARM CONTROL PANEL.
3. DEVICES AND LOCATIONS SHOWN HERE ARE FOR PRELIMINARY CODE REVIEW OF THE MAIN BUILDING PERMIT ONLY.
4. CARBON MONOXIDE DETECTORS NOT INCLUDED, ALL HVAC FUNCTIONS ARE PROVIDED BY HEAT PUMPS.
5. NO CARBON DIOXIDE APPLIANCES ARE IN TENANT SPACE.
6. PROJECTED BEAM SMOKE DETECTORS MAY BE SUBSTITUTED FOR DETECTORS MOUNTED ON STEEL BEAMS OF CEILING.
7. LOW VOLTAGE WIRING SHALL BE SUPPORTED ON UNISTRUT MEMBERS, AND FROM UNISTRUT TO DEVICE IN RACEWAY.

- HS HORN/STROBE
- SB STROBE
- SD SMOKE DETECTOR
- MA MANUAL ALARM
- B=BEAM MOUNTED
- W= WALL MOUNTED

1 ELECTRICAL - REFLECTED CEILING
 E-1 1/8" = 1'-0"
 0 5 10 SCALE IN FEET 20



JOB#: 224-03
 2-20-2024

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ELECTRICAL
 LIGHTING,
 LIFE SAFETY,
 & FIRE ALARMS
 E-1

COMPLIANCE

- COST OF BUILDING PERMITS ARE INCLUDED IN BIDS. CONTRACTORS SHALL SECURE PERMITS.
- COMPLY WITH NYS ELECTRIC CODE 2020.
- COMPLY WITH NYS FIRE CODE 2020.
- COMPLY WITH NYS MECHANICAL CODE 2020
- COMPLY WITH NYS PLUMBING CODE 2020
- COMPLY WITH ALL REQUIREMENTS OF UTILITIES AND LOCAL JURISDICTIONS.

ELECTRIC POWER

U.N.O. = UNLESS NOTED OTHERWISE
 AFF = ABOVE FINISHED FLOOR

⊕ 120 VAC, SINGLE DUPLEX OUTLET, ON 15 AMP CIRCUIT, U.N.O.

⊕⊕ 120 VAC, DOUBLE DUPLEX OUTLET ON 15 AMP CIRCUIT, U.N.O.

GFI GROUND FAULT INTERRUPT CIRCUIT

DS DISCONNECT SWITCH FOR HARDWIRED EQUIPMENT, MOUNT AT 5' ABOVE FLOOR. AFFIX PERMANENT LABEL IDENTIFYING EQUIPMENT/CIRCUIT

G.C. GENERAL CONVENIENCE OUTLET, MAX. SIX OUTLETS PER 120V 15 AMP CIRCUIT AT 18" ABOVE FINISHED FLOOR, U.N.O.

ELECTRIC NOTES

- ALL ELECTRIC POWER SHALL BE IN CONDUIT, ARMORED CABLE, OR WITHIN WALL CAVITIES.
 - 15A CIRCUITS UNLESS NOTED OTHERWISE
- VERIFY CIRCUIT FROM E.P. TO HEAT PUMP AND MAKE OPERATIONAL. IF NECESSARY INSTALL NEW POWER CIRCUIT.
 - COMMUNICATIONS BOARD: 3/4"X3/4"X1/2" PLYWOOD, PAINTED, BOTTOM AT 3/4" AFF. ADJACENT 15AMP OUTLET PROVIDE 110 VAC OUTLET NEXT TO BOARD.
 - RUN FROM CHECK-OUT COUNTER TO COMMUNICATIONS BOARD ONE CAT-6 DATA CABLE AND TWO TWISTED PAIR VOICE.

EQUIPMENT SCHEDULE

CONTRACTOR SHALL VERIFY POWER REQUIREMENTS OF EQUIPMENT TO BE INSTALLED BEFORE STARTING CONSTRUCTION.

MARK	DESCRIPTION	MANUF.	MODEL	VOLTS	PHASES	AMPS
Q-1	VEGITABLE COOLER			110		20
Q-2	DAIRY COOLER			110		20
Q-3	COLD CUT COOLER			110		20
Q-4	3/4"W FROZEN FOOD			110		15
Q-5	3/4"W FROZEN FOOD			110		15
Q-6	3/4"W FROZEN FOODS			110		15
Q-7	3/4"W FROZEN FOOD			110		15
Q-8	3/4"W FROZEN FOOD			110		15
Q-9	3/4"W FROZEN FOODS			110		15
Q-10	3/4"W FROZEN FOOD			110		15
Q-11	SMALL COMPRESSOR			TBD	TBD	TBD
Q-12	WALK-IN COMPRESSOR			TBD	TBD	TBD
Q-13	WALK-IN LIGHT/FAN			110		15

TBD= VERIFY EQUIPMENT BEFORE STARTING CIRCUIT

HVAC SYSTEMS

- RA SPIRAL DUCT, ABOVE SPRINKLER LATERALS RETURN AIR GRILL IN DUCT
- SA SUPPLY AIR GRILL IN DUCT

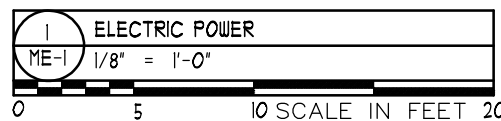
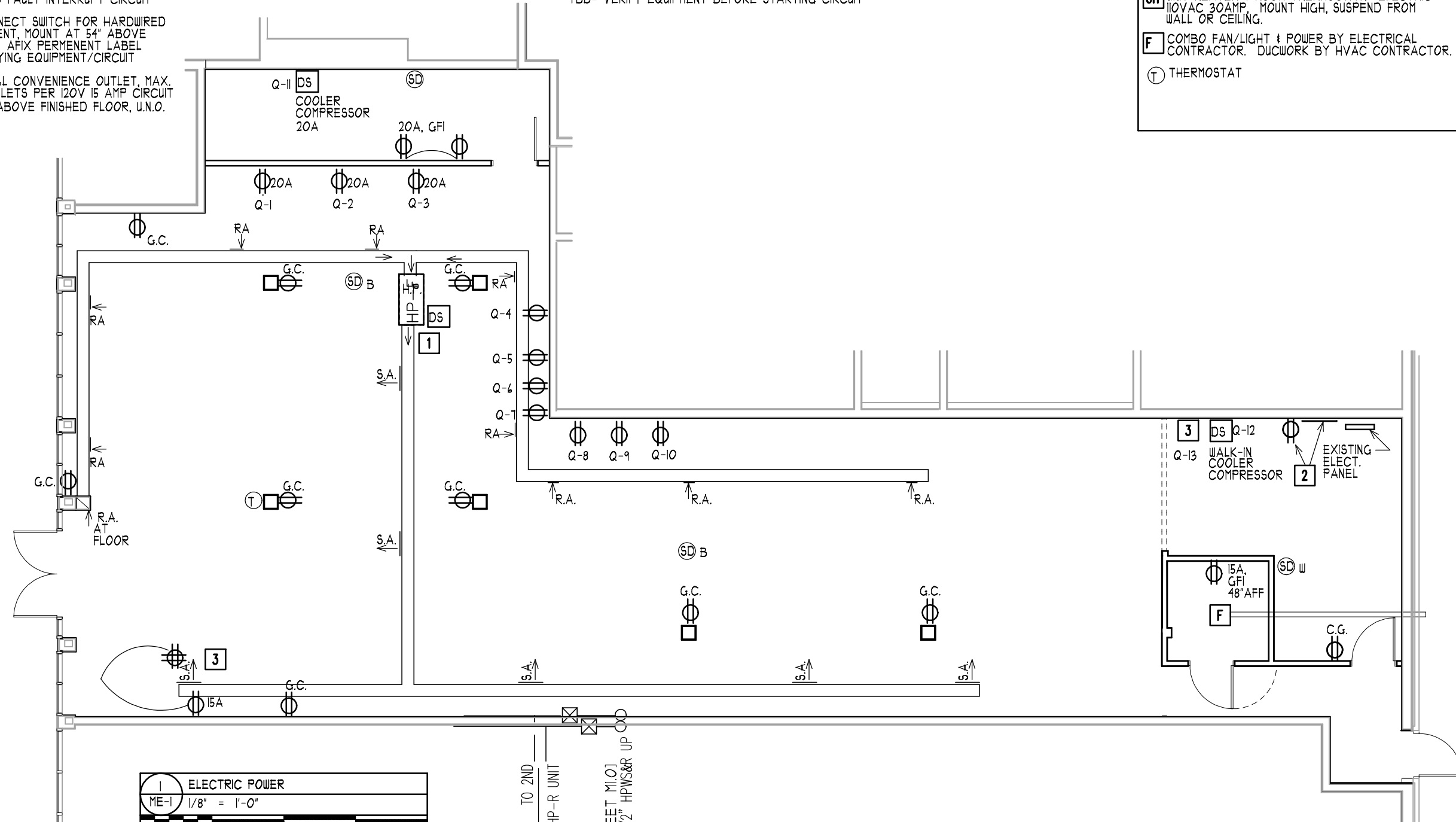
HEATING CONTRACTOR SHALL DESIGN-BUILD THE HVAC DISTRIBUTION DUCTWORK

- DETERMINE DUCTWORK SIZES, CFM AT EACH REGISTER GRILL, CALCULATE DUCT FRICTION LOSSES TO EACH SUPPLY GRILL
- DUCTWORK: GALVANIZED SPIRAL SHEET METAL DUCTS. CONTRACTOR TO DETERMINE SUPPORT METHODS AND LOCATIONS.
- PROVIDE 7-DAY PROGRAMABLE THERMOSTAT, COMBINATION HEATING AND COOLING COMPATIBLE WITH EXISTING HEAT PUMP. CONCEAL LOW VOLTAGE WIRING: IN WALLS, ALONG UNISTRUT, OR IN RACEWAY WHERE BELOW LIGHT FIXTURE HEIGHTS.

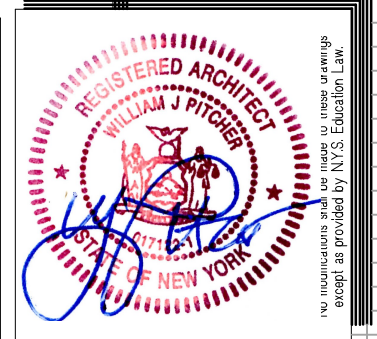
UH UNIT HEATER & ROOM THERMOSTAT: ELECTRIC 110VAC 30AMP, MOUNT HIGH, SUSPEND FROM WALL OR CEILING.

F COMBO FAN/LIGHT & POWER BY ELECTRICAL CONTRACTOR. DUCWORK BY HVAC CONTRACTOR.

T THERMOSTAT



TO 2ND
 HP-R UNIT
 [SHEET M1.0]
 2-1/2" HPWS&R UP



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HVAC
 SYSTEMS &
 ELECTRIC
 POWER
ME-1

Project:	SP-24-07
Date:	5/6/2024

Short Environmental Assessment Form Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project:	SP-24-07
Date:	5/6/2024

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse City Planning Commission <hr style="border: 0; border-top: 1px solid black;"/> Name of Lead Agency	5/6/2024 <hr style="border: 0; border-top: 1px solid black;"/> Date
Steven Kulick <hr style="border: 0; border-top: 1px solid black;"/> Print or Type Name of Responsible Officer in Lead Agency	Chairperson <hr style="border: 0; border-top: 1px solid black;"/> Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

ONONDAGA COUNTY

DEPARTMENT OF PLANNING



J. Ryan McMahon, II
County Executive

Don Jordan Jr.
Acting Director

TO: Members, Syracuse City Planning Commission
FROM: Don Jordan Jr, Acting Director *DJ*
Onondaga County Department of Planning (OCDOP)
DATE: 4/10/2024
RE: Administrative Review – East Fayette Convenience Store
RECOMMENDATION: No Position

Per General Municipal Law, §§239-m and -n, and the Onondaga County Planning Board Rules of Procedure and Referral Policy, the Board may delegate review and recommendation on certain referral actions to the Director of the Onondaga County Department of Planning.

These actions, determined as being generally routine in nature with minimal and/or well-understood intercommunity or countywide concerns, are listed within the Rules of Procedure, and at this website: <http://www.ongov.net/planning/ocpbpreferableactions.html>.

Please contact OCDOP staff at (315)435-2611 or countyplanning@ongov.net with any questions.

CASE NUMBER: Z-24-94
REFERRING BOARD: Syracuse City Planning Commission
DATE RECEIVED: 4/17/2024
TYPE OF ACTION: Special Permit
APPLICANT: Christopher Geiger
LOCATION: 900-916 East Fayette Street
WITHIN 500' OF: SUNY Upstate Biotech Accelerator
TAX ID(s): 048.-04-01.1
RELATED CASES: Z-24-93
PRIOR CASES: S-16-86, Z-16-409, Z-19-62, Z-22-5

Project Summary:

The applicant is proposing to install a grocery store (classified as a convenience store) in an empty tenant space on the first floor of the Sylvester Building located at 900-16 East Fayette Street in the City of Syracuse in an Urban Core (MX-4) zoning district. The Sylvester Building has been recently combined with new construction to create a 7-story mixed use building containing 244 apartments with frontage on East Genesee Street, Irving Avenue, and East Fayette Street. Commercial businesses on the first floor include former Buried Acorn taproom and Strong Hearts restaurant. The applicant is seeking site plan and special use permit approval for the grocery store, to be placed on the East Fayette Street side of the building. No exterior changes to the building are proposed.

Advisory Note:

This referral would be considered exempt from review by the Onondaga County Planning Board (OCPB) per the inter-municipal agreement between Onondaga County and the City, if executed. If the City would like to revisit execution of the agreement, OCDOP can provide one.

Recommendation: No Position

City of Syracuse

Parcel History

01/01/1900 - 04/30/2024

Tax Map #: 048.-04-01.1

Owners: 900 East Fayette Group LLC

Zoning: MX-4

Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	10/20/16	Project	Resubdivision	Approved	R-16-64B Combine four properties situated at 305-07 Irving Avenue and 900-16, 918, and 922-24 E Fayette St into one new Lot Map Filed: 2/21/2018 Map #: 12688
900-16 Fayette St E & Irving Ave	02/06/19	Project	SP - Restaurant	Approved	SP-19-08 Establish a Restaurant (Strong Hearts) on property situated at 900-916, 918, and 922-924 East Fayette Street and 305-307 Irving Avenue (aka 900 E Fayette St).
900-16 Fayette St E & Irving Ave	04/10/19	Permit Application	Com. Reno/Rem/Chg Occ	Issued	37531 Tenant: 'Strong Hearts Cafe' Build-out and creation of the first floor (southern-most space) to be used as an [A-2] occupancy - restaurant of type [Va] construction. RACK #146 Len Paradice-315-420-1881 ***C OF O TYPED--AWAITING SIGNATURES 8/26/2020 ****CO ISSUED 9/16/2020
900-16 Fayette St E & Irving Ave	05/31/19	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	06/10/19	Permit Application	Electric	Issued	38311 Electric: Strong Hearts
900-16 Fayette St E & Irving Ave	06/12/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/21/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/27/19	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	07/15/19	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	07/15/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/18/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/22/19	Inspection	Progress Inspection	Pass	
900-16 Fayette St E & Irving Ave	07/24/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/29/19	Inspection	Progress Inspection	In Progress	

City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	08/01/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	08/01/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	08/09/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	08/12/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	08/13/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	08/15/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	08/16/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	08/26/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	09/05/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	09/05/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	09/10/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	09/12/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	09/26/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	10/01/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	10/02/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	10/10/19	Inspection	Progress Inspection	No Progress	
900-16 Fayette St E & Irving Ave	10/23/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	11/05/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	11/07/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	11/19/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	12/02/19	Inspection	Progress Inspection	No Progress	
900-16 Fayette St E & Irving Ave	12/04/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	12/19/19	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	01/14/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	01/16/20	Inspection	Progress Inspection	No Progress	
900-16 Fayette St E & Irving Ave	02/24/20	Inspection	Progress Inspection	No Progress	
900-16 Fayette St E & Irving Ave	02/28/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	03/05/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	03/20/20	Inspection	Progress Inspection	In Progress	

City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	03/30/20	Permit Application	Sprinkler	Issued	41165 Sprinkler for Strong Hearts Cafe
900-16 Fayette St E & Irving Ave	04/01/20	Inspection	Plan Review Update	Pass	
900-16 Fayette St E & Irving Ave	04/06/20	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	04/15/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	04/22/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	05/08/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	05/12/20	Permit Application	HVAC/Mechanical	Issued	41476 Kitchen Hood - Strong Hearts Cafe
900-16 Fayette St E & Irving Ave	05/19/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/04/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/16/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/17/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/25/20	Inspection	Fire - Exit Signage	Pass	
900-16 Fayette St E & Irving Ave	06/25/20	Inspection	Fire - Emergency Egress Illumination	Pass	
900-16 Fayette St E & Irving Ave	06/25/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/01/20	Permit Application	Fire Alarm	Issued	41673 Fire Alarm - Strong Hearts Cafe (1st Floor)
900-16 Fayette St E & Irving Ave	07/01/20	Inspection	Sprinkler Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/01/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/02/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/06/20	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	07/08/20	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/10/20	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	07/10/20	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	07/14/20	Permit Application	Sprinkler	Issued	42082 Ansul system for Strong Hearts Cafe
900-16 Fayette St E & Irving Ave	07/15/20	Inspection	Plan Review Update	Pass	
900-16 Fayette St E & Irving Ave	07/15/20	Inspection	Inspector Notification	Pass	
900-16 Fayette St E & Irving Ave	07/15/20	Inspection	Inspector Notification	<None>	
900-16 Fayette St E & Irving Ave	07/15/20	Inspection	Fire - Fire Alarm Acceptance Test	Pass	

City of Syracuse
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Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	07/15/20	Inspection	Fire - Carbon Monoxide Detection	Pass	
900-16 Fayette St E & Irving Ave	07/15/20	Inspection	Fire - Fire Extinguishers	Pass	
900-16 Fayette St E & Irving Ave	07/15/20	Inspection	Final Fire Inspection	Pass	
900-16 Fayette St E & Irving Ave	07/15/20	Inspection	Progress Inspection	Pass	
900-16 Fayette St E & Irving Ave	07/15/20	Inspection	Final Inspection	Pass	
900-16 Fayette St E & Irving Ave	07/15/20	Completed Permit	Fire Alarm	Certificate Issued	41673 Fire Alarm - Strong Hearts Cafe (1st Floor) Certificate of Completion #41673
900-16 Fayette St E & Irving Ave	07/16/20	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	07/16/20	Completed Permit	Sprinkler	Certificate Issued	42082 Ansul system for Strong Hearts Cafe Certificate of Completion #42082
900-16 Fayette St E & Irving Ave	07/16/20	Inspection	Fire - Sprinkler Acceptance Test	Pass	
900-16 Fayette St E & Irving Ave	07/16/20	Inspection	Sprinkler Inspection	Pass	
900-16 Fayette St E & Irving Ave	07/16/20	Inspection	Fire - Sprinkler Certification	Pass	
900-16 Fayette St E & Irving Ave	07/17/20	Inspection	Final Inspection	Pass	
900-16 Fayette St E & Irving Ave	07/21/20	Inspection	Final Inspection	Pass	
900-16 Fayette St E & Irving Ave	07/22/20	Completed Permit	Sprinkler	Certificate Issued	41165 Sprinkler for Strong Hearts Cafe Certificate of Completion #41165
900-16 Fayette St E & Irving Ave	07/23/20	Completed Permit	HVAC/Mechanical	Certificate Issued	41476 Kitchen Hood - Strong Hearts Cafe Certificate of Completion #41476
900-16 Fayette St E & Irving Ave	08/31/20	Completed Permit	Electric	Certificate Issued	38311 Electric: Strong Hearts Certificate of Completion #38311
900-16 Fayette St E & Irving Ave	09/02/20	Inspection	Codes - Licensing	Pass	
900-16 Fayette St E & Irving Ave	09/02/20	Inspection	Codes Electric - Licensing	Pass	
900-16 Fayette St E & Irving Ave	09/02/20	Inspection	Fire Prevention - Licensing	Pass	

City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	09/16/20	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	37531 Tenant: 'Strong Hearts Cafe' Build-out and creation of the first floor (southern-most space) to be used as an [A-2] occupancy - restaurant of type [Va] construction. RACK #146 Len Paradice-315-420-1881 ***C OF O TYPED--AWAITING SIGNATURES 8/26/2020 ****CO ISSUED 9/16/2020 Certificate of Occupancy #37531
900-16 Fayette St E & Irving Ave	02/23/21	Violation	SPCC - Section 27-43 (g) - Maintained System	Closed	
900-16 Fayette St E & Irving Ave	02/23/21	Violation	2020 PMCNYS - Section 704.1 - Inspection, testing, and maintenance	Closed	
900-16 Fayette St E & Irving Ave	02/23/21	Violation	2020 FCNYS- - 903.5 - Testing and maintenance	Closed	
900-16 Fayette St E & Irving Ave	04/16/21	Permit Application	Sidewalk Cafe	Issued	PC-0142-21 Strong Hearts Cafe LLC submitting thier Sidewalk Cafe App for the 2021 Season..250 Sq Ft Sidewalk season is from 4/1 to 10/31. Business is allowed to set up cafe on a day-to-day basis after date permit was issued during good weather. Tables must not remain overnight on the sidewalk before and after the Sidewalk Cafe season.
900-16 Fayette St E & Irving Ave	04/26/21	Violation	SPCC 27-43 (e) (1)(2)(3)(4) Certification	Closed	
900-16 Fayette St E & Irving Ave	04/26/21	Inspection	Complaint Inspection	Fail	

City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	04/27/21	Permit	Sidewalk Cafe	Open	PC-0142-21 Strong Hearts Cafe LLC submitting thier Sidewalk Cafe App for the 2021 Season..250 Sq Ft Sidewalk season is from 4/1 to 10/31. Business is allowed to set up cafe on a day-to-day basis after date permit was issued during good weather. Tables must not remain overnight on the sidewalk before and after the Sidewalk Cafe season. Expires 10/31/2021
900-16 Fayette St E & Irving Ave	04/30/21	Inspection	Complaint Inspection	<None>	
900-16 Fayette St E & Irving Ave	05/05/21	Inspection	Safety Inspection	In Progress	
900-16 Fayette St E & Irving Ave	05/17/21	Inspection	Complaint Inspection	No Progress	
900-16 Fayette St E & Irving Ave	05/24/21	Completed Complaint	Smoke Alarm Certification	Completed	2021-08133
900-16 Fayette St E & Irving Ave	06/07/21	Completed Complaint	Fire Alarm	Completed	2021-09361 alarm reset prior to FD arrival
900-16 Fayette St E & Irving Ave	06/07/21	Inspection	Safety Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/05/21	Inspection	Safety Inspection	Pass	
900-16 Fayette St E & Irving Ave	08/24/21	Inspection	Safety Inspection	Pass	
900-16 Fayette St E & Irving Ave	09/24/21	Completed Complaint	Sprinkler System	Resolved	2021-05081 Sprinkler System
900-16 Fayette St E & Irving Ave	01/03/22	Permit Application	Com. Reno/Rem/Chg Occ	Holding For	45685 East Fayette Fitness Studio
900-16 Fayette St E & Irving Ave	01/04/22	Project	SP - Restaurant	Approved	SP-22-01 Establish a second restaurant (Buried Acorn)
900-16 Fayette St E & Irving Ave	02/03/22	Permit Application	Com. Reno/Rem/Chg Occ	Issued	45669 Buried Acorn Tap Room *****CO TYPED-AWAITING SIGNATURES 8/24/2022 ***CO ISSUED 9/6/2022
900-16 Fayette St E & Irving Ave	02/25/22	Complaint	Certificate of Compliance	x Issued	2022-01195 Certificate of Compliance 42 Apts 3 Com
900-16 Fayette St E & Irving Ave	02/25/22	Violation	SPCC SEC. 27-15	Open	

City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	03/17/22	Permit Application	Sidewalk Cafe	Issued	PC-0134-22 Strong Hearts Cafe LLC submitting thier Sidewalk Cafe App for the 2022 Season..250 Sq Ft Sidewalk season is from 4/1 to 10/31. Business is allowed to set up cafe on a day-to-day basis after date permit was issued during good weather. Tables must not remain overnight on the sidewalk before and after the Sidewalk Cafe season.
					Will Send Updated Ins in May - Updated 4/26/22
900-16 Fayette St E & Irving Ave	03/24/22	Permit	Sidewalk Cafe	Open	PC-0134-22 Strong Hearts Cafe LLC submitting thier Sidewalk Cafe App for the 2022 Season..250 Sq Ft Sidewalk season is from 4/1 to 10/31. Business is allowed to set up cafe on a day-to-day basis after date permit was issued during good weather. Tables must not remain overnight on the sidewalk before and after the Sidewalk Cafe season.
					Will Send Updated Ins in May - Updated 4/26/22 Expires 10/31/2022
900-16 Fayette St E & Irving Ave	03/24/22	Inspection	Complaint Inspection	No Progress	
900-16 Fayette St E & Irving Ave	03/25/22	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	03/25/22	Inspection	Fire Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	03/31/22	Inspection	Framing Before Enclosing	Pass	
900-16 Fayette St E & Irving Ave	04/02/22	Inspection	Safety Inspection	In Progress	
900-16 Fayette St E & Irving Ave	04/19/22	Permit Application	Sprinkler	Issued	46121 sprinkler system Buried Acorn Tap Room - 1st Floor
900-16 Fayette St E & Irving Ave	04/19/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	04/19/22	Inspection	Plan Review Notification	Pass	
900-16 Fayette St E & Irving Ave	04/20/22	Inspection	Plan Review Update	Pass	
900-16 Fayette St E & Irving Ave	04/21/22	Inspection	Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	04/25/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	04/27/22	Inspection	Framing Before Enclosing	In Progress	

City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	05/02/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	05/04/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	05/17/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	05/23/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	05/26/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	05/31/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	05/31/22	Inspection	Plan Review Notification	In Progress	
900-16 Fayette St E & Irving Ave	05/31/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/07/22	Inspection	Waterproofing Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/13/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/16/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/20/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	06/27/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/11/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/12/22	Inspection	Progress Inspection	In Progress	
900-16 Fayette St E & Irving Ave	07/18/22	Completed Complaint	Smoke Alarm Certification	Completed	2022-05746
900-16 Fayette St E & Irving Ave	07/20/22	Permit Application	Fire Alarm	Issued	46894 Buried Acorn Tap Room fire alarm
900-16 Fayette St E & Irving Ave	07/21/22	Inspection	Complaint Inspection	No Progress	
900-16 Fayette St E & Irving Ave	07/22/22	Inspection	Fire - Fire Alarm Acceptance Test	Pass	
900-16 Fayette St E & Irving Ave	07/26/22	Inspection	Final Fire Inspection	Pass	
900-16 Fayette St E & Irving Ave	07/27/22	Inspection	Final Inspection	Pass	
900-16 Fayette St E & Irving Ave	08/01/22	Inspection	Plan Review Notification	Pass	
900-16 Fayette St E & Irving Ave	08/17/22	Inspection	Fire Inspector Notification	In Progress	
900-16 Fayette St E & Irving Ave	08/22/22	Inspection	Fire - Fire Alarm Acceptance Test	Pass	
900-16 Fayette St E & Irving Ave	08/22/22	Inspection	Inspector Notification	Pass	
900-16 Fayette St E & Irving Ave	08/22/22	Completed Permit	Fire Alarm	Certificate Issued	46894 Buried Acorn Tap Room fire alarm Certificate of Completion #46894

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Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	08/24/22	Inspection	Codes Electric - Licensing	Pass	
900-16 Fayette St E & Irving Ave	08/24/22	Inspection	Codes - Licensing	Pass	
900-16 Fayette St E & Irving Ave	08/24/22	Inspection	Fire Prevention - Licensing	Pass	
900-16 Fayette St E & Irving Ave	08/26/22	Completed Permit	Sprinkler	Certificate Issued	46121 sprinkler system Buried Acorn Tap Room - 1st Floor Certificate of Completion #46121
900-16 Fayette St E & Irving Ave	08/26/22	Inspection	Final Inspection	Pass	
900-16 Fayette St E & Irving Ave	09/07/22	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	45669 Buried Acorn Tap Room *****CO TYPED-AWAITING SIGNATURES 8/24/2022 ***CO ISSUED 9/6/2022 Certificate of Occupancy #45669
900-16 Fayette St E & Irving Ave	09/12/22	Inspection	Complaint Inspection	In Progress	
900-16 Fayette St E & Irving Ave	09/13/22	Inspection	Complaint Inspection	In Progress	
900-16 Fayette St E & Irving Ave	10/18/22	Inspection	Complaint Inspection	Pass	
900-16 Fayette St E & Irving Ave	12/09/22	Inspection	Complaint Inspection	Fail	
900-16 Fayette St E & Irving Ave	12/09/22	Violation	2020 FCNYS- - 907.8.5 - Inspection, testing and maintenance	Closed	
900-16 Fayette St E & Irving Ave	12/19/22	Inspection	Complaint Inspection	No Progress	
900-16 Fayette St E & Irving Ave	12/21/22	Inspection	Complaint Inspection	No Progress	
900-16 Fayette St E & Irving Ave	01/03/23	Inspection	Complaint Inspection	In Progress	
900-16 Fayette St E & Irving Ave	01/12/23	Complaint	Cert of Use - Restaurant	x Issued	CU2022-0034 The Buried Acorn
900-16 Fayette St E & Irving Ave	01/31/23	Inspection	Complaint Inspection	In Progress	
900-16 Fayette St E & Irving Ave	03/06/23	Inspection	Complaint Inspection	No Progress	
900-16 Fayette St E & Irving Ave	03/30/23	Inspection	Complaint Inspection	In Progress	

City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	04/06/23	Permit Application	Sidewalk Cafe	Issued	PC-0133-23 Strong Hearts Cafe LLC submitting thier Sidewalk Cafe App for the 2023 Season..252 Sq Ft Sidewalk season is from 4/1 to 10/31. Business is allowed to set up cafe on a day-to-day basis after date permit was issued during good weather. Tables must not remain overnight on the sidewalk before and after the Sidewalk Cafe season.
900-16 Fayette St E & Irving Ave	04/14/23	Inspection	Complaint Inspection	No Progress	
900-16 Fayette St E & Irving Ave	04/17/23	Permit	Sidewalk Cafe	Open	PC-0133-23 Strong Hearts Cafe LLC submitting thier Sidewalk Cafe App for the 2023 Season..252 Sq Ft Sidewalk season is from 4/1 to 10/31. Business is allowed to set up cafe on a day-to-day basis after date permit was issued during good weather. Tables must not remain overnight on the sidewalk before and after the Sidewalk Cafe season. Expires 10/31/2023
900-16 Fayette St E & Irving Ave	05/03/23	Inspection	Complaint Inspection	No Progress	
900-16 Fayette St E & Irving Ave	06/01/23	Complaint	Cert of Use - Restaurant	x Issued	CU2019-0012 Stong Hearts Cafe
900-16 Fayette St E & Irving Ave	06/21/23	Inspection	Codes - Licensing	Pass	
900-16 Fayette St E & Irving Ave	06/21/23	Inspection	Codes Electric - Licensing	Pass	
900-16 Fayette St E & Irving Ave	06/21/23	Inspection	Fire Prevention - Licensing	Pass	
900-16 Fayette St E & Irving Ave	09/25/23	Violation	SPCC 27-43 (e) (1)(2)(3)(4) Certification	Closed	
900-16 Fayette St E & Irving Ave	09/25/23	Inspection	Complaint Inspection	Fail	
900-16 Fayette St E & Irving Ave	10/10/23	Completed Complaint	Smoke Alarm Certification	Completed	2023-06092
900-16 Fayette St E & Irving Ave	10/24/23	Completed Complaint	Fire Alarm	Completed	2022-10587 Fire alarm in trouble - not working properly
900-16 Fayette St E & Irving Ave	10/24/23	Inspection	Complaint Inspection	Pass	
900-16 Fayette St E & Irving Ave	02/27/24	Project	Minor Site Plan Review	On Hold	MiSPR-24-12 Build out for new grocery store.

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Address	Date	Transaction	Transaction Type	Status	Description
900-16 Fayette St E & Irving Ave	03/20/24	Project	SP - Other	In Review	SP-24-07 Special Use Permit Application for a Food and Beverage, Retail use.
900-16 Fayette St E & Irving Ave	04/12/24	Permit Application	Sidewalk Cafe	Issued	PC-0191-24 Strong Hearts Cafe LLC submitting thier Sidewalk Cafe App for the 2023 Season..252 Sq Ft Sidewalk season is from 4/1 to 10/31. Business is allowed to set up cafe on a day-to-day basis after date permit was issued during good weather. Tables must not remain overnight on the sidewalk before and after the Sidewalk Cafe season.
900-16 Fayette St E & Irving Ave	04/22/24	Permit	Sidewalk Cafe	Open	PC-0191-24 Strong Hearts Cafe LLC submitting thier Sidewalk Cafe App for the 2023 Season..252 Sq Ft Sidewalk season is from 4/1 to 10/31. Business is allowed to set up cafe on a day-to-day basis after date permit was issued during good weather. Tables must not remain overnight on the sidewalk before and after the Sidewalk Cafe season. Expires 10/31/2024



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: 900 East Fayette Group LLC % Geiger Property Management
From: Cristian Toellner, Zoning Planner
Date: 4/30/2024 4:31:08 PM
Re: SP - Other SP-24-07
900-16 Fayette St E & Irving Ave, Syracuse, 13210

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Engineering - Design & Construction	Approved	04/05/2024	John Kivlehan	No objection to special use permit - improvements/use is all interior
DPW - Transportation Planner	Internal Review Complete	04/03/2024	Neil Milcarek-Burke	Revised plans needed. Applicant to identify mitigation for grass snow storage between curb and walk. Adjacent storefront in building shows wearing of grass to bare earth.
Zoning Planner	On Hold	04/30/2024	Zhitong Wu	On hold for CPC and Common Council's approval. No concerns. The proposed use requires a Certificate of Use Business License from the City of Syracuse; No beer and/or wine sales are allowed for consumption on the premises; and No drive-through /drop-off windows are allowed.
Planning Commission	Pending	03/28/2024		
Common Council	Pending	03/28/2024		
Eng Sewers- Zoning	Internal Review Complete	04/05/2024	John Kivlehan	No objection to Special Use permit no food prep, so no sewer changes needed.
Fire Prevention - Zoning	Internal Review Complete	04/01/2024	Elton Davis	Construction, alteration, or demolition shall adhere to applicable sections of the 2020 FCNYS and the 2020 BCNYS.
Onondaga Co Planning Board	Approved	04/10/2024	Cristian Toellner	OCPB has no position