

Old Business

SP-24-06 – deliberate on SEQR

The CPC can deliberate and vote on SEQR. During the last public hearing 4/15/24, the CPC made a motion to hold the project decision for further deliberation after the BZA makes a determination on the companion use variance. SEQR was not deliberated on during the last public hearing which is why the item is before the CPC again.

Z-2865 – deliberate on recommending this item to Common Council

The Zoning Map Amendment for 321-23 Cortland Ave. and 323 Cortland Ave. (rear) is part of the larger Bishop Jones Community Residence project. The CPC did not recommend this Zoning Map Amendment to the Common Council which is the subject of why this item is before the CPC again. The Planning Commission deliberated on the SEQR for the entire Bishop Jones Community Residence Project and found the determination of significance to be a negative declaration.



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>SP-24-06</i>	<i>Staff Report – April 15, 2024</i>
<i>Application Type:</i>	Special Use Permit
<i>Project Address:</i>	1133-37 Salina St. S & Raynor Ave. E (Tax Map ID: 094.-19-11.0)
<i>Summary of Proposed Action:</i>	The applicant proposes to remove the on-site automobile repair use and expand the existing on-site convenience store into the space used for the automobile repair. The applicant also proposes to establish 6 on-site vehicle parking spaces (including 1 ADA parking space).
<i>Owner/Applicant</i>	Mark E Mondo (Owner) James Owen, JM Owen Design, LLC (Applicant)
<i>Existing Zone District:</i>	Mixed-Use Transition, MX-3 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north, east and west are the Mixed-Use Transition, MX-3 Zone District, and to the south is within the Neighborhood Center, MX-2 Zone District.
<i>Companion Application(s)</i>	MiSPR-24-14: interior and exterior build-out for an on-site convenience store.
<i>Scope of Work:</i>	Change the use in the space for auto repair services to a convenience store (retail use). Interior build-out for the convenience store includes eliminating 2 service repair bays and installing appliances for the store. Exterior build-out includes replacing the siding, installing new windows and doors, and establishing 6 on-site vehicle parking spaces.
<i>Staff Analysis:</i>	<p><u>Factors:</u></p> <ul style="list-style-type: none"> - This proposal converts the nonconforming auto repair use into a conforming retail use. - Less pollution is expected to be caused by the convenience store than the auto repair use. - The provided bike parking spaces provides convenience to the nearby bike trail. - The location of the proposed parking spaces does not conform to the Zoning Ordinance, no parking is allowed between the front façade of the building and the primary street frontage, which corner lots also have two primary street frontages. - The subject property is located in a flood plain area, while this property has impervious coverage at almost 100%. - The impervious surface coverage is a legal non-conforming site feature because previous Special Use Permits approved site plans that covered the entire lot. - They are required to apply for a Use Variance to allow parking within the front setbacks. <p><u>Suggested Conditions:</u></p> <ul style="list-style-type: none"> - Vehicles parking shall not encroach into the sidewalks. - Buffers (landscaped or fencing) shall be provided to prevent cars from parking on the sidewalk and within the ROW along E. Raynor St.
<i>Zoning Procedural History:</i>	<ul style="list-style-type: none"> - SP-76-11 Special Use Permit. Initial approval to convert all pump islands from regular to full service. Approved on 4/27/1976 by CPC. - SP-76-11 Special Use Permit. Non-substantial change to convert full-service gas station to self-service gas station and install signs. Approved on 8/3/1976 by CPC. - SP-76-11 Special Use Permit. Non-substantial change to install a

SP-24-06

	13.5-foot-high pump island canopy. Approved on 3/1/1977 by CPC.
Summary of Zoning History:	All the pump islands of gas station at 1133-37 Salina St S & Raynor Ave E were converted into full service in 1976. 2 months after the approval, the gas station was converted into a self-service gas station. In 1977, the installation of a pump island canopy for the gas station was approved.
Code Enforcement History:	See attached code enforcement history.
Zoning Violations:	<ul style="list-style-type: none">- The proposed parking spaces are located between the building's front façade and public right-of-way in MX Zone District, which is prohibited by ReZone, Art. 4, Sec. 4.4F(4)c.
Summary of Changes:	This is not a continued application.
Property Characteristics:	The subject property is regular in shape with 100.00 feet of frontage on South Salina Street and 89.70 feet of frontage on East Raynor Street.
SEQR Determination:	Pursuant to the 6 NYCRR §617.5(c)(18), the proposal is a Type II Action.
Onondaga County Planning Board Referral:	Pursuant to GML §239-1, m and n, the proposal meets the criteria to be referred to the Onondaga County Planning Board. The Board has no opposition against the proposal but has following comments: <ul style="list-style-type: none">- The Board strongly encourages the City and applicant to work to minimize pavement and to incorporate green infrastructure where possible, in order to minimize stormwater runoff from such an intensely impervious surface

Application Submittals: The application submitted the following in support of the proposed project:

- Special Use Permit application
- Short Environmental Assessment Form Part 1
- Property survey map. Location Survey in Part of Block 386, City of Syracuse. Known as 1127 South Salina Street, 1044 Montgomery Street, 1046 Montgomery Street & 113 East Raynor Street or 1058 Montgomery Street, City of Syracuse, County of Onondaga, New York; Licensed Land Surveyor: Douglas R. Lehr, LEHR Land Surveyors D.P.C.; Scale: 1" = 20', Drawn by: GCH; Date: 12/14/2023.
- Site Plan (Sheet A0.2), prepared by JM Owen Design, LLC; Scale: 1" = 20'; Date 4/4/2024.
- Floor Plan (Sheet A1 to A3), prepared by JM Owen Design, LLC; Scaled as noted; Date 4/4/2024.
- Elevation Plan (Sheet A3), prepared by JM Owen Design, LLC; Scale: 1/4" = 1'; Date 4/4/2024.

Attachments:

Special Use Permit Application

Short Environmental Assessment Form Part 2 & Part 3

OCPB comments

Code Enforcement History

IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property

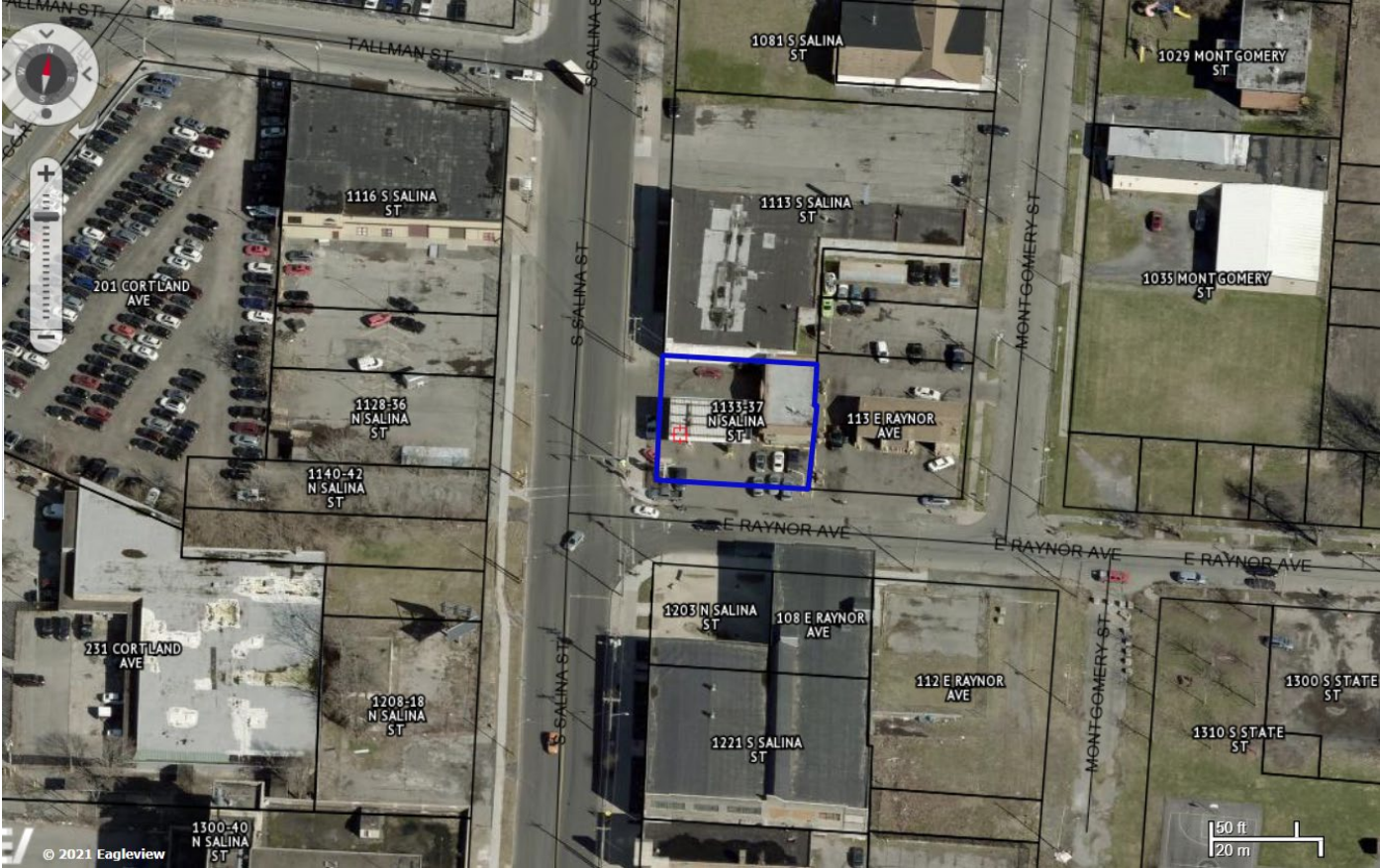


Image Source: EagleView US, <https://explorer.eagleview.com/index.php>

Special Use Permit Application



For Office Use Only

Zoning District: _____

Application Number: SP- _____ - _____

Date: _____

Office of Zoning Administration
 One Park Place, 300 S State St,
 Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syr.gov.net

Special Use Permit Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name: Ed Mondo's		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 1133-37 Salina St S (aka 1127 S Salina St)		
Lot numbers:	Block number:	Lot size (sq. ft.) 8,970
Current use of property: gas station/retail & auto repair		Proposed: gas station/retail
Current number of dwelling units (if applicable): n/a		Proposed: n/a
Current hours of operation (if applicable): 5am-12am		Proposed: 5am-12am
Current onsite parking (if applicable): 3+6 at gas pumps		Proposed: 6+6 at gas pumps
Zoning (base and any overlay) of property: MX-3		
Companion zoning applications (if applicable, list any related zoning applications):		
Has the owner obtained a certificate of use: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size:	Type:	Location:
Size:	Type:	Location:
Nature and extent of Special Use requested (attach additional pages if necessary):		



Site Plan Review Application

Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

Print owner's name: MARK E MONDO
Signature: [Signature] Date: 03/01/2024
Mailing address: 4901 MACgregor LANE
Print authorized agent's name: James Owen Date: 02/26/2024
Signature: [Signature]
Mailing address: 207 Maple Dr, Fayetteville, NY 13066

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- APPLICATION - filled out completely, dated, and signed by property owner as instructed
STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR) - Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
PHOTOGRAPHS (COLOR) of the PROJECT SITE - keyed to a property survey or site plan
PHOTOGRAPHS (COLOR) of the STREETScape - including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
APPLICATION FEE - \$0

Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, separate site plan review applications must be submitted for each project site. Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below:

- AS BUILT PROPERTY SURVEY(S) of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
SITE PLAN(S) illustrating site alterations and post project conditions that are/will be different from the as built property survey including:
- Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
- Demolitions and post demolition conditions
- Structures
- Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage

Short Environmental Assessment Form

Part 1 - Project Information

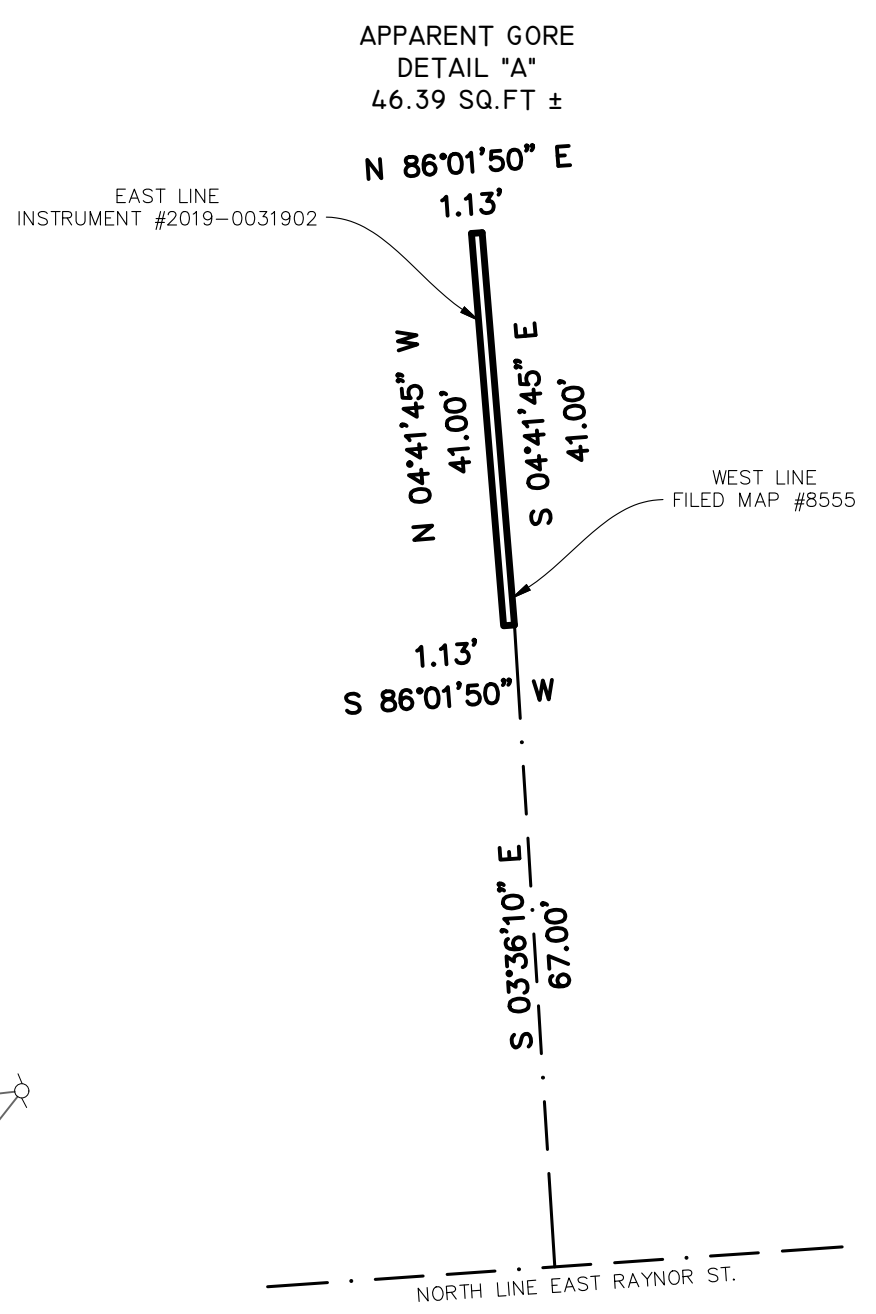
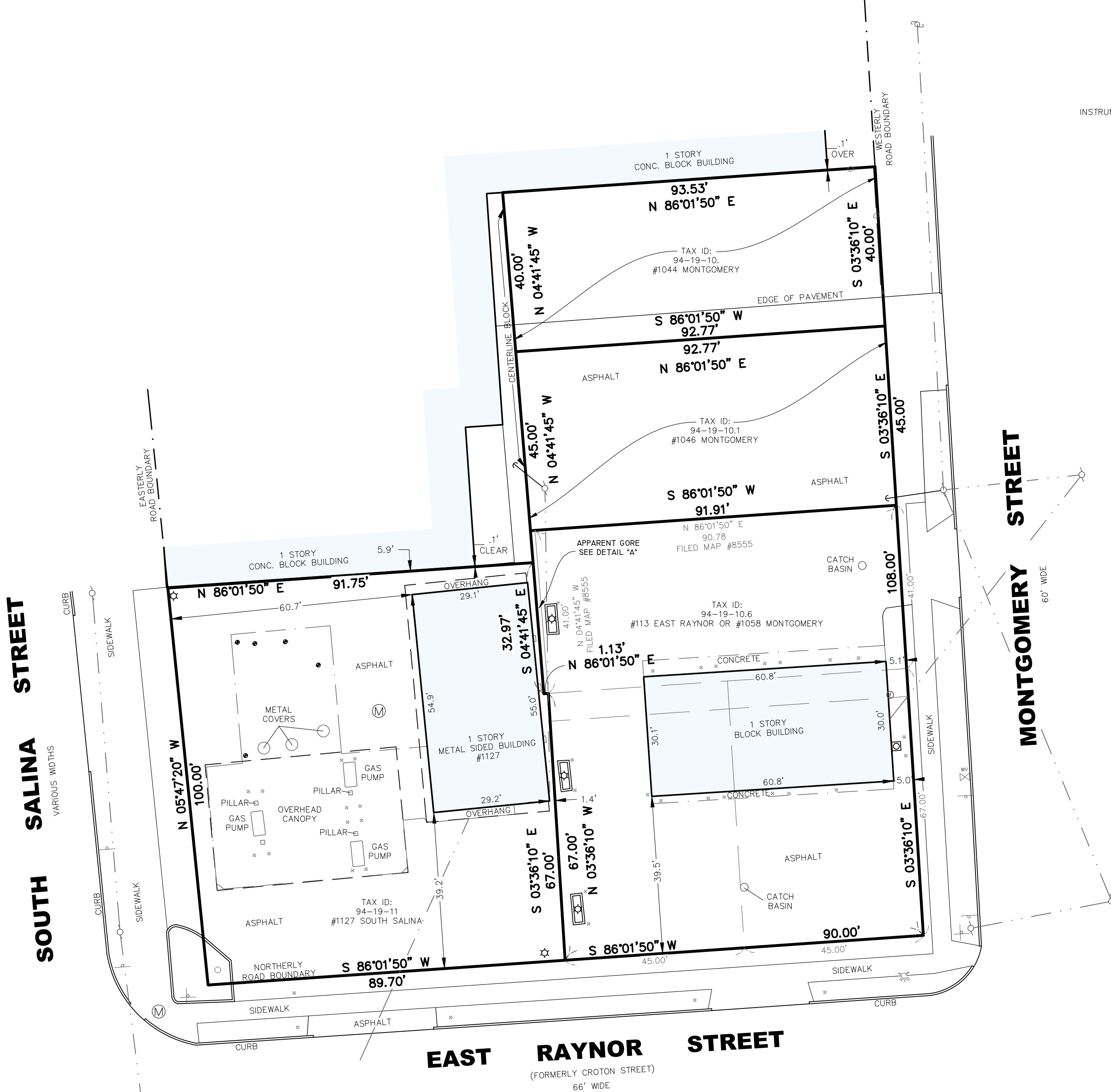
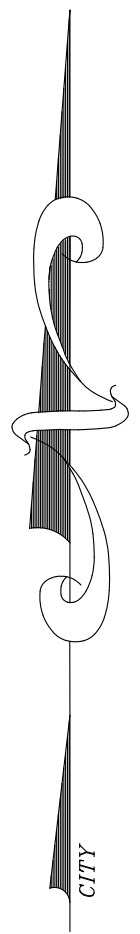
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 1127 S SALINA ST IMPROVEMENTS			
Project Location (describe, and attach a location map): 1127 S SALINA ST, SYRACUSE, NY			
Brief Description of Proposed Action: ALTERATIONS TO EXISTING GAS STATION/RETAIL WITH AUTO REPAIR SERVICE. ALTERATIONS INCLUDE ELIMINATING 2 SERVICE REPAIR BAYS AND EXPAND EXISTING RETAIL INTO THAT AREA. ADDITIONAL WORK INCLUDES EXTERIOR FACADE IMPROVEMENTS AND PROVIDE ADDITIONAL ONSITE PARKING SPACES. NO OTHER ALTERATIONS ARE PROPOSED TO SITE.			
Name of Applicant or Sponsor: JAMES OWEN		Telephone: 315 952-6652	
		E-Mail: JAMES@JMOWENDESIGN.COM	
Address: 207 MAPLE DR			
City/PO: FAYETTEVILLE		State: NY	Zip Code: 13066
1. <u>Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?</u>		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. <u>Does the proposed action require a permit, approval or funding from any other government Agency?</u>		NO	YES
If Yes, list agency(s) name and permit or approval: CITY OF SYRACUSE BUILDING PERMIT		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. <u>Total acreage of the site of the proposed action?</u>		.206 acres	
b. <u>Total acreage to be physically disturbed?</u>		0 acres	
c. <u>Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?</u>		.614 acres	
4. <u>Check all land uses that occur on, are adjoining or near the proposed action:</u>			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. <u>A permitted use under the zoning regulations?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. <u>Consistent with the adopted comprehensive plan?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. <u>Is the proposed action consistent with the predominant character of the existing built or natural landscape?</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. <u>Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</u> If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. <u>Will the proposed action result in a substantial increase in traffic above present levels?</u> b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. <u>Does the proposed action meet or exceed the state energy code requirements?</u> If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. <u>Will the proposed action connect to an existing public/private water supply?</u> If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. <u>Will the proposed action connect to existing wastewater utilities?</u> If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. <u>Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</u> b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



Only survey maps with the Land Surveyor's embossed seal are genuine true and correct copies of the surveyor's original work and opinion.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

Certifications indicated hereon shall apply only to the persons for whom this survey was performed and on their behalf to the title insurance company governing agency and lending institution and to the assignees of the lending institution and/or subsequent owners.

This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain insurance for any subsequent or future grantees.

Survey prepared without the benefit of an abstract.

Location surveys do not include the staking of the property corners except as shown.

No.	DATE	DESCRIPTION	BY

LEHR
LAND SURVEYORS D.P.C.

9310162
116 SALINA STREET - SUITE 6
LIVERPOOL, NEW YORK 13088
315-451-3333
info@ehrlandsurveyors.com

I HEREBY CERTIFY THAT THIS IS AN ACCURATE MAP MADE FROM AN ACTUAL SURVEY.

DOUGLAS R. LEHR NYSLs 49223

LOCATION SURVEY IN PART OF BLOCK 386, CITY OF SYRACUSE			
KNOWN AS 1127 SOUTH SALINA STREET, 1044 MONTGOMERY STREET, 1048 MONTGOMERY STREET & 113 EAST RAYNOR STREET OR 1058 MONTGOMERY STREET, CITY OF SYRACUSE, COUNTY OF ONONDAGA, NEW YORK			
FIELD DATE: 05 DECEMBER 2023	MAP DATE: 14 DECEMBER 2023	SCALE: 1"=20'	DRAWN BY: GCH
REVISIONS:		DRAWING No. 23-K-29 *C*	

MONDO'S SOUTH SIDE GAS & CONVENIENCE STORE



PROJECT NAME
MONDO'S CONVENIENCE STORE
 Alterations

PROJECT ADDRESS
 1127 S. Salina Street
 Syracuse, New York

ARCHITECT OF RECORD
 Rod VanDerWater, P.C.
 7515 Morgan Road - Liverpool, NY

DRAWING ISSUE
 Issued: _____ Date: _____
 CLIENT REVIEW 02/8/24
 BUILDING PERMIT 02/14/24
 BUILDING PERMIT rev 03/19/24
 rev SITE PLAN REVIEW 04/04/24

SHEET INFORMATION
 Project Date: 11/09/2023
 Project No.: 23.062
 Drawn By: JO

PAGE TITLE
 TITLE SHEET + CODE
 REVIEW

A0

PROJECT DIRECTORY

OCCUPANT:
 MONDOS SOUTHSIDE SERVICE, LLC
 1127 S SALINA STREET
 SYRACUSE, NY 13202
 O. 315 475-7434

DESIGNER:
 JM OWEN DESIGN, LLC
 207 MAPLE DRIVE
 FAYETTEVILLE, NY 13066
 O. 315 952-6652

CONTRACTOR:
 TBD

ARCHITECT OF RECORD:
 ROD VanDerWater, PC
 7515 MORGAN ROAD
 LIVERPOOL, NY 13090
 O. 315 472-9848

CODE INFORMATION

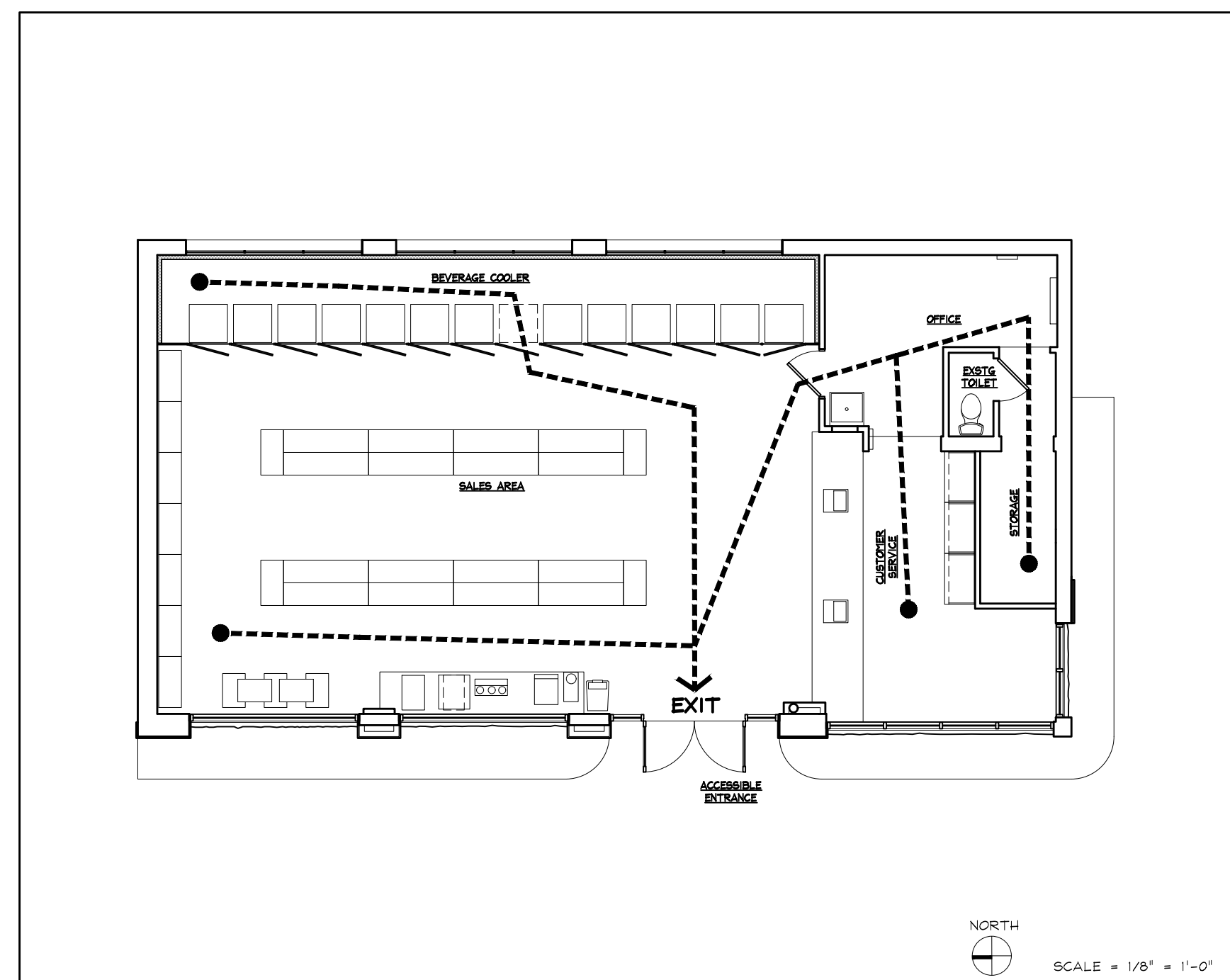
MUNICIPALITY: CITY OF SYRACUSE, NEW YORK

SCOPE OF WORK: LEVEL 2 ALTERATIONS TO EXISTING SINGLE TENANT, SINGLE STORY MASONRY DETACHED BUILDING. ALTERATIONS ARE TO INCLUDE NEW INTERIOR PARTITIONS, NEW FINISHES INCLUDE FLOOR, WALL, CEILING FINISHES. NEW EQUIPMENT WILL INCLUDE BEVERAGE COOLERS, MERCHANDISE GONDOLAS, COFFEE SERVICE COUNTER & A CUSTOMER SERVICE COUNTER. ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING & LIFE SAFETY SYSTEMS TO BE AUGMENTED AS REQUIRED BY NEW TENANT LAYOUT.

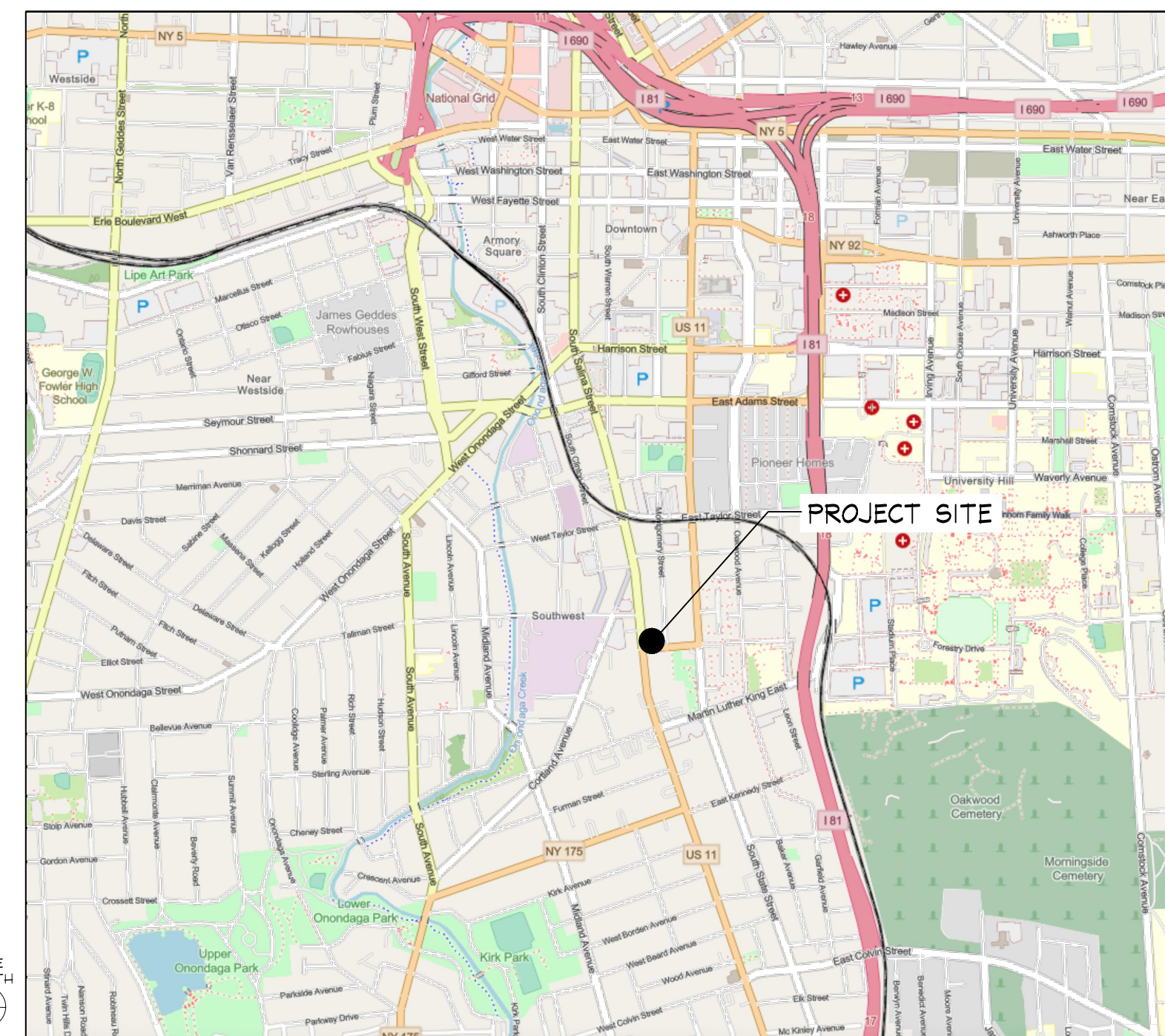
CODES: 2020 EXISTING NYS BUILDING CODE, 2020 NYS BUILDING CODE, 2017 ANSI A117.1 HANDICAPPED CODE, 2020 NYS FIRE CODE, 2020 NYS PLUMBING CODE, 2020 NYS MECHANICAL CODE AND 2020 NYS ENERGY CONSERVATION CODE

CODE REVIEW	REFERENCE	PROVIDED	REQ'D / ALLOWED
TENANT AREA:		APPROX. 1,425 USABLE SF	
CONSTRUCTION TYPE:	BC601	TYPE III-A PROTECTED	
USE GROUP - PARTIAL CHANGE OF USE:	BC309	"M" MERCANTILE	"M" MERCANTILE
OCCUPANT LOAD:	BC1004.5	TOTAL = 19 OCC	TOTAL = 19 OCC MERCANTILE: 1,019sf/60 = 17 OFFICE: 113sf/150 = 1 STORAGE: 293sf/300 = 1
PARTIAL CHANGE OF OCCUPANCY:	EBC1001.2.2.1		
WITHOUT SEPARATION:	EBC1011.1.1.1		
AUTOMATIC SPRINKLER SYSTEM:	BC903.2.7	NO	NO
FIRE ALARM SYSTEM:	BC907.2.7	NO	NO
CARBON MONOXIDE DETECTION:	FC915.3	YES	YES
NUMBER OF EXITS:	EBC801.3/BC1006.2.1	1 ACTUAL	1 REQUIRED
TRAVEL DISTANCE:	BC1006.2.1	APPROX. 50'	75' MAX. ALLOWED
EGRESS COMPONENT WIDTH:	BC1005.3.2	72" ACTUAL	19 x 0.2= 3.2" ALLOWED
ENERGY CONSERVATION:	EBC810	NEW STOREFRONT WINDOWS & DOORS COMPLY EXISTING INSULATION @ WALL & CLG TO REMAIN WALL & CLG FINISHES @ WORK AREA TO REMAIN	
PLUMBING FIXTURES:	PC403.2	1 - EXST'G UNISEX	1 - UNISEX

EGRESS DIAGRAM



LOCATION MAP



DRAWING INDEX

#	SHEET	DESCRIPTION	ISSUED	REVISED	PERMIT
1.	A0	COVER SHEET	02/08/24		02/14/24
2.	A0.1	GENERAL NOTES	02/08/24		02/14/24
3.	A0.2	SITE PLAN	02/08/24	04/04/24	02/14/24
4.	A1	CONSTRUCTION & DEMOLITION PLANS	02/08/24		02/14/24
5.	A2	REFLECTED CEILING PLAN	02/08/24		02/14/24
6.	A3	EQUIPMENT PLAN & POWER PLAN EXTERIOR ELEVATIONS	02/08/24	03/19/24	02/14/24

GENERAL NOTES

SUBSTITUTIONS AND QUALIFICATIONS:

- ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITHOUT SUBSTITUTION OR ALTERATION. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ETC. (WHICH IN THE GENERAL CONTRACTOR'S OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND TENANT. IF THE GENERAL CONTRACTOR DOES NOT IDENTIFY AND RECEIVE TENANT APPROVAL FOR SUBSTITUTIONS, THEN THE TENANT RETAINS THE RIGHT TO DEMAND THAT THE PRODUCTS OR CONSTRUCTION METHOD ORIGINALY SPECIFIED BE INSTALLED WITHOUT ADDITIONAL EXPENSE TO THE TENANT.
- PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR AND APPROPRIATE SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT FIELD CONDITIONS AND REQUIREMENTS AFFECTING THE WORK. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR THE GENERAL CONTRACTOR'S OR SUBCONTRACTOR'S FAILURE TO COMPLY WITH THE REQUIREMENT.

GENERAL REQUIREMENTS:

- CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANYTIME WITHOUT APPROVED CONTRACT DOCUMENTS.
- THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE LEGAL PROPERTY OF JIM OWEN DESIGN & RAY ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS SHALL NOT BE USED BY OWNER, TENANT OR OTHERS FOR ALTERNATE OR FUTURE PROJECTS OR EXTENSIONS TO THE PROJECT, NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AN AGREEMENT IN WRITING WITH JIM OWEN DESIGN & RAY ARCHITECT.
- IT IS THE INTENT AND MEANING OF THE CONTRACT DOCUMENTS THAT THE CONTRACTOR SHALL PROVIDE AN INSTALLATION THAT IS COMPLETE AND ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLY INCIDENTAL, OR CUSTOMARILY INCLUDED EVEN THOUGH EACH AND EVERY ITEM IS NOT SPECIFICALLY CALLED OUT OR SHOWN.
- CONTRACTOR SHALL COORDINATE ALL ARCHITECTURAL, MECHANICAL, TELEPHONE, ELECTRICAL (INCLUDING LIGHTING) AND PLUMBING TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT IS PROVIDED.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS AND ALIGNMENTS SHALL GOVERN. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED BECAUSE OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS, UNLESS THEY CONTRIBUTE TO A CHANGE IN THE SCOPE OF THE WORK. ANY DIFFERENCES WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR DECISION PRIOR TO PROCEEDING WITH THE WORK. HORIZONTAL DIMENSIONS INDICATED ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE. VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES.

- THE GENERAL CONTRACTOR SHALL ALSO PROVIDE A SCHEDULE OF REQUIRED SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT AND TENANT. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT WITH TWO (2) SETS OF PRINTS. THE GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S CUT SHEETS AND/OR SHOP DRAWINGS FOR THE ARCHITECT'S REVIEW AND APPROVAL INCLUDING BUT NOT LIMITED TO THE FOLLOWING: SHOP FABRICATED MILLWORK; DOORS, FRAMES, HARDWARE; FABRIC CANOPY AND ASSOCIATED STRUCTURE; CARPET SEAMING DIAGRAMS; STEEL HANDRAILS/GUARDRAILS; MECHANICAL EQUIPMENT AND DIGITAL LAYOUT; ROOFING MANUFACTURER'S SPECIFICATIONS, DETAILS AND WARRANTY; SPRINKLER LAYOUT; ALUMINUM AND GLASS STOREFRONT; LIGHTING FIXTURES, AND PLUMBING FIXTURES.

CONTRACTOR WILL APPOINT ONE SPECIFIC INDIVIDUAL FOR LIAISON WITH TENANT REPRESENTATIVE AND ARCHITECT.

THE WORK SHALL BE DONE IN ACCORDANCE WITH ALL RULES AND REGULATIONS OF APPLICABLE SAFETY AND BUILDING CODES AS WELL AS THE AMERICAN STANDARDS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES. ALL MATERIALS AND SYSTEMS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND ALL CONSTRUCTION SHALL BE OF INDUSTRY STANDARD QUALITY OR BETTER. THE ARCHITECT SHALL BE ULTIMATE JUDGE OF QUALITY AS STATED IN AIA DOCUMENT A201 AND SHALL COORDINATE SUCH WITH THE TENANT.

THE GENERAL CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCES OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.

THE GENERAL CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OF GOVERNING CODES, ORDINANCES, ETC. REQUIRE INCREASED QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.

THE GENERAL CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY, AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.

CONTRACTOR IS RESPONSIBLE FOR RECEIVING AND ON-SITE STORAGE OF ALL SOFT-GOODS AND EQUIPMENT (SMALL WARES, ETC.) DURING REGULAR CONSTRUCTION HOURS.

GENERAL CONTRACTOR SHALL NOTIFY THE TENANT IN WRITING OF ANY DEFICIENCIES IN BASE BUILDING WORK PRIOR TO THE COMMENCEMENT OF THE WORK. ANY UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR, AND SHALL PROVIDE, PROTECTION FOR ANY EXISTING FINISHES TO REMAIN. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK, AND SCHEDULE THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT SPACES AND/OR STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.

ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS, WHEN POSSIBLE. UPON COMPLETION OF THE WORK, REMOVE ALL DEBRIS FROM THE BUILDING CREATED BY WORK PROVIDED UNDER THIS CONTRACT AND LEAVE ALL AREAS CLEAN.

THE GENERAL CONTRACTOR SHALL PROVIDE NEW FIRE EXTINGUISHERS, NEW RECESS CABINETS, AND ASSOCIATED FRAMING AND DRYWALL FINISHING (AS REQUIRED) TO FULLY COMPLY WITH APPLICABLE LOCAL BUILDING CODES. LOCATIONS TO BE COORDINATED IN THE FIELD WITH THE ARCHITECT. THE GENERAL CONTRACTOR SHALL SUBMIT MANUFACTURER PRODUCT DATA FOR THE ARCHITECT APPROVAL PRIOR TO ORDERING CABINETS.

CONTRACTOR SHALL CONTROL NOISE PRODUCING ITEMS (STEREOS) AT ALL TIMES. CONTRACTOR TO INSTALL ALL ARTWORK & DECOR, INCLUDING WALL HUNG FIGURES.

CONTRACTOR SHALL FURNISH FIRE-RETARDANT-TREATED PLYWOOD IN ALL ENCLOSED SPACES.

MILLWORK NOTES:

- ALL MILLWORK SHALL BE FABRICATED AND INSTALLED BY A QUALIFIED MILLWORK CONTRACTOR WITH EXPERIENCE IN COMMERCIAL APPLICATIONS, SIMILAR TO THE SCOPE OF THIS JOB.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING AT THE REQUIRED LOCATIONS FOR ALL WALL MOUNTED SHELVING, TABLES, ETC. NO EXTRA FEES WILL BE ENTERTAINED FOR LACK OF COORDINATION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HARDWARE CATALOGUE CUTS OF ALL MILLWORK AND HARDWARE FOR REVIEW BY THE ARCHITECT AND IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. SHOP DRAWINGS SHALL BE AT A LARGE SCALE, SUFFICIENT TO INDICATE TO THE ARCHITECT THE METHOD AND MEANS OF CONSTRUCTION, INCLUDING JOINT LOCATIONS & DETAILS. FABRICATION OF MILLWORK SHALL NOT PROCEED UNTIL SHOP DRAWINGS HAVE BEEN APPROVED BY THE ARCHITECT. SHOP DRAWINGS SHALL BE SUBMITTED WITH TWO (2) SETS OF PRINTS AND ONE (1) SET OF REPRODUCIBLE SEPIAS.
- THE METHOD OF MANUFACTURING, FABRICATING AND INSTALLING MILLWORK, EQUIPMENT, AND ITS STRUCTURAL COMPONENTS DEFINED IN THE CONTRACT DOCUMENTS IS REPRESENTATIVE AND INDICATE DESIGN INTENT ONLY. IF THE MATERIALS, DETAILS OR DIMENSIONAL PROPERTIES ARE AT VARIANCE WITH THE GENERAL CONTRACTOR'S OR MANUFACTURER'S RECOMMENDATIONS, ALTERNATE DETAILS WILL BE CONSIDERED FOR REVIEW BY THE ARCHITECT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO GUARANTEE THAT THE MILLWORK AND EQUIPMENT WILL HAVE PROPER SUPPORT, STABILITY AND FAULT-FREE PERFORMANCE. ALL WORK SHALL CONFORM TO AMERICAN WOODWORKING INSTITUTE (AWI) STANDARDS FOR PREMIUM CONSTRUCTION. ANY SUBSTITUTIONS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND TO VERIFY DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT.

ONLY EXPOSED HARDWARE IS SPECIFIED IN THIS DOCUMENT. THE GENERAL CONTRACTOR BY THE ARCHITECT, SHALL SUPPLY ALL OTHER NECESSARY HARDWARE TO COMPLETE THE WORK. ALL UNSPECIFIED HARDWARE SHALL BE OF THE HIGHEST QUALITY AND DURABILITY. THE GENERAL CONTRACTOR SHALL PROVIDE CATALOGUE CUTS OF ALL HARDWARE FOR REVIEW BY THE ARCHITECT.

WOOD CABINETS, COUNTERTOPS, TRIM, AND RAILS ARE TO COMPLY WITH CURRENT AWI "WOOD CABINET" DIVISIONS AND SECTIONS AND ALL OTHER APPLICABLE AMERICAN WOODWORKING INSTITUTE STANDARDS (AWI), ALL LUMBER, PLYWOOD, BLOCKING, ETC. SHALL BE FIRE RETARDANT WHERE REQUIRED BY LOCAL BUILDING CODES, AS INTERPRETED BY THE LOCAL CODE OFFICIAL.

INSTALL MILLWORK TO BE PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. PROVIDE ALL REQUIRED BLOCKING AT NEW OR EXISTING CONSTRUCTION FOR INSTALLATION OF MILLWORK. SCRIBE AND CUT MILLWORK TO FIT TIGHTLY ADJOINING WORK. PROVIDE SEALANT AT ALL GAPS. ALL EXPOSED ANCHORS, NAIL HEADS, SCREW HEADS, SHIMS, INDENTATIONS OR IMPRESSIONS IN WOOD SURFACES TO BE PAINTED SHALL BE FILLED, SANDED, SEALED AND PREPARED FOR PAINTING.

DOOR AND MILLWORK NOTES:

- PROVIDE ALL HARDWARE, DOOR PULLS, HINGES, CLOSERS, ELECTRO-MAGNETIC DEVICES, WEATHER-STRIPPING ETC. REQUIRED TO PROVIDE A FULL AND COMPLETE INSTALLATION.
- CONTRACTOR SHALL PROVIDE A HARDWARE SCHEDULE AND CATALOGUE CUTS FOR ALL FINISH HARDWARE FOR APPROVAL BY THE ARCHITECT.
- ALL KNOBS, PULLS, AND LOCKS ARE TO BE PROVIDED BY BEST ACCESS SYSTEMS IN MATCHING FINISHES AND DESIGNED TO ACCEPT A T PIN, INTERCHANGEABLE LOCK CODE. ALL HINGES AND OTHER MISCELLANEOUS EXPOSED HARDWARE TO BE IN SIMILAR AND COMPLETE FINISHES. TYPICAL FINISHES FOUND ON DOOR SCHEDULE.
- PROVIDE THREE (3) HINGES PER DOOR TYPICALLY, UNLESS THE WEIGHT OR SIZE OF THE DOOR REQUIRES ADDITIONAL HINGES.
- PROVIDE SILENCERS AT ALL METAL FRAME DOORS. PROVIDE WALL OR FLOOR MOUNTED DOOR STOPS AT ALL DOORS. (INSURE ADEQUATE BLOCKING FOR WALL MOUNTED STOPS) SUBMIT TO ARCHITECT FOR APPROVAL.

PARTITIONS:

- ALL DRYWALL WORK SHALL BE DONE BY A QUALIFIED INSTALLER WITH EXPERIENCE IN COMMERCIAL APPLICATIONS SIMILAR IN SCOPE TO THIS JOB. ALL PARTITIONS ARE DIMENSIONED FROM FINISHED FACE OF GYPSUM WALL BOARD TO FINISHED FACE, UNLESS OTHERWISE NOTED.
- AT ALL NON-RATED PARTITIONS AND CEILINGS, GYPSUM WALL BOARD SHALL BE 1/2" THICK, ASTM C-36. ALL PARTITIONS, CORNER TRIM, EDGE TRIM AND JOINTS TO EXISTING DRYWALL SURFACES SHALL BE TAPED, BEDED IN JOINT COMPOUND AND SANDED SMOOTH WITH NO VISIBLE JOINTS. GALVANIZED METAL BEADS SHALL BE USED AT ALL EXPOSED CORNERS, EDGES, AND REVEALS.
- PROVIDE ACOUSTICAL BATT INSULATION AND ACOUSTICAL SEALANT AT ALL ACOUSTICAL PARTITIONS. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS AND SET METAL RUNNERS IN A BEAD OF SEALANT.
- ALL PARTITIONS AND DOOR JAMBS SHALL BE BRACED TO THE UNDERSIDE OF STRUCTURE ABOVE. ALL WOOD BLOCKING TO BE FIRE RESISTANT TREATED WHERE REQUIRED.
- ALL WALL LOCATIONS TO BE FULLY CHALKED-OUT ON THE SLAB (INCLUDING DOOR LOCATIONS) AND APPROVED BY THE ARCHITECT OR OWNER BEFORE PROCEEDING WITH WALL CONSTRUCTION.

CEILINGS:

- INSTALL SUSPENSION SYSTEMS TO COMPLY WITH ASTM C636, WITH HANGERS SUPPORTED ONLY FROM BUILDING STRUCTURAL MEMBERS. LOCATE HANGERS NOT LESS THAN 6" FROM EACH END AND SPACED 4'-0" ALONG EACH CARRYING MEMBER, UNLESS OTHERWISE INDICATED, LEVELING TO TOLERANCE OF 1/8" IN 12'-0" NON-ACCUMULATIVE.

FLOOR FINISH:

- EXISTING INTERIOR CONCRETE FLOOR SURFACES TO REMAIN SHALL BE THOROUGHLY CLEANED, REPAIRED, AND SEALED AS PER FLOOR COVERING MANUFACTURER REQUIREMENTS.
- VINYL BASE SHALL BE 4" HIGH 1/8" THICK, COVE BASE EXCEPT WHERE INDICATED OTHERWISE. USE ROLL GOODS ONLY FOR VINYL BASE. COLOR TO BE SELECTED BY ARCHITECT. ALL SEAMS TO OCCUR AT INSIDE CORNERS.
- SAMPLES OF VCT, VINYL BASE, ETC. SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIAL.

PAINT AND WALL FINISH:

- ALL SURFACES TO BE PAINTED ARE TO BE PREPARED FOR PRIMING IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL PREVIOUSLY UNPAINTED SURFACES SHALL RECEIVE ONE (1) PRIME AND TWO (2) FINISH COATS. ALL PREVIOUSLY PAINTED SURFACES SHALL RECEIVE A MINIMUM OF TWO (2) COATS OR NUMBER OF COATS AS REQUIRED TO COMPLETELY COVER PREVIOUSLY PAINTED SURFACE.

ENGINEERING:

- SPRINKLER HEADS SHALL BE RECESSED IN CEILING GRID. ALL SPRINKLER HEADS SHALL BE LOCATED IN CENTER OF CEILING TILES WHERE APPLICABLE.
- THE GENERAL CONTRACTOR SHALL SUBMIT A REFLECTED CEILING PLAN WITH ALL SPRINKLER HEAD LOCATIONS FOR REVIEW AND APPROVAL BY ARCHITECT AND BUILDING OWNER PRIOR TO SUBMITTAL FOR PERMIT. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ANY ADDITIONAL SPRINKLER HEADS AS REQUIRED BY THE FIRE MARSHALL. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT REGARDING THE LOCATION OF ANY ADDITIONAL SPRINKLER HEADS.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS (LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS, ETC.), MILLWORK AND/OR FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE INITIATING WORK.
- ALL ELECTRICAL RECEPTACLES SHALL BE 1'-6" A.F.F. UNLESS NOTED OTHERWISE. RECEPTACLES AND TELEPHONE OUTLETS SHALL NOT BE MOUNTED BACK TO BACK. ALL OUTLETS SHOWN GROUPED TOGETHER SHALL NOT BE MORE THAN 5" APART AND SHALL BE SPACED EQUALLY. ALL SWITCHES SHALL BE LOCATED AT 48" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. SHOULD A CONFLICT OCCUR BETWEEN THE ARCHITECTURAL DRAWINGS AND ANY REQUIREMENT FOR PROPER FUNCTIONING, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BRING THE CONFLICT TO THE ATTENTION OF THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK. OUTLETS WITHIN 6'-0" OF "WET" AREAS ARE TO BE GROUND FAULT INTERRUPTION CIRCUIT TYPE (GFI).
- THE HVAC SYSTEM SHALL BE INSTALLED NEW, OR MODIFIED, AS REQUIRED TO MEET THE TENANT'S REQUIREMENTS BASED UPON EQUIPMENT LOADS, FUNCTION AND TYPE OF SPACE.
- ALL COVER PLATE MATERIAL/FINISH TO BE COORDINATED WITH ARCHITECT UNO. WHERE MULTIPLE WALL SWITCHES OCCUR, SWITCHES ARE TO BE GANGED AND COVERED WITH A SINGLE, CONTINUOUS COVER PLATE. COVER PLATES SHALL NOT BE CUT AND BUTTED TOGETHER.

DEMOLITION:

- IF UNO COMMENCEMENT OF DEMOLITION WORK HAZARDOUS MATERIALS ARE ENCOUNTERED REPORT SUCH DISCOVERY TO THE OWNER'S AGENT FOR DIRECTION.
- EXTENT OF SELECTIVE DEMOLITION WORK IS INDICATED ON DRAWINGS. DEMOLITION REQUIRES THE SELECTIVE REMOVAL AND SUBSEQUENT OFFSITE DISPOSAL OF THE FOLLOWING:
 - REMOVAL OF INTERIOR PARTITIONS AS INDICATED ON DRAWINGS. REMOVAL OF DOORS AND FRAMES AS INDICATED ON DRAWINGS, RELOCATION OF PIPES, CONDUITS, DUCTS, OTHER MECHANICAL AND ELECTRICAL WORK ARE SPECIFIED BY RESPECTIVE TRADES.
- OWNER TENANT AND ARCHITECT ASSUME NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
- ITEMS INDICATED TO BE REMOVED BUT OF SALVAGEABLE VALUE TO CONTRACTOR TENANT OR OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. CONTRACTOR TO VERIFY WITH ARCHITECT THE REUSE OR SALVAGE VALUE OF DEMOLISHED MATERIAL. TRANSPORT SALVAGED ITEMS FROM SITE AS THEY ARE REMOVED.
- STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.

- PROVIDE PROTECTIVE MEASURES AS REQUIRED TO ASSURE FREE AND SAFE PASSAGE OF OWNER'S PERSONNEL AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDING.
- PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS. PROTECT FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY. CONSTRUCT TEMPORARY DUST PROOF PARTITIONS WHERE REQUIRED TO SEPARATE AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATIONS ARE PERFORMED. EQUIP PARTITIONS WITH DUST PROOF DOORS AND SECURITY LOCKS IF REQUIRED.
- PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO OWNER OR TENANT.
- IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT. SUBMIT REPORT TO ARCHITECT OR AS DIRECTED BY ARCHITECT. PENDING RECEIPT OF DIRECTIVE FROM ARCHITECT, REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT DELAY.
- REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE.
- UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY DEMOLITION WORK.

ABBREVIATIONS

ABV	ABOVE
ADJ	ADJUSTABLE
AF.F.	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPX	APPROXIMATELY
ARCH	ARCHITECT
BD	BOARD
BLDG	BUILDING
BM	BEAM
BOT	BOTTOM
BTU	BRITISH THERMAL UNIT
CFM	CUBIC FEET PER MINUTE
CLG	CEILING
CLOS	CLOSET
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CT	CERAMIC TILE
CTR	CENTER
DBL	DOUBLE
DET	DETAIL
DIAM	DIAMETER
DIM	DIMENSION
DR	DOOR
DM	DOOR HINGE
DWG	DRAWING
E	EAST
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
EQUIP	EQUIPMENT
EW	ELECTRIC WATER COOLER
EXST	EXISTING
FA	FIRE ALARM
FD	FLOOR DRAIN
FEX	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHV	FIRE HOSE VALVE
FV/C	FIRE HOSE VALVE CABINET
FIN	FINISH
FLR	FLOOR
FLUOR	FLUORESCENT
FEET	FEET (FOOT)
GAL	GALLON
GLV	GALVANIZED
GFI	GROUND FAULT INTERRUPTER
GL	GLASS
GND	GROUND
GWB	GYPSUM WALL BOARD
GYP	GYPSUM
HC	HANDICAPPED
HDWD	HARDWOOD
HDWR	HARDWARE
HR	HOUR
HT	HEIGHT
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JST	JOIST
JT	JOINT
LAM	LAMINATE
LB	POUND
LTG	LIGHTING
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MTL	METAL
N	NORTH
NC	NOT IN CONTRACT
NO	NOMINAL
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
P	PAINT
PART	PARTITION
PS	PAINT GRADE
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PR	PAINT
PTD	PAINTED
QTY	QUANTITY
R	RISER
RAD	RADIUS
REF	REFRIGERATOR
REINF	REINFORCING
REQD	REQUIRED
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SCHED	SCHEDULE
SECT	SECTION
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SS	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
SYM	SIMILAR
T	TREAD
TEL	TELEPHONE
THK	THICK
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UN	UNLESS OTHERWISE NOTED
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
VWC	VINYL WALL COVERING
W	WEST
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WS	WET STACK
WT	WEIGHT
YD	YARD

SYMBOLS

	PARTITION TYPE
	ALIGN
	NOTE (KEYED TO PLAN NOTES)
	EQUIPMENT NUMBER
	KEY NOTE
	CEILING HEIGHT
	DOOR TYPE
	ENVIRONMENTALLY FRIENDLY PRODUCT
	ELEVATION NUMBER
	SHEET NUMBER
	SECTION NUMBER
	SHEET NUMBER
	DETAIL NUMBER
	SHEET NUMBER
	DOOR TYPE
	FINISH TYPE
	OR CEILING ELEVATION
	ROOM NAME
	ROOM NUMBER

SUBCONTRACTOR NOTES

- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING INFORMATION OF THEIR SPECIFIC TRADE WITH OTHER TRADES SUBCONTRACTORS AND THE GENERAL CONTRACTOR.
- SUBCONTRACTORS ARE TO VERIFY ANY DISCREPANCIES ON PLANS OR SITE WITH THE SITE SUPERINTENDENT AND/OR ARCHITECT.
- AN OMISSION ON THE PLAN DOES NOT RELEASE THE SUBCONTRACTOR FROM THE RESPONSIBILITY OF COMPLETING WORK TO AREAS OF CODE COMPLIANCE.
- MODIFICATIONS TO EXISTING HVAC, PLUMBING & ELECTRICAL SYSTEMS TO BE DESIGN/BUILD BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS, PERMITS, & INSPECTIONS REQUIRED BY LOCAL & STATE CODES.

LOSS PREVENTION

CABINETRY:

MILLWORK SUBCONTRACTOR TO SUPPLY LOCKS FOR ALL CABINETS, SAME KEY.



PROJECT NAME
MONDO'S CONVENIENCE STORE
Alterations

PROJECT ADDRESS
1127 S. Salina Street
Syracuse, New York

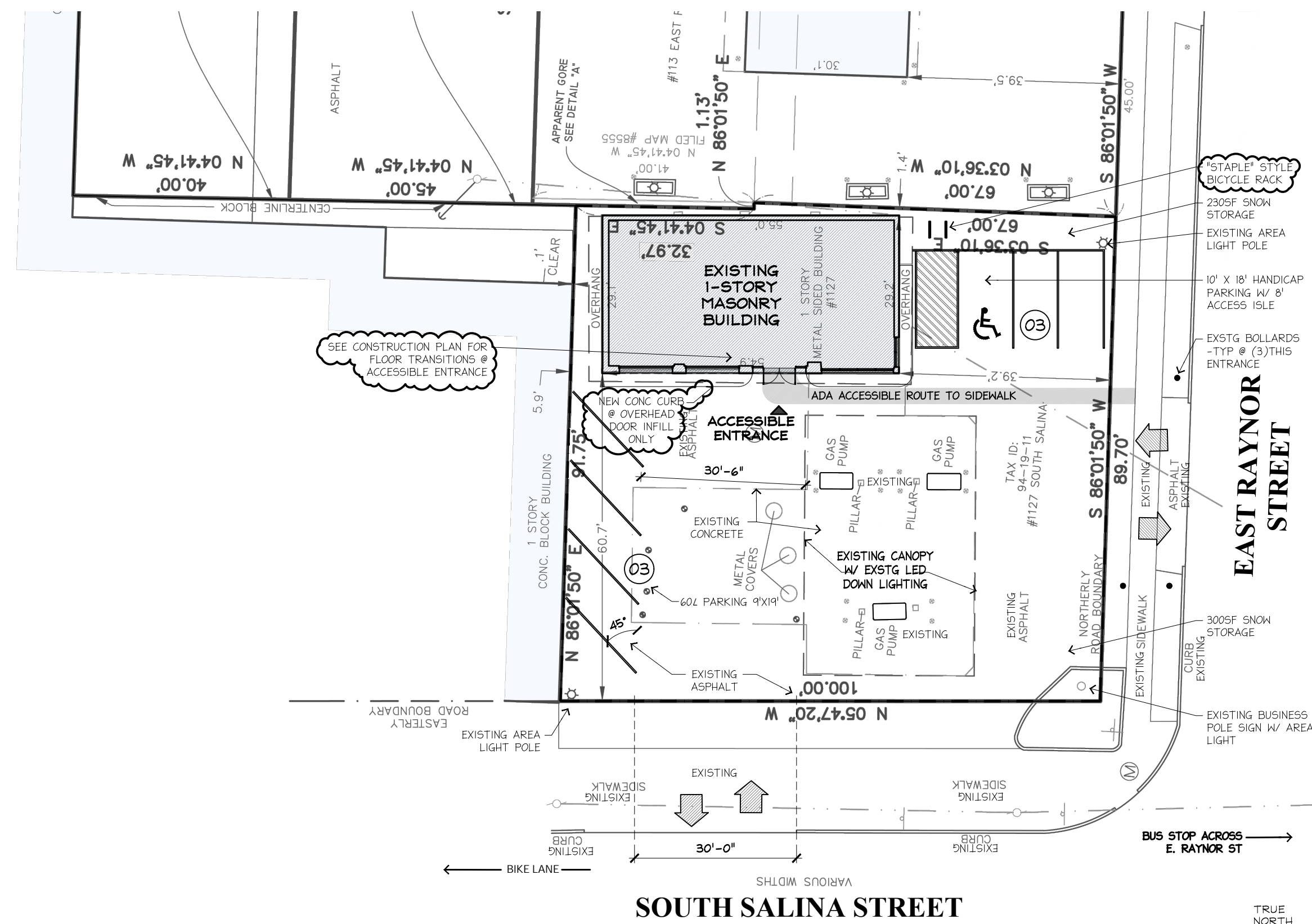
ARCHITECT OF RECORD
Rod VanDerWater, P.C.
7515 Morgan Road - Liverpool, NY

DRAWING ISSUE
Issued: _____ Date: _____
CLIENT REVIEW 02/8/24
BUILDING PERMIT 02/14/24

SHEET INFORMATION
Project Date: 11/09/2023
Project No.: 23.062
Drawn By: JO

PAGE TITLE
GENERAL NOTES

A0.1



PARKING REQUIREMENTS

ON-SITE PARKING REQUIRED: (9) SPACES
 1,425 GROSS BUILDING AREA (3) PARKING SPACES
 (3) 2-SIDED GAS PUMPS (6) PARKING SPACES
 (BASED ON 1 SPACE PER FUELING PUMP; PLUS 1 SPACE PER 400 SQ FT BUILDING AREA (RETAIL, OFFICE, SERVICE, FOOD SERVICE))

ON-SITE PARKING PROVIDED: (12) SPACES
 (3) 9'X19' 45" ANGLED SPACES
 (2) 8'-6"X18' PERPENDICULAR SPACES
 (1) 10'X18' HANDICAP SPACE W/ 8' ACCESS ISLE
 (6) SPACES AT GAS PUMPS

OFF-SITE PARKING AVAILABLE (WITHIN 2,000 FEET): (27) SPACES
 (12) EAST SIDE OF SOUTH SALINA
 (15) WEST SIDE OF SOUTH SALINA
 (2-HR PARKING COUNTED 1 BLOCK NORTH + 1 BLOCK SOUTH OF PROPERTY ALONG S. SALINA)

REQUIRED SNOW STORAGE:
 UNCOVERED PAVED AREA: 4,880 SF
 STORAGE AREA REQUIRED: 488 SF (10%)
 STORAGE AREA PROVIDE: 530 SF

SITE INFORMATION:

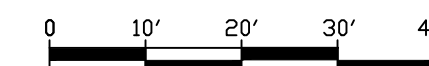
ADDRESS: 1127 SOUTH SALINA STREET
 TAX ID: 094.-19-11.0
 ZONE: MX-3 "MIXED-USE TRANSITION"
 CURRENT USE: GAS STATION/RETAIL & AUTO REPAIR
 PROPOSED USE: GAS STATION/RETAIL
 SPECIAL USE: AMEND EXISTING SPECIAL USE PERMIT
 AREA: .21 ACRE

STATEMENT OF USE: APPLICANT IS SEEKING MINOR MODIFICATION TO SPECIAL USE PERMIT & APPROVAL TO PROVIDE ADDITIONAL PARKING FOR EXPANDED RETAIL AREA.

GENERAL SITE PLAN NOTES:

- EXISTING SITE TO REMAIN AS-IS, EXCEPT AS STATED BELOW
- EXISTING SERVICE BAYS TO BE CONVERTED TO ADDITIONAL CUSTOMER SALES AREA
- EXISTING BUILDING TO RECEIVE NEW EXTERIOR FINISHES (SEE ARCHITECTURAL PLANS)
- EXISTING PAVED SURFACES INCLUDE, ASPHALT, CONCRETE AND POROUS ASPHALT TO REMAIN AS-IS
- ADDITIONAL PARKING SPACES TO BE ADDED TO EXISTING PAVED SURFACE (SEE CALCULATIONS)
- RECENTLY UPDATED/IMPROVED SITE LIGHTING, LANDSCAPING AND HARD SURFACES TO REMAIN AS-IS (AS COMPLETED BY MUNICIPAL IMPROVEMENT PROJECT)

1 SITE PLAN
 AO.2 1" = 20'-0"



3 EXISTING SITE: VIEW LOOKING EAST (WEST ELEVATION)
 AO.2



2 EXISTING SITE: VIEW LOOKING EAST
 AO.2



5 EXISTING SITE: VIEW LOOKING NORTH
 AO.2



4 EXISTING SITE: VIEW LOOKING NORTH (SOUTH ELEVATION)
 AO.2

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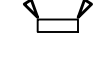
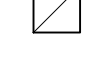


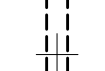
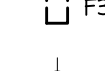
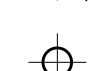

Issued: Date:
 CLIENT REVIEW 02/8/24
 BUILDING PERMIT 02/14/24
 rev SITE PLAN REVIEW 04/04/24

SHEET INFORMATION

Project Date: 11/09/2023
 Project No.: 23.062
 Drawn By: JO

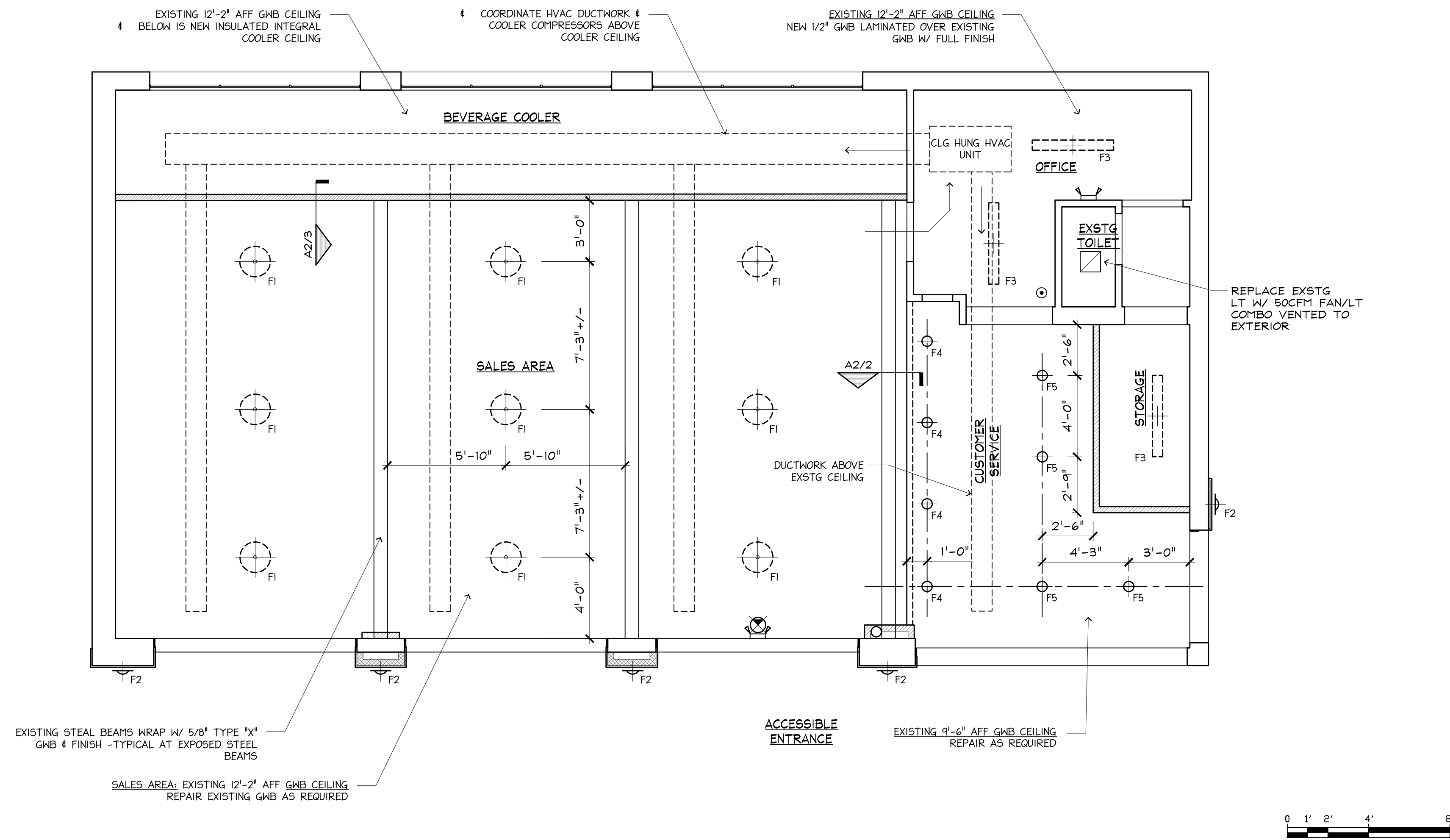
PAGE TITLE
 SITE PLAN

CEILING PLAN LEGEND

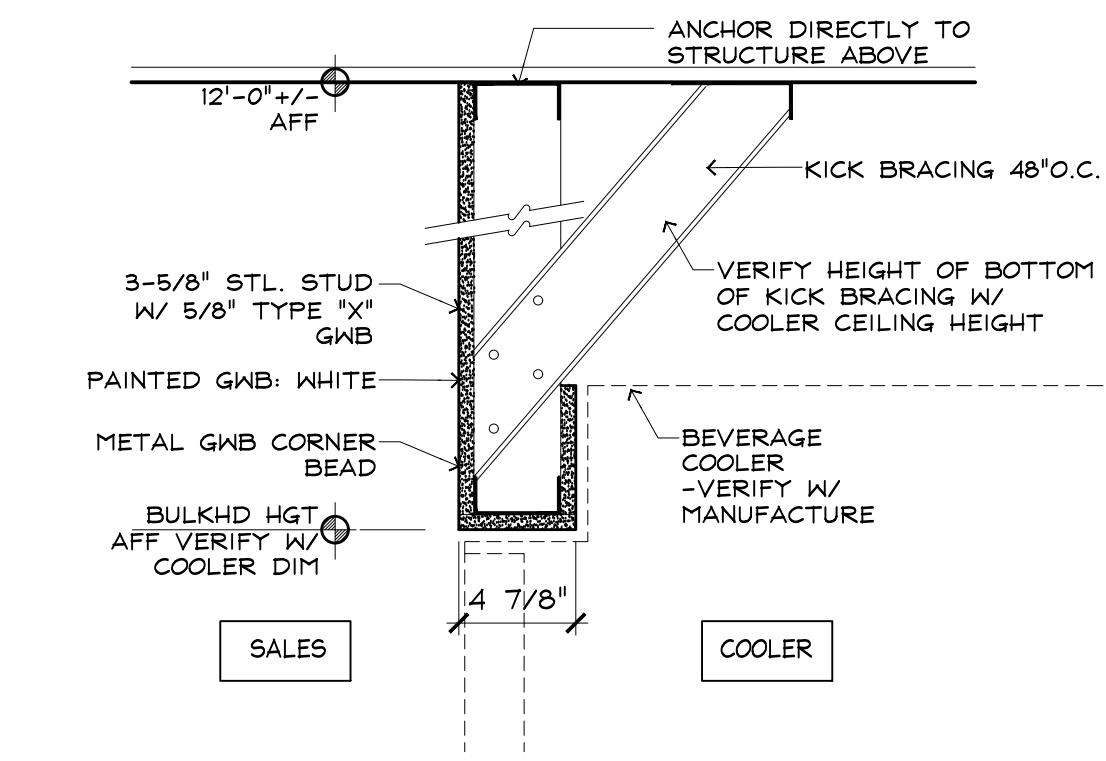
Symbol	Description
	ILLUMINATED EXIT SIGN. SHADED QUADRANT INDICATES LIGHTED FACE. DIRECTIONAL ARROWS INDICATED WHERE REQUIRED
	WALL MOUNTED EMERGENCY LIGHTING PACK W/ BATTERY BACKUP
	50 CFM MIN BATHROOM EXHAUST FAN VENTED TO EXTERIOR
	CEILING SUSPENDED LED 3000K PENDENT FIXTURE
	WALL MOUNTED EXTERIOR LED 3000K FIXTURE
	CEILING SUSPENDED LED 3000K LENSED STRIP FIXTURE
	4" RECESSED LED 3000K FIXTURE
	6" RECESSED LED 3000K FIXTURE
	CARBON MONOXIDE DETECTOR TO BE LOCATED BY CONTRACTOR PER NYS FIRE CODE

GENERAL CEILING PLAN NOTES

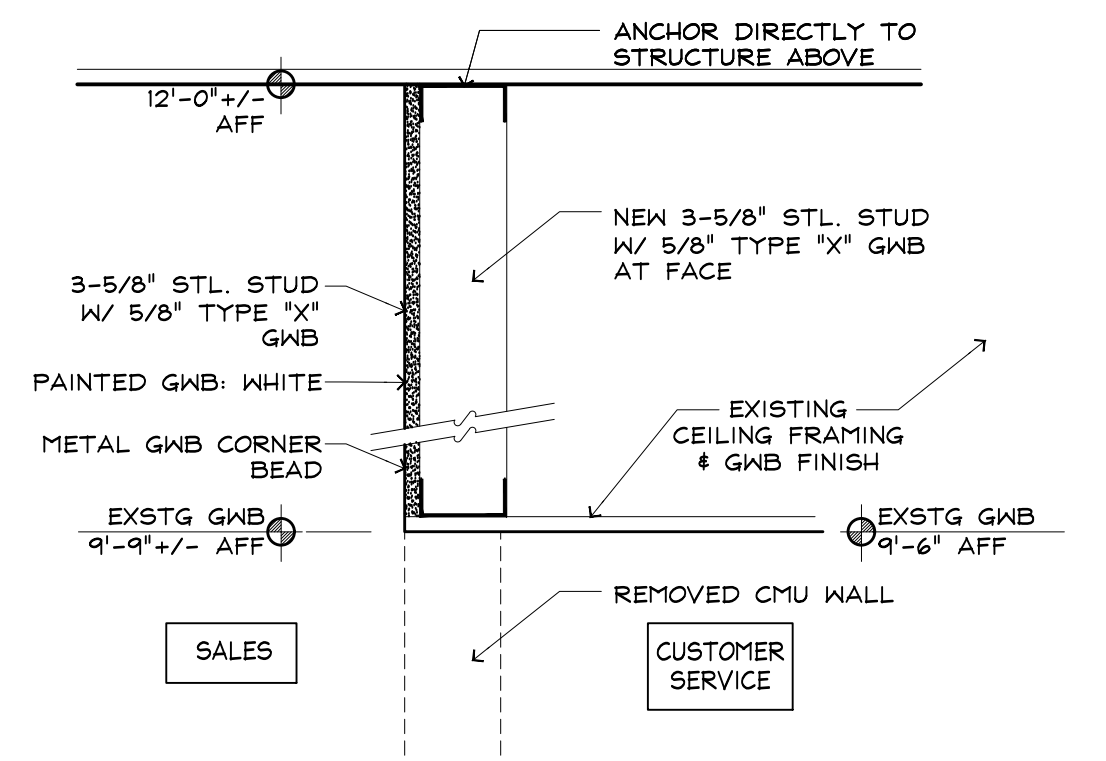
- NEW OR AUGMENTED ELECTRICAL TO BE DESIGN-BUILD BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS, PERMITS, AND INSPECTIONS REQUIRED BY LOCAL AND STATE CODES
- CONTRACTOR TO SUPPLY ALL NEW LIGHT FIXTURES (OWN) AND INSTALL. ELECTRICAL CONTRACTOR IS TO SUPPLY ALL OTHER WIRING, CONDUIT, BOXES, SWITCHES, ETC. REQUIRED FOR THE COMPLETE INSTALLATION OF THIS WORK.
- CONTRACTOR TO INSURE IF ANY FIXTURES ARE TO BE REUSED THAT THEY ARE IN PROPER WORKING ORDER. CONTRACTOR SHALL CLEAN AND RE-LAMP EXISTING FIXTURES WITH 3000K LED LAMPS.
- ALL SWITCHES & DIMMERS SHALL BE SPECIFICATION GRADE. ALL SWITCHES SHALL BE MOUNTED @ 36" A.F.F. AND MIN. 4" FROM DOOR FRAMES, CORNERS, ETC. U.O.N. SWITCHES INDICATED AS ADJ. SHALL BE GANGED. SWITCH PLATES THROUGHOUT SHALL MATCH ADJACENT COLOR.
- LIGHT FIXTURES TO BE MOUNTED AS INDICATED IN PLANS OR ELEVATIONS. OR COORDINATE IN FIELD WITH DESIGNER.
- ALL POWER & SWITCHING CONTROLS FOR EXISTING ILLUMINATED SIGNS TO REMAIN AS-IS, UNLESS REPAIRS ARE NEEDED TO RESTORE FUNCTION.
- ALL LIGHT SWITCHING TO BE LOCATED IN OFFICE
- CONTRACTOR TO REMOVE ALL UNUSED ELECTRICAL WIRING, CONDUIT & JUNCTION BOXES BACK TO PANEL.



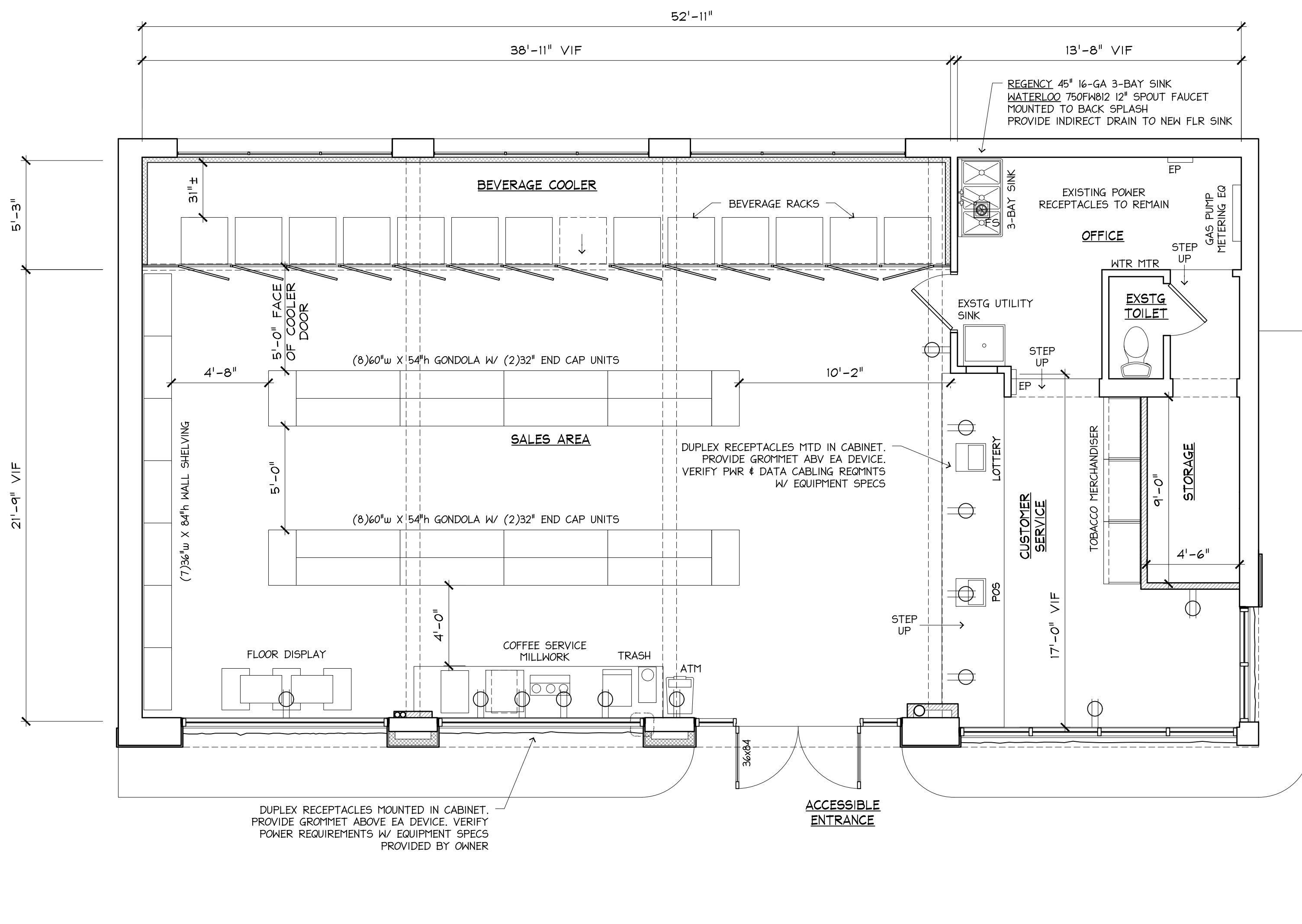
1 REFLECTED CEILING PLAN
A2 1/4" = 1'-0"



3 GMB BULKHEAD - COOLER
A2 1-1/2" = 1'-0"



2 GMB BULKHEAD - CUSTOMER COUNTER
A2 1-1/2" = 1'-0"



SYMBOL LEGEND

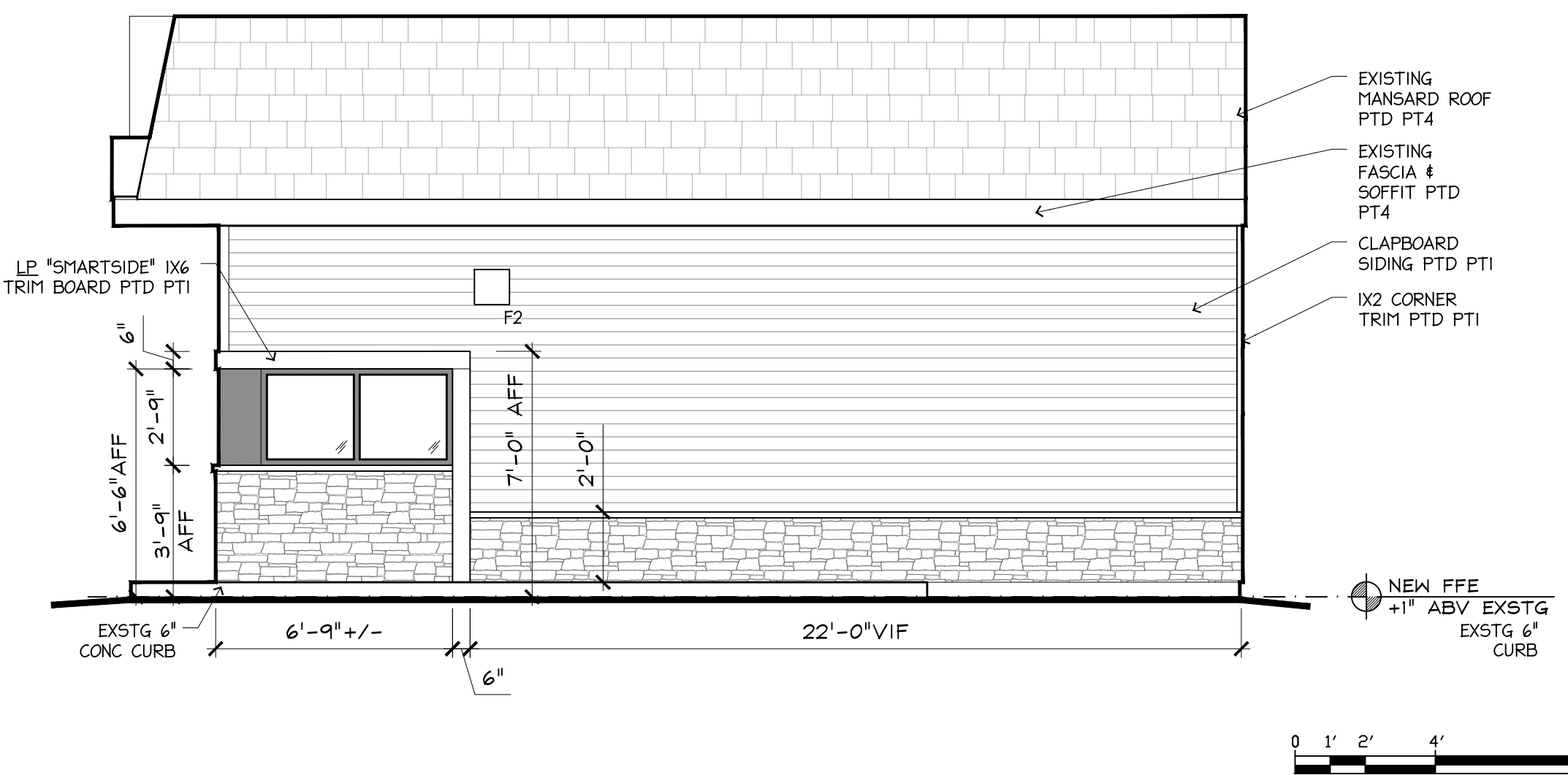
Item	Status or Requirement
⊖ FB	DUPLEX ELECTRICAL OUTLET MOUNTED IN FLUSH FLOOR BOX AS RATED FOR FLOOR APPLICATIONS
⊖ GFI	GROUND FAULT INTERRUPTION DUPLEX ELECTRICAL OUTLET
⊖ 44	ELECTRICAL OUTLET WHERE NUMBER INDICATES MOUNTING HEIGHT
⊖ D	DEDICATED DUPLEX ELECTRICAL OUTLET
⊖ E	EXISTING TO REMAIN
⊖ TV	72" (VIF) DUPLEX ELECTRICAL OUTLET
□	DATA OUTLET. MOUNT AT 18" AFF (UON).

NOTE: ALL DEVICES TO BE MOUNTED 18" AFF TO CENTER OF DEVICE - UNLESS OTHERWISE NOTED.

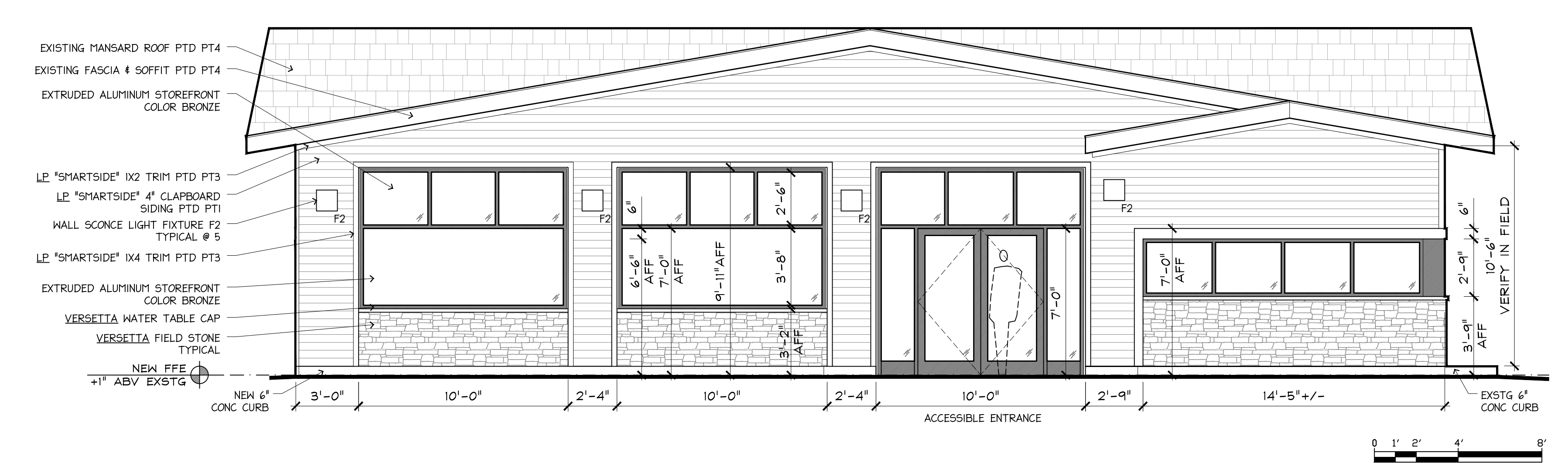
GENERAL POWER PLAN NOTES

1. NEW OR AUGMENTED ELECTRICAL TO BE DESIGN-BUILD BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS, PERMITS, AND INSPECTIONS REQUIRED BY LOCAL AND STATE CODES.
2. THE EXISTING BREAKER PANELS ARE TO BE USED & NEW CIRCUITS ADDED AS REQUIRED. MAINTAIN AND REUSE ELECTRICAL SYSTEM COMPONENTS WHERE POSSIBLE. REWORK AND BALANCE LOADS FOR AUGMENTED ELECTRICAL SYSTEM. REMOVE ALL POWER & LOW VOLTAGE WIRING NOT USED. INSPECT ENTIRE ELECTRICAL SYSTEM AND CORRECT ANY ITEMS THAT DO NOT MEET CURRENT CODES.
3. POWER POINTS SHOWN ON THE POWER PLAN ARE IN ADDITION TO EQUIPMENT REQUIREMENTS PER MANUFACTURERS SPECIFICATIONS.
4. ALL ELECTRICAL RECEPTACLE DEVICES TO BE MOUNTED AT 18" AFF OR AS REQUIRED BY MILLWORK OR OTHER EQUIPMENT.
5. PLUMBING OR HVAC RELATED ELECTRICAL: PROVIDE & INSTALL ELECTRIC DEVICE, WIRE & CIRCUIT BREAKER PER MANUFACTURER INSTRUCTIONS.
6. CONTRACTOR TO REMOVE ALL UNUSED ELECTRICAL WIRING, CONDUIT & JUNCTION BOXES BACK TO PANEL.

1 EQUIPMENT PLAN
A3 1/4" = 1'-0"



1 SOUTH ELEVATION
A3 1/4" = 1'-0"



1 WEST ELEVATION
A3 1/4" = 1'-0"

Project:	SP-24-06
Date:	4/15/2024

Short Environmental Assessment Form Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: SP-24-06

Date: 4/15/2024

Short Environmental Assessment Form

Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

City of Syracuse City Planning Commission

4/15/2024

Name of Lead Agency

Date

Steven Kulick

Chairperson

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

PRINT FORM

ONONDAGA COUNTY

DEPARTMENT OF PLANNING



TO: Members, Syracuse City Planning Commission

FROM: Dan Kwasnowski, AICP Director *DK*
Onondaga County Department of Planning (OCDOP)

DATE: 3/20/2024

RE: Administrative Review – Ed Mondo’s Gas Station and Store

RECOMMENDATION: No Position

J. Ryan McMahon, II
County Executive

Daniel Kwasnowski, AICP
Planning Director

Per General Municipal Law, §§239-m and -n, and the Onondaga County Planning Board Rules of Procedure and Referral Policy, the Board may delegate review and recommendation on certain referral actions to the Director of the Onondaga County Department of Planning.

These actions, determined as being generally routine in nature with minimal and/or well-understood intercommunity or countywide concerns, are listed within the Rules of Procedure, and at this website:

<http://www.ongov.net/planning/ocpbpreferableactions.html>.

CASE NUMBER: Z-24-70

REFERRING BOARD: Syracuse City Planning Commission

DATE RECEIVED: 3/12/2024

TYPE OF ACTION: Special Permit

APPLICANT: James Owen

LOCATION: 1133-1137 South Salina Street

WITHIN 500’ OF: Centro Bus Garage (NYS owned)

TAX ID(s): 094.-19-11.0

RELATED CASES: Z-24-69

Please contact OCDOP staff at (315)435-2611 or countyplanning@ongov.net with any questions.

Project Summary:

The applicant is proposing to renovate a former auto repair and gas station facility into a convenience store and gas station at the corner of South Salina Street and Raynor Avenue, south of Downtown Syracuse. The existing facility contains an approximately 1,606 sf building located in the northeast corner, three gas pumps with an overhead canopy, and asphalt parking area extending to the property boundaries. The site has unrestricted access to both East Raynor Street and South Salina Street and informal parking around the property. The applicant will remove the existing service bay doors and expand the existing retail area to convert the whole building to a convenience store. Also proposed are façade improvements and striping of 6 parking spaces. Per the application, no other improvements or changes will be made to the site.

The entire site is located in the flood plain for Onondaga Creek and per the Environmental Assessment Form dated 2/15/24, stormwater “runoff will run to existing street gutter & porous asphalt surfaces adjacent to existing sidewalks.”

Recommendation: No Position with Comment

Comment:

The Board strongly encourages the City and applicant to work to minimize pavement and to incorporate green infrastructure where possible, in order to minimize stormwater runoff from such an intensely impervious surface.

City of Syracuse
Parcel History
 01/01/1900 - 04/08/2024
 Tax Map #: 094.-19-11.0
 Owners: Mark Edward Mondo
 Zoning: MX-3

Address	Date	Transaction	Transaction Type	Status	Description
1133-37 Salina St S & Raynor Ave	10/10/12	Permit Application	Electric	Issued	08762 SMARTWATT LIGHTING UPGRADE
1133-37 Salina St S & Raynor Ave	10/11/12	Inspection	Initial Inspection	Pass	
1133-37 Salina St S & Raynor Ave	01/18/13	Inspection	Final Inspection	Pass	
1133-37 Salina St S & Raynor Ave	01/22/13	Completed Permit	Electric	Certificate Issued	08762 SMARTWATT LIGHTING UPGRADE Certificate of Completion #08762
1133-37 Salina St S & Raynor Ave	11/05/13	Completed Complaint	Fire Safety	Completed	2014-02272 Fire Safety inspection
1133-37 Salina St S & Raynor Ave	08/30/16	Permit Application	Sprinkler	Issued	25173 Sprinkler
1133-37 Salina St S & Raynor Ave	08/31/16	Inspection	Fire Inspector Notification	Pass	
1133-37 Salina St S & Raynor Ave	08/31/16	Inspection	Inspector Notification	In Progress	
1133-37 Salina St S & Raynor Ave	09/08/16	Inspection	Sprinkler Inspection	In Progress	
1133-37 Salina St S & Raynor Ave	09/14/16	Inspection	Progress Inspection	In Progress	
1133-37 Salina St S & Raynor Ave	09/21/16	Inspection	Progress Inspection	Pass	
1133-37 Salina St S & Raynor Ave	09/22/16	Completed Permit	Sprinkler	Certificate Issued	25173 Sprinkler Certificate of Completion #25173
1133-37 Salina St S & Raynor Ave	09/15/22	Inspection	Complaint Inspection	In Progress	
1133-37 Salina St S & Raynor Ave	09/15/22	Violation	2020 FCNYS - 906.2 - General Requirements	Closed	
1133-37 Salina St S & Raynor Ave	09/15/22	Violation	Section 2305.2.4 Emergency shut off valves	Closed	
1133-37 Salina St S & Raynor Ave	09/15/22	Violation	Section 2305.2.5 Leak detectors	Closed	
1133-37 Salina St S & Raynor Ave	09/28/22	Inspection	Complaint Inspection	Pass	
1133-37 Salina St S & Raynor Ave	01/25/24	Inspection	Complaint Inspection	Pass	
1133-37 Salina St S & Raynor Ave	01/26/24	Completed Complaint	Fire Safety	Completed	2017-33883 Annual Service Station

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
1133-37 Salina St S & Raynor Ave	03/05/24	Project	SP - Other	In Review	SP-24-06 ALTERATIONS TO EXISTING GAS STATION/RETAIL WITH AUTO REPAIR SERVICE. ALTERATIONS INCLUDE ELIMINATING 2 SERVICE REPAIR BAYS AND EXPAND EXISTING RETAIL INTO THAT AREA. ADDITIONAL WORK INCLUDES EXTERIOR FACADE IMPROVEMENTS AND PROVIDE ADDITIONAL ONSITE PARKING SPACES. NO OTHER ALTERATIONS ARE PROPOSED TO SITE.
1133-37 Salina St S & Raynor Ave	03/05/24	Project	Minor Site Plan Review	In Review	MiSPR-24-14 Interior and exterior build-out for a convenience store.



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Mark Mondo
From: Zhitong Wu, Zoning Planner
Date: 4/9/2024 11:11:51 AM
Re: SP - Other SP-24-06
1133-37 Salina St S & Raynor Ave, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	03/12/2024	Vinny Esposito	Sewer lateral must be cleaned and video inspected to the main sewer. Any deficiencies must be corrected by the owner. Sewer vent and clean-out must be as-per plumbing code. Any exterior site work will require a grading plan approved by the City Engineer.
DPW - Traffic Control	Conditionally Approved	03/13/2024	Charles Gafrancesco	3.13.24 No sidewalk closures, obstructions or street closures or obstructions will be allowed as part of this work. If work is going to affect the safe passage of vehicular or pedestrian traffic in the ROW an MUTCD compliant WZTP must be submitted and approved. - Any deviation from the requirements explained in these comments may result in revocation of permits on site. - Area subject to inspection without notice by the DPW / Syracuse DOT and any other City Department as necessary.
DPW - Transportation Planner	Internal Review Complete	03/26/2024	Neil Milcarek-Burke	Revised plans required: - ADA compliant walkway to/from the main entrance to the Raynor street public sidewalk required - Bike parking required utilizing a staple-style rack (no "wave" racks) in a conspicuous and well-lit area near the main entrance The City has made significant investments along both property frontages in the past several years, including new sidewalks, bollards, porous pavement snow storage areas and new curbing.

Engineering - Design & Construction	Conditionally Approved	03/12/2024	Mirza Malkoc	<ul style="list-style-type: none"> Proposed project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. Proposed elevations shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W. Project site shall reduce stormwater sheet flow to the City's ROW or adjoining properties by removing some of the impervious surface area and replacing it with grass/landscape areas. Onondaga County Plumbing Control shall review and approve the plans as well.
Onondaga Co Planning Board	Approved	03/20/2024	Zhitong Wu	<p>Recommendation: No Position with Comment</p> <p>Comment: The Board strongly encourages the City and applicant to work to minimize pavement and to incorporate green infrastructure where possible, in order to minimize stormwater runoff from such an intensely impervious surface.</p>
Water Engineering	Pending	03/11/2024		
Zoning Planner	On Hold	04/09/2024	Zhitong Wu	The proposed locations of parking spaces violates ReZone, Art. 4, Sec. 4.4F(4)c., applicant need to revise the plan or apply for use variance.
Common Council	Pending	03/11/2024		
Planning Commission	Pending	03/11/2024		



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

Z-2865	Staff Report – April 15, 2024
Application Type:	Zoning Map Amendment
Project Address:	321-23 Cortland Avenue (085.-03-25.0) 323 Cortland Avenue Rear (085.-03-26.0)
Summary of Proposed Action:	The applicant is proposing a Resubdivision (R-24-17), to combine six properties, two of which are in the MX-1 Zone District and the other four in the R5 Zone District. In some instances, a Resubdivision that will result in a split Zone District will trigger a Zone Change (where the underlying Zone District on one of the lots to be combined is rezoned). With the adoption of ReZone, including a new Official Zoning Map, as a matter of policy the City will update the Official Zoning Map on a regular basis. In order to maintain the zoning scheme adopted under ReZone, but to allow for appropriate flexibility, staff will analyze proposed Resubdivisions that will result in a Split Zone Districts (more than one zone district) on a single parcel on a case-by-case basis to determine whether a zone change is desirable. For a Split Zone District this matter would be reviewed as an Amendment to the Official Zoning Map pursuant to ReZone, Art. 5, Sec. 5.6A. Because of the City’s aforementioned policy regarding Split Zone Districts, the Zoning Administrator will refer this matter to the City Planning Commission (CPC) pursuant to ReZone, Art. 5, Sec. 5.3D. The CPC’s recommendation will then be heard by the Common Council pursuant to ReZone, Art. 5, Sec. 5.6A(3).
Owner/Applicant	Robert & Marjorie Jones Community Development, Inc. (Owner) Benjamin Harrell, CHA Consulting, Inc. (Applicant)
Existing Zone District:	High Density Residential, R5 Zone District Urban Neighborhood, MX-1 Zone District
Surrounding Zone Districts:	The northernly properties are High Density Residential (R5), Urban Neighborhood (MX-1), and Low Density Residential (R2) Zone Districts. The easternly and southernly properties are all High Density Residential (R5) and the western properties are all Low Density Residential (R2) Zone Districts.
Companion Application(s)	Major Site Plan Review (MaSPR-24-09), Resubdivision (R-24-17)
Scope of Work:	The scope of work is to effectuate a Zone Change for the lots addressed as 321-23 Cortland Avenue and 323 Cortland Avenue Rear., to change the Zone District of the lots from the MX-1 Zone District to the R5 Zone District, prior to processing the request for the Resubdivision, R-24-17. Map maintenance to reflect the proposed Zoning Map Amendment will be administered by the Department of Neighborhood and Business Development and occur annually after the Onondaga County Clerk’s Office has published a new tax map.
Staff Analysis:	<p>Factors:</p> <ul style="list-style-type: none"> - The proposed Zoning Map Amendment will bring more of the 300 block of Cortland Avenue within the R5 Zone District, except for 319 Cortland Avenue which is legal for 1 commercial (restaurant) & 3 dwelling units and shall remain MX-1 (see Exhibit A). - The adjacent Zone Districts are R5(odd) and R2 (even) along the 300 block of Cortland Avenue and will be all residential Zone District designations except for 319 Cortland Avenue. - The Zoning Map Amendment (see Exhibit B) will prevent two different Zone District development standards and regulations (MZ-1 and R5) applying to the concurrent development for Building “A” of the Bishop Jones Community Residence project and create conditions for cleaner Zoning Map maintenance.

	- The subject property at 323 Cortland Avenue and 323 Cortland Ave. (rear) are both vacant lots in the MX-1 Zone District and would require a Special Use Permit for a multi-unit residential development whereas the R5 Zone District permits multi-unit residential developments by right.
Zoning Procedural History:	- In January 2014, a two-story, two-unit residential wood structure was demolished due to several structural problems that made the building unsound and unsafe to abate (asbestos pollution).
Summary of Zoning History:	Historical atlases from 1924 show this structure existed at that time. Since the 70s, there is a history of building code violations in microfiche records, that have referred to the subject property as a two-story, two-unit wood structure. Then in the 21 st century the structure became uninhabitable for human occupancy and was demolished in 2014.
Code Enforcement History:	N/A
Zoning Violations:	The proposed lot has no zoning violations.
Summary of Changes:	This is not a continued application.
Property Characteristics:	The subject property is a regular rectangle in shape with 48 feet of frontage on Cortland Avenue and a lot depth of 189 feet.
SEQR Determination:	Pursuant to the 6 NYCRR §617.6(b)(4), the proposal is an Unlisted Action with a coordinated review.
Onondaga County Planning Board Referral:	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board with no opposition.

Application Submittals: The application submitted the following in support of the proposed project:

- Full Environmental Assessment Form Part 1
- Topographic Survey, Lot No. 7 & Part of Lot No. 6, Furman Tract, Lot Nos. 16 through 21, 39 and Part of Lot no. 25, Part of Block No. 397, Part of Block Nos, 397 & 1002, City of Syracuse, Onondaga County, New York; Timothy J. Coyer, Licensed Land Surveyor; Ianuzi & romans Land Surveying, P.C.; Scale 1”=30’; Dated 09/19/23.
- Resubdivison Map; Helio Health Subdivision, Part of Block Nos. 397 & 1002, City of Syracuse, Onondaga County, NY; Timothy J. Coyer, Licensed Land Surveyor; Ianuzi & Romans, P.C.; Scale 1”=30’; Dated: 03/19/24.
- Site plan, Bishop Jones Community Residences, Cortland Ave & Alexander Ave, Syracuse, NY; Sheet C-101; Drawn by: BGH; Not Stamped or Sealed; Dated: 11/27/23.

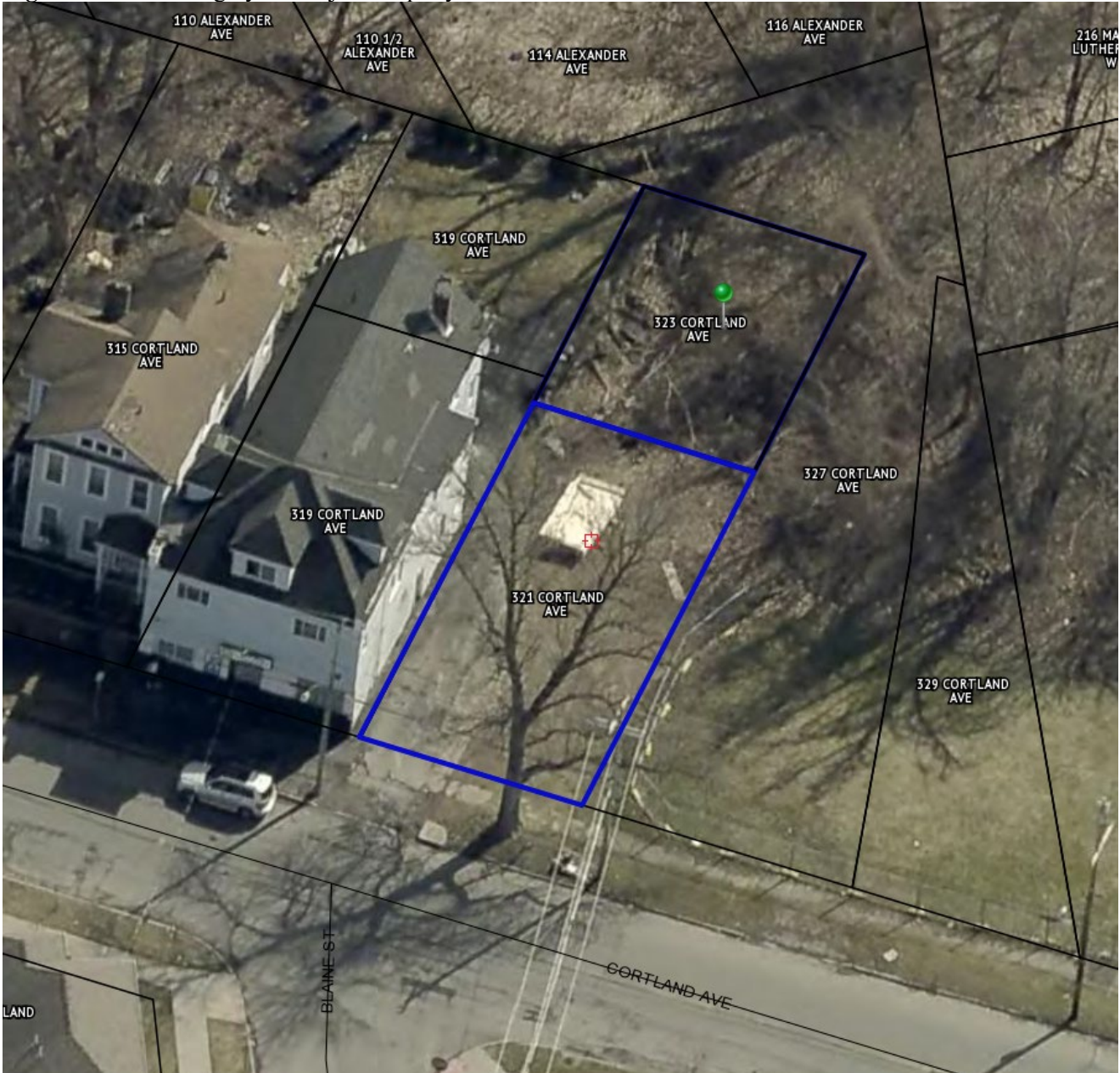
Attachments:

Existing ReZone Syracuse Zoning Map (Exhibit A)
 Proposed Zoning Map Amendment Map (Exhibit B)
 Existing Parcel Boundary Map (Exhibit C)

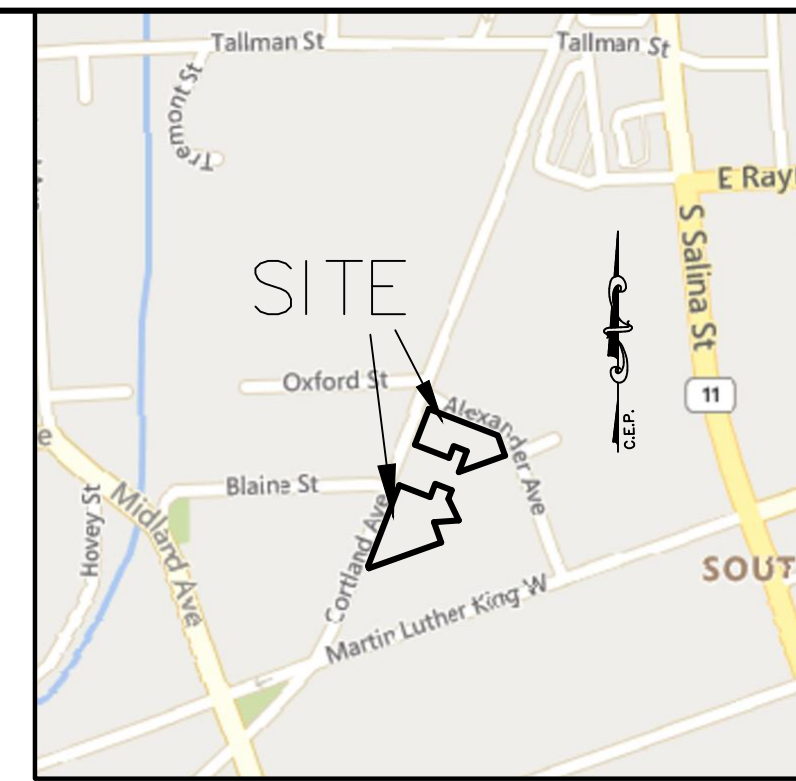
Resubdivision Proposal Map (Exhibit D)
 Full Environmental Assessment Form Part 2 & Part 3
 OCPB Comments

Context Maps:

Figure 1: Aerial Imagery of Subject Property



Description: Figure 1 shows satellite imagery of the subject property.
Image Source: ConnectExplorer™, Eagle View Technology Corporation



LOCATION PLAN
Scale: 1" = 500'

BENCHMARKS:

- BENCHMARK NO. 1 - MAG NAIL SET IN UTILITY POLE
NG 19 1/2
ELEV=394.32
- BENCHMARK NO. 2 - MAG NAIL SET 1' UP IN UTILITY POLE
NG 1 NYT 101
ELEV=390.93
- BENCHMARK NO. 3 - MAG NAIL SET 1.5' UP IN UTILITY POLE
NYT 104
ELEV=391.32

NOTES:

Total area: 1.02± acres.
Total number of lots: 12
Present Zone: R5 High Density Residential
Elevations referred to NAVD 88.
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only.
The premises shown hereon is within Zone "X" (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood) and Zone "AE" (Base Flood Elevations determined) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 360595 217 F, Effective date: November 4, 2016.
Tax Map Nos. 85-03-1, 2, 3, 21, 22, 23, 24, 25, 26, 28, 31 & 32
C.E.P. 23

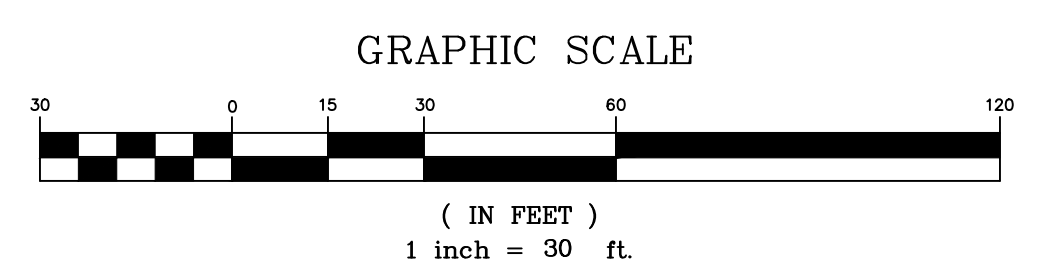
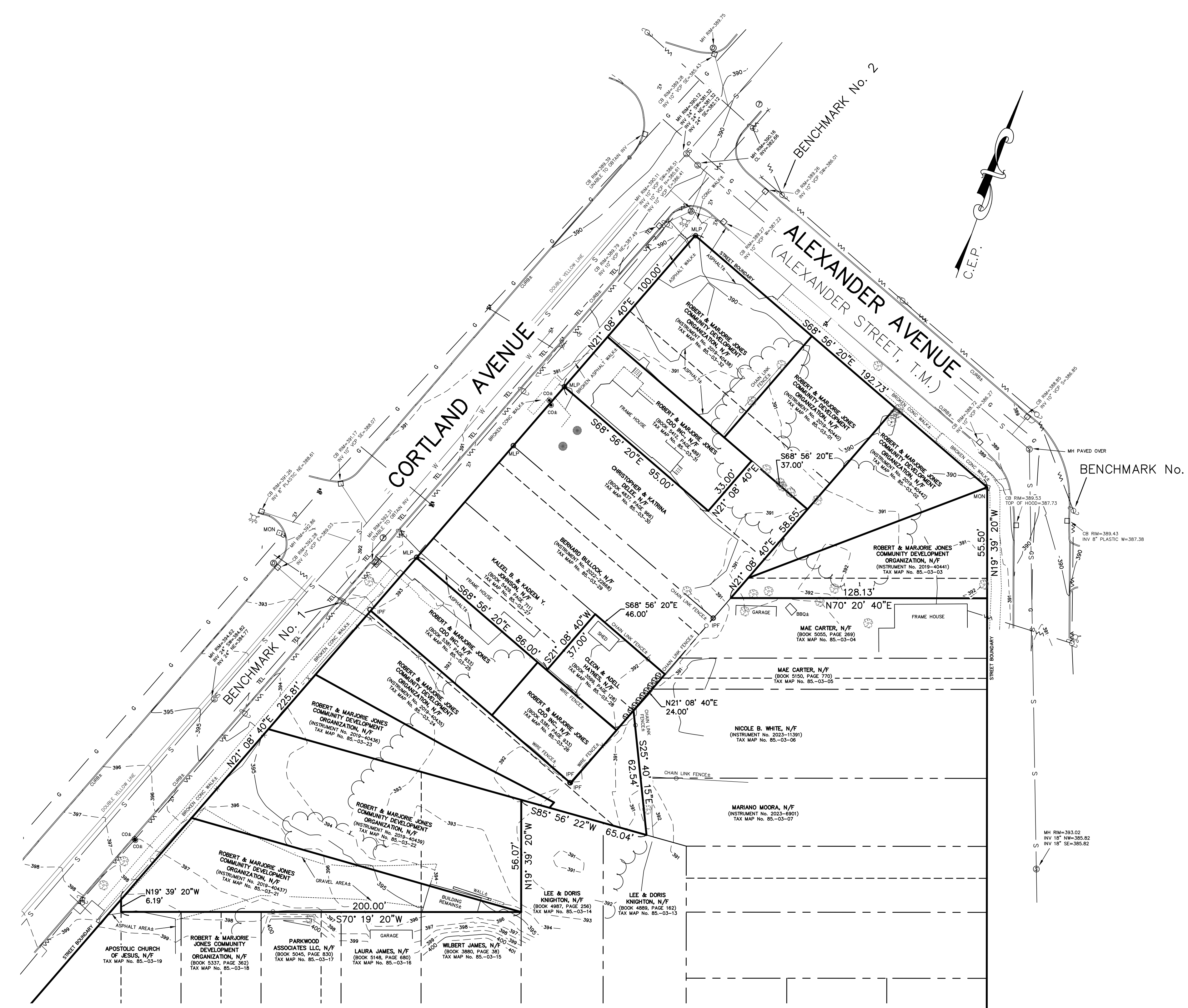
TRACT MAPS:

Date Filed: April 30, 1877
Map No.: 268

By: R. Griffin, C.E.
Date Filed: March 2, 1882
Map No. 330

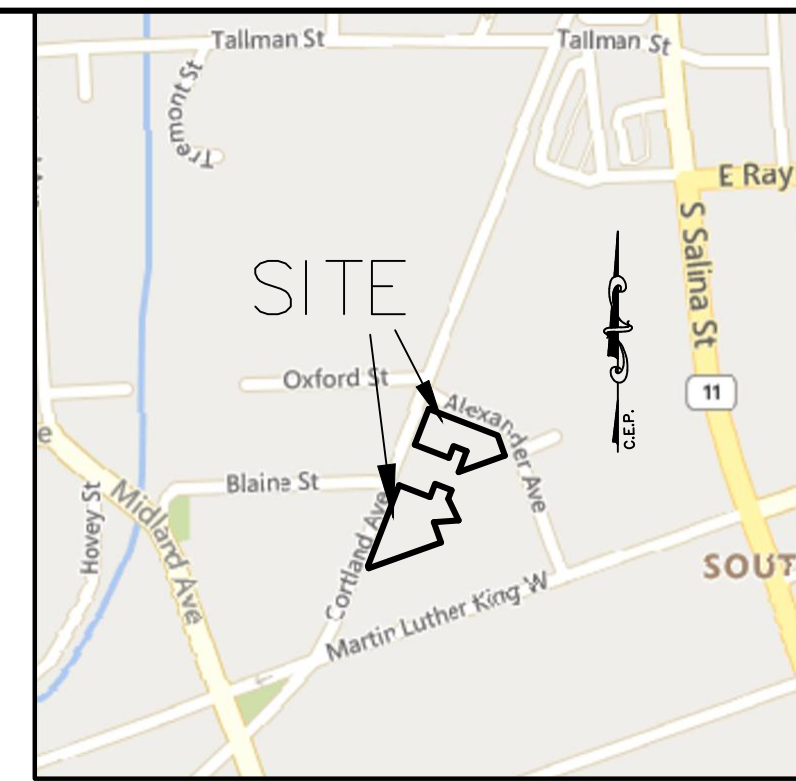
LEGEND:

- indicates original grade
- indicates light stand
- indicates utility pole, anchor & overhead lines
- indicates iron pipe and/or monument found
- indicates bollard
- indicates sign
- indicates storm culvert
- indicates gas main, gas valve & gas line marker
- indicates water main, water valve & hydrant
- indicates storm sewer, catch basin & manhole
- indicates sanitary sewer, sewer vent & manhole
- indicates underground telephone line, manhole & box
- indicates underground electric line & manhole
- indicates underground television cable & box
- indicates edge of trees and brush
- indicates boundary line
- indicates adjacent parcel line
- indicates old/original parcel line
- indicates easement line
- indicates centerline road



Subject to any statement of facts on accurate and up to date abstract of title will show.
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

REVISIONS	TOPOGRAPHIC SURVEY LOT No. 7 & PART OF LOT No. 6 FURMAN TRACT LOT Nos. 16 THROUGH 21, 39 AND PART OF LOT No. 25 PART OF BLOCK No. 397 PART OF BLOCK Nos. 397 & 1002 CITY OF SYRACUSE ONONDAGA COUNTY, NEW YORK		
	JANUZI & ROMANS LAND SURVEYING, P.C. 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: mail@romanspc.com		
	DATE: SEPTEMBER 19, 2023	SHEET No.	
	SCALE: 1" = 30'	FILE No.: 2286.114	



LOCATION PLAN
Scale: 1" = 500'

NOTES:

Total area: 44,602 sq. ft.
 Total number of lots: Eleven (11) existing; Two (2) proposed
 Present Zone: R5 High Density Residential & MX-1 Urban Neighborhood
 Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only.

The premises shown hereon is within Zone "X" (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood) and Zone "AE" (Base Flood Elevations determined) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 360595 217 F, Effective date: November 4, 2016.
 Tax Map Nos. 85.-03-1, 2, 3, 21, 22, 23, 24, 25, 26, 31 & 32
 C.E.P. 23

TRACT MAPS:

Date Filed: April 30, 1877
 Map No.: 268

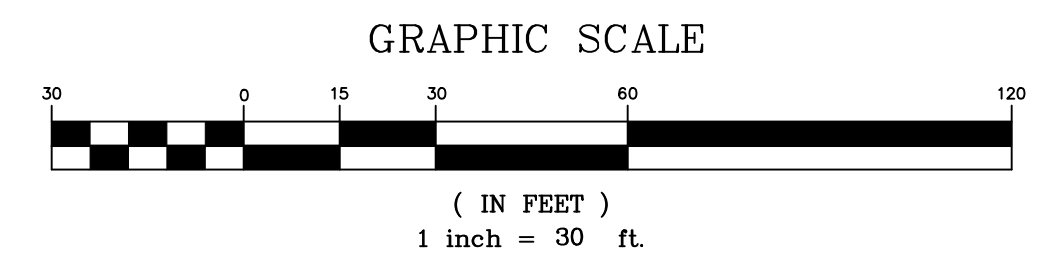
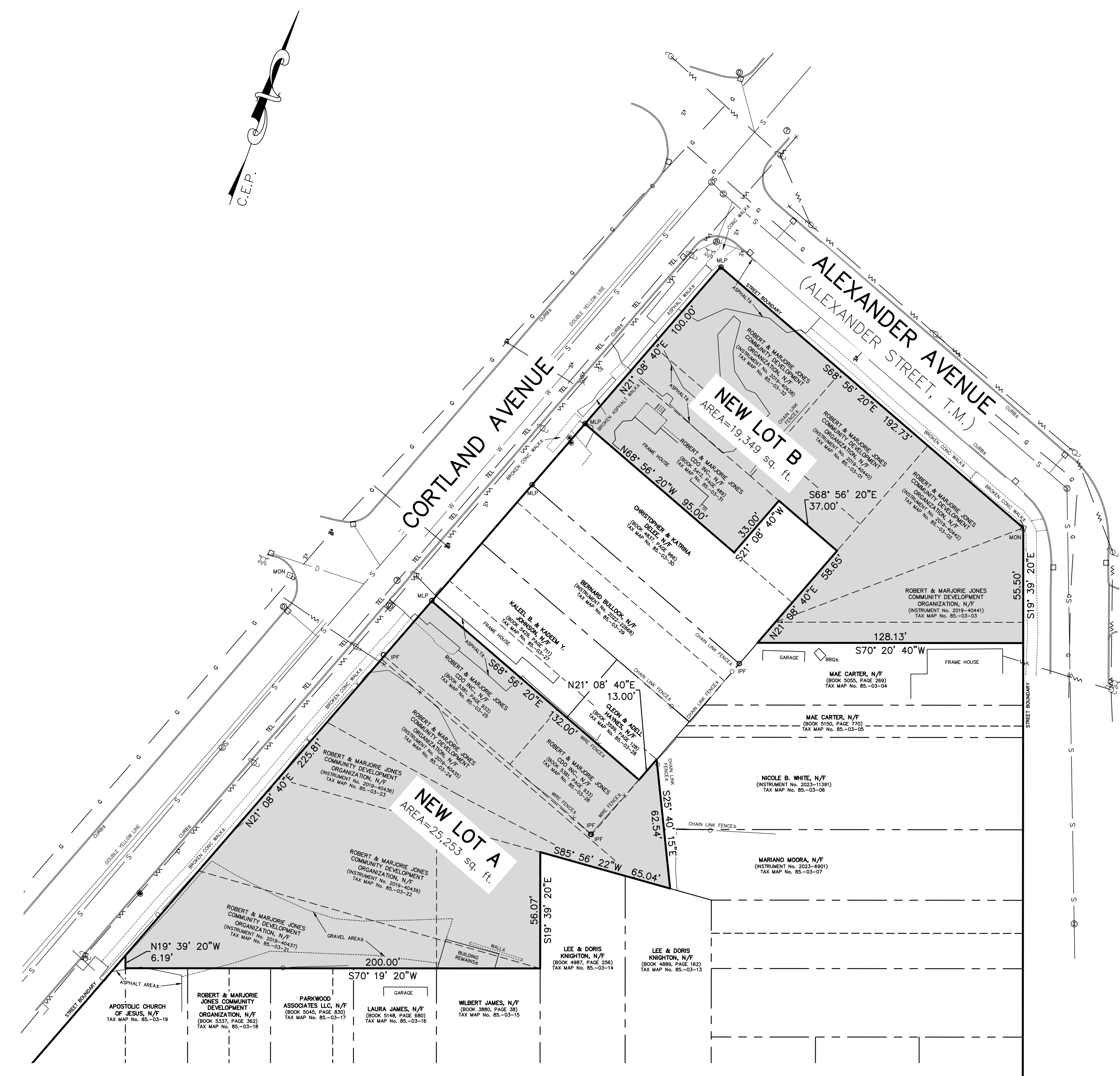
By: R. Griffin, C.E.
 Date Filed: March 2, 1882
 Map No. 330

- LEGEND:**
- indicates light stand
 - indicates utility pole, anchor & overhead lines
 - indicates iron pipe and/or monument found
 - indicates bollard
 - indicates sign
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 - indicates underground television cable & box
 - indicates edge of trees and brush
 - indicates boundary line
 - indicates adjacent parcel line
 - indicates old/original parcel line
 - indicates easement line
 - indicates centerline road

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS IS A CORRECT MAP MADE FROM AN ACTUAL SURVEY.

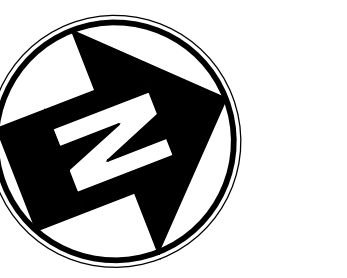
N.Y.S. Licensed Land Surveyor

Subject to any statement of facts on accurate and up to date abstract of title will show. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.



CITY OF SYRACUSE DEPT. OF ENGINEERING	CITY OF SYRACUSE FINANCE DEPT.	CITY OF SYRACUSE ASSESSMENT	CITY OF SYRACUSE PLANNING COMMISSION	ONONDAGA COUNTY HEALTH DEPT.
---------------------------------------	--------------------------------	-----------------------------	--------------------------------------	------------------------------

REVISIONS	FINAL PLAN		
	HELIO HEALTH SUBDIVISION PART OF BLOCK Nos. 397 & 1002 CITY OF SYRACUSE ONONDAGA COUNTY, NEW YORK		
	JANUZI & ROMANS LAND SURVEYING, P.C. 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: mail@romanspc.com	DATE: MARCH 19, 2024 SCALE: 1" = 30' FILE No.: 2286.114	SHEET No. F.B. No. 1742



Scale in feet
 0 20 40

HELIO HEALTH
 555 EAST GENESEE ST.
 SYRACUSE NY 13202

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE REGISTERED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM OR ANY PART OF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

**BISHOP JONES COMMUNITY
 RESIDENCES**
 CORTLAND AVE & ALEXANDER AVE
 SYRACUSE, NY

No.	Submittal / Revision	App'd.	By	Date

SITE PLAN

Designed By:	Drawn By:	Checked By:
BGH	BGH	LCC
Issue Date:	Project No:	Scale:
11/27/23	080841	AS SHOWN

Drawing No.:

C-101



ZONING REGULATIONS FOR DEVELOPMENT

ZONING: HIGH DENSITY RESIDENTIAL (R5) & URBAN NEIGHBORHOOD (MX-1)

PROPOSED LOT A EXISTING LOT INFORMATION:	TAX MAP	PARCEL SIZE**	ZONING
343 CORTLAND AVE	085-03-21.0	0.21 ± ACRES	R5
335 CORTLAND AVE	085-03-22.0	0.23 ± ACRES	R5
329-31 CORTLAND AVE	085-03-23.0	0.12 ± ACRES	R5
327 CORTLAND AVE	085-03-24.0	0.16 ± ACRES	R5
321-23 CORTLAND AVE	085-03-25.0	0.06 ± ACRES	MX-1
323 CORTLAND AVE REAR	085-03-26.0	0.04 ± ACRES	MX-1
TOTAL LOT AREA = 25,232 SF (20,610 SF R5 + 4,622 SF MX-1)			

PROPOSED LOT B EXISTING LOT INFORMATION:	TAX MAP	PARCEL SIZE**	ZONING
102 ALEXANDER AVE	085-03-01.0	0.08 ± ACRES	R5
106 ALEXANDER AVE	085-03-02.0	0.17 ± ACRES	R5
108 ALEXANDER AVE	085-03-03.0	0.14 ± ACRES	R5
309 CORTLAND AVE	085-03-31.0	0.07 ± ACRES	R5
301-05 CORTLAND AVE	085-03-32.0	0.12 ± ACRES	R5
TOTAL LOT AREA = 19,349 SF			

LOT "A" COVERAGE (MAX.)	R5	MX-1	PROPOSED
STRUCTURAL (9,341 SF)	40%	25%	37.0%
PARKING (7,727 SF)	40%	40%	30.7%

LOT "B" COVERAGE (MAX.)	R5	MX-1	PROPOSED
STRUCTURAL (11,394 SF)	40%	NA	58.9%*
PARKING / DRIVEWAYS (366 SF)	40%	NA	1.9%

BUILDING "A" HEIGHT (MAX.)	R5	MX-1	PROPOSED
BUILDING "A" HEIGHT (MAX.)	50'	40'	3 STORIES (42')
BUILDING "B" HEIGHT (MAX.)	50'	NA	3 STORIES (49.2')

DENSITY (MAX.) (LOT A)	R5	MX-1	PROPOSED
APARTMENTS (30 UNITS)	700 SF/UNIT	1000 SF/UNIT	841.0 SF/UNIT

DENSITY (MAX.) (LOT B)	R5	MX-1	PROPOSED
APARTMENTS (37 UNITS)	700 SF/UNIT	NA	522.9 SF/UNIT*

MINIMUM YARDS (LOT "A"):	R5	MX-1	PROPOSED
FRONT YARD: (AVG ST SETBACK)	0'	20'	5'
SIDE YARD: (NORTH)	4'	4'	24'
SIDE YARD: (SOUTH)	4'	4'	4'
REAR YARD:	20'	20'	51'

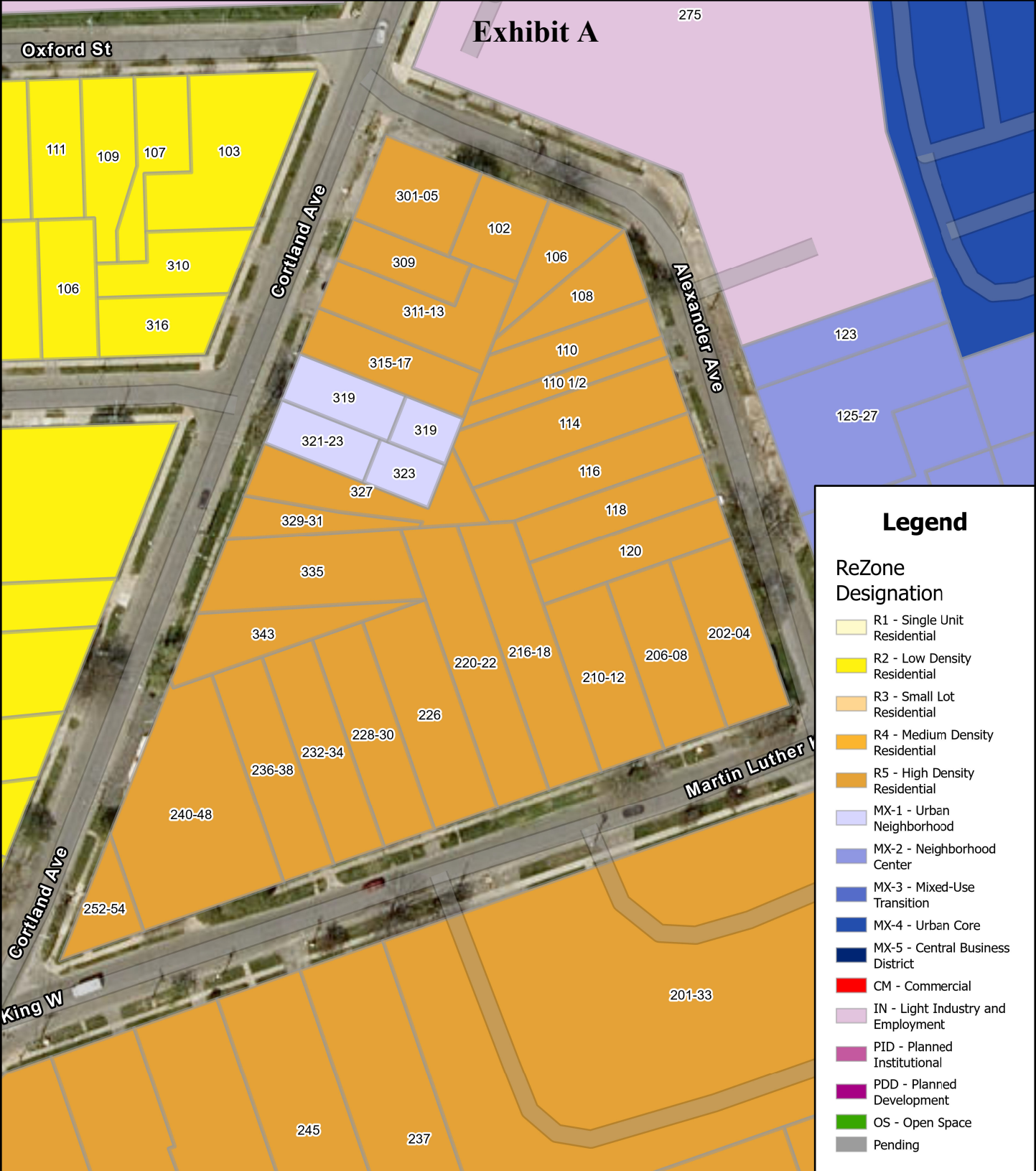
MINIMUM YARDS (LOT "B"):	R5	MX-1	PROPOSED
FRONT YARD: (CORTLAND AVE)	0'	NA	6'
SIDE YARD: (NORTH-ALEXANDER AVE)	10'	NA	10'
(AVERAGE STREET SETBACK)	4'	NA	4'
SIDE YARD: (SOUTH)	4'	NA	4'
REAR YARD: (EAST)	20'	NA	20'

PARKING (LOT A)	R5	MX-1	PROPOSED
PARKING SPACE SIZE:	8.5' X 18'	8.5' X 18'	9' X 18'
REQUIRED PARKING RESIDENTIAL	-0.5 SP. PER UNIT (30 UNITS) =	15 SP.	14 SP.
REQUESTED PARKING REDUCTIONS	-PROXIMITY TO TRANSIT -30%	-4 SP.	-4 SP.
-MIXED INCOME DEV. -50%	-7 SP.	-7 SP.	-7 SP.
TOTAL AFTER REDUCTIONS:	4 SP.	4 SP.	14 SP.

PARKING (LOT B)	R5	MX-1	PROPOSED
PARKING SPACE SIZE:	8.5' X 18'	8.5' X 18'	NONE
REQUIRED PARKING RESIDENTIAL	-0.5 SP. PER UNIT (37 UNITS) =	18 SP.	8 SP.
REQUESTED PARKING REDUCTIONS	-PROXIMITY TO TRANSIT -30%	-5 SP.	-5 SP.
-MIXED INCOME DEV. -50%	-9 SP.	-9 SP.	-9 SP.
TOTAL AFTER REDUCTIONS:	4 SP.	4 SP.	8 SP.

* DENOTES WAIVER REQUIRED
 ** PARCEL SIZE LISTED IS PER TAX RECORDS THE TOTAL LOT AREA IS THE MEASURED AREA BASED ON THE SURVEY

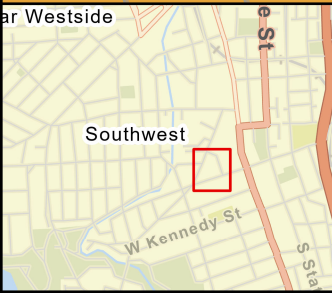
Exhibit A



Legend

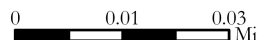
ReZone Designation

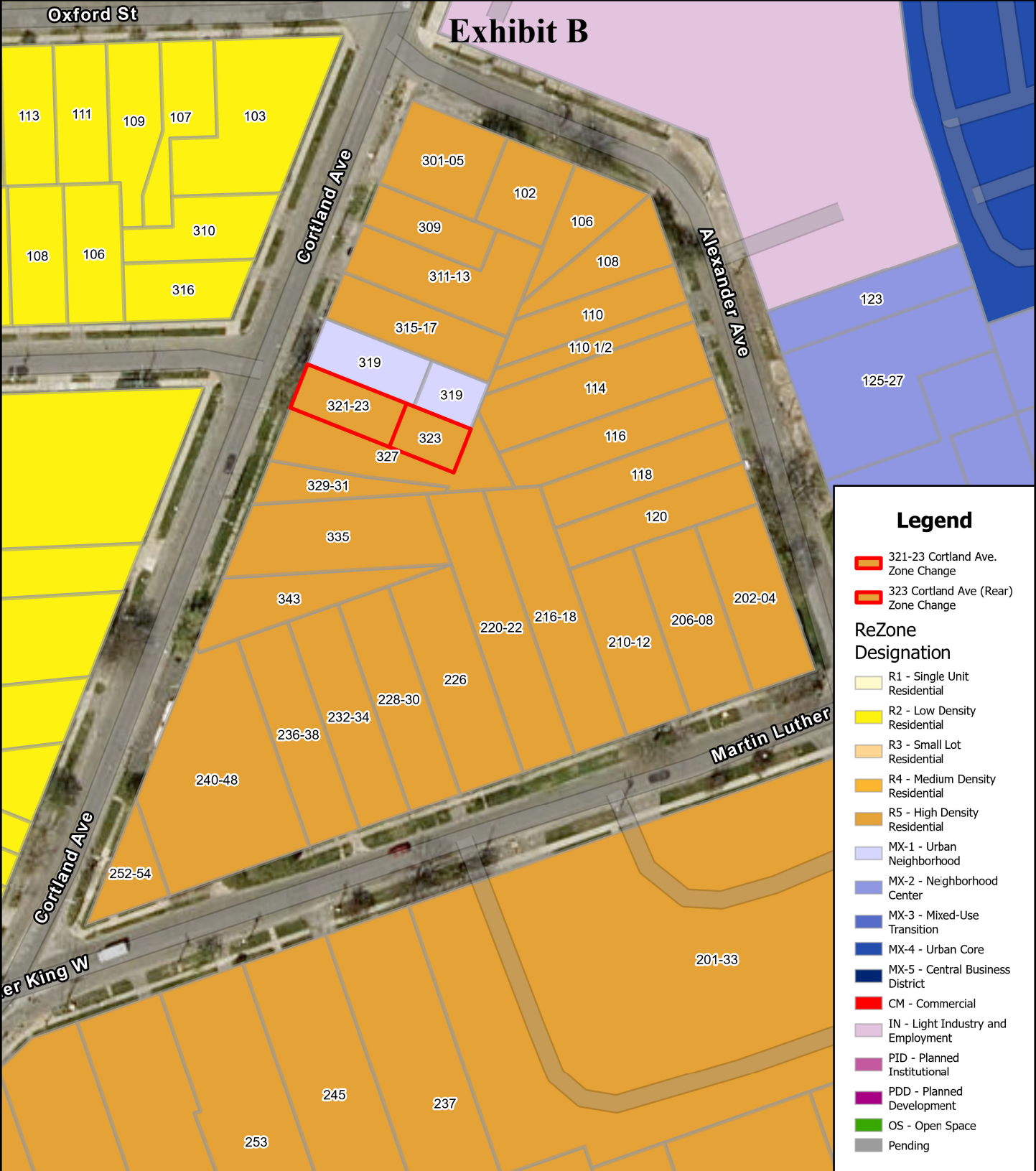
- R1 - Single Unit Residential
- R2 - Low Density Residential
- R3 - Small Lot Residential
- R4 - Medium Density Residential
- R5 - High Density Residential
- MX-1 - Urban Neighborhood
- MX-2 - Neighborhood Center
- MX-3 - Mixed-Use Transition
- MX-4 - Urban Core
- MX-5 - Central Business District
- CM - Commercial
- IN - Light Industry and Employment
- PID - Planned Institutional
- PDD - Planned Development
- OS - Open Space
- Pending



Existing Zone District Map

Map By: Cristian Toellner | Created On: 4/9/24
Map Credit: New York State, Maxar, Microsoft, Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, USFWS
Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere



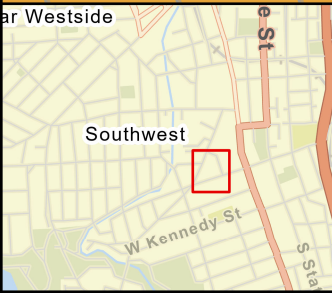


Legend

- 321-23 Cortland Ave. Zone Change
- 323 Cortland Ave (Rear) Zone Change

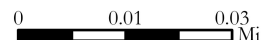
ReZone Designation

- R1 - Single Unit Residential
- R2 - Low Density Residential
- R3 - Small Lot Residential
- R4 - Medium Density Residential
- R5 - High Density Residential
- MX-1 - Urban Neighborhood
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- MX-3 - Mixed-Use Transition
- MX-4 - Urban Core
- MX-5 - Central Business District
- CM - Commercial
- IN - Light Industry and Employment
- PID - Planned Institutional
- PDD - Planned Development
- OS - Open Space
- Pending



Proposed Zoning Map Amendment

Map By: Cristian Toellner | Created On: 4/9/24
 Map Credit: New York State, Maxar, Microsoft, Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, USFWS
 Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere



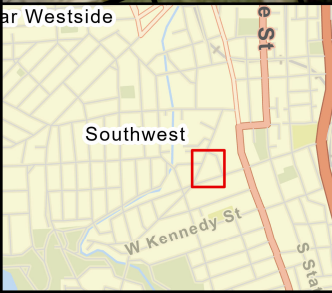
Oxford St

Exhibit C



Legend

-  Subject Properties
-  Existing Parcel Boundaries



Existing Parcel Boundaries Map

Map By: Cristian Toellner | Created On: 4/9/24
 Map Credit: New York State, Maxar, Microsoft, Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, USFWS
 Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere

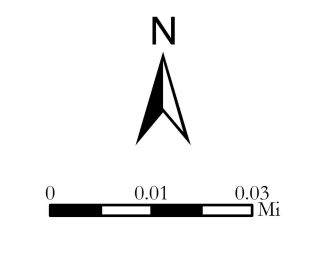
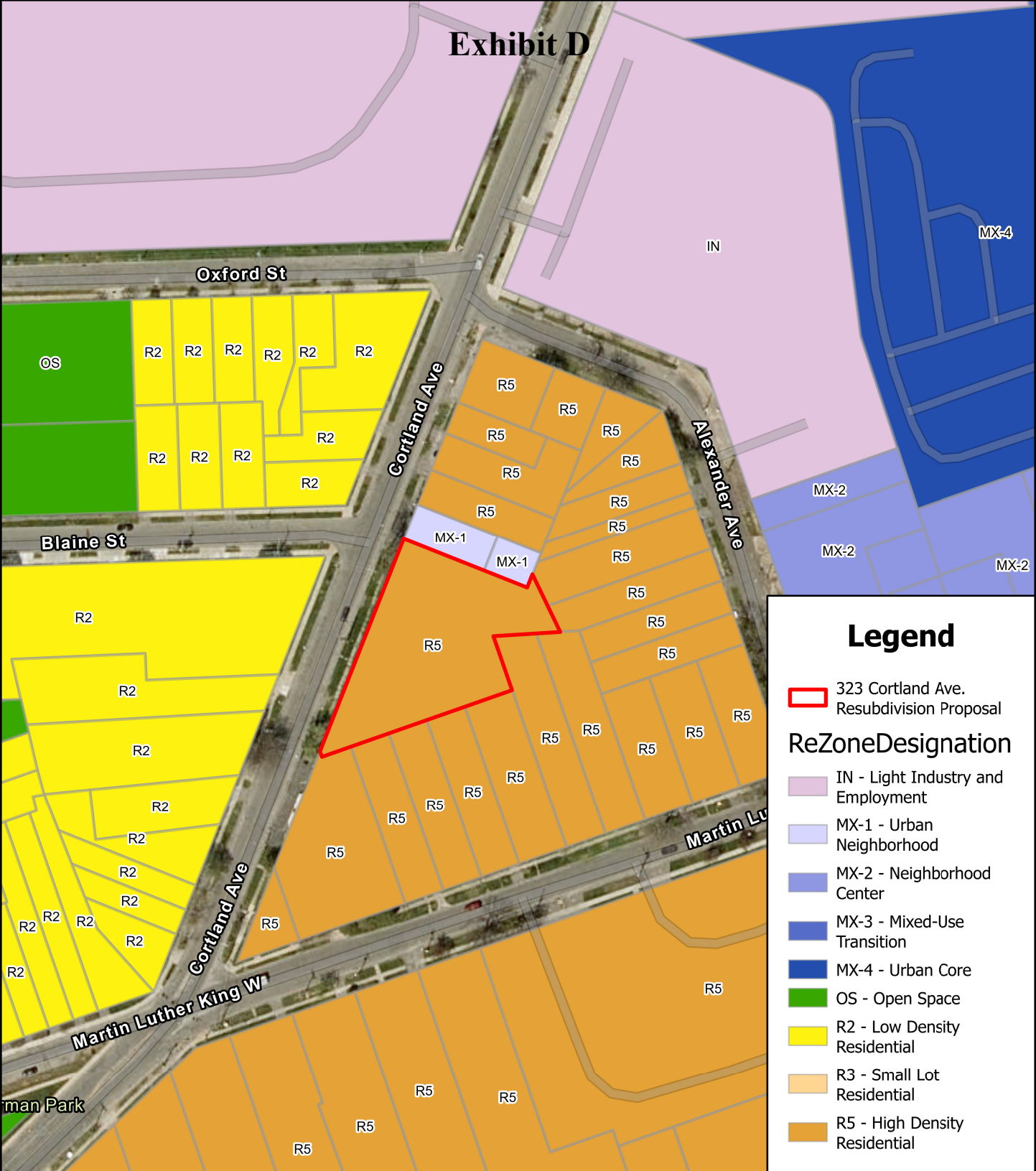
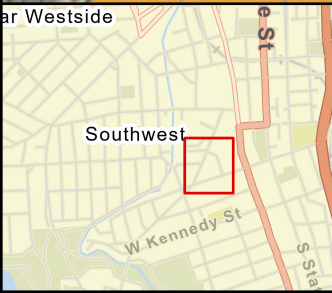


Exhibit D



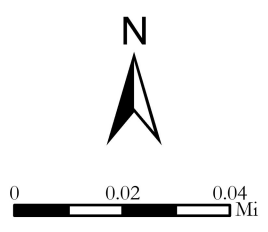
Legend

-  323 Cortland Ave. Resubdivision Proposal
- ReZoneDesignation**
-  IN - Light Industry and Employment
-  MX-1 - Urban Neighborhood
-  MX-2 - Neighborhood Center
-  MX-3 - Mixed-Use Transition
-  MX-4 - Urban Core
-  OS - Open Space
-  R2 - Low Density Residential
-  R3 - Small Lot Residential
-  R5 - High Density Residential



Resubdivision Proposal

Map By: Cristian Toellner | Created On: 4/9/24
Map Credit: New York State, Maxar, Microsoft, Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, USFWS
Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere





J.Ryan McMahon, II
COUNTY EXECUTIVE

Onondaga County Planning Board

RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: March 27, 2024

OCPB Case # Z-24-82

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a ZONE CHANGE from the City of Syracuse Planning Commission at the request of Helio Health for the property located at Cortland Avenue; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law and the site is located within 500 feet of the Centro Bus Garage, a state-owned authority; and
- WHEREAS, the applicant is requesting a zone change on two parcels from Urban Neighborhood (MX-1) to High Density Residential (R5) to allow for the construction of two new multifamily buildings with 67 total units on two newly created lots; and
- WHEREAS, the Board is concurrently reviewing multiple referrals for this project: a site plan referral (Z-24-81), an area variance referral (Z-24-83), and a subdivision referral (S-24-11); and
- WHEREAS, the site is on the south side of the City of Syracuse, at the transition between residential and the commercial businesses near South Salina Street; nearby businesses include a Byrne Dairy plant, the Centro depot, and the vacant Sears Roebuck building; and
- WHEREAS, the site is comprised of two areas on the same triangular block of Cortland Avenue, surrounded by Alexander Avenue and Martin Luther King West; the referral refers to these areas as A and B; per the Site Plan dated 11/27/23, area A is 0.58 acres in the middle of the block, consisting of 6 parcels to be combined and has approximately 223' of frontage on Cortland Avenue; Area B is 0.44 acres on the corner of Cortland and Alexander Avenues, consists of 5 parcels to be combined, and has approximately 350' of frontage; the site is primarily vacant except one house in Area B that will be demolished; and
- WHEREAS, the applicant is proposing the construction of two new multifamily buildings of 67 total affordable and supportive housing units with adjacent parking lots; building A will be a 3-story building along the Cortland Avenue frontage, containing 30 dwelling units; a driveway from Cortland Avenue leads to a 15-space parking lot at the rear of the building; building B will be a 3-story building at the corner of Cortland and Alexander Avenues containing 37 dwelling units; the southern portion of building B will be constructed over an 8 parking space ground level parking lot with a driveway to Alexander Avenue; and
- WHEREAS, the applicant is proposing a zone change on two of the four parcels comprising area A; currently, four parcels are zoned High Density Residential (R5) with two parcels in an Urban Neighborhood (MX-1) zoning district; in subdivision referral S-24-11, these lots will be combined and the applicant is proposing the two MX-1 parcels be R5 with the resultant new Lot A be zoned R5; and

- WHEREAS, per the Environmental Assessment Forms (EAF) dated 3/5/24, 0.57 acres for area A and 0.44 acres for area B, totaling 1.01 acres of the site will be disturbed by the proposed project; note, 1.01 acres is the total area of both sites; per the EAFs, “stormwater will be directed to existing storm sewer and regulated per NYDEC and City of Syracuse regulations”;
- ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and
- WHEREAS, per the referral notice, the site has access to public drinking water with new connections proposed for the two buildings; and
- WHEREAS, per the referral notice, the site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant service area with new connections proposed to serve the buildings;
- ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division in order to connect into the public sewer system; additionally, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:
<http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and
- WHEREAS, current FEMA Flood Insurance Rate Maps (FIRM) indicate that all of area B and a large portion of area A is located within the 100-year floodplain, which may require avoidance or elevation of structures and other mitigation;
- ADVISORY NOTE: The Onondaga County Hazard Mitigation Plan has identified flooding as one of eight primary natural hazards of local concern, with the potential to cause extensive threat to property and safety; buildings within the floodplain can negatively affect the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged; and
- WHEREAS, per the Central New York Regional Transportation Authority (CENTRO), Cortland Avenue and nearby Midland Avenue and South Salina Street have public transit service and bus stops are located within 300’ of the site; the Site Plan shows new sidewalks will be constructed in front of the buildings; sidewalks are present on all streets in the immediate area; and
- WHEREAS, the project is within 2,000 feet of multiple sites (IDs: B00024, C734144A, C734161, C734140, 734141) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); and
- WHEREAS, the site is located near the Sears, Roebuck and Company Store and the MLK Apartments which are listed on, or have been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places; and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has determined that said referral will have no significant adverse inter-community or county-wide implications and may consequently be acted on solely by the referring board.



Martin E. Voss, Chairman
Onondaga County Planning Board

GML 239 Report of Final Action

NYS GML § 239-m.6. and n.6. require the referring body to file a report of the final action it has taken on a referred matter with the county planning agency within 30 days after the final action (separate from the minutes taken at the meeting). A referring body which acts contrary to a County Planning Board recommendation of MODIFICATION or DISAPPROVAL of a referred matter shall also set forth the reasons for the contrary action in such report.

This section to be completed by the Syracuse-Onondaga County Planning Agency

To: Onondaga County Planning Board **From:** City of Syracuse Planning Commission

Fax: 435-2439 **Phone:** 435-2611

Re: Applicant: Helio Health
Address: at Cortland Avenue
Referral Type: ZONE CHANGE
OCPB Date: March 27, 2024
OCPB Action: No Position
OCPB Case #: Z-24-82

The local board took the following action regarding the above referenced referral (Check one box. If checking Other, please specify the final action taken. Use the space at the bottom of the report to identify reasons if acting contrary to the OCPB recommendation.):

- Approved the proposed action with regard to the OCPB's No Position or No Position with Comment.
- Approved the proposed action as modified by the OCPB.
- Approved the proposed action contrary to some of the modifications recommended by the OCPB.*
- Approved the proposed action contrary to all of the modifications recommended by the OCPB.*
- Approved the proposed action contrary to the disapproval recommended by the OCPB.*

- Disapproved the proposed action with regard to the OCPB's no position or no position with comment.
- Disapproved the proposed action with regard to the recommended modification(s) by the OCPB.
- Disapproved the proposed action as recommended and for reasons set forth by the OCPB.
- Disapproved the proposed action as recommended but for reasons other than those set forth by the OCPB. (Please list reasons below for local disapproval.)

- Other _____

Local Board Date: _____

*List reasons for acting contrary to the OCPB recommendation and include a copy of the local board resolution. Attach additional reasons on a separate sheet of paper as necessary.
