

## **Syracuse Gateway Apartments project roadmap**

### **Project Introduction**

The applicant will introduce the project and present the application.

#### **R-24-28**

The CPC will commence the public hearing on R-24-28. The CPC may allow public comment but will hold the application over until the next public hearing (5/28/24) to take actions on SEQR review and final decision.

#### **MaSPR-24-17**

The CPC will commence the public hearing on MaSPR-24-17. The CPC may allow public comment but will hold the application over until the next public hearing (5/28/24) to take actions on SEQR review and final decision.



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>MaSPR-24-17</u>	<u>Staff Report – May 6, 2024</u>
<b>Application Type:</b>	Major Site Plan Review
<b>Project Address:</b>	To be known as 701-705 E. Fayette Street (proposed address) Includes: 701-03 E. Fayette St (parcel: 030.-16-18.0), 715 E. Fayette St (parcel: 030.-16-13.1), 706-08 E. Washington St (parcel: 030.-16-02.0), 712-16 E. Washington St. (parcel: 030.-16-03.0), 705 Fayette St (parcel: 030.-16-17.0), 709 Fayette St. (parcel: 030.-16-16.0).
<b>Summary of Proposed Action:</b>	Construction of a 7-story mixed-use residential building to be known as the Gateway Syracuse Apartments. The project will include demolishing three existing structures and adding 291 residential dwelling units along with 5,715 SF of retail/commercial space and additional amenity space for residents. 300 covered parking spaces are proposed inside the new apartment building in a parking structure on portions of the first and second floor. As part of the project, a subdivision (R-24-28) is concurrently proposed to combine the 6 existing lots into 1 single lot.
<b>Owner/Applicant</b>	Christopher Geiger of GW Syracuse (Owner) Ben Harrell, CHA (Representative)
<b>Existing Zone District:</b>	Central Business District, MX-5 Zone District
<b>Surrounding Zone Districts:</b>	The neighboring properties to the north, east and west are in MX-5 Zone District, to the south are in OS Open Space Zone District and MX-5 Zone District.
<b>Companion Application(s)</b>	<b>R-24-28:</b> Resubdivision to combine 6 lots into one new lot.
<b>Scope of Work:</b>	After the Resubdivision, the applicant intends to demolish three existing buildings respectively on 712-16 E. Washington St., 701-03 E. Fayette St and 705 Fayette St. The proposed Gateway Syracuse Apartments will build a 7-story 291-unit mixed-use residential building. Regarding the residential units, the project proposes to construct (89) 1-bedroom units, (102) 2-bedroom units, (53) 4-bedroom units, (47) studios. The building will provide 5896 SF for retail space on level 1; meanwhile, 300 parking spaces will be disturbed by 102 spaces on level 1 and 198 spaces on level 2.
<b>Staff Analysis:</b>	<p><b>Factors:</b></p> <ul style="list-style-type: none"> <li>- Despite the Office of Zoning Administration has finished its review, this Major Site Plan application is not completely reviewed by all involved City department. Once the review is completed, more information will be provided for the Planning Commission’s further deliberation.</li> <li>- The applicant has requested to present the project before the Planning Commission on 5/6/24 to get feedback from the Board.</li> <li>- The project proposal is required to provide 35 affordable dwelling units as 12 % of the total proposed 291 units pursuant to ReZone, Art3, Sec.3.3A(4)a.1.</li> <li>- The associated site work will install new sidewalks and replace old, deteriorated sidewalks along the perimeter of the site and granite curbs by reducing the existing curb cuts to one for the entrance of the parking garage.</li> <li>- Based on the proposed landscape plan, new trees will be planted along with the apartment building facing East Fayette Street and East Washington Street.</li> <li>- The subject project is adjacent to the property on 711 E. Fayette Street, which is both a local Protected Site and listed in the National Register of Historic Places, so the project requires further review from the Syracuse Landmark Preservation</li> </ul>

**MaSPR-24-17**

	<p>Board.</p> <ul style="list-style-type: none"><li>- The site plan conforms to setback regulations, building height, and transparency requirements pursuant to ReZone, Art. 2, Sec. 2.6B.</li></ul>
<b>Zoning Procedural History:</b>	<p>701-03 E. Fayette St: Z-2757  Zone change, convert RB, CA, IA Zone to BA, approved on 2/19/2013 SP-68-01  Special Use Permit, built a gasoline service station(Gulf), common council approved on 7/22/1968</p> <p>715 E. Fayette St: No Zoning history available, vacant land</p> <p>706-08 E. Washington St: Z-2757  Zone change, convert RB, CA, IA Zone to BA, approved on 2/19/2013</p> <p>712-16 E. Washington St.: Z-2757  Zone change, convert RB, CA, IA Zone to BA, approved on 2/19/2013 AS-81-025   Sign Wavier, granted a wall sign, approved 7/20/1981</p> <p>705 Fayette St: Z-2757  Zone change, convert RB, CA, IA Zone to BA, approved on 2/19/2013</p> <p>709 Fayette St: Z-2757  Zone change, convert RB, CA, IA Zone to BA, approved on 2/19/2013</p>
<b>Summary of Zoning History:</b>	<p>In 1981, the Zoning Administrator approved a wall sign on 712-16 E. Washington with 325 SF in total area and 60 feet of frontage on East Washington Street. The wall sign is no longer on the property according to Google Street View.</p> <p>In 1968, Syracuse Common Council approved the application for Gulf Oil Corporation to install a Gas station on 701-03 E. Fayette St. The proposal had deviations on the specific Special Permit provision relative to location, secondary street frontage, and curb cuts for the gasoline service station; and the City Planning Commission has determined that the proposed deviations are not detrimental to adjoining zoning districts and permitted uses. Prior to Rezone taking effect on July 1, 2023, properties (701-03 E. Fayette St,706-08 Wahington St, 712-16 E. Washington St., 705 Fayette St ,709 Fayette St.) were zoned BA due to the Zone Change Z-2757, which was approve on 2013.</p>
<b>Code Enforcement History:</b>	<p>No code enforcement is available among all property</p>
<b>Zoning Violations:</b>	<p>The proposal has no zoning violations;</p>
<b>Summary of Changes:</b>	<p>This is not a continued application.</p>
<b>Property Characteristics:</b>	<p>The 706-08 E. Washington St is a rectangle in shape with 51 feet of frontage on East Washinton Street and a lot depth of 62 feet.</p> <p>The 712-16 E. Washington St is a rectangle in shape with 157 feet of frontage on East Washinton Street and a lot depth of 122.8 feet.</p> <p>The 701-03 E. Fayette St is irregular in shape with 92 feet of frontage on East Fayette Street and a lot depth of 201 feet.</p>

	<p>The 715 E. Fayette St is irregular in shape with 93 feet of frontage on East Fayette Street and a lot depth of 262 feet.</p> <p>The 709 Fayette St is a rectangle in shape with 34 feet of frontage on East Fayette Street and lot depth of 132 feet.</p> <p>The 705 Fayette St is a rectangle in shape with 72 feet of frontage on East Fayette Street and lot depth of 132 feet.</p>
<b>SEQR Determination:</b>	Pursuant to the 6 NYCRR § 617.4(b)(5)(iii), the proposal is a Type 1 Action.
<b>Onondaga County Planning Board Referral:</b>	The proposal is under the review of the Onondaga County Planning Board pursuant to GML §239-l, m and n. OCPB will announce the reviewing determination on May 8, 2024

**Application Submittals:** The application submitted the following in support of the proposed project:

- Major Site Plan Review
- Full Environmental Assessment Form Part 1
- Durable Power of Attorney
- Topographic Survey, Nos. 706-708 & 712-716 East Washington Street And Nos. 701-703. 705 & 709 East Fayette Street Part of Block No.232
- City of Syracuse, Onondaga County, New York; Timothy J. Coyer, Licensed Land Surveyor; Ianuzi & romans Land Surveying, P.C.; Scale 1”=20’; Dated 02/3/22
- Resubdivison Map; Gateway Syracuse Apartments Subdivision, Part of Block No.232, City of Syracuse, Onondaga County, NY; Timothy J. Coyer, Licensed Land Surveyor; Ianuzi & Romans, P.C.; Scale 1”=20’; Dated: 04/2/24.
- Demolition Plan, Gateway Syracuse Apartments 701-705 E. Fayette Street, Syracuse 13210, GW Syracuse, LLC ,21 Green Ave Amityville, NY 11701, Sheet C-004, Designed By: BGH, Drawn By: BGH, Issue date: 03/29/24 Scale 1”=40’
- Site Layout Plan, Gateway Syracuse Apartments 701-705 E. Fayette Street, Syracuse 13210, GW Syracuse, LLC ,21 Green Ave Amityville, NY 11701, Sheet C-101, Designed By: BGH, Drawn By: BGH, Issue date: 03/29/24 Scale 1”=40’
- Utility Plan, Gateway Syracuse Apartments 701-705 E. Fayette Street, Syracuse 13210, GW Syracuse, LLC ,21 Green Ave Amityville, NY 11701, Sheet C-301, Designed By: BGH, Drawn By: BGH, Issue date: 03/29/24 Scale 1”=40’
- Landscape Plan, Gateway Syracuse Apartments 701-705 E. Fayette Street, Syracuse 13210, GW Syracuse, LLC ,21 Green Ave Amityville, NY 11701, Sheet C-401, Designed By: BGH, Drawn By: BGH, Issue date: 03/29/24 Scale 1”=40’
- Floor Plans (Level 1-7) and Elevations, Gateway Syracuse Apartments, sheet 01, PASSERO Engineering Architecture, April 22, 2024

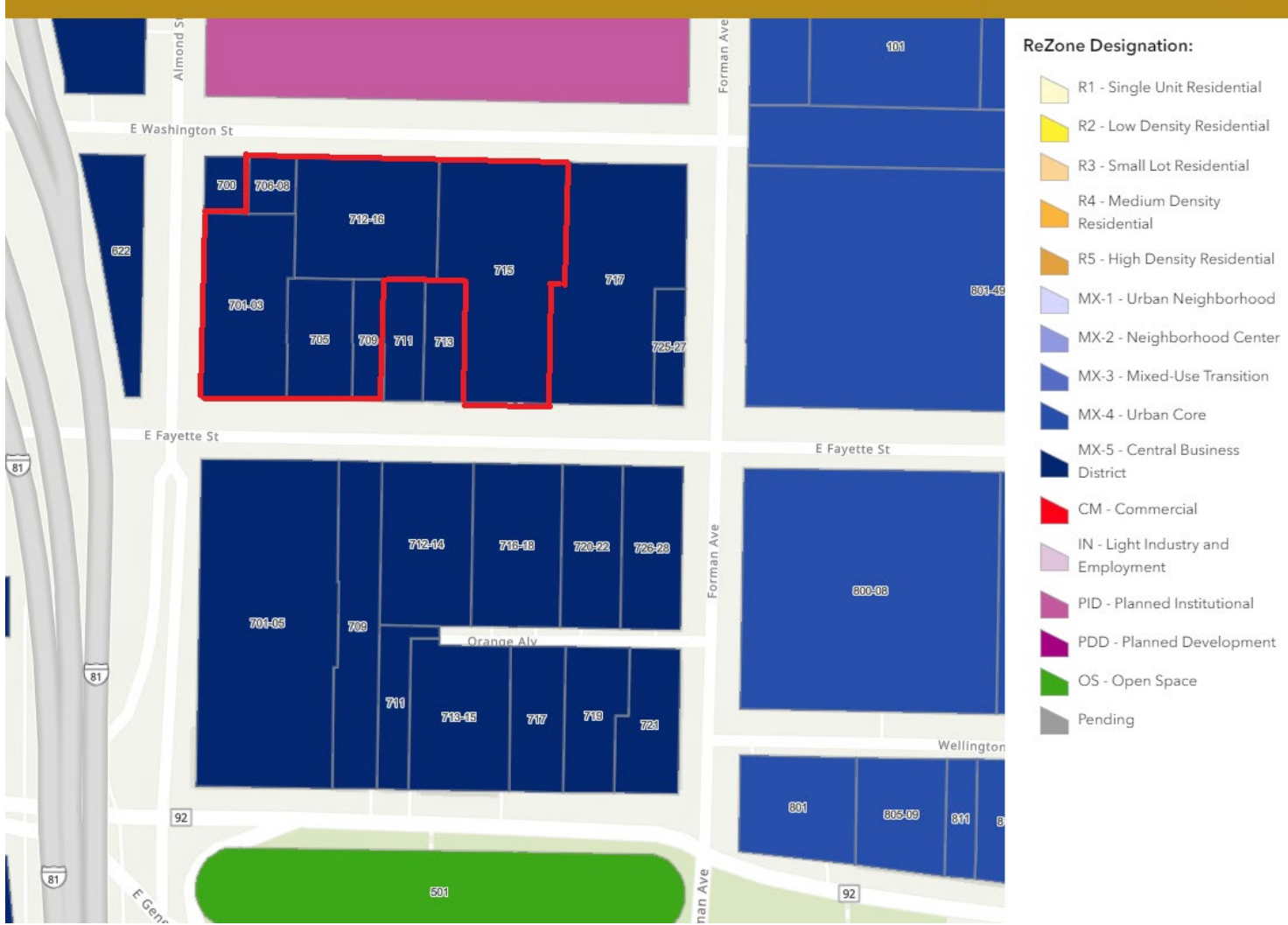
**Attachments:**

Major Site Plan Review Application  
OCPB Comments

IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.  
Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Properties



Description: Figure 2 shows satellite imagery of the subject properties.  
Image Source: Onondaga County Department of Planning, GIS Viewer.



April 23, 2024

Syracuse Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, New York 13202

**RE: Site Plan Application  
Gateway Syracuse Apartments 701-705 E. Fayette Street  
CHA Project No. 086238**

Dear Syracuse Zoning Administration:

CHA is pleased to provide the enclosed documents related to the above referenced project. Plans have been revised per City comments and the meeting with city staff on April 18<sup>th</sup>. The following repeats those comments and indicated how each was addressed:

**FEAF Part 2**

1. Impact on Land
  - a. All sub-questions are no or small impact.
    - i. There is a concern about contaminants in old gas station lot and how grading/excavation near those contaminants will pane out. If it rains when those contaminated soils are exposed, what have you done to mitigate that? No plans show this.

***Response: Mitigation plan will be completed to NYSDEC standards and a permit will be issued by the NYSDEC for any changes to the current mitigation plan. Design of this plan is dependent on project approval and that no major changes occur to the building during the planning approval process. Attached are the Phase I & Phase II environmental reports which identify potential contamination on the site and the need for coordination with the NYSDEC for brownfield clean up.***

2. Impact on groundwater
  - a. All sub-questions are no, or small impacts, expect for question 4.e
    - i. Sub question 4e. Contamination next to water supply wells. Obviously, there will be no wells, but will there be any new water connections to main supply line that go through areas of contamination? No plans show where utility connections will be.

***Response: The location of the water connection is now shown on the site utility plan and will not impact the ground water the water main piping is water tight and will be wrapped in 8 MIL Polyethylene to prevent corrosion of the service.***

3. Impacts on energy
  - a. The submitted FEAF part 1 did not fill out this section. Please resubmit part 1 with estimates for how much electricity will be generated.  
***Response: Electrical estimates are now included in the FEAF.***
4. Impacts on odor, noise, and light
  - a. Provide more details as to how the light fixtures will be design. Perhaps include detail page of the type of lights that will be used. Light fixtures ought to be fully shielded and downwardly directed with no glare or light spillage to neighboring properties.
  - b. Except for the church, xotaco, and the apartment building across the church; there are not many sound receptors. Provide more details as to how you will mitigate excess sound from construction, if at all.
    - A. ***Light fixture cut sheets are now included in the submittal along with the exterior elevations-lighting plan which details where each type of light will be used on the building façade.***
    - B. ***The hours of work will be limited to daytime work to mitigate excess sound from construction similar to other construction sites in the area.***
5. Impacts on human health
  - a. Sub question 16b – I can't answer this question. I need to see your site management plan for soil vapor intrusion.
  - b. Also need to see the protective cover system plans to cap the contaminated soils.
  - c. Can you clarify if this is a brownfield cleanup project?
    - A. ***Included in the resubmission are the Phase I & II environmental reports. The site management plan is still under way based on the environmental testing that was conducted. Final design will fully comply and be reviewed/approved by NYSDEC to eliminate any impact on human health.***
    - B. ***Protective cover system will be designed after project approvals, otherwise if the project building plans change during the approval process the plan would need to be revised and cost the developer significantly.***
    - C. ***Yes, this is a brownfield clean up project.***
6. Impacts on historic and archeological resources
  - a. Sub question E3e – I can't answer this question because the People's African Methodist Episcopal Zion Church is local protected site and should be referred to Landmark Preservation Board for comment.  
***Response: Understood that Landmark Preservation Board will be given the opportunity to comment. It should be noted that the project has been scaled down from the originally proposed 14-story building to 7-story with a step back to appear at 6 stories along E. Fayette to***





*reduce the impacts to the adjacent People's African Methodist Episcopal Zion Church.*

**Please include in a resubmittal package the following, pursuant to ReZone, Art. 5, Sec. 5.4A(4):**

- 1) **New SEQR Part 1 that answers Question D2R (its no) and question D2K (you need to provide estimates on electricity) and identify if there are soil contaminants for the correct addresses.**
  - a. You need to revisit the potential contamination history E.1.h because the spill incidents and remediation you provide was for addresses at 701-09 E Water Street.
  - b. Spill number 0610014 says fuel oil and gasoline were spilled on 12/4/2006 and that the DEC closed by the case manager in 2012 for an unknown reason. This was at 701 E Water Street
  - c. Spill number 0111549 says a tank failure from a petroleum bulk storage facility spilled gasoline and effect groundwater at 701-09 E water st. Outside of construction area so unsure how this factors in if at all.
  - d. Environmental Site Remediation number C734111 says that this was a BCP program and the cover system was for site at 701-09 E Water Street.
  - e. You may need to do some soil testing to find out whether or not 701-03 E Fayette St has any contaminants in the soil.
  - A. *Spill incidents have been revised to remove those that occurred adjacent to project site.*
  - B. *Spill has been removed from list as it did not occur on site.*
  - C. *Spill has been removed from list as it did not occur on site.*
  - D. *Remediation has been removed from on site list and is only listed on within 2000' portion.*
  - E. *Soil testing has occurred on site and is concluded in the Phase II environmental report which is now included. The testing and analysis will be used to create a mitigation plan and design all necessary improvements to protect future residents.*
- 2) Please resubmit an updated site plan review application that has the correct number of dwelling units  
*Response: Site plan review application has been corrected from 281 to 291 units and parking count has been revised based on removed spaces along E. Washington Street.*
- 3) Landscaping plan showing where green space and plants will be if at all, see section 4.5  
*Response: A landscaping plan is now included in the revised submission showing green spaces and planting around the building.*
- 4) Exterior lighting plan, see section 4.7  
*Response: Exterior lighting plan is now detailed on exterior elevations – lighting plan along with cut sheets for the proposed lighting.*



- 5) New floor plans showing level 1 being compliant with the zoning ordinance.  
***Response: New floor plans are now provided showing level 1 being compliant with the zoning ordinance with 25' of permitted uses from the exterior wall separating the parking structure at the first floor along E. Washington Street.***
- 6) Demolition plan  
***Response: A Demolition plan is now included in plans.***
- 7) Remediation plan for contaminants  
***Response: Phase I & II reports are now included, and the project will be a brown field clean up. The final remediation plan for contaminants is contingent on site plan approval and will be reviewed by NYSDEC.***
- 8) Updated site plan showing where trash pickup will be, where bike parking will be etc.  
***Response: Site plan now shows the trash pick up entrance and bike parking.***
- 9) Grading and drainage plan/stormwater management system  
***Response: A grading and drainage plan is now included showing an area reserved for storm water management under the parking deck. Final design of the storm system will meet all NYSDEC and City of Syracuse requirements. Final design will be coordinated with the City Engineer upon site plan review approval.***
- 10) Sanitary sewer and public water hookup information  
***Response: Approximate sewer and public water connection locations are now shown on the plans, please see C-301 Utility Plan. Final sizing and locations will be coordinated with the City DPW, City Engineer and NYSDOT to limit disruption to traffic flows for connections and future maintenance.***
- 11) DPW will likely require a MUTCD plan  
***Response: Acknowledged, traffic control plans will be provided as part of the building permit and road cut permit applications. Plans will include pedestrian and motor vehicle detours along with lane closure plans that will be coordinated with NYSDOT, City Engineering and the adjacent Crowne Plaza project. The plans will be designed in accordance with MUTCD standards to reduce impacts as greatly as possible.***

The following information is submitted for review and approval:

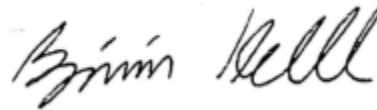
- Site Plan Application Form - Updated
- Long Environmental Assessment Form (EAF) -Updated



- Phase I Environmental Report
- Phase II Environmental Report
- Civil Plans
  - C-004 Demolition Plan
  - C-101 Site Layout Plan
  - C-301 Utility Plan
  - C-401 Landscape Plan
- Architectural Floor Plans & Elevations Dated 4-22-2024
- Exterior Elevations – Lighting Plan
- LLI Dome Light Cut Sheet
- Lumen Pulse Lighting Cut Sheet
- Alva Tessie Cut Sheet

Should you require any additional copies of these items, or have any questions related to the submission, please do not hesitate to contact me at 315-257-7258 or [BHarrell@chasolutions.com](mailto:BHarrell@chasolutions.com)

Very truly yours,



Ben Harrell, PE.  
Engineer IV

Enclosures

Cc:

V:\Projects\ANY\K6\086328.000\07\_Permitting\Local\4 - Resubmission-04-23-24\0 - Cover Letter-Gateway Site Plan Resub-04-23-24.doc



**Site Plan Review Application**



<b>For Office Use Only</b>	
Zoning District:	_____
Application Number: S-	_____ - _____
Date:	_____

Office of Zoning Administration  
 One Park Place, 300 S State St,  
 Suite 700  
 Syracuse, NY 13202  
 Phone: (315) 448-8640  
 Email: zoning@syr.gov.net

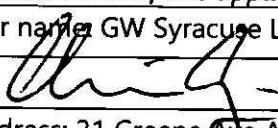
**Site Plan Review Application**

*This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

**General Project Information**

Business/project name: Gateway Syracuse Apartments		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): See Attached List		
Lot numbers: See attached List	Block number: N/A	Lot size (sq. ft.) See attached list
Current use of property: See attached list	Proposed: Mixed Use	
Current number of dwelling units (if applicable): See attached list	Proposed: 291 units	
Current onsite parking (if applicable): See attached list	Proposed: 300 spaces	
Zoning (base and any overlay) of property: See attached list		
Companion zoning applications (if applicable, list any related zoning applications): Resubdivision Application		
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor		
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size:	Type:	Location:
Size:	Type:	Location:
Nature and extent of Site Plan requested (attach additional pages if necessary): Mixed Use development consisting of first floor retail with residential above.		

**Owner/Owner's Agent Certification**

<i>By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.</i>	
Print owner name:	GW Syracuse LLC
Signature:	
Date:	4/18/24
Mailing address:	21 Greene Ave Amityville, NY 11701
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.	

Geiger Property Management, Inc.  
21 Greene Ave.  
Amityville, NY 11701  
(516) 413-6689

May 2, 2024

Christian Toellner  
Zoning Administration  
300 South State Street  
Syracuse, NY 13202

Re: GW Syracuse, LLC Affordability Component

Dear Mr. Toellner,

The purpose of this letter is to inform you that the project located on Almond Street between East Fayette Street and East Washington Street, also known as the "Gateway" intends to comply with the ReZone Syracuse mandate to include 12% of the units as affordable units. Those units will be reserved for households at or below 80% of the area median income, and that the units are not segregated or of different quality. GW Syracuse, LLC will also commit to providing annual income verification to the Department of Neighborhood and Business Development for qualifying households.

Yours truly,

A handwritten signature in black ink, appearing to read "Chris Geiger". The signature is fluid and cursive, written in a professional style.

Chris Geiger, President  
CG Management & Consulting Inc.



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
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<b><i>R-24-28</i></b>	<b><i>Staff Report – May 6, 2024</i></b>
<b><i>Application Type:</i></b>	Resubdivision
<b><i>Project Address:</i></b>	701-03 E. Fayette St (parcel: 030.-16-18.0), 715 E. Fayette St (parcel: 030.-16-13.1), 706-08 E. Washington St (parcel: 030.-16-02.0), 712-16 E. Washington St. (parcel: 030.-16-03.0), 705 Fayette St ( parcel: 030.-16-17.0), 709 Fayette St. (parcel: 030.-16-16.0).
<b><i>Summary of Proposed Action:</i></b>	The applicant proposes to combine 6 lots (701-03 E. Fayette St., 715 E. Fayette St., 706-08 E. Washington St., 712-16 E. Washington St., 705 Fayette St., 709 Fayette St.) into one new lot. A new Mixed-use Mutli-unit dwelling apartment is proposed on the new lot.  New Lot 100: 2.01 Acres/ 87,553 SF
<b><i>Owner/Applicant</i></b>	Christopher Geiger of GW Syracuse (Owner) Ben Harrell, CHA (Representative)
<b><i>Existing Zone District:</i></b>	Central Business District, MX-5 Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the north, east and west are in MX-5 Zone District, to the south are in OS Open Space Zone District and MX-5 Zone District.
<b><i>Companion Application(s)</i></b>	<b>MaSPR-24-17:</b> Construct a 7 story Mix-use apartment building
<b><i>Scope of Work:</i></b>	After the Resubdivision, the applicant intends to eliminate the properties boundaries between the subject 6 lots and merge them into one new lot.
<b><i>Staff Analysis:</i></b>	<b><u>Factors:</u></b> <ul style="list-style-type: none"> <li>- The properties 706-08 E. Washington St. and 709 Fayette St. are small lots and undesirable to develop in alignment with the district character of Central Business District without enlargement through resubdivision,</li> <li>- The subject project is adjacent to the property on 711 E. Fayette Street, which is both a local Protected Site and listed in the National Register of Historic Places, so the project requires further review from the Syracuse Landmark Preservation Board.</li> <li>- The site plan conforms to setback regulations, building height, and transparency requirements pursuant to ReZone, Art. 2, Sec. 2.6B.</li> </ul>
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<p><b>SEQR Determination:</b></p>	<p>Pursuant to the 6 NYCRR § 617.2(al), the proposal is a Unlisted Action</p>
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**R-24-28**

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- Durable Power of Attorney
- Topographic Survey, Nos. 706-708 & 712-716 East Washington Street And Nos. 701-703. 705 & 709 East Fayette Street Part of Block No.232
- City of Syracuse, Onondaga County, New York; Timothy J. Coyer, Licensed Land Surveyor; Ianuzi & romans Land Surveying, P.C.; Scale 1"=20'; Dated 02/3/22
- Resubdivison Map; Gateway Syracuse Apartments Subdivision, Part of Block No.232, City of Syraucse, Onondaga County, NY; Timothy J. Coyer, Licensed Land Surveyor; Ianuzi & Romans, P.C.; Scale 1"=20'; Dated: 04/2/24.
- Site Layout Plan, Gateway Syracuse Apartments 701-705 E. Fayette Street, Syracuse 13210, GW Syracuse, LLC ,21 Green Ave Amityville, NY 11701, Sheet C-101, Designed By: BGH, Drawn By: BGH, Issue date: 03/29/24 Scale 1"=40'

**Attachments:**

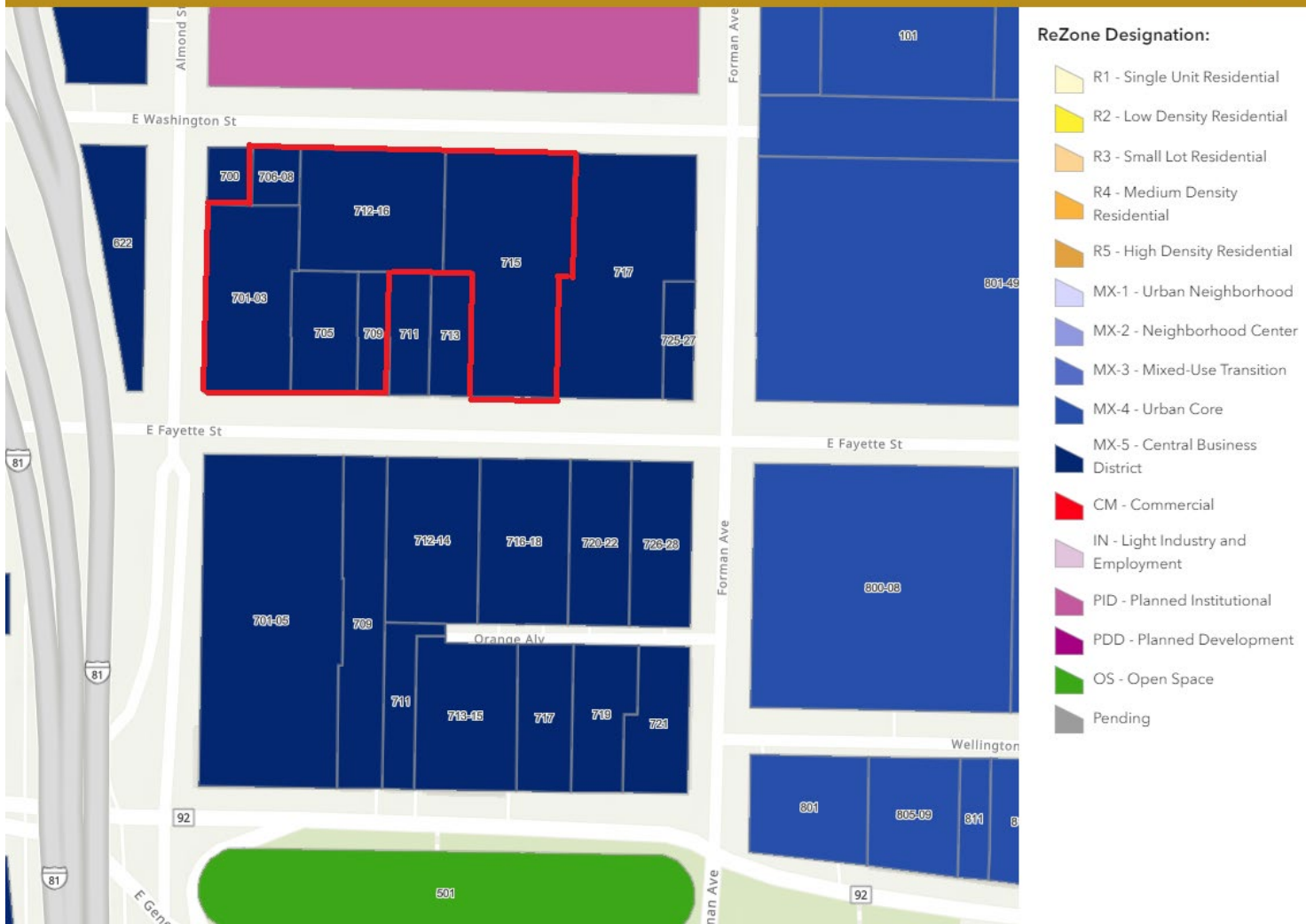
Major Site Plan Review Application  
OCPB Comments

IPS Comments from City Departments



Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Properties



Description: Figure 2 shows satellite imagery of the subject properties.  
Image Source: Onondaga County Department of Planning, GIS Viewer.



April 3, 2024

Syracuse Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, New York 13202

**RE: Resubdivision Application  
701-705 E. Fayette Street  
CHA Project No. 086238**

Dear Syracuse Zoning Administration:

CHA, on behalf of the owner, is pleased to submit the following Resubdivision Application for the above referenced property.

**Resubdivision Application**

The purpose of the Resubdivision Application is to combine six (6) existing parcels into one (1) new lot to facilitate the construction of a new mixed-use residential building.

The following information is submitted for review and approval:

- Resubdivision Application Form
- Full Environmental Assessment Form (EAF)
- Resubdivision Map – “Gateway Syracuse Apartments Subdivision” dated April 2, 2024.
- As Built Property Survey
- C-101 Site Plan dated 3/29/24

Should you require any additional copies of these items, or have any questions related to the submission, please do not hesitate to contact me at 315-257-7258 or [BHarrell@chasolutions.com](mailto:BHarrell@chasolutions.com)

Very truly yours,

A handwritten signature in black ink that reads "Ben Harrell".

Ben Harrell, PE.  
Engineer IV

Enclosures

Cc:

V:\Projects\ANY\K6\086328.000\07\_Permitting\Local\3 - Resubdivision Application-04-03-24\0 - Cover Letter-Gateway Resub App-04-03-24.doc

One Park Place, 300 South State Street, Suite 600, Syracuse, NY 13202-2024

T 315.471.3920 • F 315.471.3569 • [www.chacompanies.com](http://www.chacompanies.com)

City of Syracuse  
Office of Zoning Administration

**RESUBDIVISION / LOT ALTERATION APPLICATION**

One Park Place, 300 S State St \*Suite 700\* Syracuse, NY 13202

315-448-8640 \* [zoning@syr.gov](mailto:zoning@syr.gov) \* [www.syr.gov/Zoning.aspx](http://www.syr.gov/Zoning.aspx)

Office Use Filing Date: Case: Zoning District:

**REQUESTED** (Check applicable and provide the subdivision name, existing and proposed number of lots, and total area.)

	<u>Subdivision Name</u>	<u>Number of Lots</u>	<u>Total Area</u>
<input checked="" type="checkbox"/> Resubdivision:	701 - 705 E. Fayette St	6	1.85
<input type="checkbox"/> Lot Alteration:			

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) See Attached List			
2)			
3)			
4)			

As listed in the Department of Assessment property tax records at <http://syr.gov/Assessment.aspx> - 315-448-8280.

**COMPANION ZONING APPLICATION(S)** (List any related City Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

1) Project Site Review 2) 3)

**PROJECT CONSTRUCTION** (Check all that apply and briefly describe, as applicable.)

<input checked="" type="checkbox"/> Demolition (full and partial):	Demolition of existing buildings
<input checked="" type="checkbox"/> New Construction:	New Residential/Retail Building
<input type="checkbox"/> Façade (Exterior) Alterations:	
<input checked="" type="checkbox"/> Site Changes:	Site Improvements for new building

**PROJECT INFORMATION** (Briefly describe, as applicable.)

Project Name:	Gateway Syracuse Apartments
Current Land Use(s):	See attached list
Proposed Land Use(s):	Mixed use Residential
Number of Dwelling Units:	281 units
Days and Hours of Operation:	24/7 (residential)
Number of Onsite Parking Spaces:	323 spaces

**PROJECT DESCRIPTION** (Provide a brief description of the project, including purpose or need, and justification.)

Resubdivision to combine six (6) existing parcels into one (1) new lot to facilitate the new construction of residential and retail use building.

City of Syracuse Office of Zoning Administration

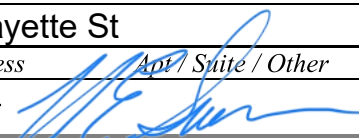
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**Syracuse Parking Assoc LLC**

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
2 Clinton Sq		Syracuse	NY	13202	Phone:
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

728 East Water St Co Inc & Swanson Fayette Assoc LLC

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
505 E Fayette St		Syracuse	NY	13202	Phone:
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature: 			Date: 3-25-24		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
Theodore Wadanole			Howard Civo Johnson & John Ivory		
323 Nottingham Rd		Syracuse	NY	13210	Phone:
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

**715 EFSU, LLC**

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
1 Saddle Ln		Roslyn Heights	NY	11577	Phone:
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

**\* OWNER SIGNATURE DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

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<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
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<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

**REPRESENTATIVE(S)/CONTACT(S)** (if applicable)

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
James Trasher		Market Segment Leader	CHA		
300 S. State St Suite 600		Syracuse	NY	13202	Phone: 315-257-7220
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: Jtrasher@chasolutions.com</i>

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

City of Syracuse Office of Zoning Administration

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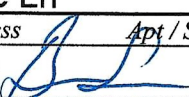
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* Signature:			Date:		

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* Signature:			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
Brian	Sivin	MEMBER	715 EFSU, LLC		
1 Saddle Ln		Roslyn Heights	NY 11577	Phone:	
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature: 			Date: 3/22/24		

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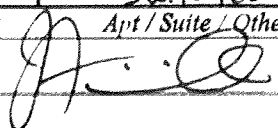
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<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
James	Trasher	Market Segment Leader	CHA		
300 S. State St Suite 600		Syracuse	NY 13202	Phone: 315-257-7220	
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: jtrasher@chasolutions.com</i>
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City of Syracuse Office of Zoning Administration

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<b>John</b>	<b>Furciello</b>	<b>Member</b>	<b>Syracuse Parking Assoc LLC</b>
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>
<b>2 Clinton Sq</b>	<b>Suite 120</b>	<b>Syracuse</b>	<b>NY 13202</b> Phone: 315-472-2020
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St Zip Email: johnf@jfrrealstate.com</i>
* Signature: 			Date: 03/22/2024
728 East Water St Co Inc & Swanson Fayette Assoc LLC			

<b>505 E Fayette St</b>		<b>Syracuse</b>	<b>NY 13202</b> Phone:
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<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>
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<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St Zip Email: hcj915@yahoo.com</i>
* Signature: 			Date: 3/23/2024

<b>hcj915@yahoo.com</b>	<b>940-367-2890</b>	<b>715 EFSU, LLC</b>
<i>First Name</i>	<i>Last Name</i>	<i>Company</i>
<b>1 Saddle Ln</b>		<b>Roslyn Heights NY 11577</b> Phone:
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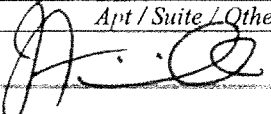
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<b>James</b>	<b>Trasher</b>	<b>Market Segment Leader</b>	<b>CHA</b>
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>
<b>300 S. State St Suite 600</b>		<b>Syracuse</b>	<b>NY 13202</b> Phone: 315-257-7220
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St Zip Email: jtrasher@chasolutions.com</i>
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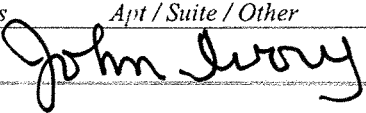
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2 Clinton Sq	Suite 120	Syracuse	NY 13202	Phone: 315-472-2020	
Street Address	Apt / Suite / Other	City	St	Zip	Email: johaf@jfr realestate.com
* Signature:			Date: 03/22/2024		

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First Name	Last Name	Title	Company		
505 E Fayette St		Syracuse	NY 13202	Phone:	
Street Address	Apt / Suite / Other	City	St	Zip	Email:
* Signature:			Date:		

Theodore	Wadanole		Howard Civo Johnson & John Ivory		
First Name	Last Name	Title	Company		
323 Nottingham Rd		Syracuse	NY 13210	Phone: 315-491-8391	
Street Address	Apt / Suite / Other	City	St	Zip	Email: macconstruction@msn.com
* Signature:			Date: 3/22/2024		

			715 EFSU, LLC		
First Name	Last Name	Title	Company		
1 Saddle Ln		Roslyn Heights	NY 11577	Phone:	
Street Address	Apt / Suite / Other	City	St	Zip	Email:
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James	Trasher	Market Segment Leader	CHA		
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300 S. State St	Suite 600	Syracuse	NY 13202	Phone: 315-257-7220	
Street Address	Apt / Suite / Other	City	St	Zip	Email: Jtrasher@chasolutions.com
First Name	Last Name	Title	Company		
Street Address	Apt / Suite / Other	City	St	Zip	Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:





## Lots for Resubdivision

Lot Addresses	Tax Map	Owners	Date Acquired
701-03 E. Fayette St. & Almond St.	030.-16-18.0	Syracuse Parking Assoc LLC	10/25/2016
715 Fayette St. E. to Washington St.	030.-16-13.1	715 EFSU, LLC	N/A
706-08 Washington St. & Almond St.	030.-16-02.0	Swanson Fayette Assoc LLC	3/18/2003
712-16 E. Washington St.	030.-16-03.0	728 East Water St. Co. Inc.	2/6/1990
705 Fayette St.	030.-16-17.0	Theodore T Wandanole/ Howard Civo Johnson	N/A
709 Fayette St.	030.-16-16.0	728 East Water St. Co. Inc.	11/6/1990

V:\Projects\ANY\K6\086328.000\07\_Permitting\Local\2 - Site Plan Application-3-21-24\0 - Cover Letter-Gateway Site Plan App-3-21-24.doc



# Office of Zoning Administration

MAYOR, BEN WALSH • ZONING ADMINISTRATOR, JAKE DISHAW

4/19/24

## ADDRESS ON EXHIBIT A

Re: **Gateway Syracuse Apartments**  
City of Syracuse City Planning Commission  
Notice of Intent to Act as Lead Agency for Coordinated SEQRA Review

Ladies and Gentlemen,

The City of Syracuse City Planning Commission (“**CPC**”) has before it a proposed project to be owned by GW Syracuse, LLC (or another entity to be formed) that consists of: (i) the acquisition of an interest in 2.01 acres of real property to be known as **Lot 100** after a separate action occurs where the GW Syracuse, LLC will resubdivide six (6) separate lots (701-03 E Fayette St., tax map no. 030.-16-18.0; 715 E Fayette St., tax map no. 030.16.13.1; 706-08 Washington St., tax map no. 030.16.02.0; 712-16 E Washington St., tax map no. 030.-16-03.0; 705 Fayette St., tax map no. 030.-16-17.0; and 709 Fayette St., tax map no. 030.-16-16.0) into one new lot and consists of three (3) vacant lots and three (3) lots with existing structures; (ii) the complete demolition of the three (3) existing structures (“**Demolition**”), (iii) the redevelopment and construction of: (a) 292,250 gross square feet (GSF) of mixed-income residential space consisting of 291 dwelling units comprised of 47 Studio, 89 1-Bed, 102 2-Bed, and 53 4-Bed dwelling units; (b) 5,715 GSF of retail space; (c) 5,998 GSF of leasing/amenity space; (d) 12,616 GSF of amenity space; and (e) 127,614 GSF of parking space on floors 1-2 for 300 parking spots; all within a mixed-use, seven (7) story building (“**Building**”); and (iv) “**Site Improvements**” that will include 0.2 acres of created green space within the property, added landscaping and green space within the right-of-way, new sidewalks, new utility connections and an on-site stormwater management system (the Demolition, the Building and the Site Improvements, collectively the “**Proposed Facility**”).

Based on a preliminary review of the Full Environmental Assessment Form Part 1 (enclosed), the CPC has determined that the Project Facility constitutes a Type 1 action as defined by the New York State Environmental Quality Review Act (“SEQRA”). As an addressee of this letter, your agency has been identified as one of the potentially involved agencies for this coordinated SEQRA review.

The CPC declares its intent to act as “Lead Agency” for the environmental review of the Project Facility on this date of 4/19/24. Since the Lead Agency must be designated by agreement among the involved agencies, the CPC requests your agreement regarding the CPC’s assumption of the Lead Agency role for the SEQRA review of the Project Facility.

Please indicate your agreement to the foregoing by responding in writing as soon as possible. Enclosed for your convenience you will find a Consent to Lead Agency Designation; if possible, please countersign or email a pdf of the attached consent to Cristian Toellner at [CToellner@syr.gov](mailto:CToellner@syr.gov).

While the Lead Agency designation process is underway, the CPC will begin its environmental review of the Project Facility. Assuming that a consensus is reached on the CPC’s role as the Lead Agency, it anticipates making a determination of significance promptly thereafter.

**GROWTH. DIVERSITY. OPPORTUNITY FOR ALL.**

Office of Zoning Administration  
One Park Place, 300 S State St, Suite 700 Syracuse, N.Y. 13202  
Office 315 448 8640 [zoning@syr.gov](mailto:zoning@syr.gov) [www.syr.gov](http://www.syr.gov)



Respectfully,

Steven Kulick, Chairperson  
300 S State St, Suite 700  
Syracuse, NY 13202

**EXHIBIT A**

**ADDRESSES**

City of Syracuse Planning Commission 300 S State St., Suite 700 Syracuse, NY 13202 Attn: Steven Kulick, Chairperson <a href="mailto:Zoning@syr.gov">Zoning@syr.gov</a>	City of Syracuse Industrial Development Agency 300 S State St., Suite 700 Syracuse, NY 13202 Attn: Kathleen Murphy <a href="mailto:KMurphy@syr.gov">KMurphy@syr.gov</a>
City of Syracuse Landmark Preservation Board 300 S State St., Suite 700 Syracuse, NY 13202 Attn: Julia Hafftka-Marshall, Chairperson <a href="mailto:SLPB@syr.gov">SLPB@syr.gov</a>	New York State Department of Transportation 333 E. Washington Street Syracuse, NY Attn: David P. Smith, PE, Regional Director <a href="mailto:David.Smith@dot.ny.gov">David.Smith@dot.ny.gov</a>
New York State Department of Conservation, Region 7 615 Erie Blvd. West Syracuse, NY 13204 Attn: Trendon Choe, Environmental Analyst <a href="mailto:Trendon.Cho@dec.ny.gov">Trendon.Cho@dec.ny.gov</a> <a href="mailto:dep.r7@dec.ny.gov">dep.r7@dec.ny.gov</a>	Onondaga County Department of Planning 335 Montgomery Street, 1 <sup>st</sup> Floor Syracuse, NY 13202 Attn: Daniel Kwasnowski, Planning Director <a href="mailto:Danielkwasnowski@ongov.net">Danielkwasnowski@ongov.net</a>



### Consent to Lead Agency Designation

The \_\_\_\_\_ concurs with the City of Syracuse City Planning Commission assumption of Lead Agency status for the coordinated environmental review of the Gateway Syracuse Apartments.

Date: \_\_\_\_\_, 2024

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Gateway Syracuse Apartments		
Project Location (describe, and attach a general location map): Corner of E. Fayette Street & Almond Street TMP (030.-16-02.0, 03.0, 13.1, 16.0, 17.0, & 18.0)		
Brief Description of Proposed Action (include purpose or need): Construction of a 7-story mixed use residential building to be known as the Gateway Syracuse Apartments. The project will include 291 residential dwelling units along with 5,715 SF of retail/commercial space and additional amenity space for residents. As part of the project a subdivision will be required to combine the 6 existing lots into 1 single lot.		
Name of Applicant/Sponsor: GW Syracuse, LLC		Telephone: E-Mail:
Address: 21 Greene Ave		
City/PO: Amityville	State: NY	Zip Code: 11701
Project Contact (if not same as sponsor; give name and title/role): CHA		Telephone: 315-257-7220 E-Mail: JTrasher@chasolutions.com
Address: 300 S. State Street Suite 600		
City/PO: Syracuse	State: NY	Zip Code: 13202
Property Owner (if not same as sponsor):		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, or Village Board of Trustees <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City Common Council (1:1 Offset Mitigation)	April 15th
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City Planning Commission (Site Plan Review & Subdivision)	April 1st
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SIDA(funding), Landmark Pres. Board (review)	May 6th
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Onondaga County Planning Board (GML 239)	April 19th
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC (brownfield prog.) & NYSDOT (traffic)	May 6th
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• <b>If Yes</b>, complete sections C, F and G.</li> <li>• <b>If No</b>, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Central Business District (MX-5)

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? City of Syracuse School District

b. What police or other public protection forces serve the project site?  
City of Syracuse Police

c. Which fire protection and emergency medical services serve the project site?  
City of Syracuse Fire Department

d. What parks serve the project site?  
Forman Park, Ormand Spencer Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential and Commerical mixed use building (Commercial first floor residential above)

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 2.0 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 2.0 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 2.0 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
Residential to combine 6 existing lots to construct new building on single lot  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? 1  
iv. Minimum and maximum proposed lot sizes? Minimum 2.0 Ac Maximum 2.0 Ac

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ 24 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____ 291 _____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 61,290 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: City of Syracuse Water District
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 61,290 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: Metropolitan Syracuse
- Name of district: Onondaga County Sanitary District
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 1.8 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 2.0 acres (parcel size)  
 ii. Describe types of new point sources. Storm connections to storm sewer \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
Onsite stormwater management areas and then discharge to the storm sewer  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
721.6 MWh per year

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Via grid/ local utility

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>7am to 5pm</u></li> <li>• Saturday: <u>7am to 5 pm</u></li> <li>• Sunday: <u>Not anticipated</u></li> <li>• Holidays: <u>Not anticipated</u></li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>24/7 (Residential)</u></li> <li>• Saturday: <u>24/7 (Residential)</u></li> <li>• Sunday: <u>24/7 (Residential)</u></li> <li>• Holidays: <u>24/7 (Residential)</u></li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
Typical construction noise from heavy equipment 7am-5pm

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Building mounted safety and security lighting

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

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t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

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b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	2.0	1.8	-0.2
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: <u>Grass/landscaping area</u>	0	0.2	+0.2

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
McMahon Ryan Child Advocacy Center  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
Protective cover system placed over demarcation layer of entire site. Provisions for evaluation of the potential for soil vapor intrusion for future buildings developed on site in the site management plan.  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): V00502, C734148, C734111, B00003  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
V00502 Voluntary Cleanup of greyhound bus terminal is complete, C734148, C734111 & B00003 were all brownfield cleanup projects which have been completed (offsite).  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >18 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Urban Land \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 7 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ 100 % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_



m. Identify the predominant wildlife species that occupy or use the project site: _____ None _____ _____	_____ _____ _____
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ Peregrine Falcon _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: <i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District <i>ii.</i> Name: Eligible property: U-Haul, Eligible property: REID HALL, Eligible property: SpaZend, Eligible property: PECK HALL (FORMER... <i>iii.</i> Brief description of attributes on which listing is based: _____	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: <i>i.</i> Describe possible resource(s): _____ <i>ii.</i> Basis for identification: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: <i>i.</i> Identify resource: _____ <i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ <i>iii.</i> Distance between project and resource: _____ miles.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: <i>i.</i> Identify the name of the river and its designation: _____ <i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

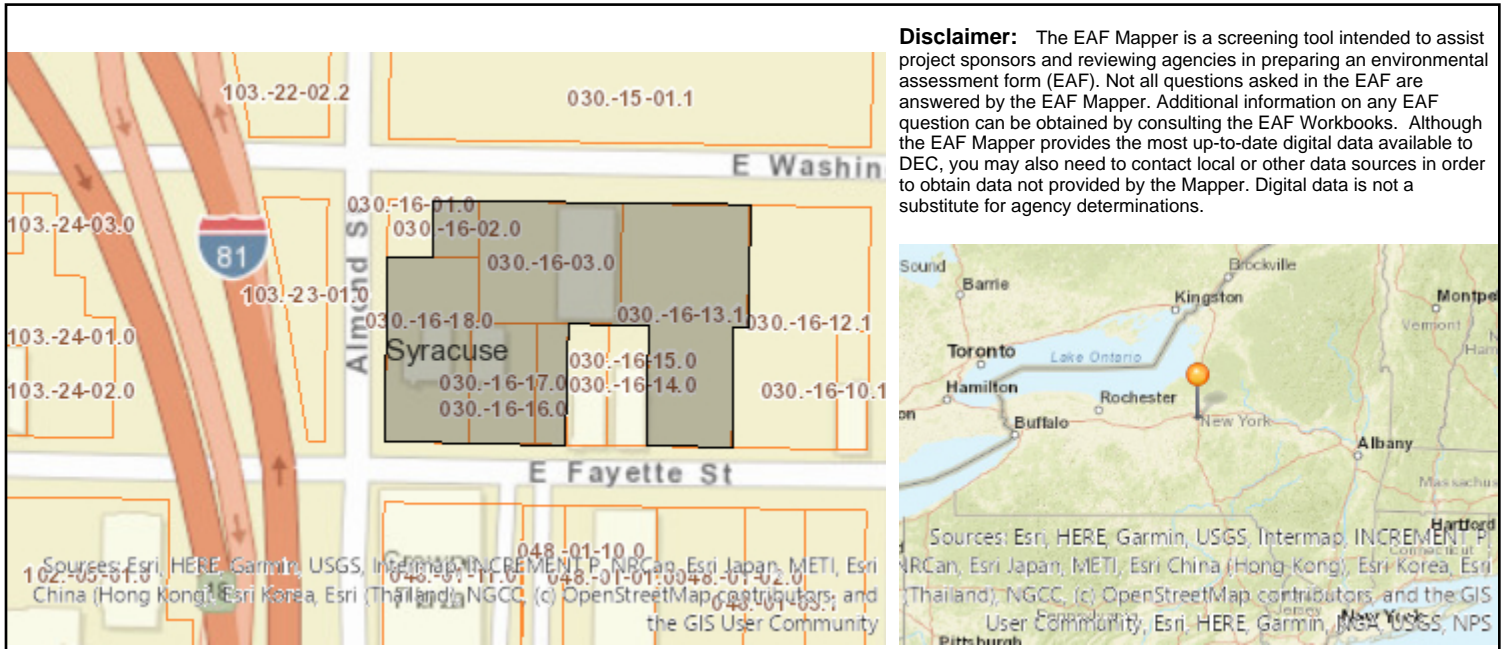
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name CHA (c/o James Trasher) Date 4-18-2024

Signature  Title Market Segment Leader



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	V00502, C734148, C734111, B00003
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

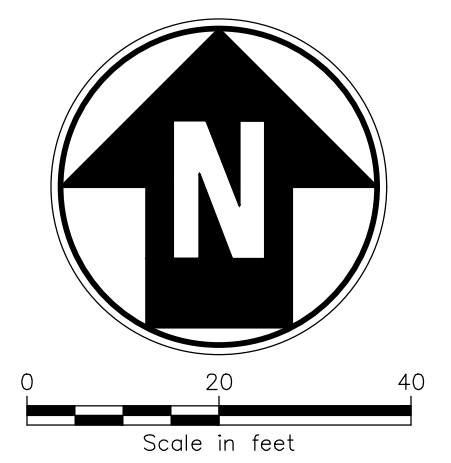
E.2.o. [Endangered or Threatened Species - Name]	Peregrine Falcon
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:U-Haul, Eligible property:REID HALL, Eligible property:SpaZend, Eligible property:PECK HALL (FORMER SYR. UNIV. MED. COLLEGE), Eligible property:Parkview Hotel, Peoples' African Methodist Episcopal Zion Church
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



## Lot Numbers for Site Plan

Lot Number	Lot Size	Tax Map	Current Use of Lot	Current Number of Dwelling Units	Current Onsite Parking	Zoning
701-03 E. Fayette St. & Almond St.	0.43 AC	030.-16-18.0	Service Or Gas station	N/A	50 spaces	MX-5
715 Fayette St. E. to Washington St.	0.56 AC	030.-16-13.1	vacant Commercial Land	N/A	N/A	MX-5
706-08 Washington St. & Almond St.	0.07 AC	030.-16-02.0	Parking Lot	N/A	5 Spaces	MX-5
712-16 E. Washington St.	0.47 AC	030.-16-03.0	Office Building	N/A	33 Spaces	MX-5
705 Fayette St.	0.22 AC	030.-16-17.0	Manuel Car Wash	N/A	N/A	MX-5
709 Fayette St.	0.10 AC	030.-16-16.0	Parking Lot	N/A	N/A	MX-5

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**GW SYRACUSE, LLC**  
 21 GREENE AVE  
 AMITYVILLE, NY 11701

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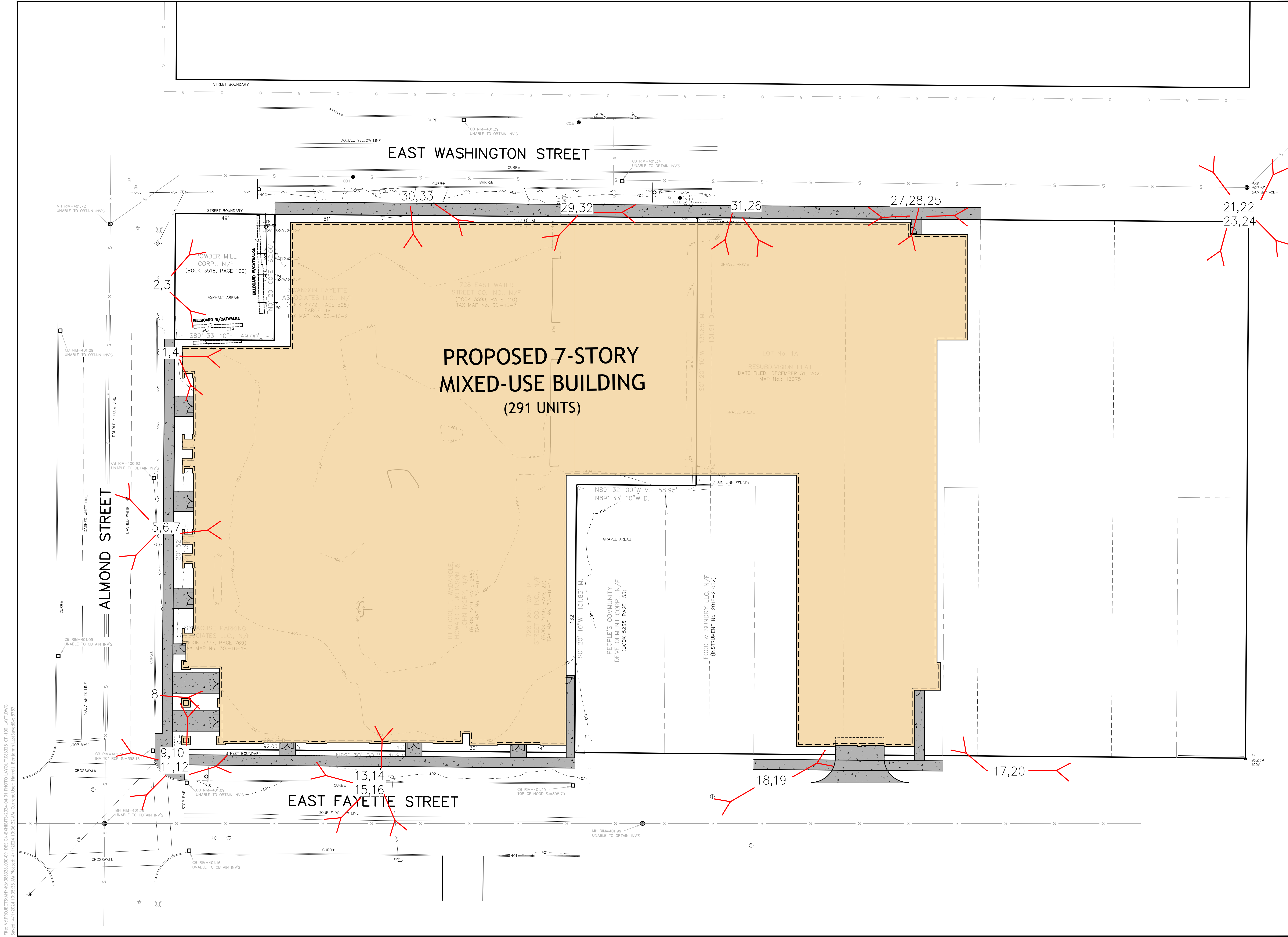
**GATEWAY SYRACUSE APARTMENTS**  
 701-705 E. FAYETTE STREET  
 SYRACUSE, NY 13210

No.	Submittal / Revision	Appr	By	Date

**SITE PHOTO KEY**

Designed By:	Drawn By:	Checked By:
BGH	BGH	JFT
Issue Date:	Project No.:	Scale:
03/29/24	086328	AS SHOWN

Drawing No.:  
**SK-100**  
 Sheet 01 of 01



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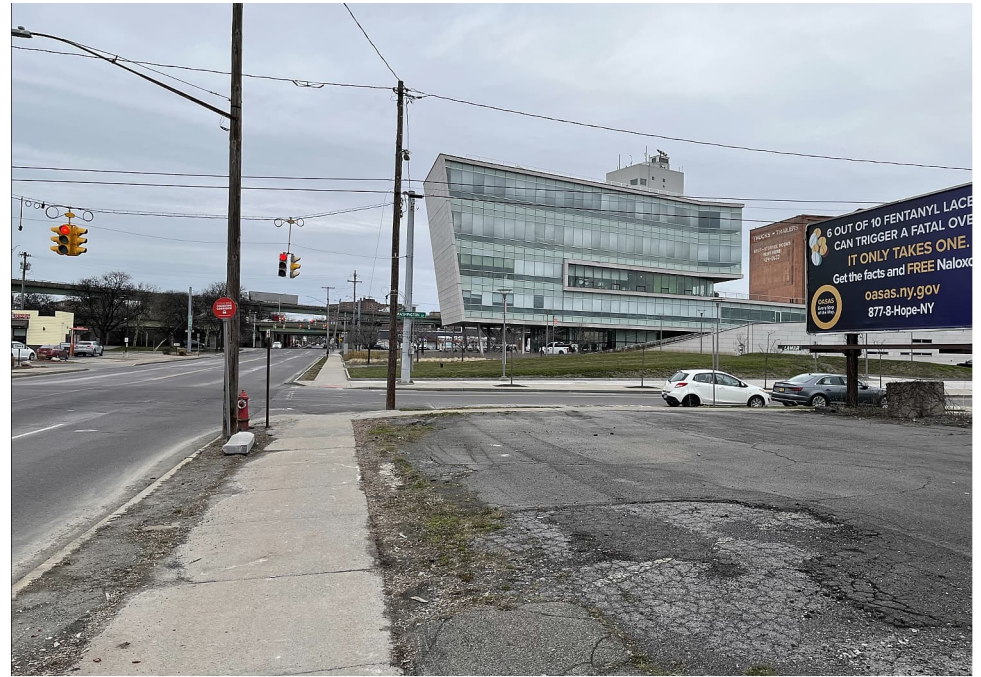


Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8



Photo 9



Photo 10



Photo 11



Photo 12





Photo 13

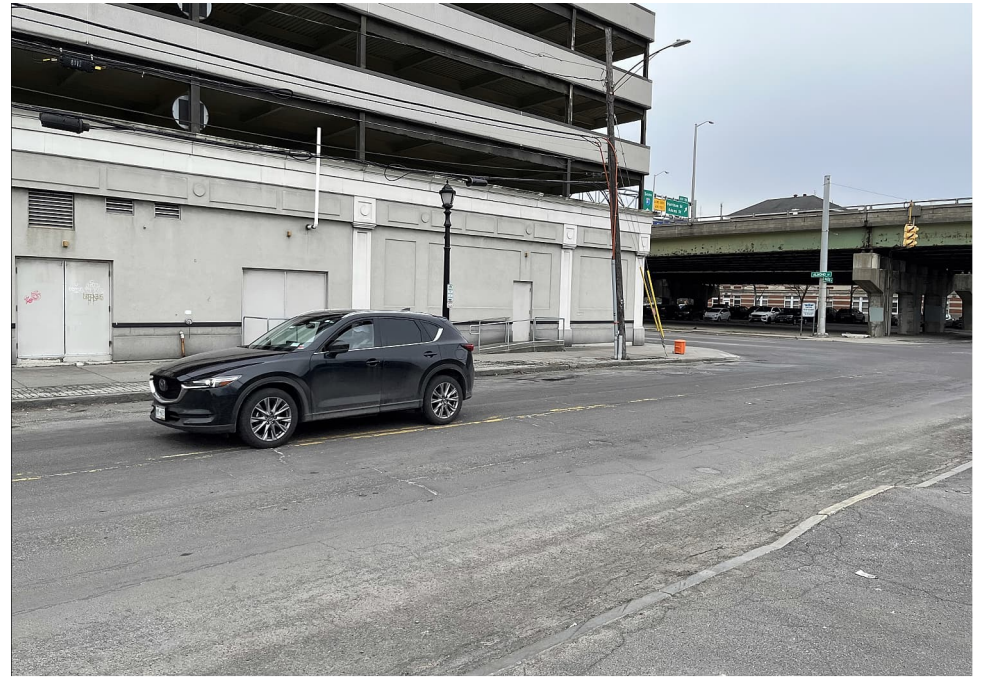


Photo 14



Photo 15

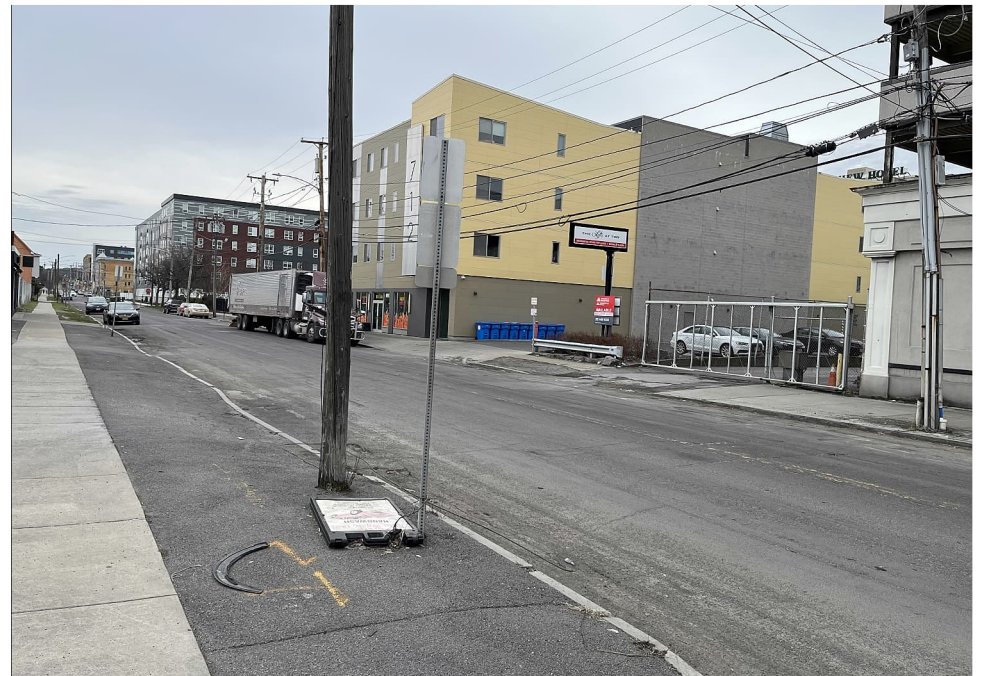


Photo 16



Photo 17



Photo 18



Photo 19



Photo 20



Photo 21



Photo 22



Photo 23



Photo 24



Photo 25



Photo 26



Photo 27



Photo 28



Photo 29



Photo 30



Photo 31



Photo 32



Photo 33







# ZONING REGULATIONS FOR DEVELOPMENT

**ZONING:** CENTRAL BUSINESS DISTRICT (MX-5)

EXISTING LOT INFORMATION:	TAX MAP	PARCEL SIZE	ZONING
701-03 E. FAYETTE ST & ALMOND ST	030-16-18.0	0.43 ± ACRES	MX-5
715 FAYETTE ST E TO WASHINGTON ST	030-16-13.1	0.56 ± ACRES	MX-5
706-08 WASHINGTON ST & ALMOND ST	030-16-02.0	0.07 ± ACRES	MX-5
712-16 E. WASHINGTON ST	030-16-03.0	0.47 ± ACRES	MX-5
705 FAYETTE ST.	030-16-17.0	0.22 ± ACRES	MX-5
709 FAYETTE ST.	030-16-16.0	0.10 ± ACRES	MX-5
<b>TOTAL LOT AREA =</b>		<b>(1.85 ACRES)</b>	

LOT COVERAGE	MX-5	PROPOSED
MAXIMUM IMPERVIOUS COVERAGE:	100%	±89.5%
MINIMUM BUILDING COVERAGE:	75%	87.1%

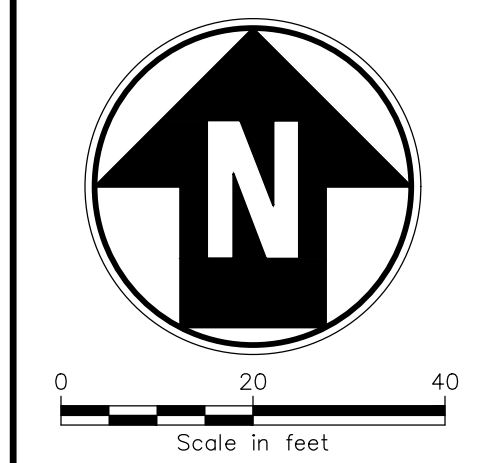
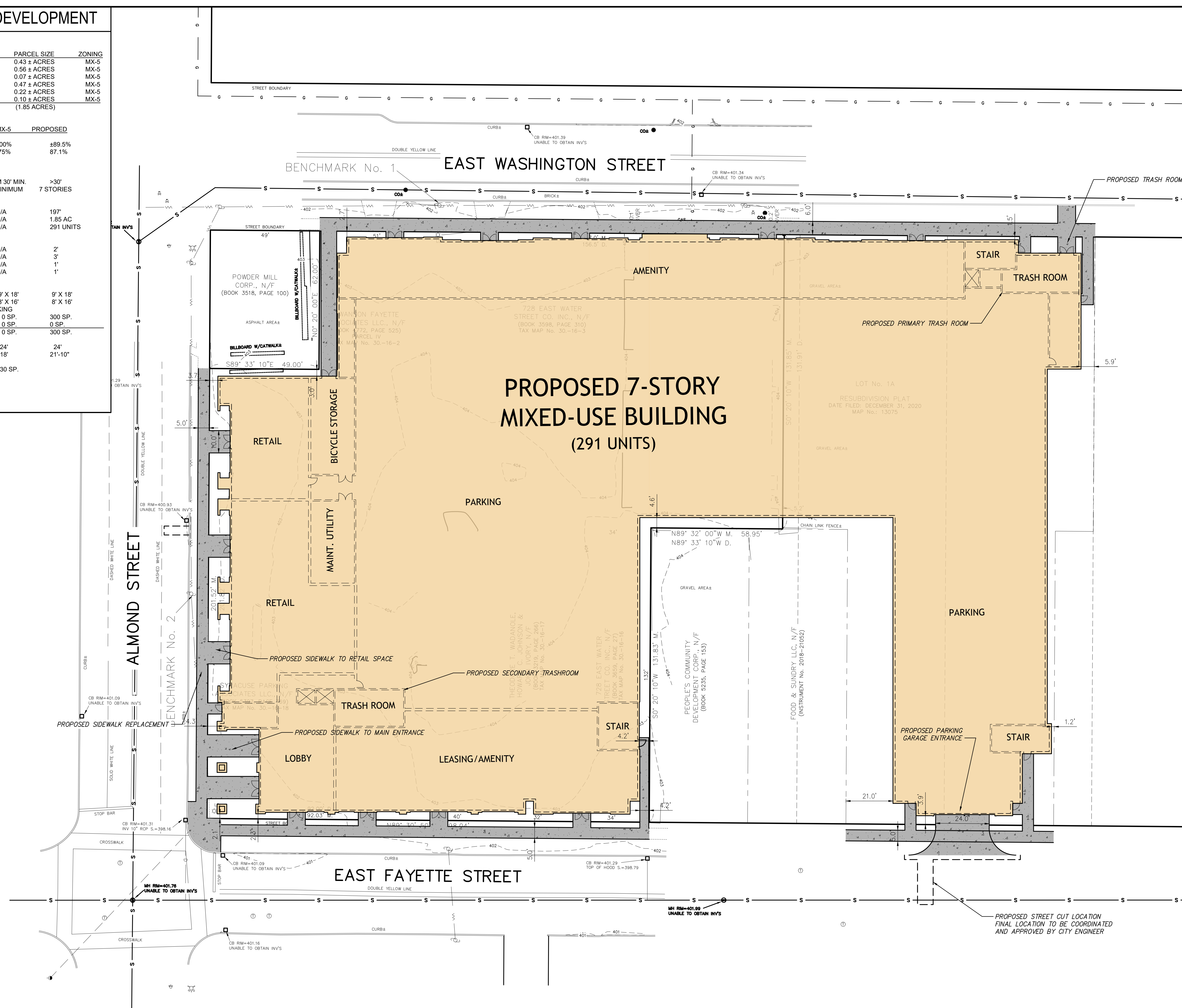
HEIGHT AND NUMBER OF STORIES:	NO MAXIMUM 30' MIN. 3 STORIES MINIMUM	>30' 7 STORIES
BUILDING HEIGHT:		
NUMBER OF STORIES:		

LOT MINIMUM	N/A	197'
WIDTH		
AREA IF MIXED-USE PROJECT DENSITY (MIXED USE)		1.85 AC 291 UNITS

SETBACKS MINIMUM:	N/A	2'
FRONT (EAST FAYETTE ST)		
SIDE (ALMOND ST)		3'
SIDE (EAST)		1'
REAR (EAST WASHINGTON ST)		1'

PARKING	9' X 18'	9' X 18'
PARKING SPACE SIZE:		
COMPACT PARKING SPACE SIZE:	8' X 16'	8' X 16'
REQUIRED PARKING - MX-5 EXEMPT FROM REQUIRED PARKING	0 SP.	300 SP.
RESIDENTIAL	0 SP.	0 SP.
RETAIL	0 SP.	0 SP.
<b>TOTAL :</b>	<b>0 SP.</b>	<b>300 SP.</b>

DRIVE AISLE WIDTH	24'	24'
DRIVE AISLE WIDTH (COMPACT SPACES)	18'	21'-10"
BICYCLE PARKING - (1 SPACE PER 6 VEHICLE SPACES)		30 SP.



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AMITYVILLE, NY 11701

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**GATEWAY SYRACUSE APARTMENTS**  
701-705 E. FAYETTE STREET  
SYRACUSE, NY 13210

No.	Submittal / Revision	Appr	By	Date

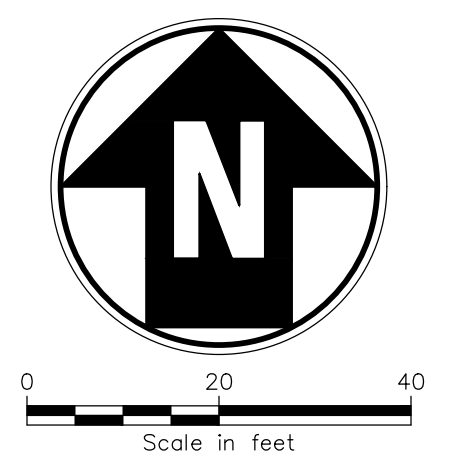
CITY COMMENT RESPONSE: JFT BGH 04/23/24

## SITE LAYOUT PLAN

Designed By:	Drawn By:	Checked By:
BGH	BGH	JFT
Issue Date:	Project No.:	Scale:
03/29/24	086328	AS SHOWN

Drawing No.:  
**C-101**  
Sheet 02 of 04

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 21 GREENE AVE  
 AMITYVILLE, NY 11701

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**GATEWAY SYRACUSE APARTMENTS**  
 701-705 E. FAYETTE STREET  
 SYRACUSE, NY 13210

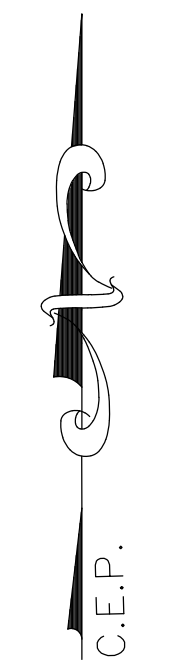
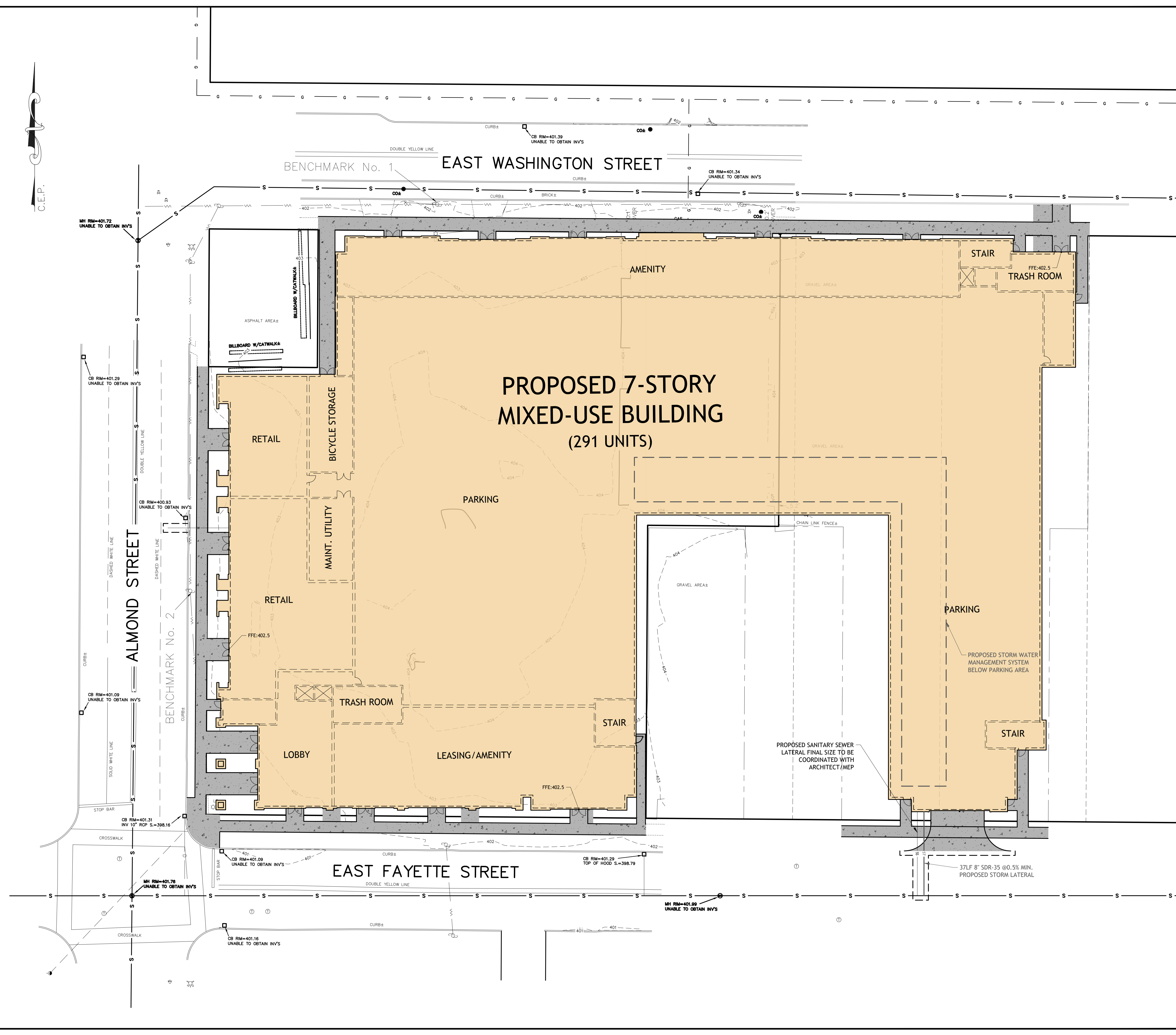
No.	Submittal / Revision	Appr	By	Date

▲ CITY COMMENT RESPONSE JFT BGH 04/23/24

**UTILITY PLAN**

Designed By: BGH Drawn By: BGH Checked By: JFT  
 Issue Date: 03/29/24 Project No.: 086328 Scale: AS SHOWN

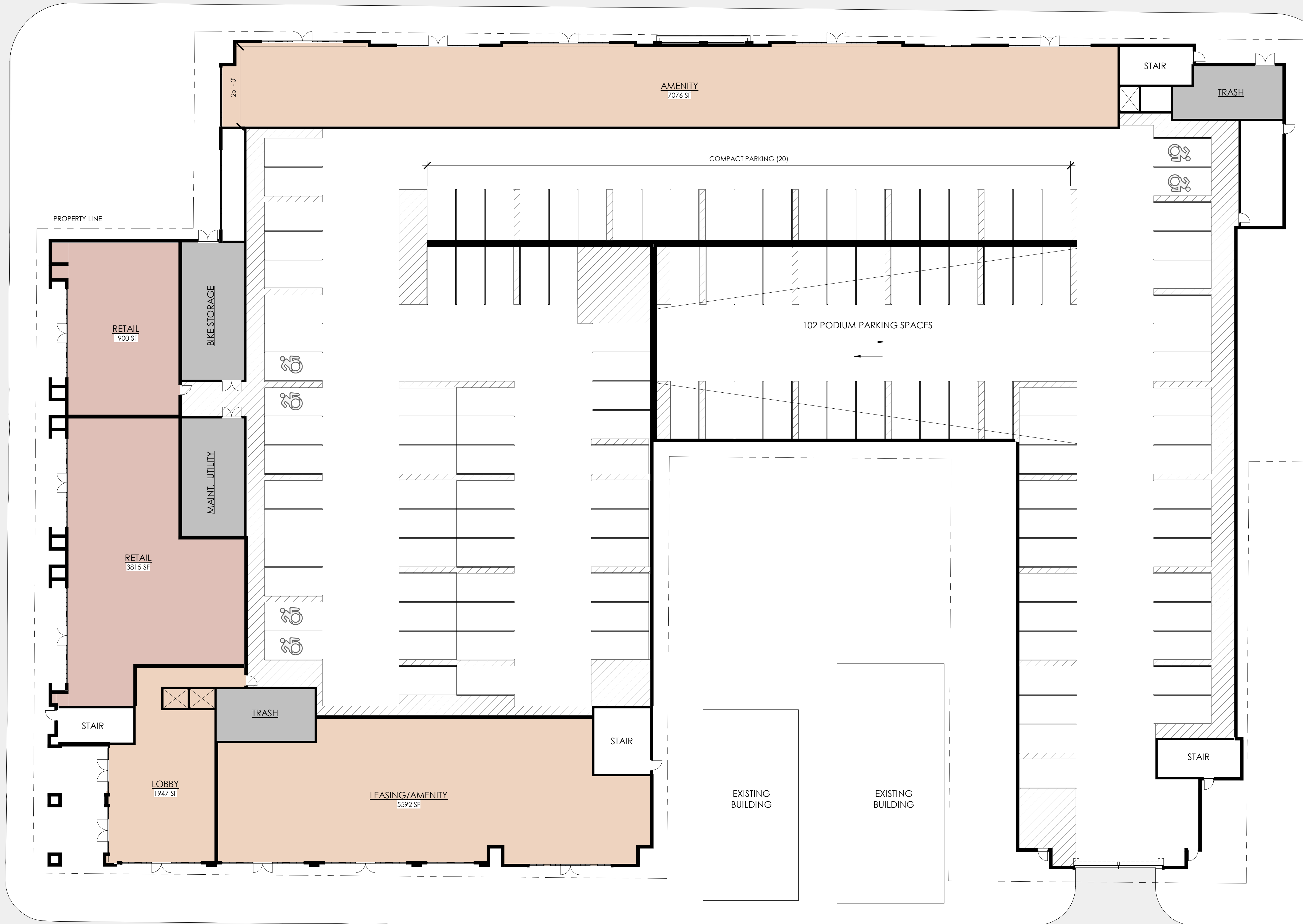
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 Sheet 03 of 04



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ALMOND STREET



EAST FAYETTE STREET

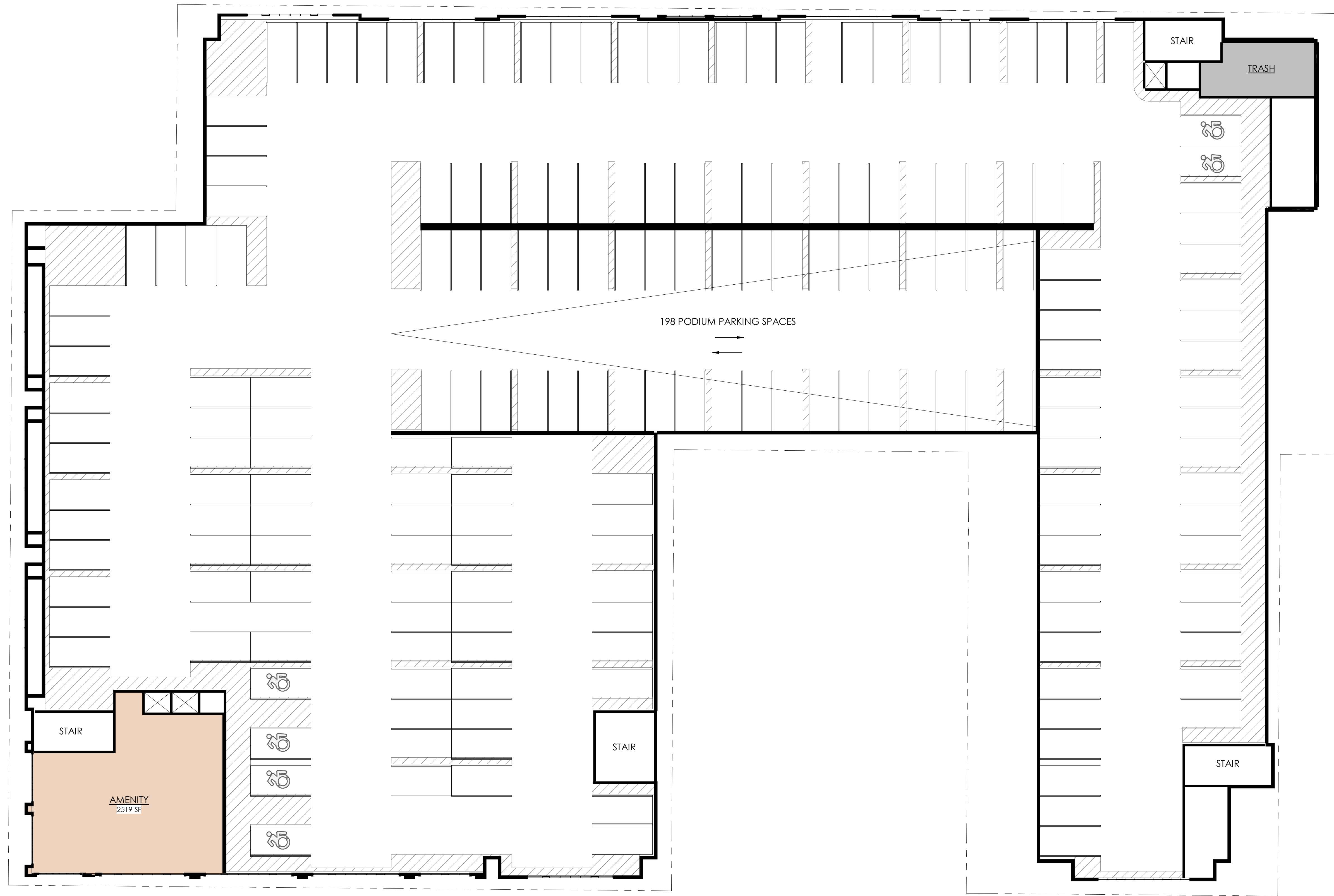
Area Schedule

Area Schedule	
<b>LEVEL 1</b>	
AMENITY	7134 SF
LEASING/ AMENITY	7540 SF
PARKING	54060 SF
RETAIL	5896 SF
	74630 SF
<b>LEVEL 2</b>	
AMENITY	2522 SF
PARKING	73554 SF
	76076 SF
<b>LEVEL 3</b>	
AMENITY	698 SF
RESIDENTIAL	60089 SF
	60786 SF
<b>LEVEL 4</b>	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF
<b>LEVEL 5</b>	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF
<b>LEVEL 6</b>	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF
<b>LEVEL 7</b>	
AMENITY	1121 SF
RESIDENTIAL	51924 SF
	53045 SF
Grand total	446071 SF

UNIT MATRIX

UNIT TYPE	UNIT COUNT	UNIT SF	BED COUNT
<b>1-BED</b>			
UNIT A1	89	594 SF	89
	89		89
<b>2-BED</b>			
UNIT B1	67	864 SF	134
UNIT B2	35	908 SF	70
	102		204
<b>4-BED</b>			
UNIT D1	53	1376 SF	212
	53		212
<b>STUDIO</b>			
UNIT S1	47	486 SF	47
	47		47
TOTAL: 291	291		552

TOTAL PARKING SPOTS: 300



Area Schedule	
LEVEL 1	
AMENITY	7134 SF
LEASING/ AMENITY	7540 SF
PARKING	54060 SF
RETAIL	5896 SF
	74630 SF

LEVEL 2	
AMENITY	2522 SF
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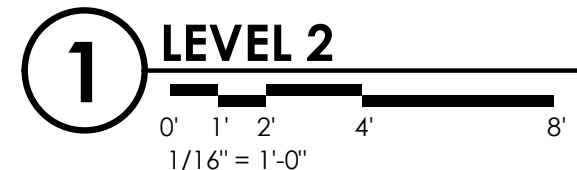
LEVEL 6	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF

LEVEL 7	
AMENITY	1121 SF
RESIDENTIAL	51924 SF
	53045 SF

Grand total 446071 SF

UNIT MATRIX			
UNIT TYPE	UNIT COUNT	UNIT SF	BED COUNT
1-BED			
UNIT A1	89	594 SF	89
	89		89
2-BED			
UNIT B1	67	864 SF	134
UNIT B2	35	908 SF	70
	102		204
4-BED			
UNIT D1	53	1376 SF	212
	53		212
STUDIO			
UNIT S1	47	486 SF	47
	47		47
TOTAL: 291	291		552

TOTAL PARKING SPOTS: 300



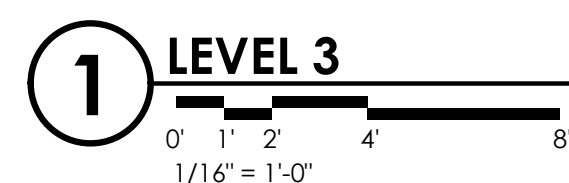


Area Schedule

LEVEL	AMENITY	PARKING	RETAIL	TOTAL
LEVEL 1	7134 SF	54060 SF	5896 SF	74630 SF
LEVEL 2	2522 SF	73554 SF		76076 SF
LEVEL 3	698 SF	60089 SF		60786 SF
LEVEL 4	432 SF	60079 SF		60511 SF
LEVEL 5	432 SF	60079 SF		60511 SF
LEVEL 6	432 SF	60079 SF		60511 SF
LEVEL 7	1121 SF	51924 SF		53045 SF
Grand total				446071 SF

UNIT MATRIX

UNIT TYPE	UNIT COUNT	UNIT SF	BED COUNT
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TOTAL: 291	291		552



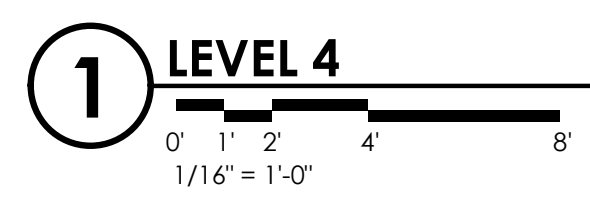


Area Schedule

Area Schedule	
<b>LEVEL 1</b>	
AMENITY	7134 SF
LEASING/ AMENITY	7540 SF
PARKING	54060 SF
RETAIL	5896 SF
	74630 SF
<b>LEVEL 2</b>	
AMENITY	2522 SF
PARKING	73554 SF
	76076 SF
<b>LEVEL 3</b>	
AMENITY	698 SF
RESIDENTIAL	60089 SF
	60786 SF
<b>LEVEL 4</b>	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF
<b>LEVEL 5</b>	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF
<b>LEVEL 6</b>	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF
<b>LEVEL 7</b>	
AMENITY	1121 SF
RESIDENTIAL	51924 SF
	53045 SF
Grand total	446071 SF

UNIT MATRIX

UNIT TYPE	UNIT COUNT	UNIT SF	BED COUNT
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UNIT A1	89	594 SF	89
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<b>4-BED</b>			
UNIT D1	53	1376 SF	212
	53		212
<b>STUDIO</b>			
UNIT S1	47	486 SF	47
	47		47
TOTAL: 291	291		552



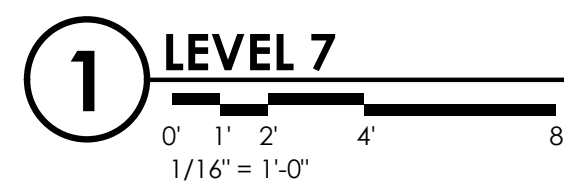


Area Schedule

LEVEL 1	
AMENITY	7134 SF
LEASING/ AMENITY	7540 SF
PARKING	54060 SF
RETAIL	5896 SF
	74630 SF
LEVEL 2	
AMENITY	2522 SF
PARKING	73554 SF
	76076 SF
LEVEL 3	
AMENITY	698 SF
RESIDENTIAL	60089 SF
	60786 SF
LEVEL 4	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF
LEVEL 5	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF
LEVEL 6	
AMENITY	432 SF
RESIDENTIAL	60079 SF
	60511 SF
LEVEL 7	
AMENITY	1121 SF
RESIDENTIAL	51924 SF
	53045 SF
Grand total	446071 SF

UNIT MATRIX

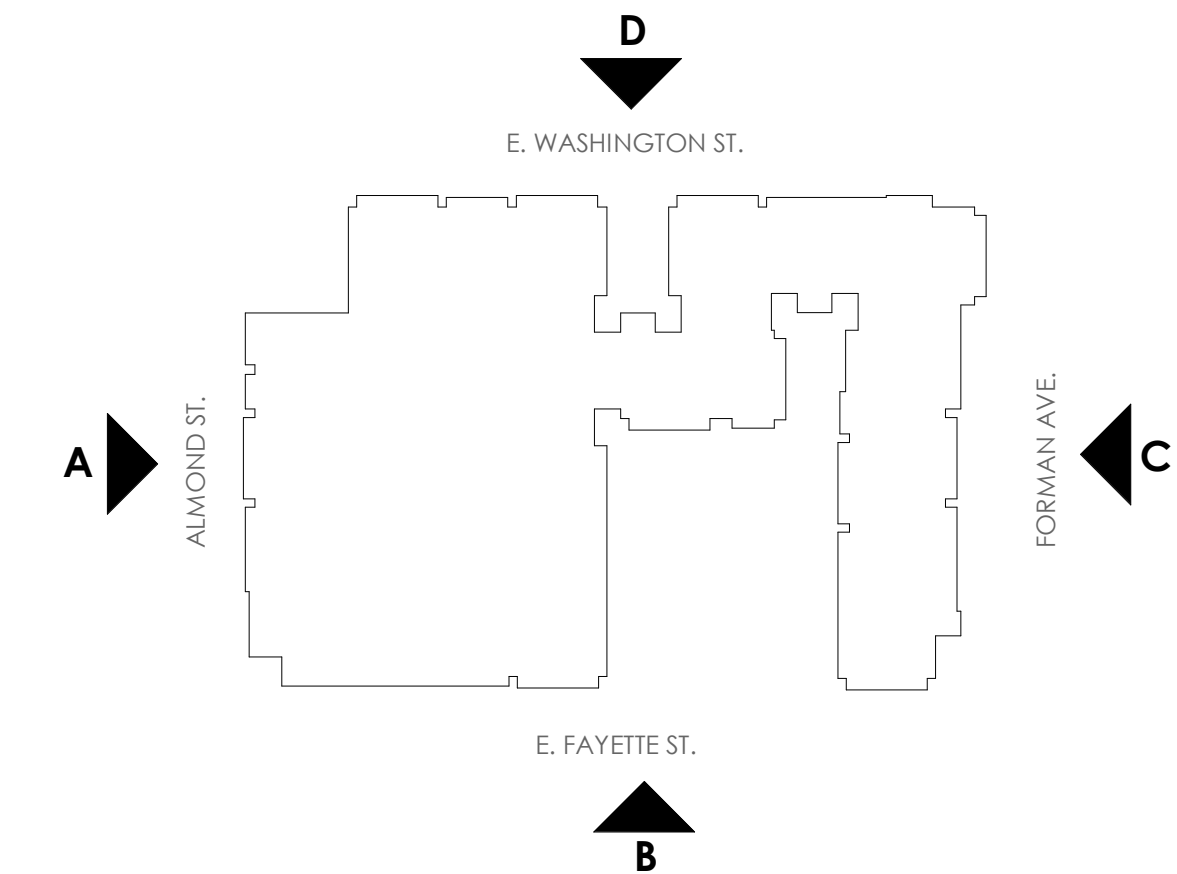
UNIT TYPE	UNIT COUNT	UNIT SF	BED COUNT
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UNIT B1	67	864 SF	134
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	102		204
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UNIT D1	53	1376 SF	212
	53		212
STUDIO			
UNIT S1	47	486 SF	47
	47		47
TOTAL: 291	291		552





**EXTERIOR FINISH LEGEND**

	BR-1 BRICK - LIGHT ARCTIC CLEAR		FC-1 FIBER CEMENT - LIGHT RUSTIC ROAD		FC-3 FIBER CEMENT - WHITE ARCTIC WHITE		PT-1 PAINT - LIGHT SW 9585		PT-3 PAINT - WHITE SW 9541		
	BR-2 BRICK - DARK BELCREST BLACK		FC-2 FIBER CEMENT - DARK IRON GRAY		FC-4 FIBER CEMENT - ACCENT COPPER PENNY		PT-2 PAINT - DARK SW 6994		PT-4 PAINT - ACCENT SW 7709		MP-1 METAL PANEL - COPPER

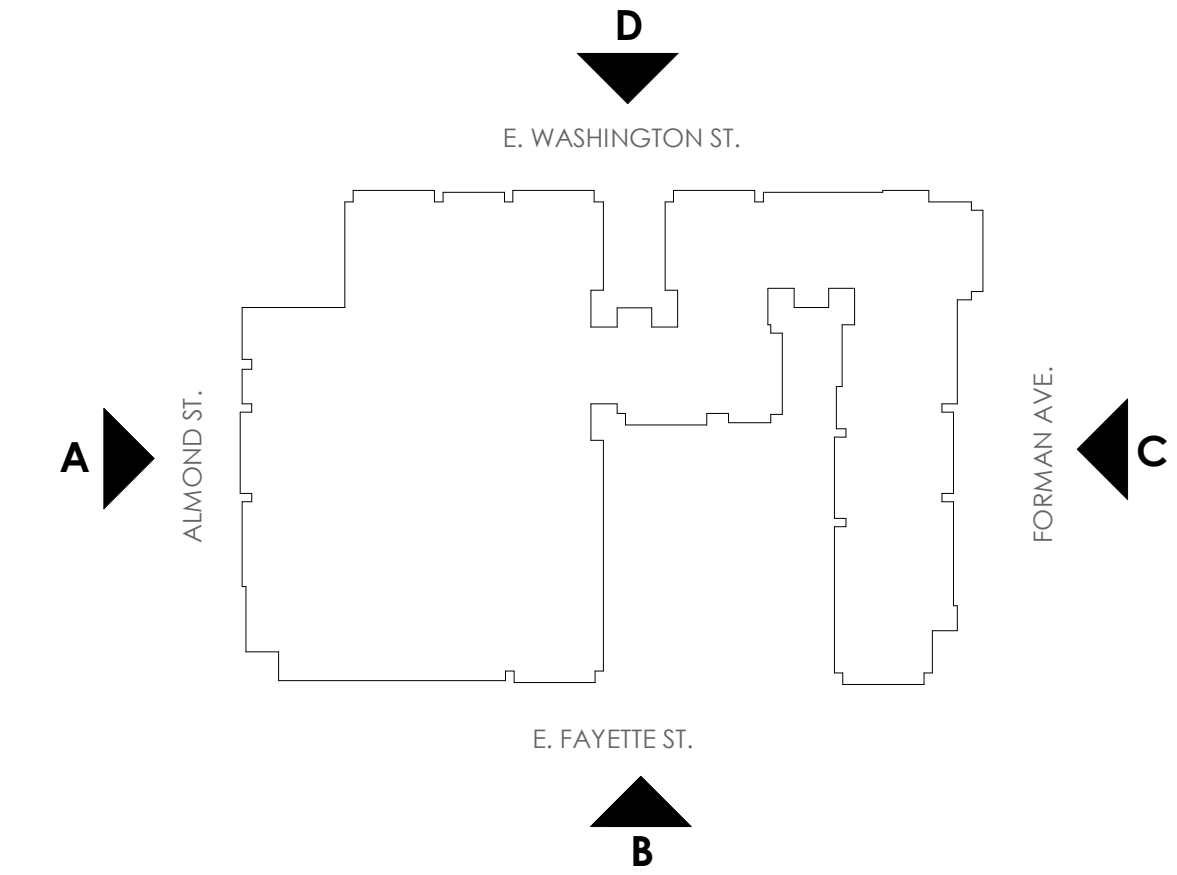


**EXTERIOR FINISH LEGEND**

	BR-1 BRICK - LIGHT ARCTIC CLEAR		FC-1 FIBER CEMENT - LIGHT RUSTIC ROAD		FC-3 FIBER CEMENT - WHITE ARCTIC WHITE		PT-1 PAINT - LIGHT SW 9585		PT-3 PAINT - WHITE SW 9541		
	BR-2 BRICK - DARK BELCREST BLACK		FC-2 FIBER CEMENT - DARK IRON GRAY		FC-4 FIBER CEMENT - ACCENT COPPER PENNY		PT-2 PAINT - DARK SW 6994		PT-4 PAINT - ACCENT SW 7709		MP-1 METAL PANEL - COPPER



**C - EAST ELEVATION - FACING FORMAN AVENUE**



**D - NORTH ELEVATION - EAST WASHINGTON STREET**

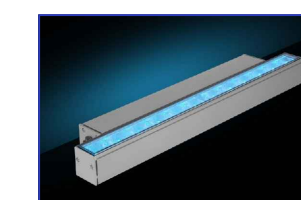


**PA** PASSERO ASSOCIATES  
engineering architecture

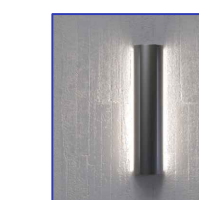
**DECORATIVE LIGHTING LEGEND**



CONT. LINEAR LED COLOR CHANGING  
BASIS OF DESIGN: LLI DOME EXTRUSION + LED TAPELIGHT



LED COLOR CHANGING WALL WASH  
BASIS OF DESIGN: LUMENPULSE LUMENFACADE MAX



WALL SCONCE  
BASIS OF DESIGN: ALVA TESSIE



**WEST ELEVATION - ALMOND ST**

NTS



**SOUTH ELEVATION - EAST FAYETTE**

NTS



**EAST ELEVATION - FACING FORMAN AVENUE**

NTS

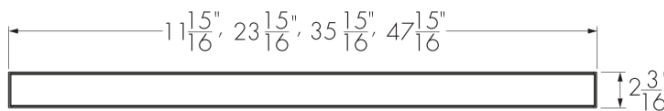
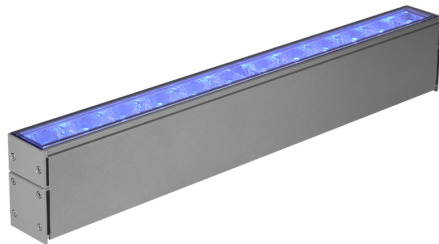


**NORTH ELEVATION - EAST WASHINGTON**

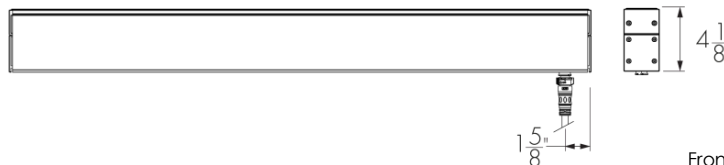
NTS

Project Name \_\_\_\_\_ Qty \_\_\_\_\_

Type \_\_\_\_\_ Catalog / Part Number \_\_\_\_\_



Top View



Front and Side Views  
36 in Fixture Shown

MRGBW40K Configuration Shown

**Photometric Summary (22 W/ft)**

**Symmetric**

	Delivered Output (lm)	Intensity (Peak cd)
10°x10°	3,783	50,453
10°x30°	3,575	18,568
10°x60°	3,598	11,407
10°x90°	3,598	7,779
30°x30°	3,530	8,350
30°x60°	3,503	4,561
30°x90°	3,181	3,243
60°x60°	3,461	2,850
90°x90°	3,383	1,958
30°x10°	3,384	16,675
60°x10°	3,476	10,543
60°x30°	3,468	5,158
90°x10°	3,085	6,190
W (120°)	2,667	940

**Asymmetric**

NAS	3,726	22,743
WW	3,595	5,910
CAS	2,909	3,974

Based on MRGBW40K, 4ft [1218mm], DMX/RDM control. Photometric performance is measured in compliance with IESNA LM-79-08. 10x10, 10x30, 10x60, 10x90, 30x30, 30x60, 30x90, 60x60, 90x90, 30x10, 60x10, 60x30, 90x10, NAS and CAS optics tested with CL lens. WW optic tested with HFR lens.

**Description**

The Lumenfacade Max introduces never-before-seen technologies and is the first linear fixture in the world to feature Opticolor™, Lumenpulse's revolutionary, patented mixed-at-source technology. The Lumenfacade Max also plays host to the world debut of Optidrive™, our brand-new, proprietary technology that delivers maximum performance, maximum technology, and maximum quality of light with Lumenpulse's legendary consistency of colour.

**Features**

**Length (nominal)**

12: 12 in, 24: 24 in, 36: 36 in, 48: 48 in

**Color and Color Temperature**

- MRGB:** Opticolor Cluster with MRGB (Red, Green, Blue)
- MRGBW27K:** Opticolor Cluster with MRGBW (Red, Green, Blue, White 2700K CRI 80)
- MRGBW30K:** Opticolor Cluster with MRGBW (Red, Green, Blue, White 3000K CRI 80)
- MRGBW35K:** Opticolor Cluster with MRGBW (Red, Green, Blue, White 3500K CRI 80)
- MRGBW40K:** Opticolor Cluster with MRGBW (Red, Green, Blue, White 4000K CRI 80)
- MRGBA:** Opticolor Cluster with MRGBA (Red, Green, Blue, PC Amber)

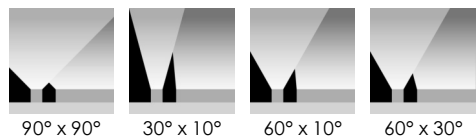
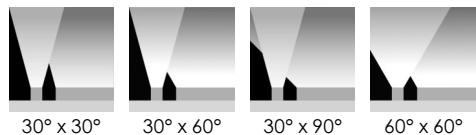
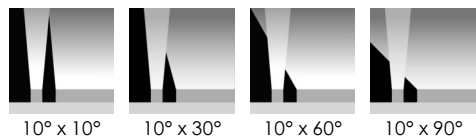
**Vibration Rating**

- NVR:** No Vibration Rating Required
- VRN:** Vibration Rated for Normal Applications
- VRBO:** Vibration Rated for Bridge and Overpass

**Fixed Mounting Options**

- FX:** Fixed Mounting (0° Pivot Limit)
- STEM12:** Stem Mounting 12 in
- STEM24:** Stem Mounting 24 in
- STEM36:** Stem Mounting 36 in
- STEM48:** Stem Mounting 48 in
- ACC50:** Aircraft Cable 50 in
- ACC100:** Aircraft Cable 100 in

**Optic**



Ceiling  
Asymmetric

**Color and Color Temperature**



**Control**



**Continuously Adjustable Mounting Options**

**SM:** Slim Adjustable Mounting Continuously Adjustable, 110° Pivot Limit)

**WMC3:** Wall Mounting Continuously Adjustable, 3.5 in to Optical Center (130° Pivot Limit)

**WMC12:** Wall Mounting Continuously Adjustable, 12 in to Optical Center (180° Pivot Limit)

**WMC24:** Wall Mounting Continuously Adjustable, 24 in to Optical Center (180° Pivot Limit)

**WMC1:** Wall Mounting Continuously Adjustable, 1.5 in to Optical Center (180° Pivot Limit)

**WMC6:** Wall Mounting Continuously Adjustable, 6 in to Optical Center (170° Pivot Limit)

**WMC18:** Wall Mounting Continuously Adjustable, 18 in to Optical Center (180° Pivot Limit)

**Incrementally Adjustable Mounting Options**

**WMI1:** Wall Mounting Incrementally Adjustable by 6°, 1.5 in to Optical Center (180° Pivot Limit)

**WMI6:** Wall Mounting Incrementally Adjustable by 6°, 6 in to Optical Center (170° Pivot Limit)

**WMI18:** Wall Mounting Incrementally Adjustable by 6°, 18 in to Optical Center (180° Pivot Limit)

**WMI3:** Wall Mounting Incrementally Adjustable by 6°, 3.5 in to Optical Center (130° Pivot Limit)

**WMI12:** Wall Mounting Incrementally Adjustable by 6°, 12 in to Optical Center (180° Pivot Limit)

**WMI24:** Wall Mounting Incrementally Adjustable by 6°, 24 in to Optical Center (180° Pivot Limit)

**Canopy Finish**

**BK:** Black Sandtex®, **SI:** Silver Sandtex®, **WH:** White, **CC:** Custom Color and Finish (Please Specify RAL Color)

**Optical Accessories**

**LV:** Radial Louver  
**LVAS:** Radial Louver Asymmetric  
**VS:** Visor  
**SH:** Shield

**Warranty**

5-year limited warranty

**Performance**

**Maximum Delivered Output**

1,876 lm  
10 W/ft, 48 in fixture, MRGBW40K, 10° x 10°, CL lens, DMX/RDM)  
3,783 lm  
(22 W/ft, 48 in fixture, MRGBW40K, 10° x 10°, CL lens, DMX/RDM)  
Refer to Photometric Guide on Lumenpulse website for information on other color temperatures.

**Maximum Delivered Intensity**

25,025 cd at nadir  
(10 W/ft, 48 in fixture, MRGBW40K, 10° x 10°, CL lens, DMX/RDM)  
50,453 cd at nadir  
(22 W/ft, 48 in fixture, MRGBW40K, 10° x 10°, CL Lens, DMX/RDM)  
Refer to Photometric Guide on Lumenpulse website for information on other color temperatures.

**Finish**



**Certifications**



**Illuminance at Distance**

Minimum 1 fc at 158 ft  
(10 W/ft, 48 in fixture, MRGBW40K, 10° x 10°, CL lens, DMX/RDM)  
Minimum 1 fc at 225 ft  
(22 W/ft, 48 in fixture, MRGBW40K, 10° x 10°, CL lens, DMX/RDM)  
Refer to Photometric Guide on Lumenpulse website for information on other color temperatures.

**Lumen Maintenance**

L70 (15K) > 90,000 hrs Ta 25 °C (TM-21 reported)  
L70 > 150,000 hrs Ta 25 °C (projected)\*  
L90 (15K) = 55,400 hrs Ta 25 °C (TM-21 reported)  
L90 = 55,400 hrs Ta 25 °C (projected)\*  
\*Estimated based on in-situ case temperature and LM-80 report

**Physical**

<b>Housing Material</b>	Low copper content extruded aluminum
<b>Lens Material</b>	Tempered glass
<b>Hardware Material</b>	Stainless steel
<b>End Cap Material</b>	Die cast aluminum
<b>Gasket Material</b>	Silicone
<b>Surface Finish</b>	<b>XD:</b> Luminaire treated with extra-durable, multi-step finish: zirconium pretreatment completed with corrosion-resistant primer and electrostatically-applied, powder coat paint finish
<b>Weight</b>	4.8 lbs (12 in fixture) 8 lbs (24 in fixture) 12.5 lbs (36 in fixture) 15.5 lbs (48 in fixture)

**Electrical and Control**

<b>Voltage</b>	<b>120_277:</b> 120 to 277 volts (UL certification) <b>220 to 240:</b> 220 to 240 volts (CE certification, Class I)
<b>Wattage</b>	<b>10W:</b> 10 W/ft, <b>22W:</b> 22 W/ft
<b>Control</b>	<b>DMX/RDM:</b> DMX/RDM Enabled <b>DALI8:</b> DALI 2 T8 Control <b>LT:</b> Lumentalk
<b>Inrush Current (Peak)</b>	Meets NEMA-410 requirements (Based on voltage and control specifications, consult factory for details)

**Environmental**

<b>Storage Temperature</b>	-40 °F to 185 °F
<b>Start-up Temperature</b>	-40 °F to 122 °F
<b>Operating Temperature</b>	For 10 W/ft fixtures: -40 °F to 122 °F For 22 W/ft fixtures, UL Certification: -40 °F to 122 °F For 22 W/ft fixtures, CE Certification: -40 °F to 104 °F

<b>Ingress Protection Rating</b>	IP66 IP67 (suitable for applications with temporary immersion in water only (no permanent immersion), proper drainage around the fixture is required). Consult factory for details
<b>Impact Resistance Rating</b>	IK07 (CL lens), IK07 (HFR lens), IK06 (FR lens) Consult factory for IK08 lens option
<b>Application Wind Speed</b>	Luminaires were designed based on AASHTO 2013 standard to ensure highest quality and safety. Installation should be validated by a local project engineer to ensure the luminaires are suitable for the wind speed and exposure of the specific application
<b>Environment</b>	Wet location

**Accessories (Order Separately)**

<b>Cables</b>	<b>LFCL:</b> Lumenfacade Leader Cable <b>LFJC:</b> Lumenfacade Jumper Cable <b>LFTJ:</b> Lumenfacade T-Junction
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**Maximum Performance (MRGBW40K Optidrive™)**

10W/ft			
Optic	Output (Lumens)	Intensity (Peak Candelas)	Illuminance at Distance
<b>MRGBW40K - Full Output</b>			
<b>10° x 10</b>	1,876	25,025	Minimum 1 fc at 158ft
<b>MRGBW40K - Red Optidrive™</b>			
<b>10° x 10</b>	779	10,385	Minimum 1 fc at 102ft
<b>MRGBW40K - Green Optidrive™</b>			
<b>10° x 10</b>	2,242	29,905	Minimum 1 fc at 173ft
<b>MRGBW40K - Blue Optidrive™</b>			
<b>10° x 10</b>	599	7,983	Minimum 1 fc at 89ft
<b>MRGBW40K - White 40K Optidrive™</b>			
<b>10° x 10</b>	2,512	33,508	Minimum 1 fc at 183ft

22W/ft			
Optic	Output (Lumens)	Intensity (Peak Candelas)	Illuminance at Distance
<b>MRGBW40K - Full Output</b>			
<b>10° x 10</b>	3,783	50,453	Minimum 1 fc at 225ft
<b>MRGBW40K - Red Optidrive™</b>			
<b>10° x 10</b>	840	11,201	Minimum 1 fc at 106ft
<b>MRGBW40K - Green Optidrive™</b>			
<b>10° x 10</b>	3,090	41,220	Minimum 1 fc at 203ft
<b>MRGBW40K - Blue Optidrive™</b>			
<b>10° x 10</b>	1,052	14,026	Minimum 1 fc at 118ft
<b>MRGBW40K - White 40K Optidrive™</b>			
<b>10° x 10</b>	4,032	53,783	Minimum 1 fc at 232ft

Refer to Photometric Guide on Lumenpulse website for information on other color temperatures.



**Photometric Information**

**10 W/ft (MRGBW40K)**

**Symmetric**

	Delivered Output (lm)	Intensity (Peak cd)
10°x10°	1,876	25,025
10°x30°	1,773	9,209
10°x60°	1,784	5,658
10°x90°	1,785	3,858
30°x30°	1,751	4,141
30°x60°	1,737	2,262
30°x90°	1,578	1,608
60°x60°	1,717	1,413
90°x90°	1,678	971
30°x10°	1,679	8,271
60°x10°	1,724	5,229
60°x30°	1,720	2,558
90°x10°	1,530	3,070
W (120°)	1,323	466

**Asymmetric**

NAS	1,848	11,280
WW	1,783	2,931
CAS	1,443	1,971

**22 W/ft (MRGBW40K)**

**Symmetric**

	Delivered Output (lm)	Intensity (Peak cd)
10°x10°	3,783	50,453
10°x30°	3,575	18,568
10°x60°	3,598	11,407
10°x90°	3,598	7,779
30°x30°	3,530	8,350
30°x60°	3,503	4,561
30°x90°	3,181	3,243
60°x60°	3,461	2,850
90°x90°	3,383	1,958
30°x10°	3,384	16,675
60°x10°	3,476	10,543
60°x30°	3,468	5,158
90°x10°	3,085	6,190
W (120°)	2,667	940

**Asymmetric**

NAS	3,726	22,743
WW	3,595	5,910
CAS	2,909	3,974

Based on MRGBW40K, full output, 48 in, DMX/RDM.

Based on MRGBW40K, full output, 48 in, DMX/RDM.

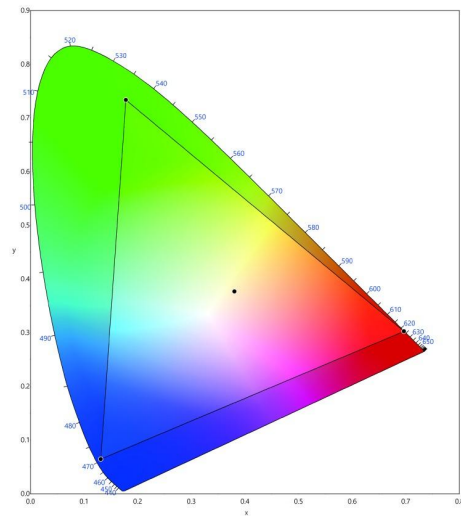
Photometric performance is measured in compliance with IESNA LM 79-08.

10x10, 10x30, 10x60, 10x90, 30x30, 30x60, 30x90, 60x60, 90x90, 30x10, 60x10, 60x30, 90x10, W, NAS and CAS optics tested with CL lens. WW optic tested with HFR lens.

Refer to Photometric Guide on Lumenpulse website for information on other color temperatures.

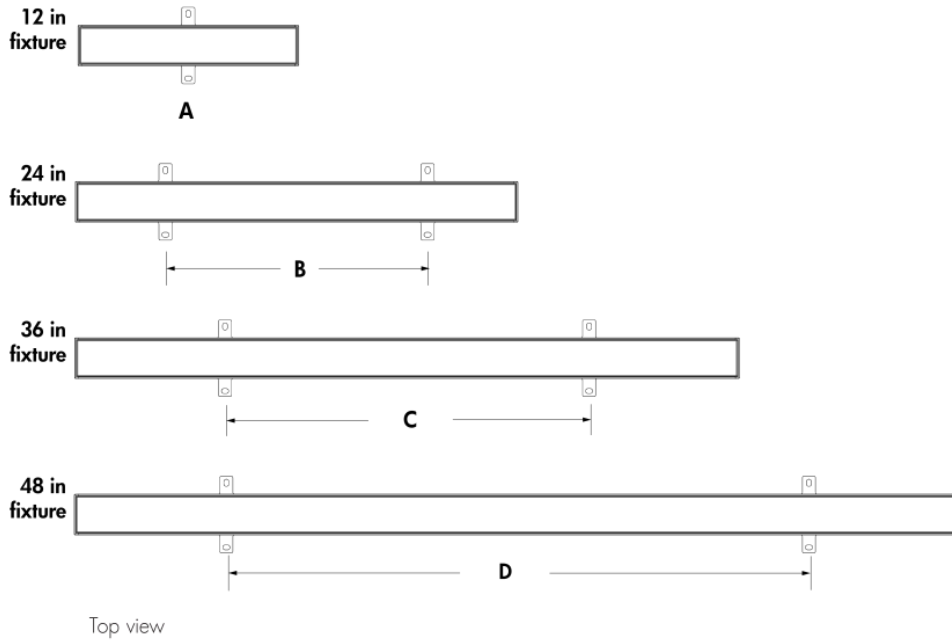
**Color Point Information**

**MRGBW40K**



Red: 620-625nm  
Green: 528-533nm  
Blue: 465-470nm

**Mounting Bracket Placement (Minimum and Maximum Distances)**

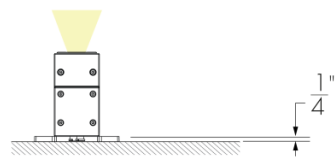


**A** - Bracket in the center of the fixture  
**B** - Minimum 14 in to maximum 18 in  
**C** - Minimum 20 1/2 in to maximum 29 in  
**D** - Minimum 30 1/2 in to maximum 41 in  
 FX mounting brackets shown.

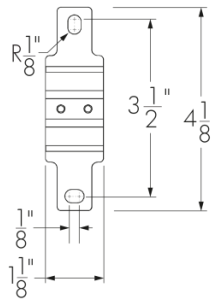
The mounting bracket(s) must be centered on fixture and as symmetrical as possible. Distances must be respected for all installations. Applicable to FX, SM, WMC1, WMi1, WMC3, WMi3, WMC6, WMi6, WMC12, WMi12, WMC18, WMi18, WMC24, WMi24 mounting options only.

**Mounting Options**

**FX - Fixed Mounting**



**FX - Mounting Hole Pattern**



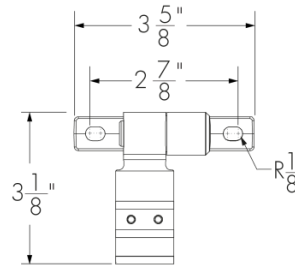
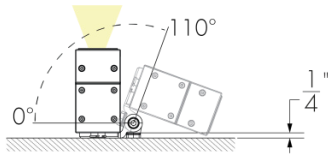
One mounting bracket provided for 12 in fixtures. Two mounting brackets provided for 24 in, 36 in and 48 in fixtures.

Weight of one FX Mounting Bracket: 0.11 lbs. Weight of two FX Mounting Brackets: 0.22 lbs.

For proper hardware selection, use the dimensions of the mounting option, the weight and EPA values of the mounting option, and the weight and EPA values of the fixture and accessories for your engineering calculations.

**SM - Slim Adjustable Mounting**

**SM - Mounting Hole Pattern**



One mounting bracket provided for 12 in fixtures. Two mounting brackets provided for 24 in, 36 in and 48 in fixtures.

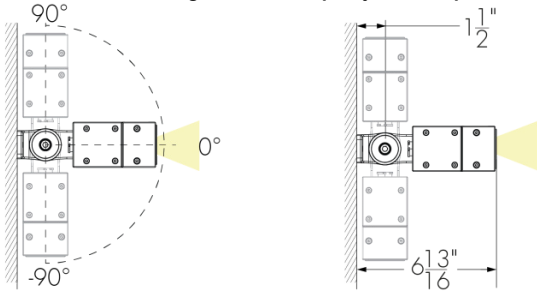
Weight of one SM Mounting Bracket: 0.26 lbs. Weight of two SM Mounting Brackets: 0.53 lbs.

No vibration rating. Not suitable for bridge and overpass applications.

Not suitable when fixture is exposed to wind.

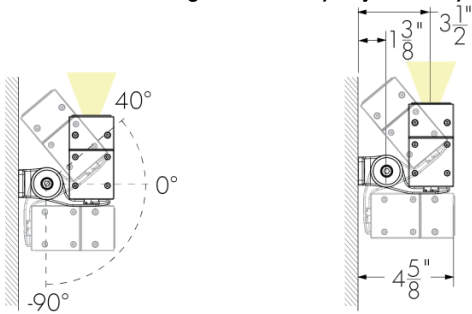
For proper hardware selection, use the dimensions of the mounting option, the weight and EPA values of the mounting option, and the weight and EPA values of the fixture and accessories for your engineering calculations.

**WMC1 - Wall Mounting Continuously Adjustable, 1.5 in to Optical Center**  
**WMI1 - Wall Mounting Incrementally Adjustable By 6°, 1.5 in to Optical Center**



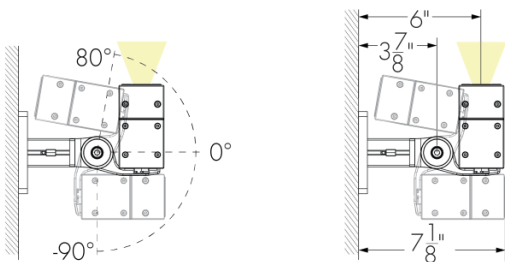
Weight of one WMC1/WMI1 Mounting Bracket: 0.62 lbs.  
 Weight of two WMC1/WMI1 Mounting Brackets: 1.23 lbs.

**WMC3 - Wall Mounting Continuously Adjustable, 3.5 in to Optical Center**  
**WMI3 - Wall Mounting Incrementally Adjustable by 6°, 3.5 in to Optical Center**



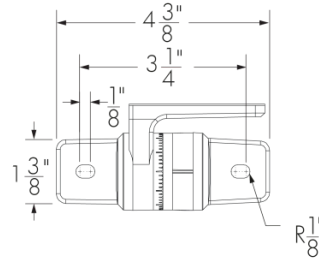
Weight of one WMC3/WMI3 Mounting Bracket: 0.62 lbs.  
 Weight of two WMC3/WMI3 Mounting Brackets: 1.23 lbs.

**WMC6 - Wall Mounting Continuously Adjustable, 6 in to Optical Center**  
**WMI6 - Wall Mounting Incrementally Adjustable by 6°, 6 in to Optical Center**

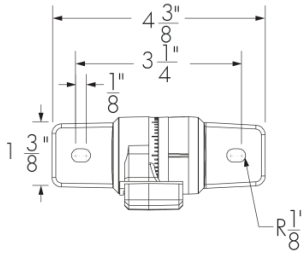


Weight of one WMC6/WMI6 Mounting Bracket: 0.62 lbs.  
 Weight of two WMC6/WMI6 Mounting Brackets: 1.23 lbs.

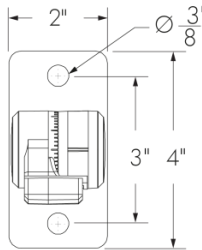
**WMC1 WMI1 - Mounting Hole Pattern**



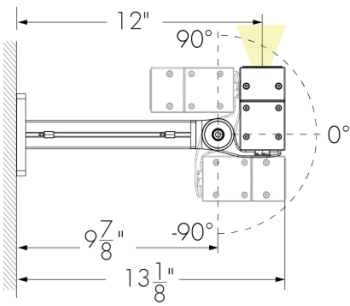
**WMC3 WMI3 - Mounting Hole Pattern**



**WMC6 WMI6 - Mounting Hole Pattern**

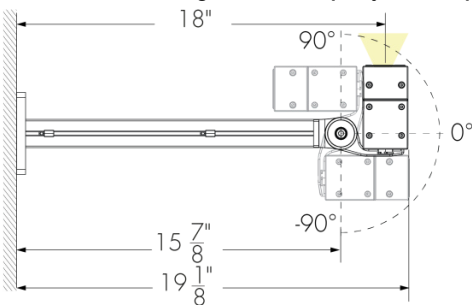


**WMC12 - Wall Mounting Continuously Adjustable, 12 in to Optical Center**  
**WMI12 - Wall Mounting Incrementally Adjustable by 6°, 12 in to Optical Center**



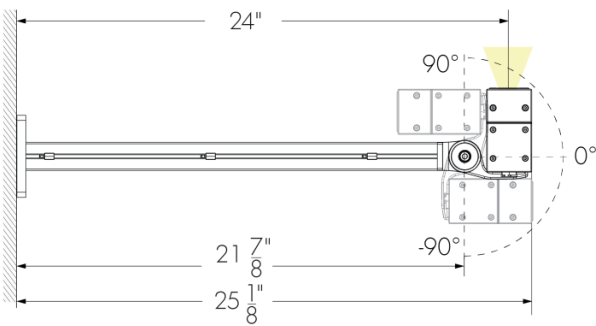
Weight of one WMC12/WMI12 Mounting Bracket: 1.72 lbs.  
 Weight of two WMC12/WMI12 Mounting Brackets: 3.44 lbs.

**WMC18 - Wall Mounting Continuously Adjustable, 18 in to Optical Center**  
**WMI18 - Wall Mounting Incrementally Adjustable by 6°, 18 in to Optical Center**



Weight of one WMC18/WMI18 Mounting Bracket: 2.31 lbs.  
 Weight of two WMC18/WMI18 Mounting Brackets: 4.63 lbs.

**WMC24 - Wall Mounting Continuously Adjustable, 24 in to Optical Center**  
**WMI24 - Wall Mounting Incrementally Adjustable by 6°, 24 in to Optical Center**

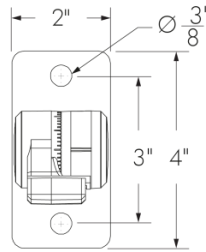


Weight of one WMC24/WMI24 Mounting Bracket: 2.87 lbs.  
 Weight of two WMC24/WMI24 Mounting Brackets: 5.73 lbs.

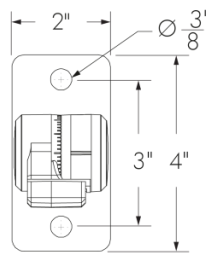
One mounting bracket provided for 12 in fixtures. Two mounting brackets provided for 24 in, 36 in and 48 in fixtures.

For proper hardware selection, use the dimensions of the mounting option, the weight and EPA values of the mounting option, and the weight and EPA values of the fixture and accessories for your engineering calculations.

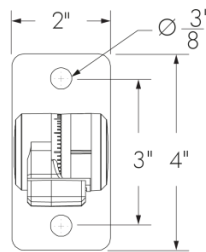
**WMC12 WMI12 - Mounting Hole Pattern**



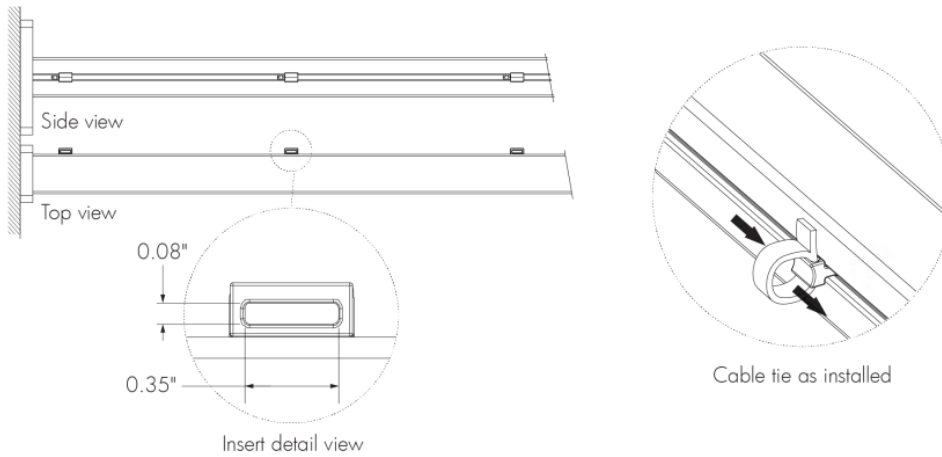
**WMC18 WMI18 - Mounting Hole Pattern**



**WMC24 WMI24 - Mounting Hole Pattern**



**Cable Management System For Wall Mounting Brackets**

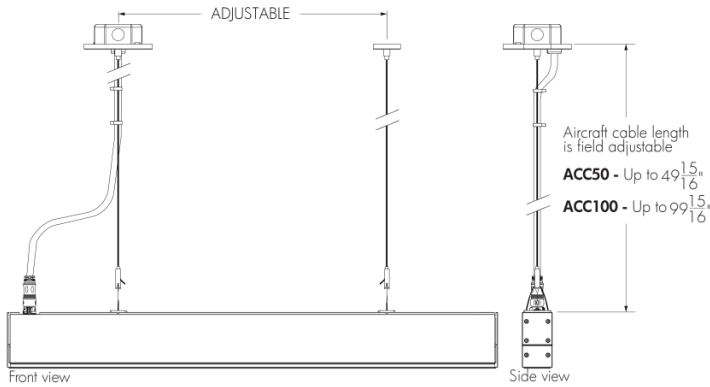


- 1 cable attachment provided for WMC6 and WMi6 mounting arms.
- 2 cable attachments provided for WMC12, WMi12, WMC18 and WMi18 mounting arms.
- 3 cable attachments provided for WMC24 and WMi24 mounting arms.

Maximum cable tie size: 0.35 in width, 0.08 in thickness.  
Cable ties for outdoor applications are recommended, provided by others.

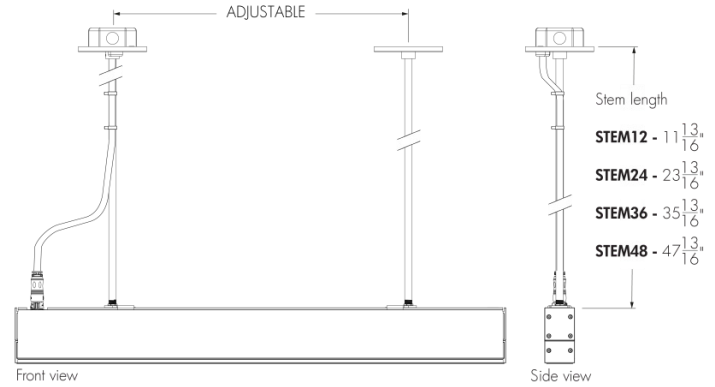
**Mounting Options**

**ACC50 - Aircraft Cable 50 in**  
**ACC100 - Aircraft Cable 100 in**



Consult factory for use with 12 in fixture length.  
Not suitable when fixture is exposed to wind.  
Weight of ACC50 Mounting Brackets: 0.33 lbs.  
Weight of ACC100 Mounting Brackets 0.66 lbs.

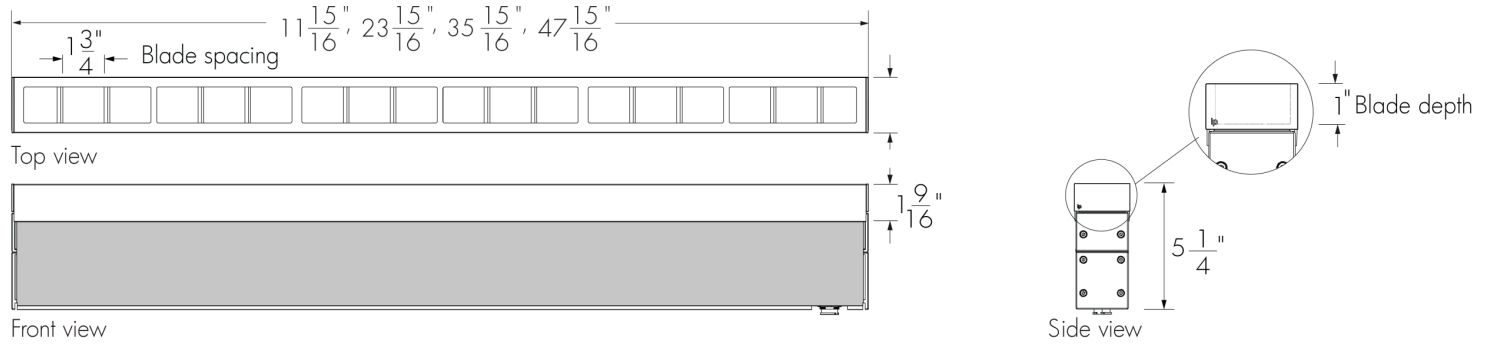
**STEM12 - Stem Mounting 12 in, STEM24 - Stem Mounting 24 in**  
**STEM36 - Stem Mounting 36 in, STEM48 - Stem Mounting 48 in**



Consult factory for use with 12 in fixture length.  
Not suitable when fixture is exposed to wind.  
Weight of STEM12 Mounting Brackets: 0.77 lbs.  
Weight of STEM24 Mounting Brackets: 1.1 lbs.  
Weight of STEM36 Mounting Brackets: 1.43 lbs.  
Weight of STEM48 Mounting Brackets: 1.76 lbs.

**Accessories**

**LV - Radial Louver**

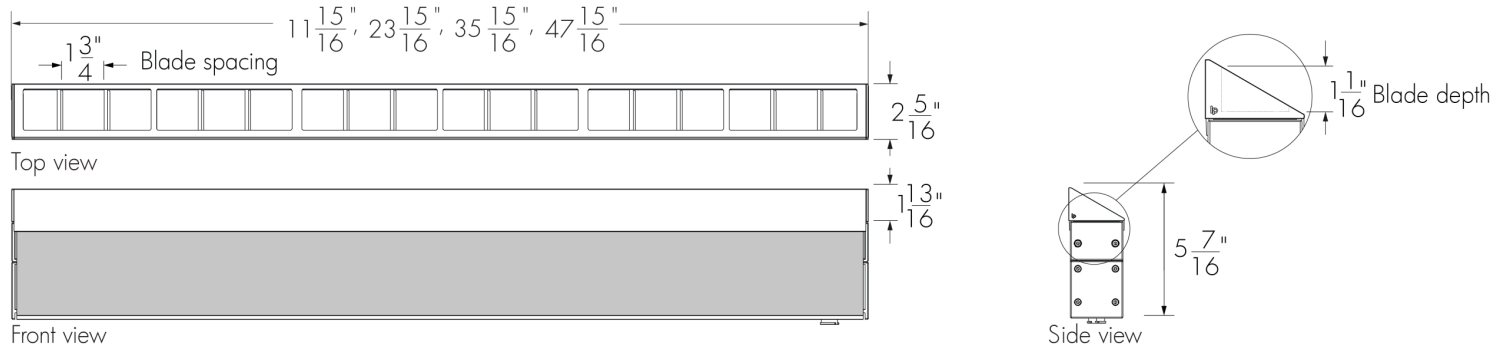


- A Radial Louver will affect beam distribution. Consult factory for application support.
- The Radial Louver is field installable. The Radial Louver can be combined with the Shield accessory; all other combinations are not possible.
- The exterior finish of the accessory will match the finish specified in the fixture order code (interior surface painted matte black).
- Not suitable for NAS, CAS and WW optics.
- Consult EPA Guide in the specification sheet for engineering calculations.

Weight of 12 in accessory: 0.65 lbs, and 24 in accessory: 1.25 lbs, weight of 36 in accessory: 1.75 lbs, weight of 48 in accessory: 2.3 lbs.

Note: the weight of the accessory is in addition to the weight of the fixture.

**LVAS - Radial Louver Asymmetric**

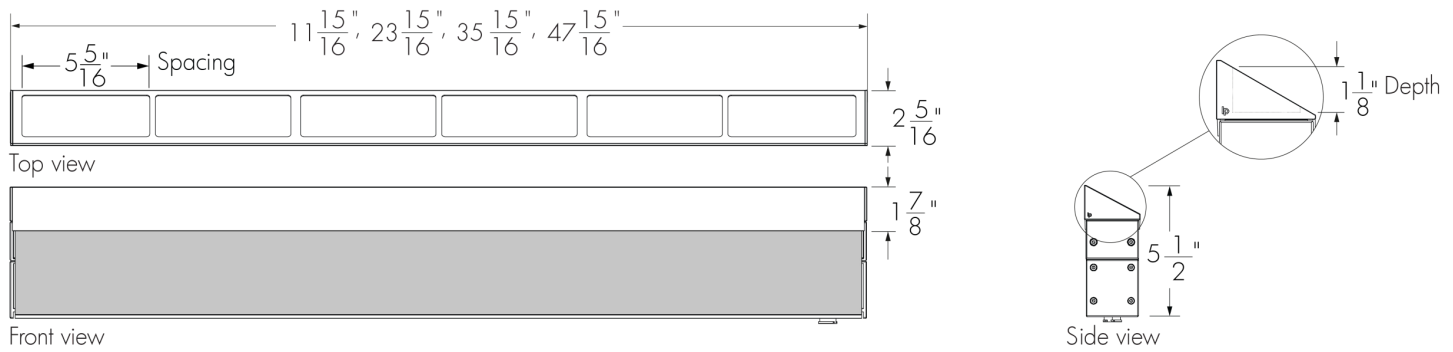


- A Radial Louver Asymmetric will affect beam distribution. Consult factory for application support.
- The Radial Louver Asymmetric is field installable. The Radial Louver Asymmetric can be combined with the Shield accessory; all other combinations are not possible.
- The exterior finish of the accessory will match the finish specified in the fixture order code (interior surface painted matte black).
- Consult EPA Guide in the specification sheet for engineering calculations.

Weight of 12 in accessory: 0.5 lbs, weight of 24 in accessory: 1 lbs, weight of 36 in accessory: 1.3 lbs, weight of 48 in accessory: 1.7 lbs.

Note: the weight of the accessory is in addition to the weight of the fixture.

**VS - Visor**

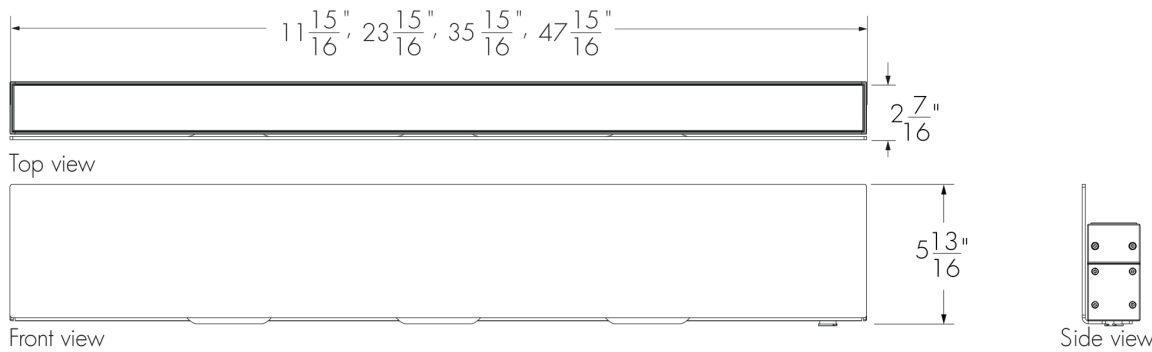


- A Visor will affect beam distribution. Consult factory for application support.
- The Visor is field installable. The Visor can be combined with the Shield accessory; all other combinations are not possible.
- The exterior finish of the accessory will match the finish specified in the fixture order code with the exception of the inside surface of the Visor end caps, which are painted the same colour as the fixture. Interior surface painted matte black.
- Consult EPA Guide in the specification sheet for engineering calculations.

Weight of 12 in accessory: 0.4 lbs, weight of 24 in accessory: 0.8 lbs, weight of 36 in accessory: 1.2 lbs, weight of 48 in accessory: 1.5 lbs.

Note: the weight of the accessory is in addition to the weight of the fixture.

**SH - Shield**



- A Shield will affect beam distribution. Consult factory for application support.
- The Shield is field installable. The Shield can be combined with the Louver, Louver Asymmetric or Visor accessories.
- No vibration rating available. The Shield can be installed in zones with wind speeds up to 120 mph. Consult factory for zones with wind speeds higher than 120 mph.
- The exterior finish of the accessory will match the finish specified in the fixture order code (interior surface painted matte black).
- Consult EPA Guide in the specification sheet for engineering calculations.

Weight of 12 in accessory: 2.5 lbs, weight of 24 in accessory: 4.75 lbs, weight of 36 in accessory: 7.25 lbs, weight of 48 in accessory: 9.5 lbs.

Note: the weight of the accessory is in addition to the weight of the fixture.



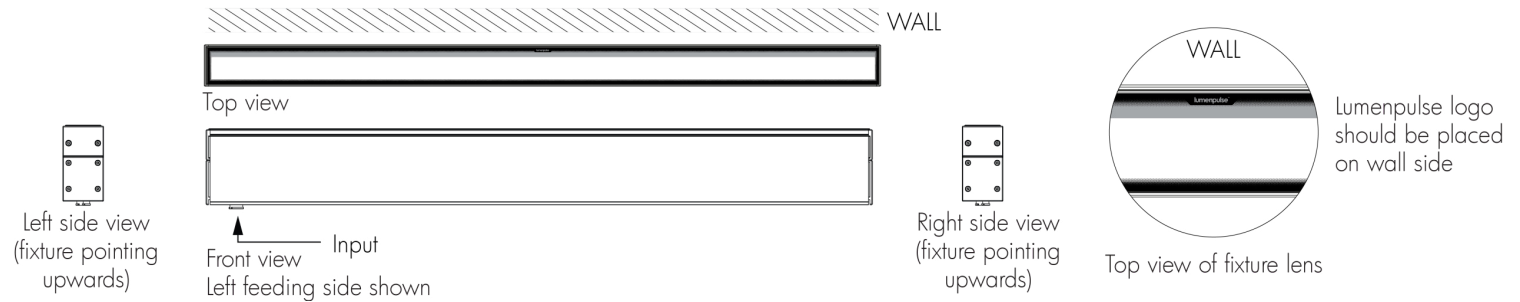
**Lens and Optics Combinations Table**

Lens/Optics	10x10	10x30	10x60	10x90	30x30	30x60	30x90	60x60	90x90	30x10	60x10	60x30	90x10	W	NAS	WW	CAS
<b>CL</b> Clear Lens	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☒	☑
<b>HFR</b> Half-Frosted Lens	☑	☑	☑	☑	☒	☒	☒	☒	☒	☒	☒	☒	☒	☒	☑	☑	☒
<b>FR</b> Frosted Lens	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑	☑

- ☑ Lens option
- ☒ Not available

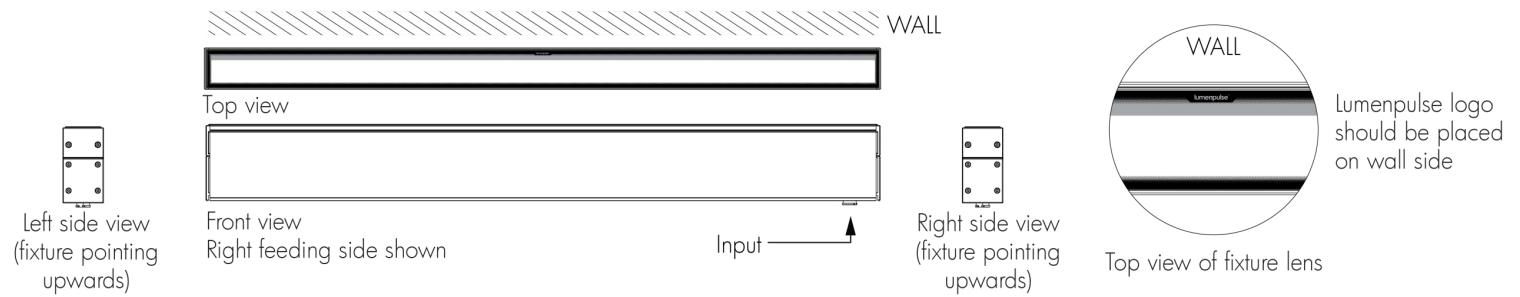
**Half-Frosted Lens Details**

**Left Feeding Side**



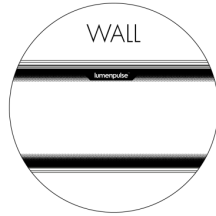
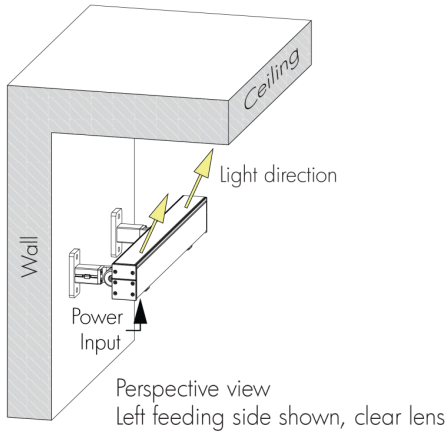
- Position frosted side of the lens and Lumenpulse logo along the wall.
- Fixture's feeding side is based on upright installations. Feeding sides are reversed when fixture is used in a downlight application.

**Right Feeding Side**



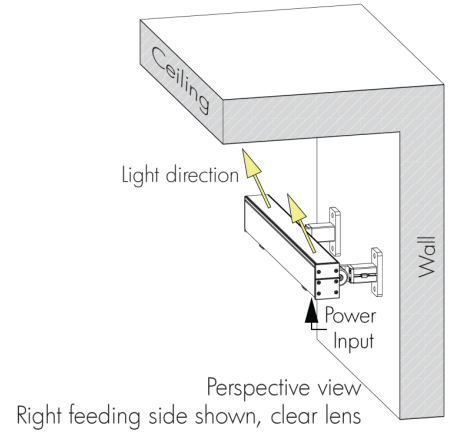
- Position frosted side of the lens and Lumenpulse logo along the wall.
- Fixture's feeding side is based on upright installations. Feeding sides are reversed when fixture is used in a downlight application.

**Ceiling Asymmetric Optic Details**



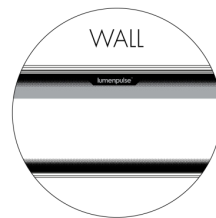
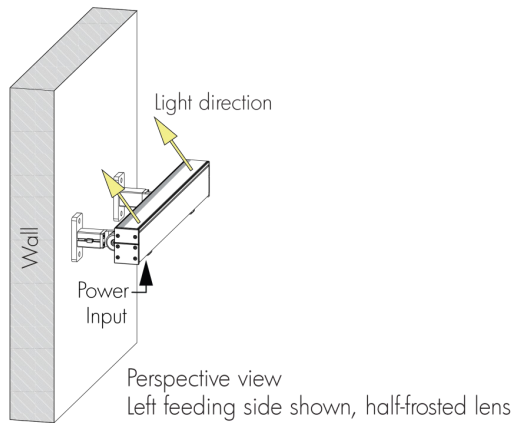
Top view of fixture lens

Lumenpulse logo should be placed on wall side



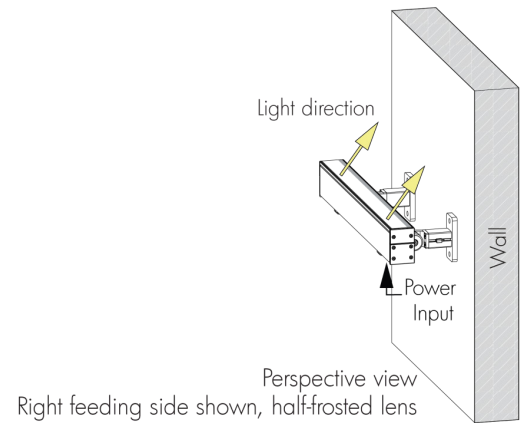
- Always position Lumenpulse logo on lens along the wall.
- Fixture's feeding side is based on uplight installations. Feeding sides are reversed when fixture is used in a downlight application.
- **Ceiling Asymmetric optic guidelines:** 18 in minimum setback, 1:5 setback/canopy depth ratio (based on CL lens).

**Narrow Asymmetric and Asymmetric Wallwash Optics Details**



Top view of fixture lens




Lumenpulse logo should be placed on wall side



- Position frosted side of the lens and Lumenpulse logo along the wall.
- Fixture's feeding side is based on uplight installations. Feeding sides are reversed when fixture is used in a downlight application.
- **Narrow Asymmetric optic guidelines:** 12 in minimum setback, 1:10 setback ratio (based on HFR lens).
- **Asymmetric Wallwash optic guidelines:** 6 in minimum setback, 1:8 setback ratio (based on HFR lens).


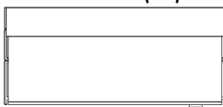

**EPA Guide - Fixture**

Fixture

	12 in	24 in	36 in	48 in
<b>EPA Top (sq ft)</b> 	0.237	0.476	0.715	0.954
<b>EPA Front (sq ft)</b> 	0.442	0.887	1.333	1.778
<b>EPA Side (sq ft)</b> 	0.082	0.082	0.082	0.082

**EPA Guide - Fixture with Accessory**


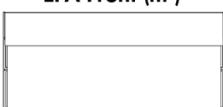

Fixture With Radial Louver Accessory

	12 in	24 in	36 in	48 in
<b>EPA Top (m<sup>2</sup>)</b> 	0.237	0.476	0.715	0.954
<b>EPA Front (m<sup>2</sup>)</b> 	0.568	1.140	1.712	2.284
<b>EPA Side (m<sup>2</sup>)</b> 	0.100	0.100	0.100	0.100

Fixture With Radial Louver Asymmetric Accessory

	12 in	24 in	36 in	48 in
<b>EPA Top (m<sup>2</sup>)</b> 	0.237	0.476	0.715	0.954
<b>EPA Front (m<sup>2</sup>)</b> 	0.580	1.164	1.748	2.332
<b>EPA Side (m<sup>2</sup>)</b> 	0.092	0.092	0.092	0.092



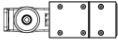

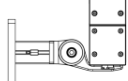
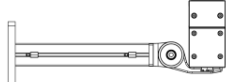
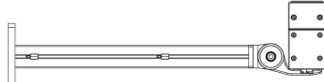

Fixture With Visor Accessory

	12 in	24 in	36 in	48 in
<b>EPA Top (m<sup>2</sup>)</b> 	0.237	0.476	0.715	0.954
<b>EPA Front (m<sup>2</sup>)</b> 	0.580	1.164	1.748	2.332
<b>EPA Side (m<sup>2</sup>)</b> 	0.092	0.092	0.092	0.092

Fixture With Shield Accessory

	12 in	24 in	36 in	48 in
<b>EPA Top (sq ft)</b> 	0.237	0.476	0.715	0.954
<b>EPA Front (sq ft)</b> 	0.926	1.859	2.791	3.723
<b>EPA Side (sq ft)</b> 	0.082	0.082	0.082	0.082

**EPA Guide - Mounting Option**

EPA Top/Side (sq ft)		
<b>FX</b>	N/A	
<b>SM</b>	0.01	
<b>WMC1 WMi1</b>	0.05	
<b>WMC3 WMi3</b>	0.04	
<b>WMC6 WMi6</b>	0.06	
<b>WMC12 WMi12</b>	0.14	
<b>WMC18 WMi18</b>	0.21	
<b>WMC24 WMi24</b>	0.29	

**Wiring Color Code**

**DALIT8 and LT Control (XC3P2D)**

UL Color Code	Use
Green	Ground
Black	Line
White	Neutral
Purple	0-10V + / Data +
Orange	0-10V - / Data -

**DMX/RDM Control (XC3P3D)**

UL Color Code	Use
Green	Ground
Black	Line
White	Neutral
Red	Data +
Orange	Data -
Gray	Signal Common

**Maximum Fixture Run Length Table**

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**DMX/RDM Control (DMX/RDM)**

**Lumenfacade Max 10W/ft**

Voltage	<b>120V</b>	<b>230V</b>	<b>277V</b>
Maximum Run of Fixtures	112ft	128ft	128ft

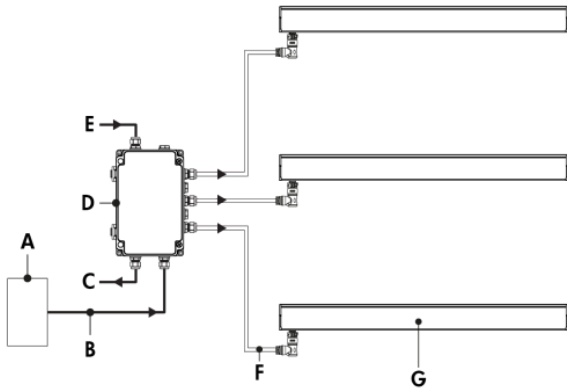
**Lumenfacade Max 22W/ft**

Voltage	<b>120V</b>	<b>230V</b>	<b>277V</b>
Maximum Run of Fixtures	64ft	128ft	128ft

Based on 48 in fixtures, DMX/RDM control, 25 ft leader cable for an end-to-end run with 2 ft jumper cables between fixtures. Refer to Typical Wiring Diagrams for Control Protocol specific run length rules.

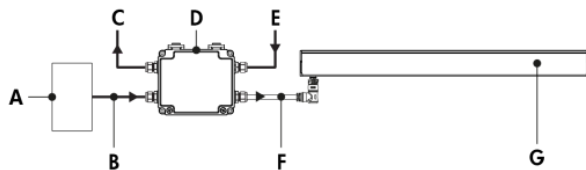
**Typical Wiring Diagrams**

**Star Layout (DMX/RDM)**



- A** - Third-party DMX/RDM controller
- B** - Data input (Belden 9841 or equivalent, by others)
- C** - Data output to next CBX (optional, not isolated/not boosted)
- D** - CBX-ST
- E** - Power input (120 to 277V, wiring by others)
- F** - Leader Cable with 90° angle connector (LFLC XC3P2D)
- G** - Lumenfacade Max Standalone (LFM-SA)

**Daisy Chain Layout (DMX/RDM)**

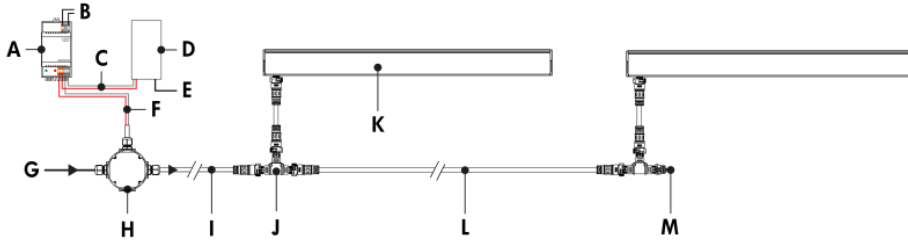


- A** - Third-party DMX/RDM controller
- B** - Data input (Belden 9841 or equivalent, by others)
- C** - Data output to next CBX (optional, not isolated/not boosted)
- D** - CBX-DS
- E** - Power input (120 to 277V, wiring by others)
- F** - Leader Cable with 90° angle connector (LFLC XC3P2D)
- G** - Lumenfacade Max Standalone (LFM-SA)

**Refer to installation instructions for additional wiring details.**

- Consult CBX installation instructions for additional wiring details.
- 1000 ft maximum DMX/RDM "Bus" length.
- 1 DMX universe = 128 @ 4-channel controllable segments.
- Fixtures set to control RGBW by Foot Resolution are limited to 128 ft of product or the fixture run voltage drop limitations, whichever limit is reached first.
- Fixtures set to control RGBW by Fixture Resolution are limited to 128 fixtures (12 in, 24 in, 36 in or 48 in lengths) or the fixture run voltage drop limitations, whichever limit is reached first.
- Maximum of 4 DMX/RDM repeaters/CBX cascading in line.
- Maximum of 6 outputs per CBX-ST; maximum of 1 output per CBX-DS.

**DALI 2 T8 (DALIT8)**

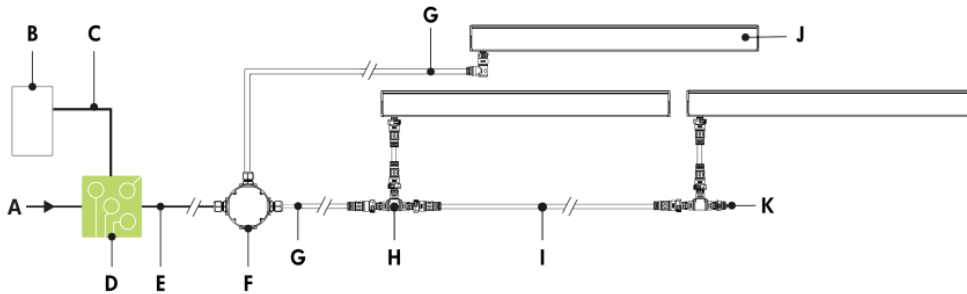


- A** - DALI bus power supply (by others)
- B** - Power input for DALI bus power supply (wiring by others)
- C** - Data output to DALI controller (wiring by others)
- D** - DALI controller (by others)
- E** - Power input for DALI controller (if required, wiring by others)
- F** - Data output to fixture (wiring by others)
- G** - Power input (120 to 277V, wiring by others)
- H** - Junction box (by others)
- I** - Leader Cable (LFLC XC3P2D)
- J** - Lumenfacade T-Junction (LFTJ XC3P2D)
- K** - Lumenfacade Max Standalone (LFM-SA)
- L** - Jumper Cable (LFJC XC3P2D)
- M** - Sealing End Cap

Refer to installation instructions for additional wiring details and wiring diagram with Lumenfacade T-Junction accessory.

- 64 DALI addressable device limitation (each fixture is an addressable device).
- DALI does not allow for control by foot, only by fixture.
- Commissioning may be required based on the selection of 3rd party DALI controller. Controller and commissioning provided by others.
- Less than 1% minimum dimming value.

**Lumentalk (LT)**



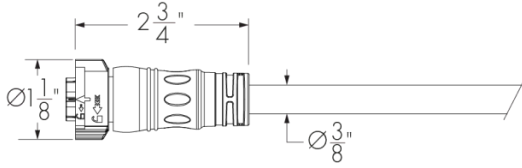
- A** - Power input (120 to 277V, wiring by others)
- B** - DMX/RDM controller (order separately from Lumenpulse, or by others)
- C** - Data wiring (by others)
- D** - Lumentranslator 2 (LTL2-DMX)
- E** - Power wiring (by others)
- F** - Junction box (by others)
- G** - Leader Cable (LFLC XC3P2D)
- H** - Lumenfacade T-Junction (LFTJ XC3P2D)
- I** - Jumper Cable (LFJC XC3P2D)
- J** - Lumenfacade Max Standalone (LFM-SA)
- K** - Sealing End Cap

Refer to installation instructions for additional wiring details and wiring diagram with Lumenfacade T-Junction accessory.

- Consult factory for specific applications and maximum fixture count/cable length recommendations.
- For DMX applications: 1 DMX controller per Lumentalk network, maximum of 48 DMX channels per Lumentalk network (minimum step transition update rate is 1 second, minimum fade time between two colors is 1 minute). Consult factory for applications that require additional capabilities.
- Maximum of 1 transmitter (Lumentranslator or Lumenlink) per system.
- No third-party fixtures allowed on the same circuit.
- Consult factory for DALI Lumentalk applications.

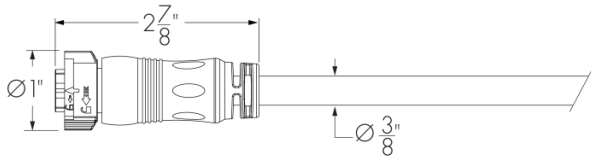
**Leader Cable (Order Separately)**

**LFCL - Lumenfacade Leader Cable (XC3P2D) 180D (Straight Connector)**



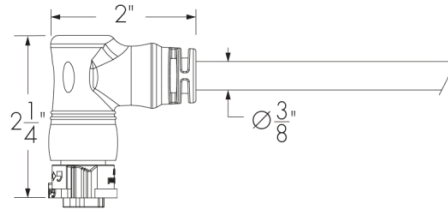
UL version shown. Consult European specification sheet for CE cable details.

**LFCL - Lumenfacade Leader Cable (XC3P3D) 180D (Straight Connector)**



UL version shown. Consult European specification sheet for CE cable details.

**LFCL - Lumenfacade Leader Cable (XC3P2D and XC3P3D) 90D (90° Angle Connector)**



UL version shown. Consult European specification sheet for CE cable details.

**LFCL-TYPE-CERTIFICATION-VOLTAGE-LENGTH-CONNECTOR/CABLE TYPE-CONNECTOR SHAPE-CABLE/CONNECTOR COLOR**

Please specify:

DALIT8, LT applications:

**TYPE:** SA (Standalone); **CERTIFICATION:** UL or CE; **VOLTAGE:** 120\_277; **LENGTH:** 10 ft, 25 ft, 50 ft, 100 ft, 150 ft or 200 ft; **CONNECTOR/CABLE TYPE:** XC3P2D (5x 16AWG X-lock size); **CONNECTOR SHAPE:** 180D (Straight Connector) or 90D (90° Angle Connector); **CABLE/CONNECTOR COLOR:** BK (Black) or WH (White) (connectors are the same color as the specified cable color).

A waterproof sealing end cap is mandatory for any unused connector. One (1) included with every SA XC3P2D Leader Cable.

DMX/RDM applications:

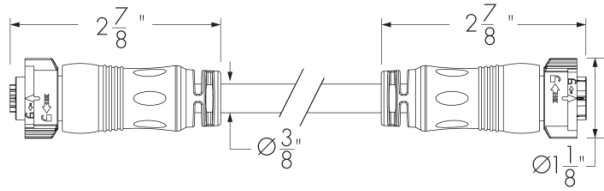
**TYPE:** SA (Standalone); **CERTIFICATION:** UL or CE; **VOLTAGE:** 120\_277; **LENGTH:** 10 ft, 25 ft, 50 ft, 100 ft, 150 ft or 200 ft; **CONNECTOR/CABLE TYPE:** XC3P3D (3x14AWG + 3x24AWG X-lock C-size); **CONNECTOR SHAPE:** 180D (Straight Connector) or 90D (90° Angle Connector); **CABLE/CONNECTOR COLOR:** BK (Black) or WH (White) (connectors are the same color as the specified cable color).

- Consult Lumenfacade Leader cable specification sheet for all available cable lengths and additional information.



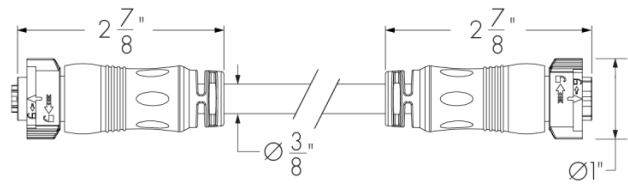
**Jumper Cable (Order Separately)**

**LFJC - Lumenfacade Jumper Cable (XC3P2D)**



UL version shown. Consult European specification sheet for CE cable details.

**LFJC - Lumenfacade Jumper Cable (XC3P3D)**



UL version shown. Consult European specification sheet for CE cable details.

**LFJC-CERTIFICATION-VOLTAGE-LENGTH-CONNECTOR/CABLE TYPE-CONNECTOR SHAPE-CABLE/CONNECTOR COLOR**

Please specify:

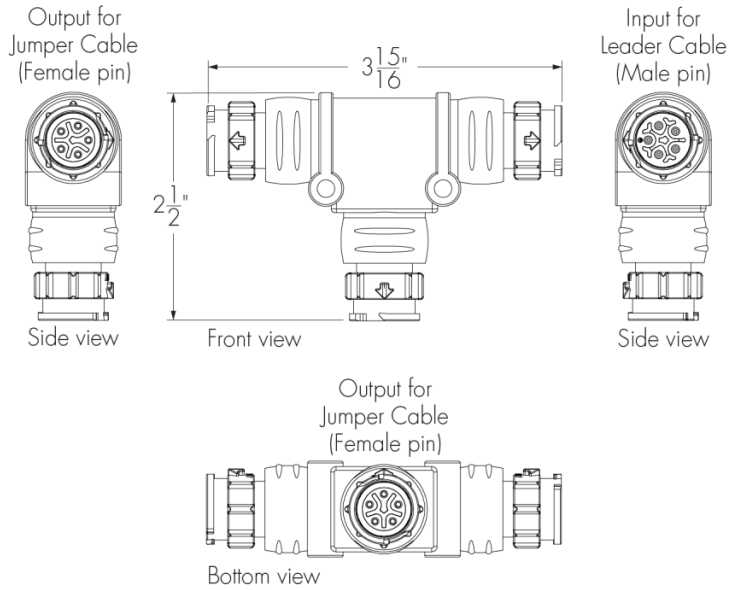
**CERTIFICATION:** UL or CE; **VOLTAGE:** 120\_277; **LENGTH:** 1 ft, 2 ft, 5 ft, 10 ft, 25 ft or 50 ft; **CONNECTOR/CABLE TYPE:** XC3P2D (5x 16AWG X-lock size) or XC3P3D (3x14AWG + 3x24AWG X-lock C-size); **CONNECTOR SHAPE:** 180D (straight connector); **CABLE/CONNECTOR COLOR:** BK (Black) or WH (White) (connectors are the same color as the specified cable color).

- Suitable for dimming/data and non-dimming applications.
- Consult Lumenfacade Jumper Cable specification sheet for additional information.
- For closely spaced fixtures, a minimum jumper cable length of 2 ft is recommended to accommodate a cable loop between fixtures.
- Minimum spacing for 36 in and 48 in fixtures in a row: 0.35 in.
- Minimum spacing for 12 in and 24 in fixtures at the end of a fixture run, next to 36 in and 48 in fixtures: 0.35 in.
- Minimum spacing for 12 in and 24 in fixtures in a row: 2.75 in.
- Minimum bend radius 2.56 in.

**T-Junction (Order Separately)**

**LFTJ - Lumenfacade T-Junction (XC3P2D)**

Available For DALI8 and LT Control Options Only



**LFTJ-CONNECTOR/CABLE TYPE-CABLE/CONNECTOR COLOR**

Please specify:

**CONNECTOR/CABLE TYPE:** XC3P2D (5x 16AWG X-lock size); **CABLE/CONNECTOR COLOR:** BK (Black) or WH (White).

- Suitable for dimming/data and non-dimming applications with LFM fixtures.
- Consult factory for guidelines on the use of T-Junctions in a fixture run.
- Consult Lumenfacade T-Junction specification sheet for additional information.
- The T-Junction accessory can be used to connect a feed input, with a throughput to a localized run of fixtures and an output to the rest of your installation.
- Waterproof sealing end cap is mandatory for any unused connector. One (1) included with every T-Junction accessory.

**Control Systems (Order Separately)**

**LTN2 - Lumentone™ 2**



Lumentone 2 is a simple pre-programmed DMX 512 controller with a push button rotary dial and live feedback.

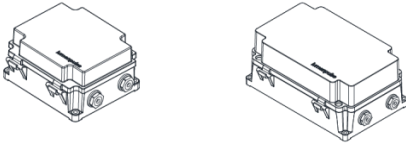
**PHAROS - Pharos® Kit**



The Pharos kit, available for 1 or 2 DMX universes, allows for complete control of large lighting installations. 2 DMX universes kit shown.

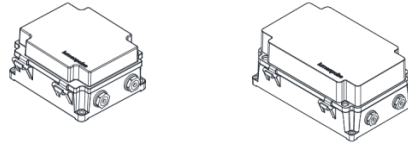
**Control Boxes (Order Separately)**

**CBX-DMX/RDM - DMX/RDM Enabled (Daisy Chain or Star Configuration)**



DMX/RDM control box. Up to six power and data outputs to fixtures or fixture runs. Consult CBX specification sheet and installation instructions for details. Lumenterminators provided with CBX (2x for daisy chain configuration, 6x for star configuration), consult factory to order spares.

**CBX-ENET - Ethernet Enabled (Daisy Chain or Star Configuration)**



Ethernet control box. Up to four power and data outputs to fixture or fixture runs. Consult Ethernet CBX specification sheet and installation instructions for details.

**Diagnostic And Addressing Tools (Order Separately)**

**LID - LumenID**



LumenID is a diagnostic and addressing DMX/RDM tool. It must be specified on all DMX applications. Consult LID specification sheet for details.

**LID-LT - LumentalkID**



LumentalkID is a diagnostic and addressing tool. It must be specified for all Lumentalk (LT) applications. Consult LID-LT specification sheet for details.

**How to Order**

Housing	Type	Certification	Voltage	Length	Wattage	Color and Color Temperature	Optic	Lens	Feeding Side	Control	Vibration Rating																									
LFM Lumenfacade Max	SA Standalone	UL UL Compliant (1)	120_277 120 volts to 277 volts (3)	12 12 in	10W 10 W/ft	MRGB Opticolor with MRGB (5)	10x10 10° x 10° (6)	CL Clear Lens (9)	NF No Feed Information Required	DMX/RDM DMX/RDM Enabled (12) (13)	NVR No Vibration Rating Required (16)																									
				24 24 in								22W 22 W/ft	MRGBW27K Opticolor with MRGBW 2700K CRI 80 (5)	10x30 10° x 30°	HFR Half-Frosted Lens (10)	LF Left Feeding Side	DALI2 DALI 2 T8 Control (13) (14)	VRN Vibration Rated for Normal Applications (17)																		
				36 36 in															MRGBW30K Opticolor with MRGBW 3000K CRI 80 (5)	10x60 10° x 60°	FR Frosted Lens (11)	RF Right Feeding Side	LT Lumentalk (13) (15)	VRBO Vibration Rated for Bridge and Overpass (18)												
				48 48 in																					MRGBW35K Opticolor with MRGBW 3500K CRI 80 (5)	30x30 30° x 30° (7)	FR Frosted Lens (11)	RF Right Feeding Side	LT Lumentalk (13) (15)	VRBO Vibration Rated for Bridge and Overpass (18)						
																															MRGBW40K Opticolor with MRGBW 4000K CRI 80 (5)	30x60 30° x 60° (7)	FR Frosted Lens (11)	RF Right Feeding Side	LT Lumentalk (13) (15)	VRBO Vibration Rated for Bridge and Overpass (18)
			MRGBA Opticolor with MRGB+ Phosphor Converted Amber (PC Amber) (5)	60x60 60° x 60° (7)	FR Frosted Lens (11)	RF Right Feeding Side	LT Lumentalk (13) (15)	VRBO Vibration Rated for Bridge and Overpass (18)																												
									MRGBA Opticolor with MRGB+ Phosphor Converted Amber (PC Amber) (5)	90x90 90° x 90° (7)	FR Frosted Lens (11)	RF Right Feeding Side	LT Lumentalk (13) (15)	VRBO Vibration Rated for Bridge and Overpass (18)																						
															MRGBA Opticolor with MRGB+ Phosphor Converted Amber (PC Amber) (5)	90x10 90° x 10° (7)	FR Frosted Lens (11)	RF Right Feeding Side	LT Lumentalk (13) (15)	VRBO Vibration Rated for Bridge and Overpass (18)																
																					MRGBA Opticolor with MRGB+ Phosphor Converted Amber (PC Amber) (5)	W Wide 120° (7)	FR Frosted Lens (11)	RF Right Feeding Side	LT Lumentalk (13) (15)	VRBO Vibration Rated for Bridge and Overpass (18)										
																											MRGBA Opticolor with MRGB+ Phosphor Converted Amber (PC Amber) (5)	NAS Narrow Asymmetric	FR Frosted Lens (11)	RF Right Feeding Side	LT Lumentalk (13) (15)	VRBO Vibration Rated for Bridge and Overpass (18)				
																																	MRGBA Opticolor with MRGB+ Phosphor Converted Amber (PC Amber) (5)	WW Asymmetric Wallwash (8)	FR Frosted Lens (11)	RF Right Feeding Side
	MRGBA Opticolor with MRGB+ Phosphor Converted Amber (PC Amber) (5)	CAS Ceiling Asymmetric (7)	FR Frosted Lens (11)	RF Right Feeding Side	LT Lumentalk (13) (15)	VRBO Vibration Rated for Bridge and Overpass (18)																														

**Notes:**

- Available for 120\_277 voltage option only.
- Available for 230 voltage option only.
- Available for UL certification only.
- Available for CE certification only.
- Fixtures are shipped from the factory in Normal Mode. Optidrive™ Mode can be activated onsite for DMX/RDM and LT fixtures. For DMX/RDM applications, Optidrive Mode requires a LumenID, LumenID software and onsite commissioning. For LT applications, Optidrive Mode requires a LumentalkID, LumentalkID software and onsite commissioning.
- For best results use a minimum 6 in setback from surface. Contact factory for application support.
- Can be combined with a CL or FR lens only.
- Can be combined with a HFR or FR lens only.
- When CL lens is combined with NAS or CAS optic, LF or RF feeding side must be specified.
- When HFR lens is specified, LF or RF feeding side must be specified.
- When FR lens is combined with WW, NAS or CAS optic, LF or RF feeding side must be specified.
- A Control Box (CBX) and LumenID (LID) must be specified.
- Minimum dimming value is less than 1%.
- DALI 2 T8 controller required, provided by others. DALI 2 T8 control uses a single DALI short address.
- A Lumentranslator 2 (LTL2) and LumentalkID (LIDL) must be specified for Lumentalk applications. Consult Lumentranslator 2 and Lumentalk pages and specification sheets for details.
- Available for all mounting options.
- Available for FX, WMC1, WMI1, WMC3, WMI3, WMC6, WMI6, WMC12, WMI12, WMC18 and WMI18 mounting options.
- Available for FX, WMI1, WMI3, WMI6, WMI12 and WMI18 mounting options.

**How to Order**

Mounting Option	Canopy Finish	Environment	Finish	Accessories <sup>(33)</sup> <sup>(34)</sup>	Buy American Act
<b>SM</b> Slim Adjustable Mounting Continuously Adjustable (110° Pivot Limit) <sup>(19)</sup> <sup>(20)</sup> <sup>(21)</sup> <b>FX</b> Fixed Mounting (0° Pivot Limit) <sup>(20)</sup> <sup>(22)</sup> <b>WMC1</b> Wall Mounting Continuously Adjustable, 1.5 in to Optical Center (180° Pivot Limit) <sup>(20)</sup> <sup>(21)</sup> <sup>(23)</sup> <b>WMI1</b> Wall Mounting Incrementally Adjustable by 6°, 1.5 in to Optical Center (180° Pivot Limit) <sup>(20)</sup> <sup>(22)</sup> <b>WMC3</b> Wall Mounting Continuously Adjustable, 3.5 in to Optical Center (130° Pivot Limit) <sup>(20)</sup> <sup>(21)</sup> <sup>(23)</sup> <b>WMI3</b> Wall Mounting Incrementally Adjustable by 6°, 3.5 in to Optical Center (130° Pivot Limit) <sup>(20)</sup> <sup>(22)</sup> <b>WMC6</b> Wall Mounting Continuously Adjustable, 6 in to Optical Center (170° Pivot Limit) <sup>(20)</sup> <sup>(21)</sup> <sup>(24)</sup> <b>WMI6</b> Wall Mounting Incrementally Adjustable by 6°, 6 in to Optical Center (170° Pivot Limit) <sup>(20)</sup> <sup>(25)</sup> <b>WMC12</b> Wall Mounting Continuously Adjustable, 12 in to Optical Center (180° Pivot Limit) <sup>(20)</sup> <sup>(21)</sup> <sup>(24)</sup> <b>WMI12</b> Wall Mounting Incrementally Adjustable by 6°, 12 in to Optical Center (180° Pivot Limit) <sup>(20)</sup> <sup>(25)</sup> <b>WMC18</b> Wall Mounting Continuously Adjustable, 18 in to Optical Center (180° Pivot Limit) <sup>(20)</sup> <sup>(21)</sup> <sup>(24)</sup> <b>WMI18</b> Wall Mounting Incrementally Adjustable by 6°, 18 in to Optical Center (180° Pivot Limit) <sup>(20)</sup> <sup>(25)</sup> <b>WMC24</b> Wall Mounting Continuously Adjustable, 24 in to Optical Center (180° Pivot Limit) <sup>(19)</sup> <sup>(20)</sup> <sup>(21)</sup> <b>WMI24</b> Wall Mounting Incrementally Adjustable by 6°, 24 in to Optical Center (180° Pivot Limit) <sup>(19)</sup> <sup>(20)</sup> <sup>(21)</sup> <b>STEM12</b> Stem Mounting 12 in <sup>(19)</sup> <sup>(21)</sup> <sup>(26)</sup> <sup>(27)</sup> <sup>(28)</sup> <b>STEM24</b> Stem Mounting 24 in <sup>(19)</sup> <sup>(21)</sup> <sup>(26)</sup> <sup>(27)</sup> <sup>(28)</sup> <b>STEM36</b> Stem Mounting 36 in <sup>(19)</sup> <sup>(21)</sup> <sup>(26)</sup> <sup>(27)</sup> <sup>(28)</sup> <b>STEM48</b> Stem Mounting 48 in <sup>(19)</sup> <sup>(21)</sup> <sup>(26)</sup> <sup>(27)</sup> <sup>(28)</sup> <b>ACC50</b> Aircraft Cable 50 in <sup>(19)</sup> <sup>(21)</sup> <sup>(26)</sup> <sup>(27)</sup> <sup>(28)</sup> <b>ACC100</b> Aircraft Cable 100 in <sup>(19)</sup> <sup>(21)</sup> <sup>(26)</sup> <sup>(27)</sup> <sup>(28)</sup>	<b>BK</b> Black Sandtex® <b>SI</b> Silver Sandtex® <b>WH</b> White <b>CC</b> Custom Color & Finish <sup>(29)</sup> <sup>(30)</sup> <sup>(31)</sup>	<b>XD</b> Extra durable multi-step finish <sup>(32)</sup>	<b>BK</b> Black Sandtex® <b>BRZ</b> Bronze Sandtex® <b>SI</b> Silver Sandtex® <b>WH</b> Smooth White <b>BKTX</b> Textured Black <b>BRZTX</b> Textured Bronze Non-Metallic <b>GRATX</b> Textured Medium Gray <b>GRNTX</b> Textured Green <b>WHTX</b> Textured White <b>CC</b> Custom Color & Finish <sup>(29)</sup> <sup>(30)</sup> <sup>(31)</sup>	<b>NA</b> No accessory <b>LV</b> Radial Louver <sup>(35)</sup> <b>LVAS</b> Radial Louver Asymmetric <b>VS</b> Visor <b>SH</b> Shield <sup>(19)</sup> <sup>(36)</sup>	<b>BAA</b> Buy American <sup>(37)</sup>

**Notes:**

- 3. Available for UL certification only.
- 19. Available with NVR vibration rating only.
- 20. One mounting bracket provided for 12 in fixtures. Two mounting brackets provided for 24 in, 36 in and 48 in fixtures.
- 21. Not suitable for bridge and overpass applications.
- 22. Vibration tested in accordance with ANSI 136.31 2018 at 3Gv.
- 23. Vibration tested in accordance with ANSI 136.31 2018 at 1.5Gv.
- 24. Vibration tested in accordance with ANSI 136.31 2018 at 2.3Gv.
- 25. Vibration tested in accordance with ANSI 136.31 2018 at 4.6Gv.
- 26. Two mounting brackets provided for 24 in, 36 in, 48 in fixture lengths.
- 27. Consult factory for use with 12 in fixture length.
- 28. Not suitable when fixture is exposed to wind.

- 29. Lumenpulse offers a wide selection of RAL CLASSIC [K7] colors with a smooth texture and high-gloss finish. Please consult factory for a list of available K7 colors, other RAL textures and glosses, or to match alternate color charts. Final color matching results may vary.
- 30. Setup charges apply for RAL colors. Consult factory for details.
- 31. Longer lead times can be expected for custom RAL color finishes.
- 32. Zirconium pretreatment completed with corrosion-resistant primer and electrostatically-applied powder coat paint finish.
- 33. SH accessory can be combined with LV, LVAS or VS accessories. All other combinations are not possible.
- 34. The exterior finish of the accessory will match the finish specified in the fixture order code (interior surface painted matte black).
- 35. Available for 10x10, 10x30, 10x60, 10x90, 30x30, 30x60, 30x90, 60x60, 90x90, 30x10, 60x10, 60x30, 90x10 and W optics only.
- 36. Not suitable for bridge and overpass applications. The Shield can be installed in zones with wind speeds up to 120 mph. Consult factory for zones with wind speeds higher than 120 mph.
- 37. Contact your Lumenpulse Sales Representative for more information on order volume details.

# TESSIE

ARCHITECTURAL SCALE, WET-LISTED EXTERIOR WALL SCONCE

alva



Tessie-60 in Enviro Satin Nickel (ESN)



Tessie-30 in Graphite (GR)

## APPLICATIONS

Direct/indirect grazing luminaire for exterior/interior use: flanking doors, on columns, on building facades, between windows, and elevator lobbies

## SIZES

- 30" H x 7" W x 4" D, 14 lbs
- 45" H x 7" W x 4" D, 21 lbs
- 60" H x 7" W x 4" D, 31 lbs
- 90" H x 7" W x 4" D, 42 lbs

## MOUNTING

- J-Box 3.0 or 4.0 at center or end of fixture
- Steel mounting system with mounting plates for facade
- Vertical Mounting only

## SPECIFICATIONS

- High efficiency, fully integrated proprietary LED module
- UL Wet Listed
- 120-277V input
- 100,000+ hours rated life time
- 10 Year Limited Warranty (excludes shade)
- Title 24 Compliant
- ADA Compliant

## LAMPING

- 3000K, 3500K, 4000K
- Tessie-30 23 watts, 729 delivered lumens
- Tessie-45 29 watts, 957 delivered lumens
- Tessie-60 37 watts, 1221 delivered lumens
- Tessie-90 50 watts, 1914 delivered lumens
- 0-10V Dimming (100-10%)
- CRI: 80 min (85 Typical)

## CONSTRUCTION

Fixture shell (shade): Heavy gauge aluminum with industrial powder coat finish and high impact acrylic



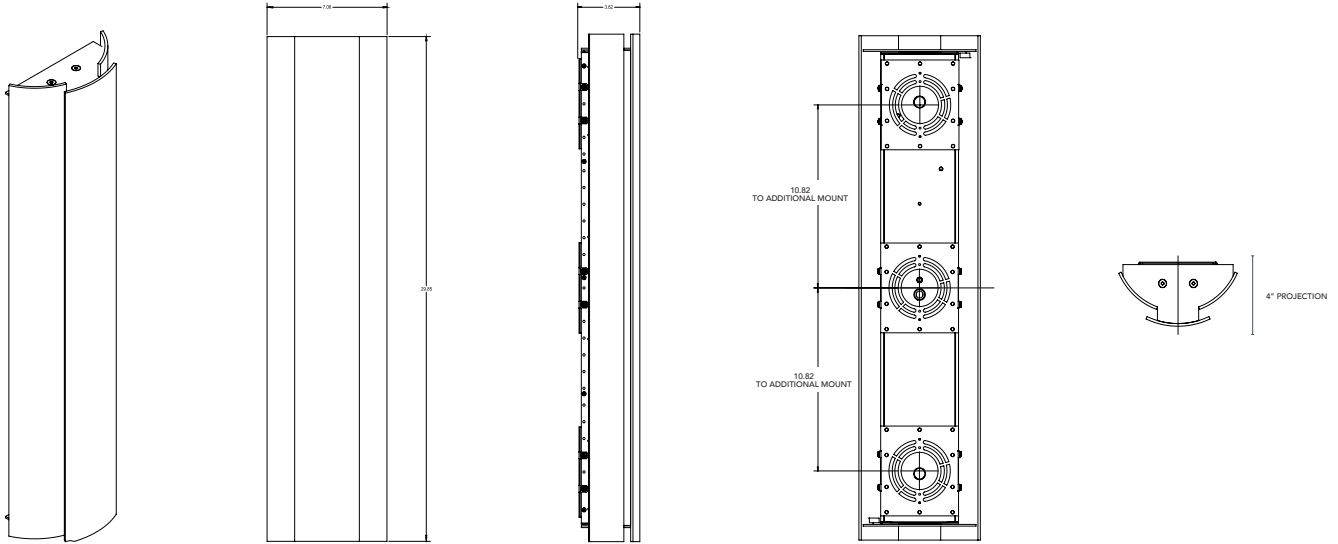
# TESSIE

ARCHITECTURAL SCALE, WET-LISTED EXTERIOR WALL SCONCE

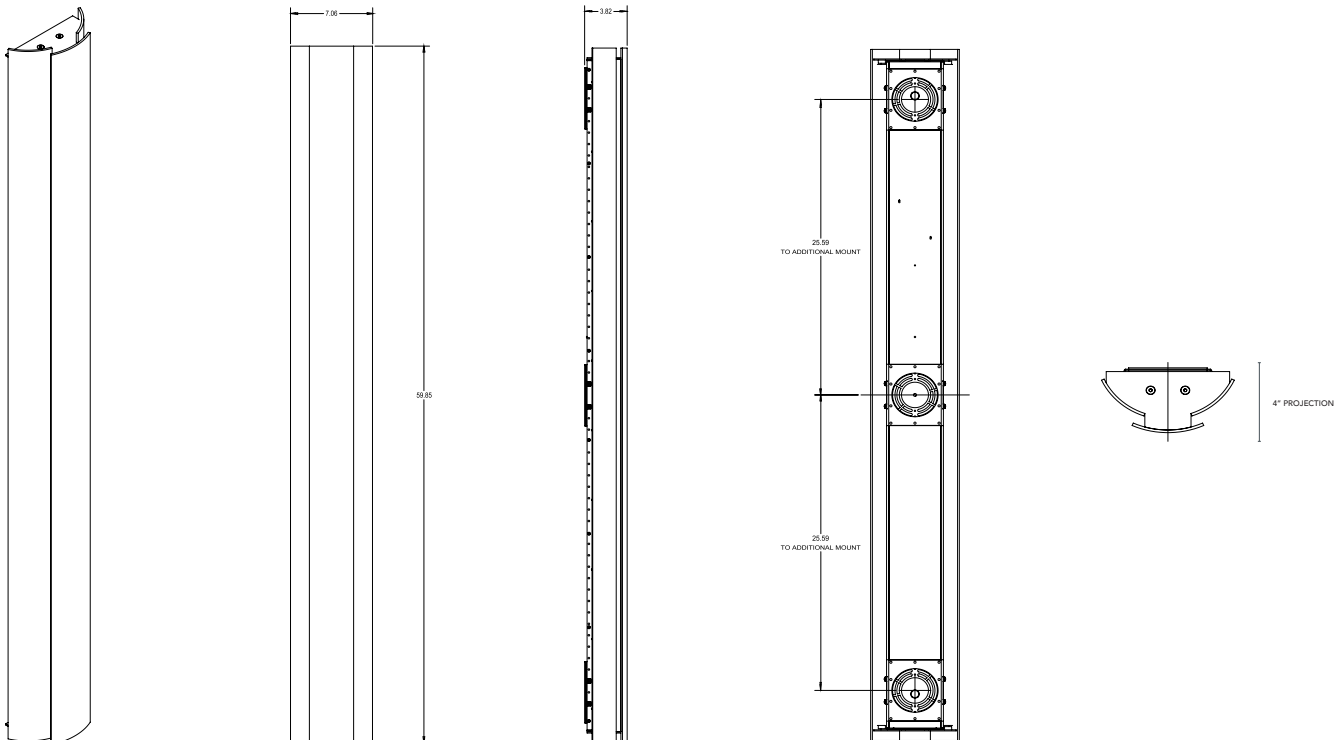
alva

## DIMENSIONS

TESSIE-30



TESSIE-60



# TESSIE

ARCHITECTURAL SCALE, WET-LISTED EXTERIOR WALL SCONCE

alva

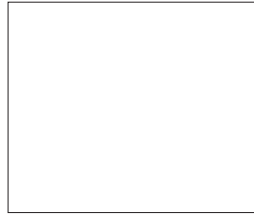
## METAL POWDER COAT FINISH OPTIONS



ESN - Enviro Satin Nickel



EOB - Enviro Oil-Rubbed Bronze



WHT - White



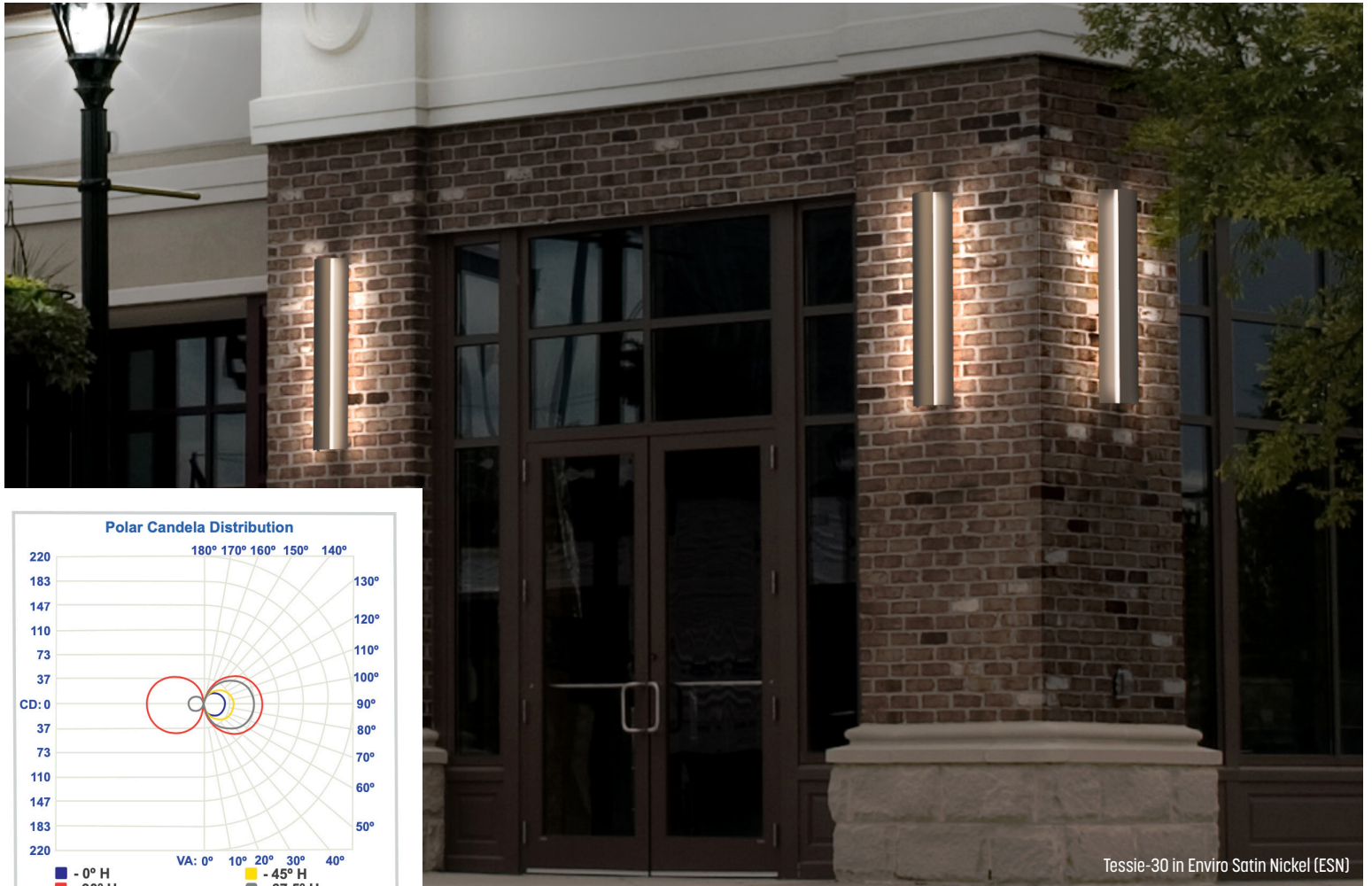
BLK - Black



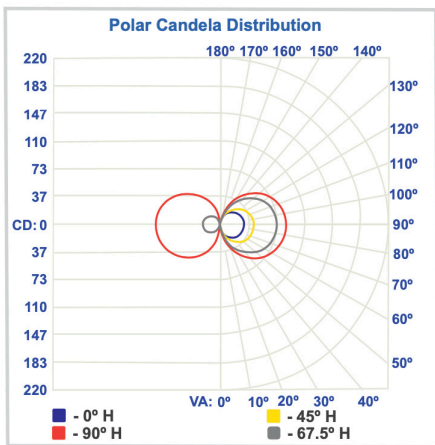
GR - Graphite



DB - Dark Bronze



Tessie-30 in Enviro Satin Nickel (ESN)



## ORDER CODE:

TESSIE			
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MODEL

LENGTH

METAL TRIM

CCT

30 30"  
45 45"  
60 60"  
90 90"

POWDER COAT FINISH OPTIONS

ESN Enviro Satin Nickel  
EOB Enviro Oil-Rubbed Bronze  
DB Dark Bronze  
GR Graphite  
WHT White  
BLK Black

3000 3000K  
3500 3500K  
4000 4000K





OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: GW Syracuse, LLC  
 From: Cristian Toellner, Zoning Planner  
 Date: 5/2/2024 9:06:19 AM  
 Re: Major Site Plan Review MaSPR-24-17  
 701-03 Fayette St E & Almond St, Syracuse, 13210

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

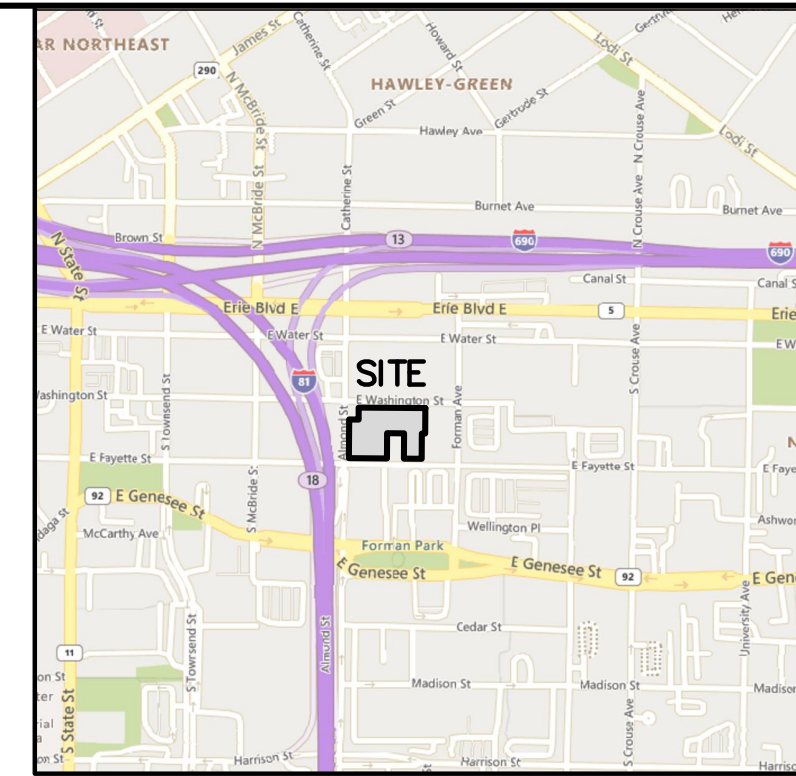
Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	04/23/2024	Vinny Esposito	A FULL SWPPP must be submitted to and approved by the City Engineer. A sewer study of the local sewer system will be required to determine capacity issues.
DPW - Transportation Planner	Pending	04/23/2024		
Zoning Planner	Pending	04/23/2024		
Parks - Forestry	Pending	04/23/2024		
Planning Commission	Pending	04/23/2024		
Eng. Design & Cons. - Zoning	Conditionally Approved	04/26/2024	Mirza Malkoc	<ul style="list-style-type: none"> <li>• All construction in the R.O.W. will require a permit, all construction in the R.O.W. to be per City standards and specifications.</li> <li>• Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review.</li> <li>• Applicant shall coordinate the construction with NYSDOT I-81 team to make sure there are no conflicts during construction.</li> <li>• Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf.</li> <li>• Stormwater Access &amp; Maintenance Agreements shall be submitted for review.</li> <li>• Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties &amp; to the City R.O.W.</li> <li>• The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan &amp; details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan</li> </ul>

then most likely will require Common Council Approval.

- Onondaga County Plumbing Control shall review and approve the plans as well.

City Engineer - Zoning	Pending	04/23/2024		
Eng. Mapping - Zoning	Approved	04/23/2024	Ray Wills	Work should have no impact on Mapping Division assets in the area. resbp182
Water Engineering - Zoning	Pending	04/23/2024		
Fire Prevention - Zoning	Pending	04/23/2024		
DPW Traffic Control- Zoning	Pending	04/23/2024		
Landmark Preservation Board	Pending	04/30/2024		



TRACT MAPS:  
 RE-SUBDIVISION PLAT  
 BY: C.T. MALE ASSOCIATES  
 DATE FILED: DECEMBER 31, 2020  
 Map No. 13075

LOCATION PLAN  
 Scale: 1" = 2000'

**NOTES:**

Total area: 2.01± acres or 87,553± sq. ft.  
 Total number of lots: Six (6) existing; One (1) existing.  
 Present Zone: BA Local Business District  
 Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only.  
 The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 360595 217 F. Effective date: November 4, 2016.  
 Tax Map Nos. 30.-16-2, 3, 13.1, 16, 17 & 18  
 C.E.P. 183

**LEGEND:**

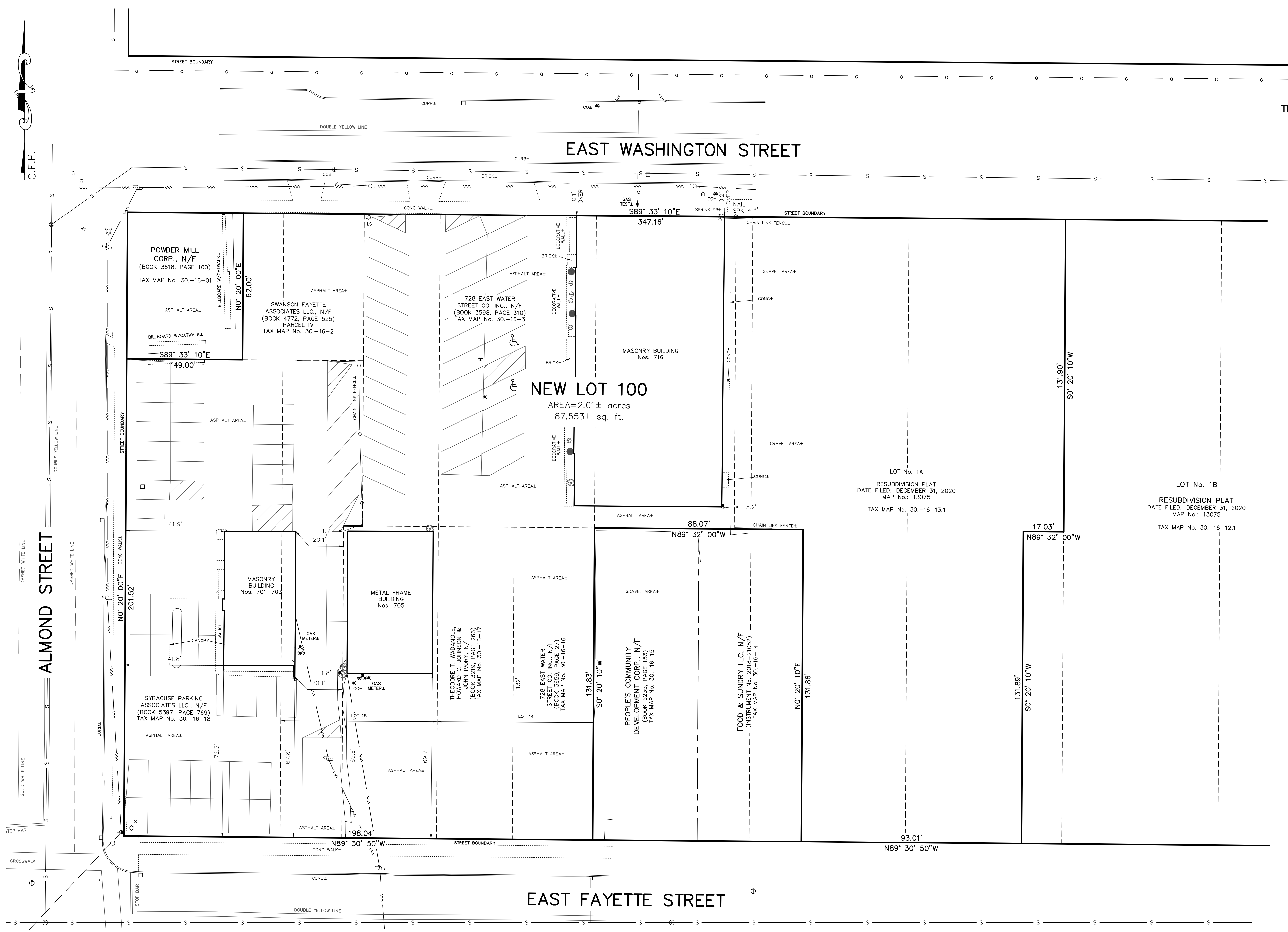
- LS indicates light stand
- indicates utility pole, anchor & overhead lines
- I.P.F. indicates iron pipe and/or monument found
- indicates bollard
- indicates deciduous tree
- indicates evergreen tree
- indicates shrub
- indicates sign
- indicates storm culvert
- indicates gas main, gas valve & gas line marker
- indicates water main, water valve & hydrant
- indicates storm sewer, catch basin & manhole
- indicates sanitary sewer, sewer vent & manhole
- indicates underground telephone line, manhole & box
- indicates underground electric line & manhole
- indicates underground television cable & box
- indicates boundary line
- indicates adjacent parcel line
- indicates old/original parcel line
- indicates easement line
- indicates centerline road

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS IS A CORRECT MAP MADE FROM AN ACTUAL SURVEY.

N.Y.S. Licensed Land Surveyor

Subject to any statement of facts on accurate and up to date abstract of title will show.  
 Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

\\SPRVER\cme 3D Projects\ONONDAGA COUNTY\TRACTS\GATEWAY SYRACUSE APARTMENTS\DWG\GATEWAY SYRACUSE APARTMENTS\_FP.dwg



ALMOND STREET

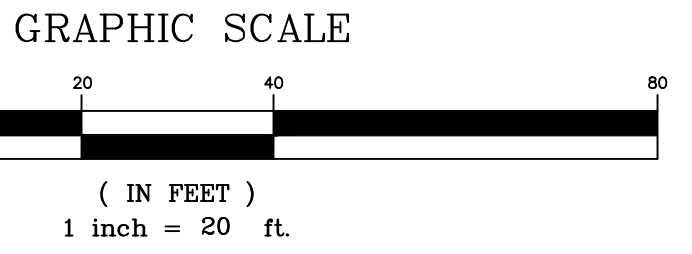
EAST FAYETTE STREET

EAST WASHINGTON STREET

**NEW LOT 100**  
 AREA=2.01± acres  
 87,553± sq. ft.

LOT No. 1A  
 RESUBDIVISION PLAT  
 DATE FILED: DECEMBER 31, 2020  
 MAP No.: 13075  
 TAX MAP No. 30.-16-13.1

LOT No. 1B  
 RESUBDIVISION PLAT  
 DATE FILED: DECEMBER 31, 2020  
 MAP No.: 13075  
 TAX MAP No. 30.-16-12.1



CITY OF SYRACUSE DEPT. OF ENGINEERING	CITY OF SYRACUSE FINANCE DEPT.	CITY OF SYRACUSE ASSESSMENT	CITY OF SYRACUSE PLANNING COMMISSION	ONONDAGA COUNTY HEALTH DEPT.
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REVISIONS	FINAL PLAN
	<b>GATEWAY SYRACUSE APARTMENTS SUBDIVISION</b>
	PART OF BLOCK No. 232 CITY OF SYRACUSE ONONDAGA COUNTY, NEW YORK
	<b>IANUZI &amp; ROMANS LAND SURVEYING, P.C.</b> 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: mail@romanspc.com
	DATE: APRIL 2, 2024
	SCALE: 1" = 20'
	FILE No.: 2286.100
	SHEET No.
	F.B. No. 1715





# ZONING REGULATIONS FOR DEVELOPMENT

ZONING: CENTRAL BUSINESS DISTRICT (MX-5)

EXISTING LOT INFORMATION:	TAX MAP	PARCEL SIZE	ZONING
701-03 E. FAYETTE ST & ALMOND ST	030-16-18.0	0.43 ± ACRES	MX-5
715 FAYETTE ST E TO WASHINGTON ST	030-16-13.1	0.56 ± ACRES	MX-5
706-08 WASHINGTON ST & ALMOND ST	030-16-02.0	0.07 ± ACRES	MX-5
712-16 E. WASHINGTON ST	030-16-03.0	0.47 ± ACRES	MX-5
705 FAYETTE ST.	030-16-17.0	0.22 ± ACRES	MX-5
709 FAYETTE ST.	030-16-16.0	0.10 ± ACRES	MX-5
TOTAL LOT AREA =		(1.85 ACRES)	

LOT COVERAGE	MX-5	PROPOSED
MAXIMUM IMPERVIOUS COVERAGE:	100%	±89.5%
MINIMUM BUILDING COVERAGE:	75%	87.1%

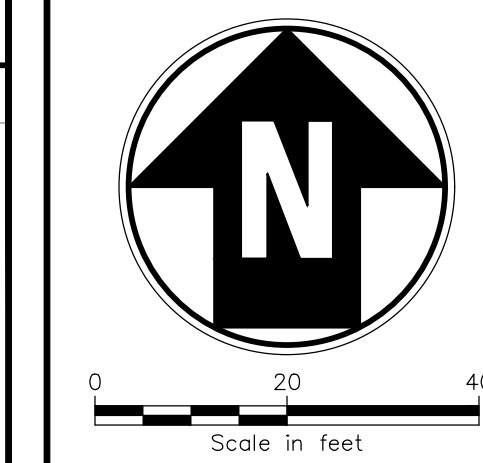
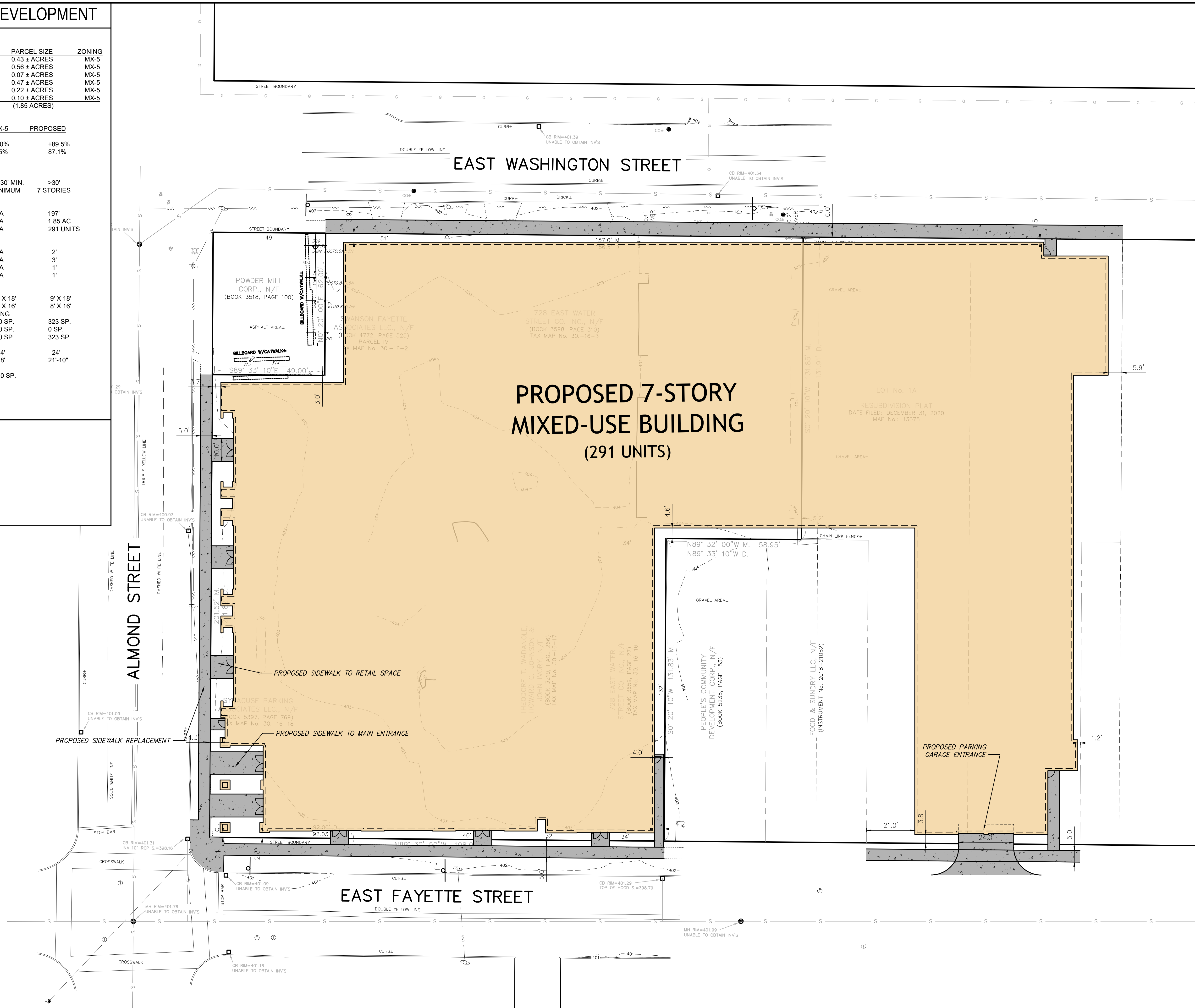
HEIGHT AND NUMBER OF STORIES:	NO MAXIMUM 30' MIN.	>30'
BUILDING HEIGHT:	3 STORIES MINIMUM	7 STORIES

LOT MINIMUM	N/A	197'
WIDTH	N/A	1.85 AC
AREA IF MIXED-USE PROJECT DENSITY (MIXED USE)	N/A	291 UNITS

SETBACKS MINIMUM:	N/A	2'
FRONT (EAST FAYETTE ST)	N/A	3'
SIDE (ALMOND ST)	N/A	1'
REAR (EAST WASHINGTON ST)	N/A	1'

PARKING	9' X 18'	9' X 18'
PARKING SPACE SIZE:	8' X 16'	8' X 16'
COMPACT PARKING SPACE SIZE:	0 SP.	323 SP.
REQUIRED PARKING - MX-5 EXEMPT FROM REQUIRED PARKING	0 SP.	0 SP.
RESIDENTIAL	0 SP.	323 SP.
RETAIL	0 SP.	0 SP.
TOTAL :	0 SP.	323 SP.

DRIVE AISLE WIDTH	24'	24'
DRIVE AISLE WIDTH (COMPACT SPACES)	18'	21'-10"
BICYCLE PARKING - (1 SPACE PER 6 VEHICLE SPACES)		30 SP.



**GW SYRACUSE, LLC**  
21 GREENE AVE  
AMITYVILLE, NY 11701

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER, REVISION OR ADD ANY PART OF THE SEAL OR STAMP OF A LICENSED PROFESSIONAL OR ALTER THE SEAL OR STAMP OF A LICENSED ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR WITHOUT THE WRITTEN CONSENT OF THE PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR WHOSE SEAL OR STAMP IS BEING ALTERED. ANY SUCH ALTERATION SHALL BE A VIOLATION OF THE PROFESSIONAL ENGINEERING, ARCHITECTURE, LANDSCAPE ARCHITECTURE OR LAND SURVEYING LAWS OF THE STATE OF NEW YORK AND SHALL BE SUBJECT TO THE PENALTIES THEREOF.

**GATEWAY SYRACUSE APARTMENTS**  
701-705 E. FAYETTE STREET  
SYRACUSE, NY 13210

No.	Submittal / Revision	Appr	By	Date

## SITE LAYOUT PLAN

Designed By:	Drawn By:	Checked By:
BGH	BGH	JFT
Issue Date:	Project No.:	Scale:
03/29/24	086328	AS SHOWN

Drawing No.:  
**C-101**  
Sheet 01 of 01



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: GW Syracuse, LLC  
From: Haohui Pan, Zoning Planner  
Date: 5/1/2024 8:31:02 AM  
Re: Resubdivision R-24-28  
701-03 Fayette St E & Almond St, Syracuse, 13210

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Zoning Planner	Pending	04/24/2024		The proposed lot complies with the lot width and size standard pursuant to Rezone, Art2, Sec.2.6B
Eng. Mapping - Zoning	Approved	04/25/2024	Ray Wills	-The bearings for the streets in question AGREE with the Official City Records for the area. The Office of the City Engineer only verifies ROW bearings, not interior angles, bearings abutting neighboring properties or private easements. City Plat# 182
Finance - Zoning	Internal Review Complete	04/25/2024	Veronica Voss	701-03 E Fayette owes April for CS & CO. 715 E Fayette also owes April for both; 706-08 Washington owes January AND April for both; 712-16 Washington owes April County only; 705 E Fayette owes January and April and has a lien for 22-23 City/School taxes; 709 E Fayette owes January & April CS&CO.
Eng Stormwater (SWPPP)-Zoning	Internal Review Complete	04/26/2024	Mirza Malkoc	<ul style="list-style-type: none"><li>• Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf.</li><li>• Stormwater Access &amp; Maintenance Agreements shall be submitted for review.</li><li>• Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties &amp; to the City R.O.W.</li></ul>
Eng Sewers- Zoning	Internal Review Complete	04/26/2024	Mirza Malkoc	<ul style="list-style-type: none"><li>• The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan &amp; details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council</li></ul>

Approval.

- Onondaga County Plumbing Control shall review and approve the plans as well.

Eng. Design & Cons. - Zoning	Conditionally Approved	04/26/2024	Mirza Malkoc	<ul style="list-style-type: none"><li>• No objection to re-subdivision.</li><li>• Any future construction/development on these lots will be subject to the City plan review, approval and permitting process as applicable.</li><li>• Applicant shall coordinate proposed construction with NYSDOT I-81 construction team to avoid any conflicts between these two projects.</li></ul>
Planning Commission	Pending	04/24/2024		