

## Industrial Tire Warehouse Expansion Roadmap

Below is the order in which this project appears in the Agenda Packet:

- The applicant will present on the Major Site Plan Review and Resubdivision:
  - Major Site Plan Review ..... Page 146
  - Resubdivision..... Page 170
- The Planning Commission will deliberate on the SEQR Review
  - Short Environmental Assessment Form Part 1..... Page 190
  - Short Environmental Assessment Form Part 2..... Page 194
  - Short Environmental Assessment Form Part 3..... Page 195



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>MaSPR-24-12</i></b>	<b><i>Staff Report – May 28, 2024</i></b>
<b><i>Application Type:</i></b>	Major Site Plan Review
<b><i>Project Address:</i></b>	210 Sixth North Street (003.-05-12.0), 1101-05 Wolf Street & Sixth North Street (003.-05-10.0), 204 Sixth North Street (003.-05-11.0)
<b><i>Summary of Proposed Action:</i></b>	The Applicant proposes to add a 20,250 SF warehouse for the purpose of a tire retreading manufacturing process and tire storage. Partial demolition (4,000 SF) of the existing building will occur. Other improvements include site work, establishing a parking lot for 15 vehicles, and to restore portions of the existing paved right of way to lawn and landscaping.
<b><i>Owner/Applicant</i></b>	Dennis Beaudette, Schneid Construction Company, Inc. (Owner) Terry Horst, Terry Horst Landscape Architecture, PC. (applicant)
<b><i>Existing Zone District:</i></b>	Light Industry and Employment, IN Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the north, south, and west are the Light Industry and Employment, IN Zone District, and to the east of the property is the neighborhood Center, MX-2 Zone District.
<b><i>Companion Application(s)</i></b>	R-24-21: Resubdivision to combine three lots into one new lot.
<b><i>Scope of Work:</i></b>	Adaptive reuse of building: The existing 2,500 SF building at the back of the property will be converted into a temperature-controlled storage area for tire retreading adhesives.  Partial demolition: a 4,000 SF section of the existing primary structure will be demolished.  New addition: On the remaining portion of the primary structure, the proposed addition will be a 90' X 225' warehouse totaling 20,250 SF. It will be constructed of x12 12-gauge Steel beams, a three-piece rafter system, and a single-sloped roof from the existing building to the North manufactured by Esses pre-engineered buildings.  Site work & improvement: proposed 15 parking spaces including 1 ADA space, landscaping and buffer on the front and side of the property.
<b><i>Staff Analysis:</i></b>	<b><u>Factors:</u></b> <ul style="list-style-type: none"> <li>- Since the property is situated in LN Zone district, the proposed 8-foot high fence and front setback parking are permitted.</li> <li>- The applicant is requesting an Encroachment Waiver for the Existing Steps and Metal Door Canopy that both encroach 4'6" and the Proposed Sidewalk that will encroach 9'6" into the 6th North St Right of Way.</li> <li>- With Onondaga County Planning Board's review, the applicant is encouraged to retain and add trees and opaque screening to the extent practicable, particularly adjacent to residences.</li> <li>- The applicant provided a Response letter to the City department' s comments, attached in the packet.</li> </ul>
<b><i>Zoning Procedural History:</i></b>	210 Sixth North Street: <ul style="list-style-type: none"> <li>- V-83-05   Variance, to install barbed wire on top of the existing fence., approved on 4/28/1983</li> </ul>

**MaSPR-24-12**

	<p>1101-05 Wolf &amp; Sixth North Street:</p> <ul style="list-style-type: none"> <li>- PR-14-23   Project site Review, small neighborhood commercial building Demolition, approved on 6/16/2014</li> </ul> <p>204 Sixth north Street:</p> <ul style="list-style-type: none"> <li>- AS-87-087   off-premise advertising sign, approved on 12/10/1987.</li> </ul>
<b>Summary of Zoning History:</b>	<p>In 1983, BZA approved a variance to allow installing barbed wire on top of the fence in 210 Sixth North Street. The property owner of 1101-05 Wolf Street proposed to demolish a small neighborhood commercial building complex and seed the site with grass. The proposal was approved by Zoning Administrator in 2014.</p> <p>Two off-premise signs were granted by the Zoning Administrator to be placed back-to-back in 204 Sixth North Street. The Approval is valid for a ten (10) year period until December 10, 1997.</p>
<b>Code Enforcement History:</b>	See attached code enforcement history.
<b>Zoning Violations:</b>	The proposed lot has no zoning violations.
<b>Summary of Changes:</b>	This is not a continued application.
<b>Property Characteristics:</b>	<p>210 Sixth North Street is irregular in shape with 219.15 feet of frontage on Sixth North Street and a lot depth of 198.59 feet.</p> <p>204 Sixth North Street is irregular in shape with 32 feet of frontage on Sixth North Street and a lot depth of 130.1 feet.</p> <p>1101-05 Wolf Street &amp; Sixth North Street is irregular in shape with 81.84 feet of frontage on Sixth North Street and a lot depth of 130.40 feet.</p>
<b>SEQR Determination:</b>	Pursuant to the 6 NYCRR §617.2(al), the proposal is an unlisted Action
<b>Onondaga County Planning Board Referral:</b>	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board with no opposition.

**Application Submittals:** The application submitted the following in support of the proposed project:

- Major Site Plan application
- Short Environmental Assessment Form Part 1
- The rest of the submittals are the drawings such as the listed below.
- Site Plan: INDUSTRIAL TIRE WAREHOUSE ADDITION 210 SIXTH NORTH ST, SYRACUSE, NY,13208 ( Drawing:# L.1.2); State of New York Registered Landscape Architect: TERRY DUBIEL HORST; TERRY HORST LANDSCAPE ARCHITECTURE, PC; Scale: 1'' =20' Brawn By : AK, Date: 4/1/2024; Revision: 5/14/2024 SPR comments
- Existing Conditions & Photo Plan: INDUSTRIAL TIRE WAREHOUSE ADDITION 210 SIXTH NORTH ST, SYRACUSE, NY,13208 ( Drawing# L-1.1); State of New York Registered Landscape Architect: TERRY DUBIEL HORST; TERRY HORST LANDSCAPE ARCHITECTURE, PC; Scale: 1'' =20' Brawn By : MCM/TDH/AK, Date: 4/1/2024; Revision: 5/14/2024 SPR comments
- Cover Sheet : INDUSTRIAL TIRE WAREHOUSE ADDITION 210 SIXTH NORTH ST, SYRACUSE, NY,13208 ( Drawing# L-1.0); State of New York Registered Landscape Architect: TERRY DUBIEL HORST; TERRY HORST LANDSCAPE ARCHITECTURE, PC; Scale: 1'' =20' Brawn By : MCM/TDH/AK, Date: 4/1/2024; Revision: 5/14/2024 SPR comments.

**MaSPR-24-12**

- Resubdivison Map, Land Now or Formerly of Destiny USA Real Estate, LLC. Known as # 311 Hiawatha Boulevard West And #301 Hiawatha Boulevard West Rear Lots P And H Parking / Hotel Subdivision, City Of Syracuse, County Of Onondaga, New York, State Of New York; Licensed Land Surveyor: DAVID J. UHRINEC; C.T. MALE SSOCIATES; Scale: 1”= 40’; Dated: 09/22/2023.

**Attachments:**

- |   |                                    |
|---|------------------------------------|
| Major Site Plan Review Application                  | OCPB Comments                      |
| Short Environmental Assessment Form Part 2 & Part 3 | IPS Comments from City Departments |
| Code Enforcement History                            |                                    |
| Response Letter to City Department’s Comments       |                                    |

**Context Maps:**

**Figure 1: Zone District of Subject Property**



Description: Figure 1 shows the current Zone District of the subject property.  
 Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map



MaSPR-24-12

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of Embassy Suites on the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>



<b>For Office Use Only</b>
Zone District: _____
Application Number: _____ - _____ - _____
Date: _____

Office of Zoning Administration  
 300 S State St, Suite 700  
 Syracuse, NY 13202  
 Phone: (315) 448-8640  
 Email: zoning@syr.gov.net

**Site Plan Review Application**

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

**General Project Information**

Business/project name: Industrial Tire Warehouse Expansion for Automobile Tire Retreading	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 210 Sixth North St; 1101-05 Wolf St & Sixth North; 204 Sixth North st	
Tax Map ID#: 003.-05-12.0, 003.-05-11.0, 0013.-05-10.0	Lot size (sq. ft.): 1.37Ac total
Current use of property: Open storage, warehouse, office, vacant	Proposed: Warehouse, manufacture
Current number of dwelling units (if applicable): 0	Proposed: 0
Current onsite parking (if applicable): 0	Proposed: 15
Zone District (base and any overlay) of property: LI Light industrial Employment	
Companion zoning applications (if applicable, list any related zoning applications):	
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor	
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes	
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):	
Size:	Type: Location:
Size:	Type: Location:
Nature and extent of Site Plan requested (attach additional pages if necessary): This project involves the development of a new facility for retreading and storing automobile tires. The key elements include:  Site Consolidation: Three lots will be merged into a single lot. New Warehouse Construction: A 20,250 square foot warehouse/manufacturing building will be built to accommodate retreading operations and tire storage. Existing Building Re-Use: The existing 2,500 square foot building at the back of the property will be converted into a temperature-controlled storage area for tire retreading adhesives. Partial Demolition and Site Improvements: To make way for the new addition, a 4,000 square foot section of the existing building will be demolished. Additionally, the project will include: Creation of 15 new parking spaces Installation of new landscaping Conversion of a portion of the asphalt in R.O.W. paving to lawn and landscaping There is no signage proposed for this project.	



Site Plan Review Application

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Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

Print owner's name: Dennis Beaudette

Signature: [Handwritten Signature]

Date: 4-29-24

Mailing address: 1015 Hiawatha BLvd. Syracuse NY 13208

Print authorized agent's name: Terry Horst Landscape Architecture, PC

Date: 4-29-2024

Signature: Terry Horst

Mailing address: 306 Hawley Ave, Syracuse NY 13203

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- Application - filled out completely, dated, and signed by property owner as instructed
State Environmental Quality Review Act (SEQR) - Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
Photographs (Color) of the Project Site - keyed to a property survey or site plan
Photographs (Color) of the Streetscape - including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
Application Fee - \$0

Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, separate site plan review applications must be submitted for each project site. Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below:

- AS BUILT PROPERTY SURVEY(S) of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
SITE PLAN(S) illustrating site alterations and post project conditions that are/will be different from the as built property survey including:
- Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
- Demolitions and post demolition conditions
- Structures
- Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage



# INDUSTRIAL TIRE WAREHOUSE ADDITION

## 210 SIXTH NORTH STREET, SYRAUSE, NY 13208

PLOT DATE: 5/14/2024 3:11 PM



PHONE: 315-472-2481  
WWW.TERRYHORSTLANDSCAPEARCH.COM  
308 HAWLEY AVENUE SYRACUSE, NY 13208



**INDUSTRIAL TIRE WAREHOUSE ADDITION**  
210 SIXTH NORTH ST,  
SYRACUSE, NY 13208

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SCALE:  
DRAWN BY: MCM / TDH / AK  
DATE: 4-1-24

#	DATE	DESCRIPTION
1	05-14-2024	SPR COMMENTS

**DRAWING:**  
**COVER SHEET**

DRAWING #

L-1.0



**1 PROJECT LOCATION MAP**  
L-1.0 NOT TO SCALE



**2 EXIST. CONDITIONS MAP**  
L-1.0 1" = 40' - 0"

**INDEX OF DRAWINGS**

COVER SHEET	L-1.0
EXIST. COND. & PHOTO PLAN	L-1.1
SITE PLAN	L-1.2

**LEGEND**

EXISTING CONTOUR	--- 427 ---
NEW CONTOUR	— 427 —
EXISTING SPOT ELEVATION	427.40
NEW SPOT ELEVATION	427.40
NEW HANDICAP PARKING SPACE	♿
NEW NO PARKING AREA	[Hatched Box]
NEW ASPHALT PAVING	[Dotted Box]
NEW LAWN / LANDSCAPING	[Cross-hatched Box]
DEMOLITION ITEMS	[X-hatched Box]
PROPERTY LINE	-----
LANDSCAPE BUFFER LINE	-----
FENCE LINE	— o — o — o — o — o —
UTILITY - ELECTRICAL	— E — E — E — E — E —
UTILITY - GAS	— GAS — GAS — GAS — GAS —
UTILITY - WATER	— W — W — W — W — W —

**ZONING:**

ZONE: LI (LIGHT INDUSTRY AND EMPLOYMENT) USE: WAREHOUSE & MANUFACTURING			
	REQUIRED	EXISTING	PROPOSED
LOT SIZE		1.37 AC	1.37 AC
LOT COVERAGE	100% MAX	0.26 AC (18.97%)	0.76 AC (55.47%)
SETBACK - FRONT	N/A	0'	0'
SETBACK - SIDE	N/A	88'(W), 175'(E)	38'(W), 72'(E)
SETBACK - REAR	N/A	3'	3'
BUILDING HEIGHT	N/A	16' +/-	23'
PARKING - MANUFACTURING	11 SPACES	N/A	11 SPACES
PARKING - OFFICE	4 SPACES	N/A	4 SPACES
SNOW STORAGE	10% OF PARKING = 7130SF	X10% = 7135SF PROVIDED	

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PLOT DATE: 5/14/2024 3:12 PM

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EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: 1" = 20' - 0"



**Terry Horst**  
LANDSCAPE  
ARCHITECTURE, P.C.

PHONE: 315-472-2481  
WWW.TERRYHORSTLANDSCAPEARCH.COM  
308 HAWLEY AVENUE SYRACUSE, NEW YORK



**INDUSTRIAL TIRE  
WAREHOUSE ADDITION  
210 SIXTH NORTH ST,  
SYRACUSE, NY 13208**

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DRAWN BY: MCM / TDH / AK

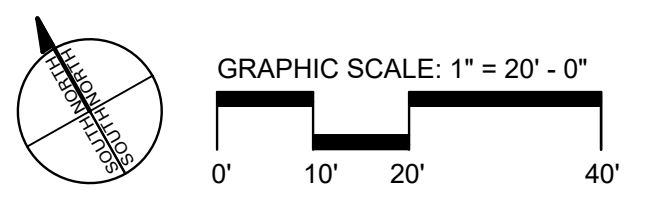
DATE: 4-1-24

#	DATE	DESCRIPTION
1	05-14-2024	SPR COMMENTS

**DRAWING:  
EXISTING CONDITIONS  
& PHOTO PLAN**

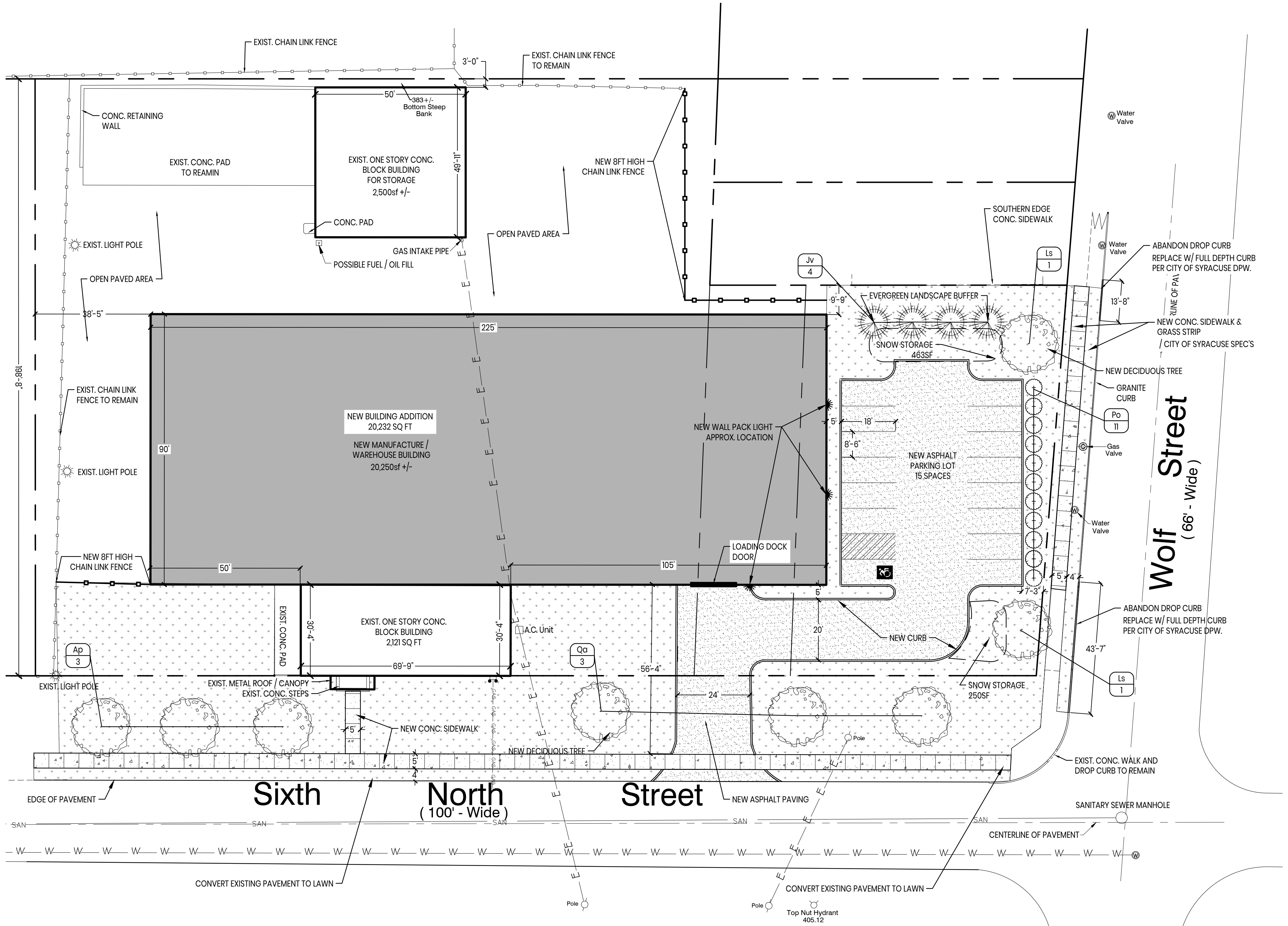
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PLOT DATE: 5/14/2024 3:12 PM



**LEGEND**

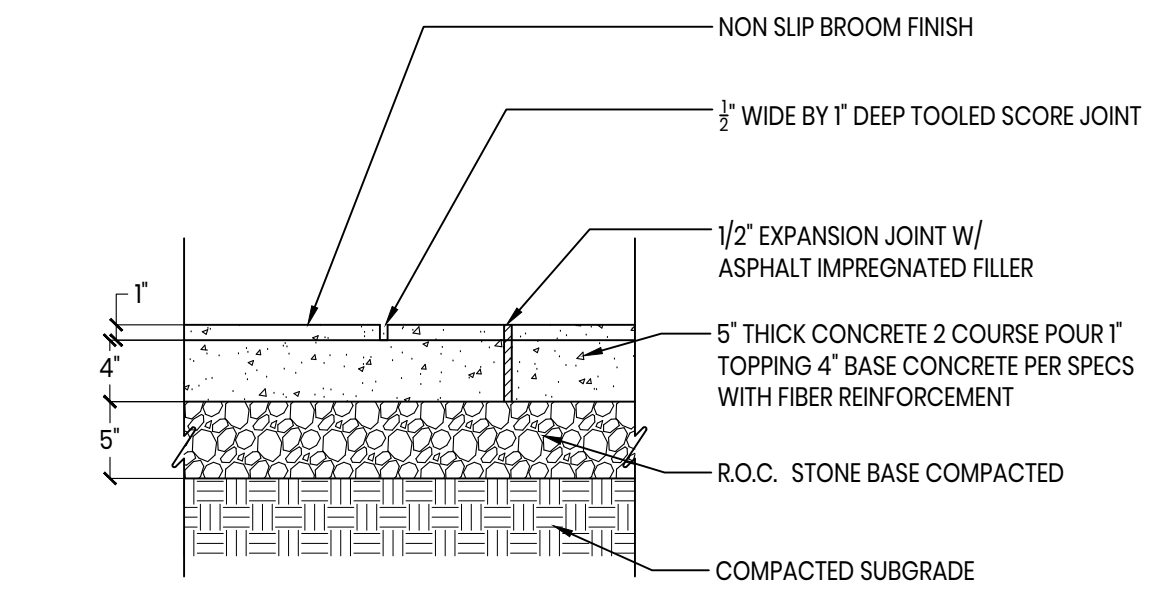
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NEW CONTOUR	---	427
EXISTING SPOT ELEVATION	---	427.40
NEW SPOT ELEVATION	---	427.40
NEW HANDICAP PARKING SPACE	[Symbol]	
NEW NO PARKING AREA	[Symbol]	
NEW ASPHALT PAVING	[Symbol]	
NEW LAWN / LANDSCAPING	[Symbol]	
DEMOLITION ITEMS	[Symbol]	
PROPERTY LINE	---	
LANDSCAPE BUFFER LINE	---	
FENCE LINE	---	
UTILITY - ELECTRICAL	---	
UTILITY - GAS	---	
UTILITY - WATER	---	

- NOTES:**
1. Survey taken from plan entitled: Map of Topography Survey on Part of Block 22. Known as No. 204 & 210 Sixth North St & 110-05 Wolf St, City of Syracuse, County of Onondaga, NY, Dated 01-05-2024. Prepared by: JRL Land surveying PLLC. 315-263-9621.
  2. Verify layout with Landscape Architect prior to construction, if any discrepancies occur notify Landscape Architect and adjustments will be made. Do not scale drawings.
  3. Each prime contractor is responsible for restoring to original condition any area disturbed by him or his subs.
  4. Contractor shall verify location of existing utilities prior to construction. Contractor shall call "DIG SAFELY" at least two days prior to underground excavation, phone #: 1-800-982-7962. Contractor is responsible for the protection of all utilities during demolition & construction.
  5. All contractors shall review all sheets and be familiar with their work and related work of others incidental to the execution of theirs.
  6. All contractors shall visit the site prior to submitting his bid and familiarize himself with all existing conditions affecting the execution of all work items of this contract.
  7. General Contractor to obtain a R.O.W. permit prior to any alterations to public roads (new driveways, roads, etc.).
  8. Remove and legally dispose of all items indicated on Demolition Plan.
  9. All areas to be planted with vegetation including lawn shall be restored. Areas where paving is converted to lawn shall restoration de-compaction and mixed with 30% compost enhancement to imported topsoil. For new trees after asphalt is removed excavate a 10' X 10' X3' deep "pit" scope out material and mix w/ 30% compost and dump loosely into pit, lightly hand roll before planting.

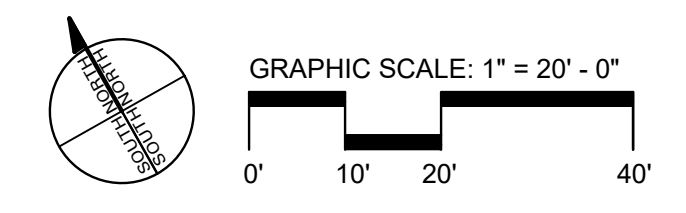
**SITE PLAN**  
SCALE: 1" = 20' - 0"

**PLANT SCHEDULE**

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
<b>EVERGREEN TREES</b>					
Jv	4	Juniperus virginiana	Eastern Red Cedar	4'-5' High	
<b>DECIDUOUS TREES</b>					
Ap	3	Acer pseudoplatanus	Sycamore Maple	2-2.5" caliper	
Ls	2	Liquidambar styraciflua	Sweetgum	2-2.5" caliper	
Qa	3	Quercus alba	White Oak	2-2.5" caliper	
<b>DECIDUOUS SHRUBS</b>					
Po	11	Physocarpus opulifolius	Ninebark	#5 cont.	



**1 CONCRETE SIDEWALK DETAIL**  
L-12 NTS



**Terry Horst**  
LANDSCAPE ARCHITECTURE, P.C.  
PHONE: 315-472-2481  
WWW.TERRYHORSTLANDSCAPEARCH.COM  
308 HAWLEY AVENUE SYRACUSE, NEW YORK



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SCALE: 1" = 20' - 0"

DRAWN BY: AK

DATE: 4-1-24

#	DATE	DESCRIPTION
1	05-14-2024	SPR COMMENTS

**DRAWING:**  
SITE PLAN

**DRAWING #**

**L-1.2**

S:\CURRENT-PROJ\3564 Industrial Tire\dwg\3564\_Industrial Tire\_Working3.dwg





City of Syracuse  
Office of Zoning Administration

April 1, 2024

**Industrial Tire and Retreading  
Building Addition Narrative**

Industrial Tire and Retreading is proposing a new 90-ft by 225-ft, 20,250-sf building addition to house its retreading and warehousing operations. The prefabricated building will be constructed of 12-gauge Steel, a three-piece rafter, and a single-sloped roof from the existing building to the North manufactured by Essex Pre-engineered Buildings.

Attached are Specifications and Color selections for the building:

- Essex Brochure
- Color samples.
- Roof specification
- Wall section specification
- Anchor Bolt plan representing the building Dimensions.



## PRE-ENGINEERED STEEL BUILDINGS

• *Functional and Attractive.*

• *Designed for Easy Erection and Expansion.*

• *Energy Efficient.*

• *Economical Construction and Maintenance.*

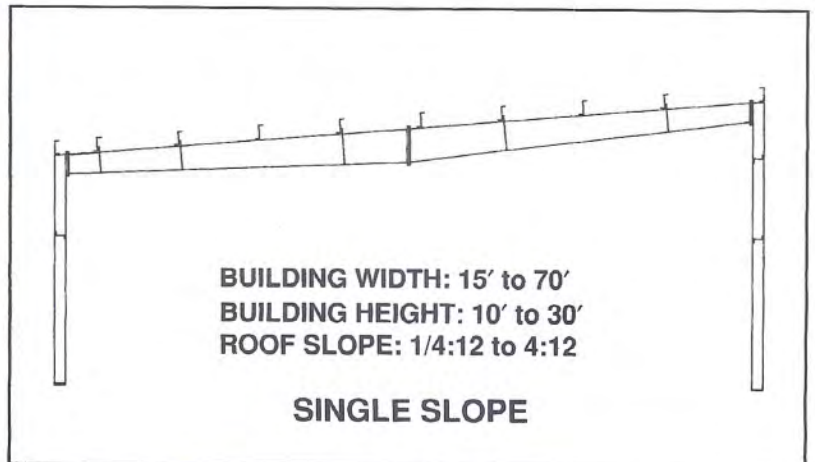
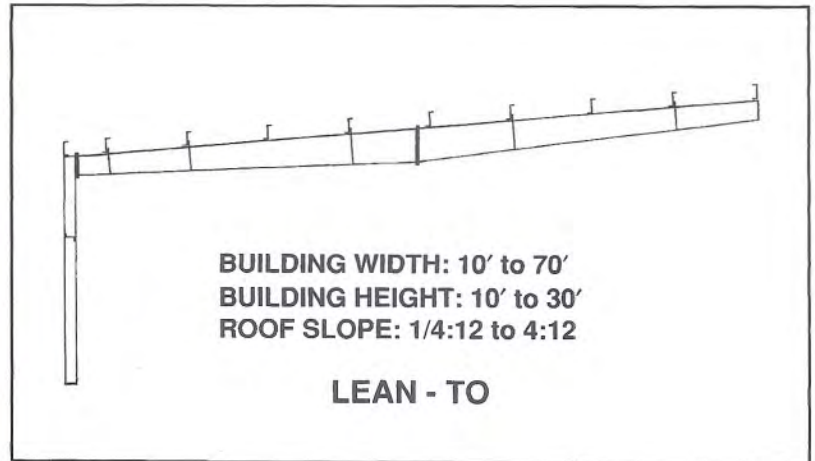
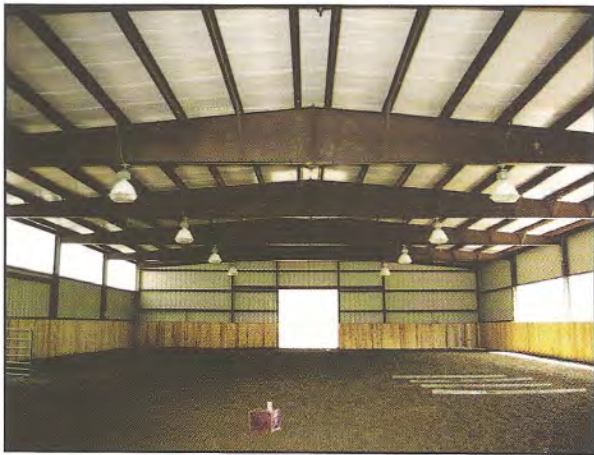
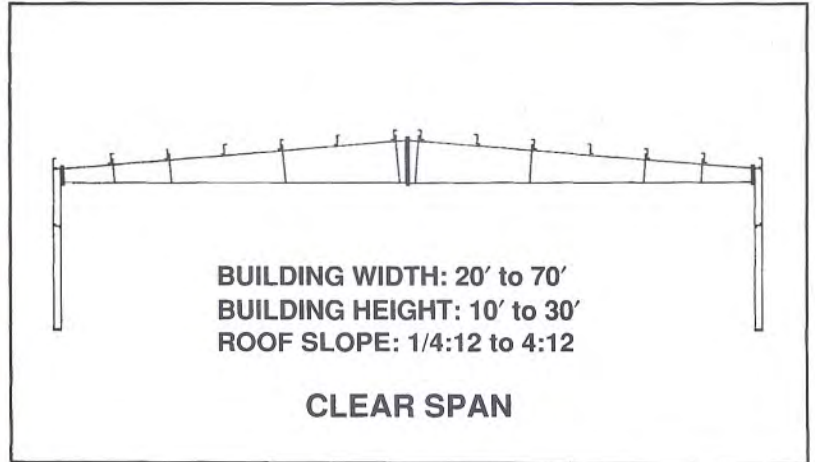


607 Route 13  
Cortland, New York 13045  
E-Mail: [sales@essexstructuralsteel.com](mailto:sales@essexstructuralsteel.com)  
Web Page: [essexstructuralsteel.com](http://essexstructuralsteel.com)

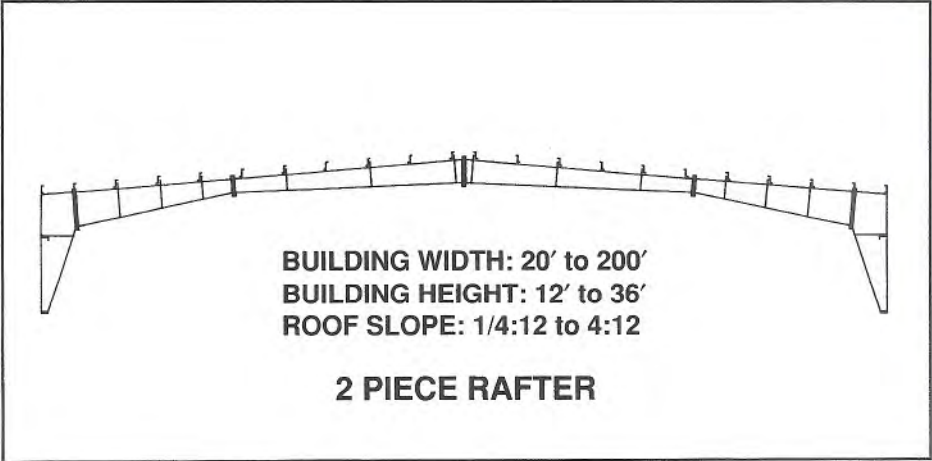
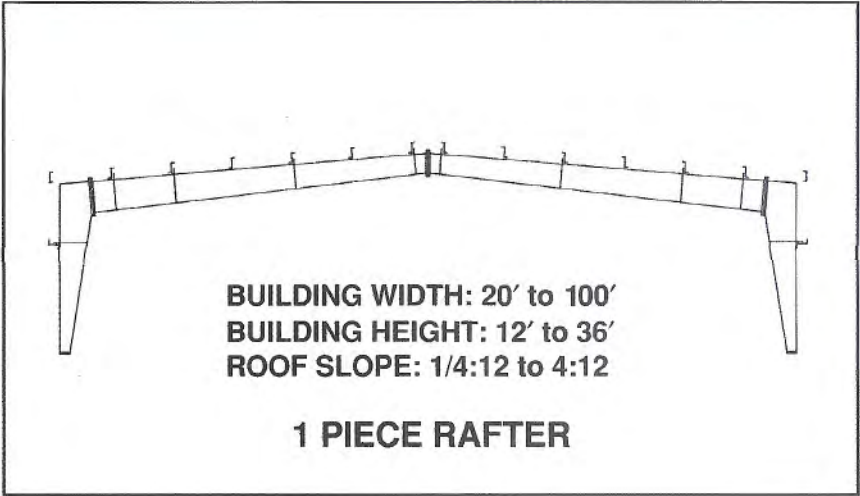
Tel.: 607.753.9384  
1.800.323.7739  
Fax: 607.753.6272



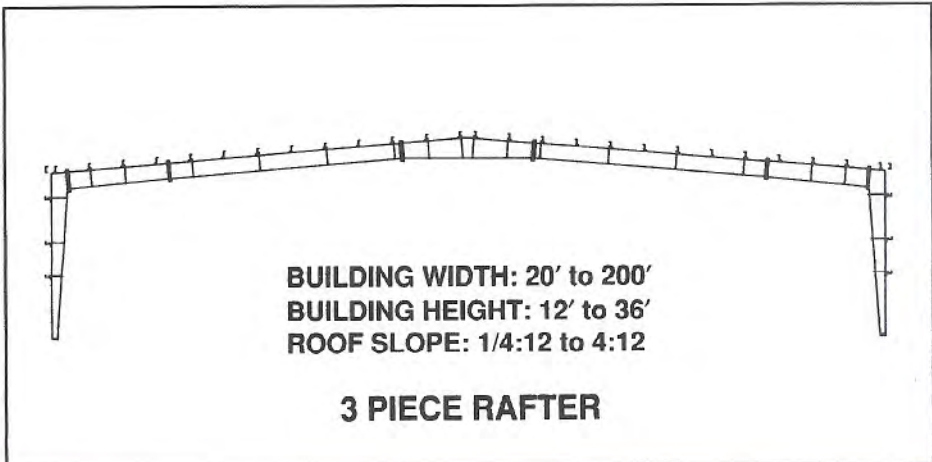
## Straight Column Buildings



# Tapered Column Clear Span Buildings

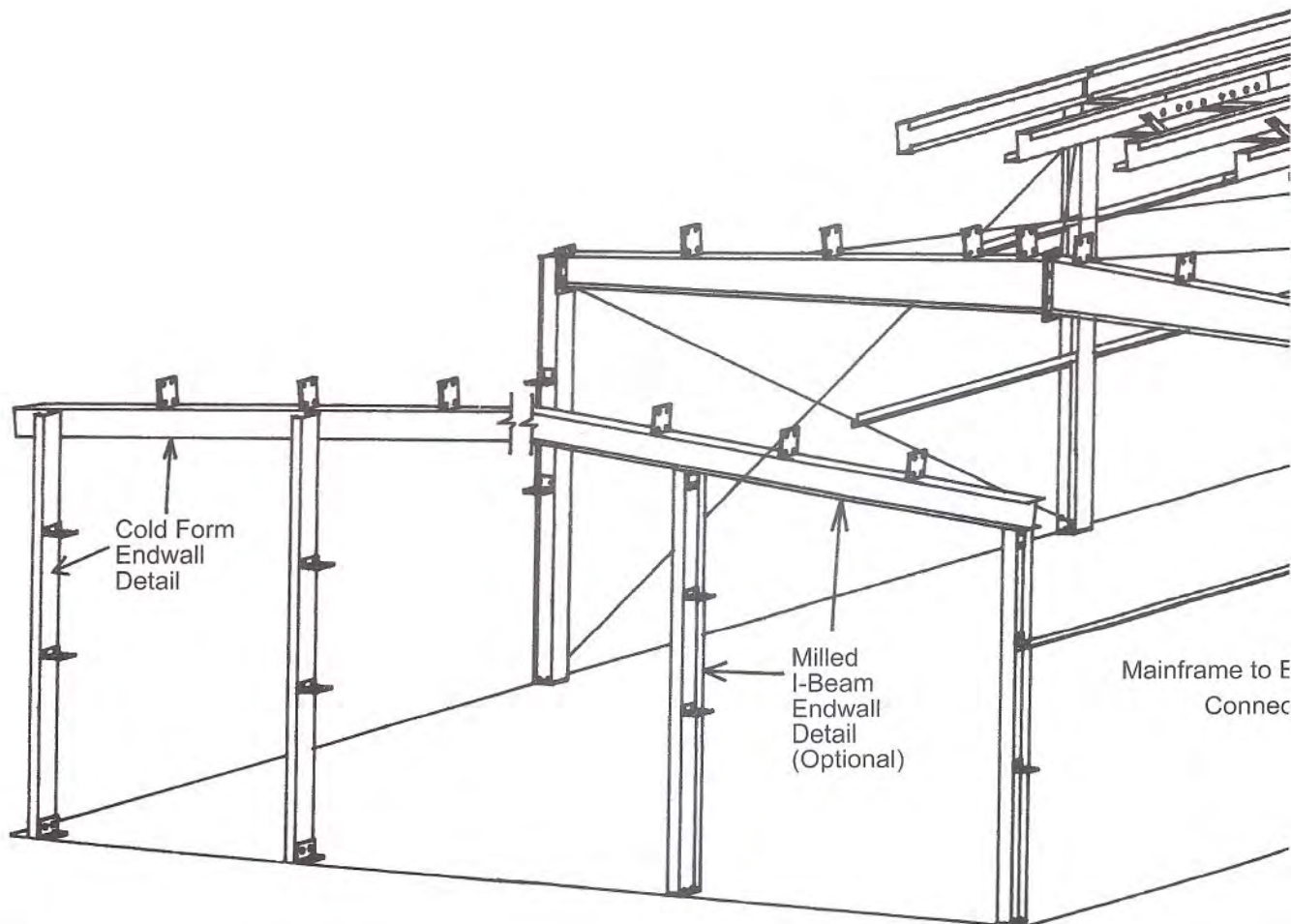


## Industrial Tire and Retreading





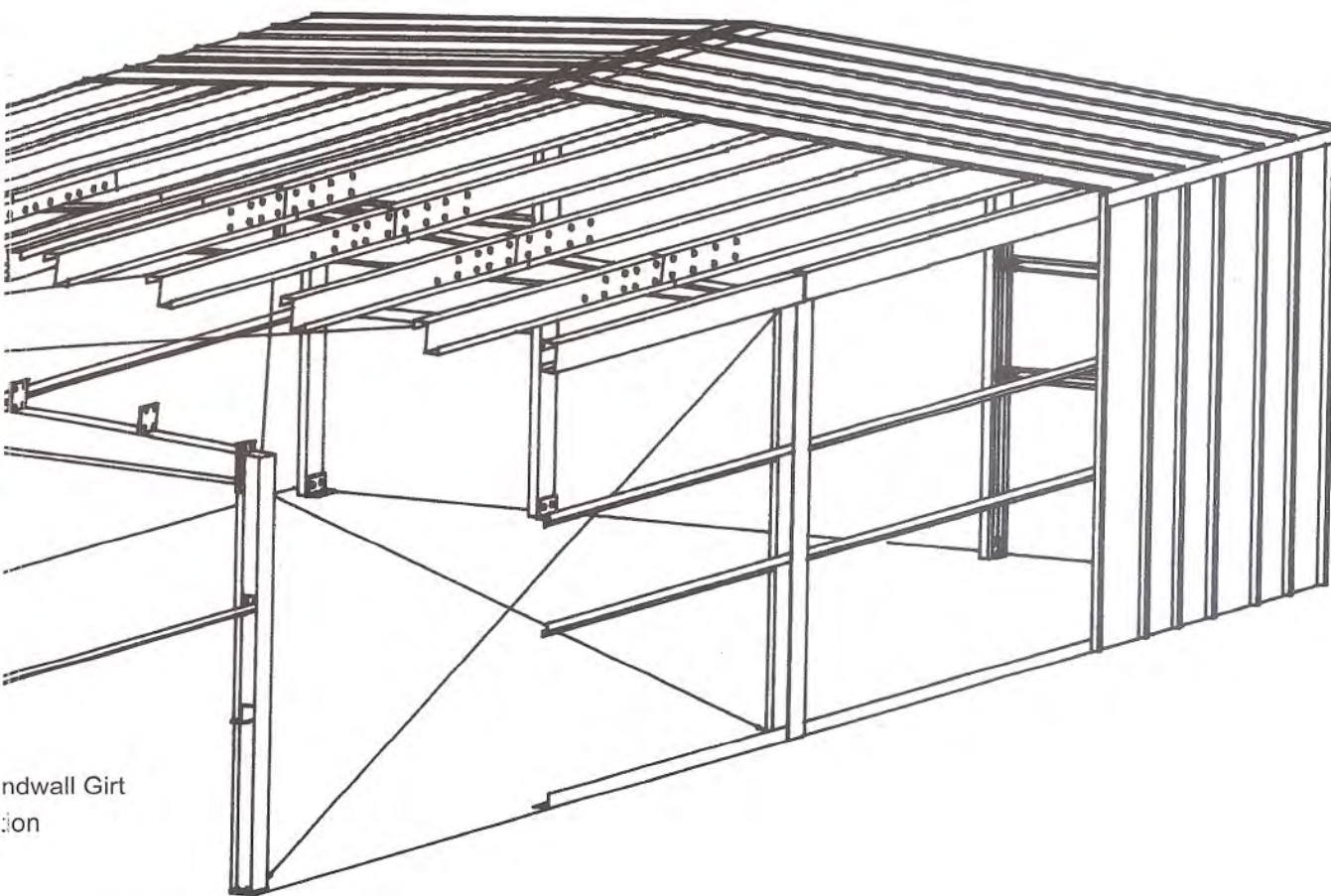
# ESSEX STEEL FRAMING SYSTEM



**Note:**

**Endwall Framing will be  
Either C-channel Columns  
& Rafter or Milled Columns  
& Rafter depending on Loadings.  
Options for Flush or Exterior Girts  
For All Frames.**

Essex structural steel building connections are made with A-325 structural bolts and nuts. Connection clips are welded to main frame columns and rafters for easy assembly of girts and purlins.

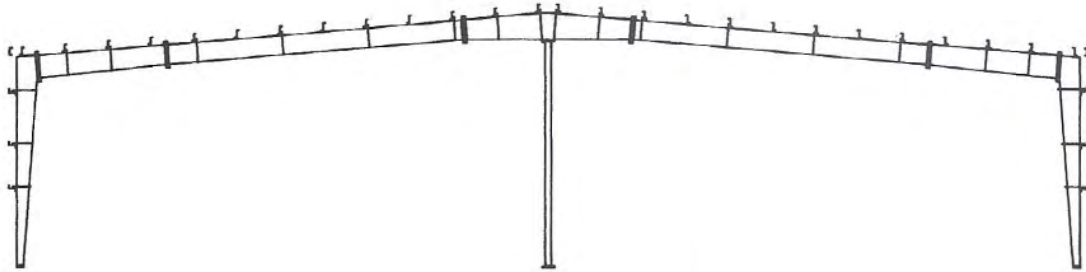
**Straight Column Features:**

1. More Building Area Available.
2. Easy to Finish. No Exposed Columns.
3. Easy to Insulate.
4. Easier Location of Doors and Windows.

**STRAIGHT COLUMN CLEAR SPAN ILLUSTRATION**



# Tapered Column Modular Buildings



**BUILDING WIDTH: 60' to 240'**  
**BUILDING HEIGHT: 12' to 36'**  
**ROOF SLOPE: 1/4:12 to 4:12**

**Modular with 1 Interior Column**

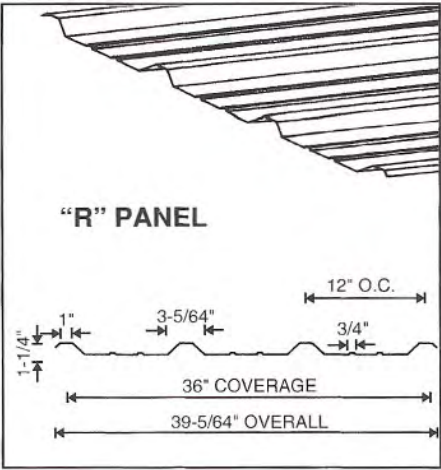


**BUILDING WIDTH: 90' to 360'**  
**BUILDING HEIGHT: 12' to 36'**  
**ROOF SLOPE: 1/4:12 to 4:12**

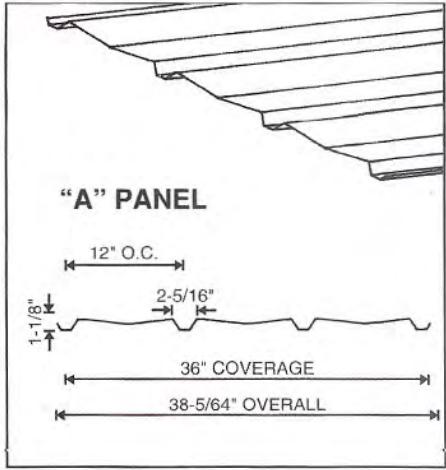
**Modular with 2 Interior Columns**



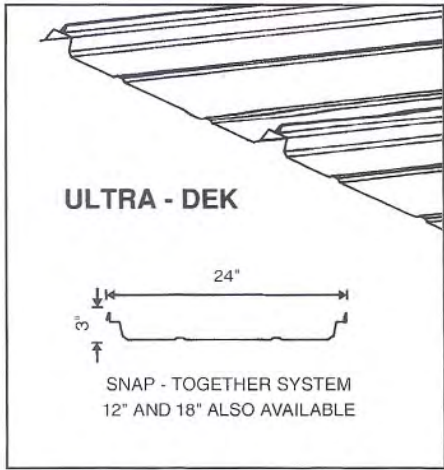
# Roof & Wall Sheeting Systems



WALL SHEETING OR ROOFING



WALL SHEETING



STANDING SEAM ROOF

## Custom Design:

Custom design allows greater flexibility in building utilization. Buildings can be designed to fit any unusual requirements.

Custom designed structures are fabricated economically on a production line basis, you specify your requirements.

The Essex building is fabricated in the northeast and as a result has proven its durability under severe wind, snow and ice conditions.

We don't experience building failures.





• **MANUFACTURING** •

*From Raw Materials to Finished Product American Made.*  
We specify *American* when we order our steel and other materials.

• **DELIVERY** •

Efficient warehouse and "on time" delivery.



**ESSEX STRUCTURAL STEEL COMPANY, INC.**  
607 Route 13 • Cortland • NY • 13045  
1 (800) 32-ESSEX





# COMMERCIAL/INDUSTRIAL

**Final color selection should be made from actual color chips.**

- For the most current information available, visit our website at [www.mbc.com](http://www.mbc.com).
- See the product selection chart for gauge and finish availability.
- All products are available in smooth or embossed finish.
- Trim is available in all colors.
- Review the sample warranty for complete performance attributes and terms and conditions.

## SIGNATURE® 200

STANDARD COLORS  
26- AND 24-GAUGE MATERIAL

### Siliconized Polyester

Polar White is a Straight Polyester.

\* Also available in 29-gauge

\*\* Minimum quantities and/or extended lead times required for 24-gauge. Please inquire.

				
	HAWAIIAN BLUE** *	CRIMSON RED** *	FERN GREEN** *	BURNISHED SLATE** *
ROOF				
	ASH GRAY *	SADDLE TAN *	DESERT SAND *	KOKO BROWN *
WALLS				
	CHARCOAL GRAY** *	COBALT BLUE** *	RUSTIC RED *	LIGHT STONE *
				
	POLAR WHITE* *	SOLAR WHITE** *		

## SIGNATURE® 300

STANDARD COLORS  
26-GAUGE MATERIAL  
PBR, PBU, AVP, PBC, PBD  
PANELS ONLY

### Polyvinylidene Fluoride (PVDF); Low Gloss

\* Also available in 24-gauge

\*\* Minimum quantities and/or extended lead times required for 24-gauge. Please inquire.

† Minimum quantities and/or extended lead times required for all gauges. Please inquire.

Signature® is a registered trademark of NCI Group, Inc.

			
MEDIUM BRONZE** *	SNOW WHITE* *	SLATE GRAY** *	ALMOND* *
			
CLASSIC GREEN** *	BROWNSTONE* *	BRITE RED † *	HARBOR BLUE** *
			
BONE WHITE** *			

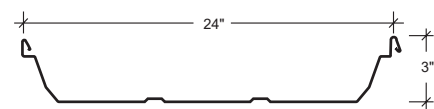
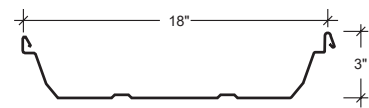
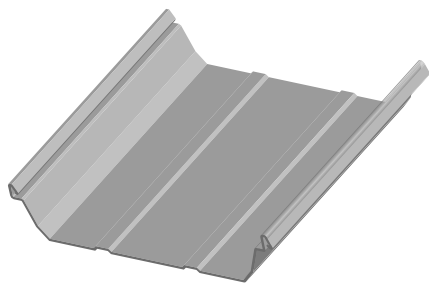
COLOR CHART



# STANDING SEAM METAL ROOFING

## ULTRA-DEK®

The Ultra-Dek® roof panel is a snap-together, trapezoidal leg standing seam roof system. Ultra-Dek® panels are available in 18-inch and 24-inch widths. Ultra-Dek® requires a minimum slope of ¼:12 and is ideal for industrial, commercial and architectural applications. Ultra-Dek® can be erected on various types of construction.



### Features and Benefits:

- Begins and ends in the high, reducing the risk of leakage at the rake that can occur when finishing in the low.
- Low and high clips are available to allow for various thicknesses of insulation to be installed between the panels and purlins.
- Numerous UL 580 Construction rating are available, as well as UL 790, Class A for external fire, numerous roof assemblies for UL 263 for internal fire and the UL 2218 Class 4 impact rating.
- Ultra-Dek® carries Florida approval rating.

### Product Specifications

- **Applications:** Roof
- **Coverage Widths:** 18", 24"
- **Minimum Slope:** ¼:12
- **Panel Attachment:** Concealed Fastening System; Low, High, Fix and Sliding
- **Gauges:** 24 (standard); 22
- **Finishes:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

[www.mbc.com](http://www.mbc.com) | [shop.mbc.com](http://shop.mbc.com)

HOUSTON | 281.407.6915  
ADEL, GA | 888.514.6062  
ATLANTA | 678.337.1619  
ATWATER, CA | 209.445.3891

ENNIS, TX | 469.256.8255  
INDIANAPOLIS | 317.364.4329  
LUBBOCK, TX | 806.224.2724

MEMPHIS, TN | 662.298.2337  
OKLAHOMA CITY | 405.492.6968  
PHOENIX | 480.630.3022

ROME, NY | 315.371.4330  
SALT LAKE CITY | 385.715.2952  
SAN ANTONIO | 210.888.9768





# STANDING SEAM METAL ROOFING

## ULTRA-DEK®

CATEGORY	CHARACTERISTIC	TEST METHOD	PURPOSE	RESULT
<b>ENVIRONMENTAL</b>	Air Leakage Through Roof Panel Joints	ASTM E1680	Determines the air leakage characteristics of metal roof panels under specified air pressure differences at ambient conditions	0.251 cfm/ft <sup>2</sup> at 6.24 psf static pressure 0.502 cfm/ft <sup>2</sup> at 12.00 psf static pressure
	Water Penetration Through Roof Panel Joints	ASTM E1646	Determines the resistance to water penetration of metal roof panels under uniform static air pressure difference	No uncontrolled water penetration through the panel joints at a static pressure of 12.00 psf
	Impact Resistance	UL 2218	Determines Impact Resistance of prepared Roof Covering Materials	Class 4 Rating
<b>FIRE RESISTANCE</b>	Room Fire Performance	UL 790	Standard for Standard Test Methods for Fire Tests of Roof Coverings	See Class A Fire Rating Data Sheet
	Room Fire Performance	UL 263	Standard for Fire Tests of Building Construction and Materials	For use in Design Nos. P225, P227, P230, P237, P265, P268, P508, P510, P512, P701, P711, P720, P722, P726, P731, P734, P801, P815, P819.
<b>STRUCTURAL</b>	Uplift Resistance	ASTM E 1592	Provides a standard procedure to evaluate or confirm structural performance under uniform static air pressure difference	See Load Chart Section
	Gravity Loads	AISI S100	North American Specification for the Design of Cold-Formed Steel Structural Members	See Section Properties and Allowable Load Table Section
<b>ROOF LISTINGS</b>	Roof Performance Underwriters Laboratories	UL 580	Determines the uplift resistance of roof assemblies consisting of the roof and roof coverings materials	Class 90 Rating - Construction Number 165, 180B, 205, 205A, 286, 308B, 534, 535, 536, 537 and 541.
	Roof Performance Florida Approval	ASTM E 1592 FM 4471 UL 790	Florida product approval is the approval of products and systems, which comprise the building envelope and structural frame, for compliance with the structural requirements of the Florida Building Code.	See FL# 11819.5







[www.therm-all.com](http://www.therm-all.com) | 888-2-INSUL-8

## ProLiner™ Banded Liner System (Ls)

Provides OSHA-Compliant  
Fall Protection and Meets  
Energy Code Requirements



- **Fall Protection:** Provides leading-edge fall protection<sup>1</sup>
- **Thermal Performance:** Full range of R-values to meet energy code requirements in ALL climate zones<sup>2</sup>
- **Noise control:** Reduces noise transfer from inside and outside of the building, providing superior sound abatement
- **Durable finished appearance:** A low permeance fabric serves as the vapor retarder, preventing condensation, contributing to air barrier integrity, and providing a brighter, resilient finish
- Meets fire code ratings
- GREENGUARD Certified

For more information about **ProLiner™**,  
contact your local Therm-All representative,  
visit [therm-all.com](http://therm-all.com) or call **888-2-INSUL-8**.





## ASHRAE 90.1 (2013) Table A2.3.3

Insulation System <sup>1</sup>	Rated R-Value of Insulation	Overall U-Factor for Entire Base Roof Assembly
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### Standing Seam Roof with Thermal Spacer Blocks <sup>a,b</sup> (see below)

Liner System	R-19 + R-11	0.037
	R-25 + R-8	0.037
	R-25 + R-11	0.031
	R-30 + R-11	0.029
	R-25 + R-11 + R-11	0.026

### Standing Seam Roofs without Thermal Spacer Blocks

Liner System	R-19 + R-11	0.040
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### Through-Fastened Roofs without Thermal Spacer Blocks

Liner System	R-19 + R-11	0.044
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- a. A standing seam roof clip that provides a minimum clip height of 1.5" from underside of roof and top of purlin.  
b. A minimum R-3 thermal spacer is required.

## Wall Assembly U-Values

Thermal Break	Cavity Insulation	Wall U-Factor
None	R-19 MBI+	0.066
1/8" Foam	R-25 MBI+	0.057
1/8" Foam	R-30 MBI+	0.049
Certified R-13	R-30 MBI+	0.042

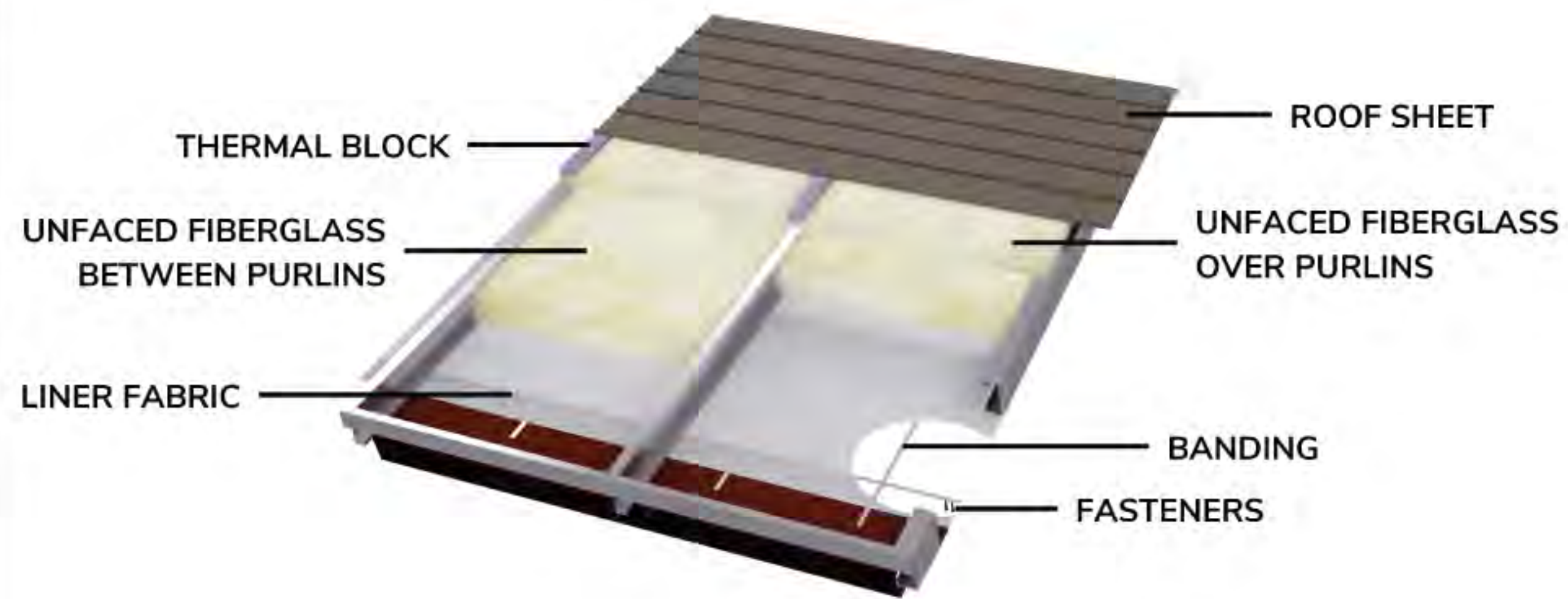
Calculations based on 8" girts spaced 5' on center.

- 1 Meets the requirements of OSHA Standard 29 CFR 1926.502 (c)(4)(i) and OSHA Standard 29 CFR 1926.760 (a) (1) for leading edge fall protection and OSHA Standard 29 CFR 1926.754 (e)(3)(i) covers for roof and floor openings.

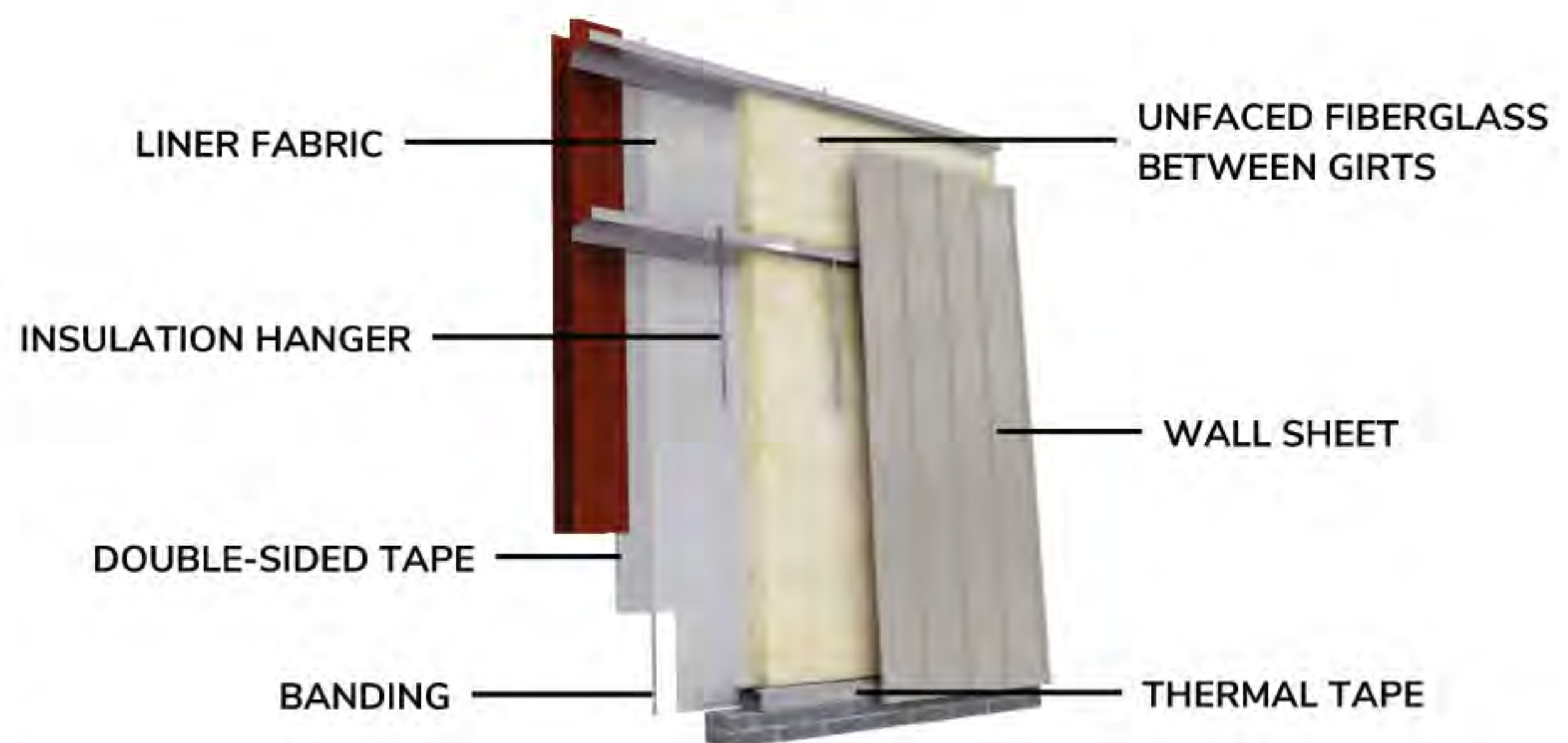
- \* ProLiner™ meets the definition of Liner System (Ls) as described in ASHRAE 90.1 and IECC requirements.

For more information about **ProLiner™**, contact your local Therm-All representative, visit **therm-all.com** or call **888-2-INSUL-8**.

## ProLiner™ Roof

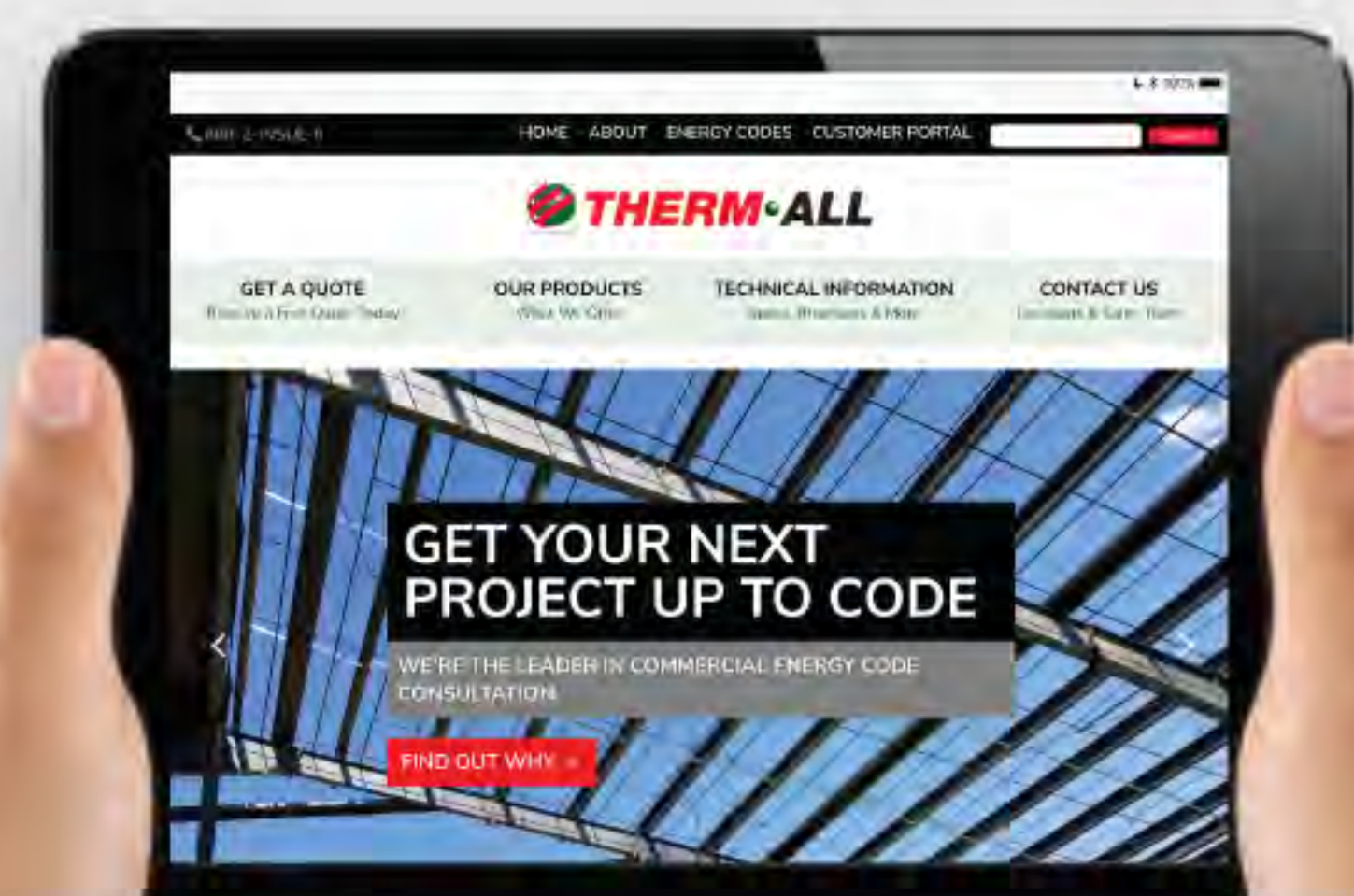


## ProLiner™ Wall

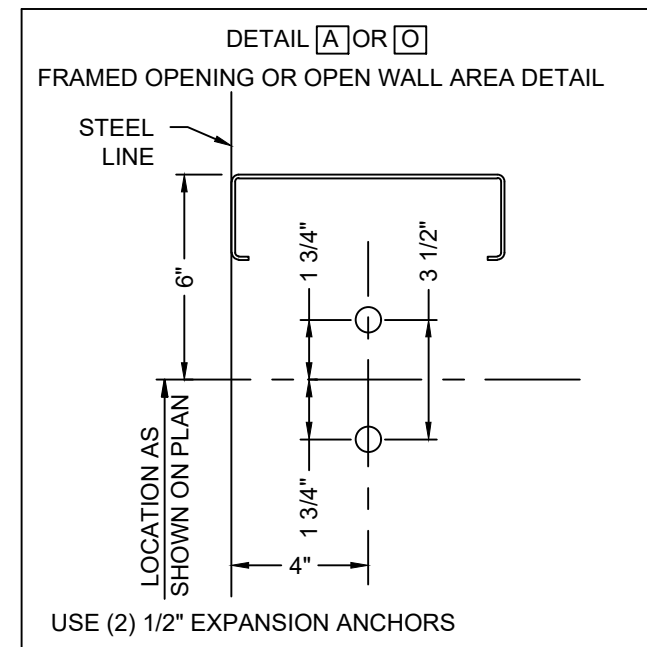
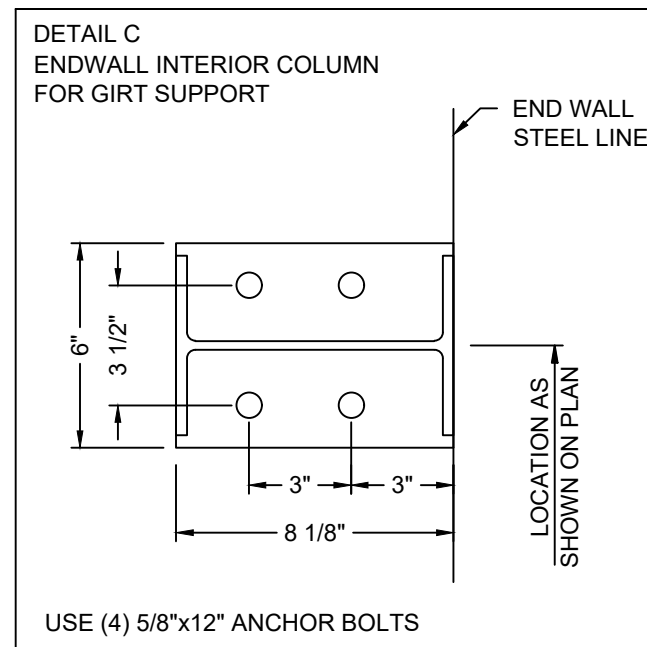
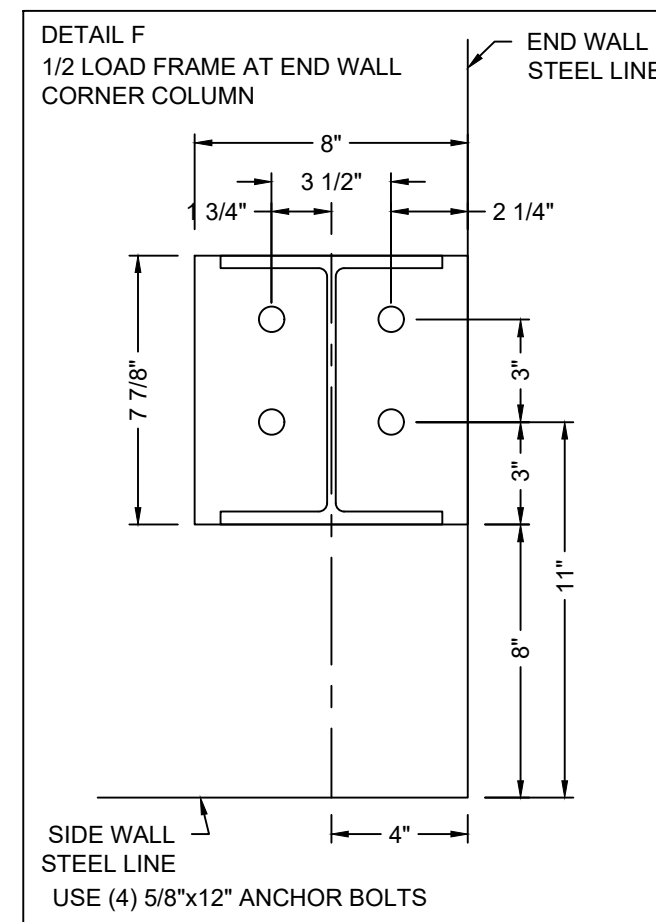
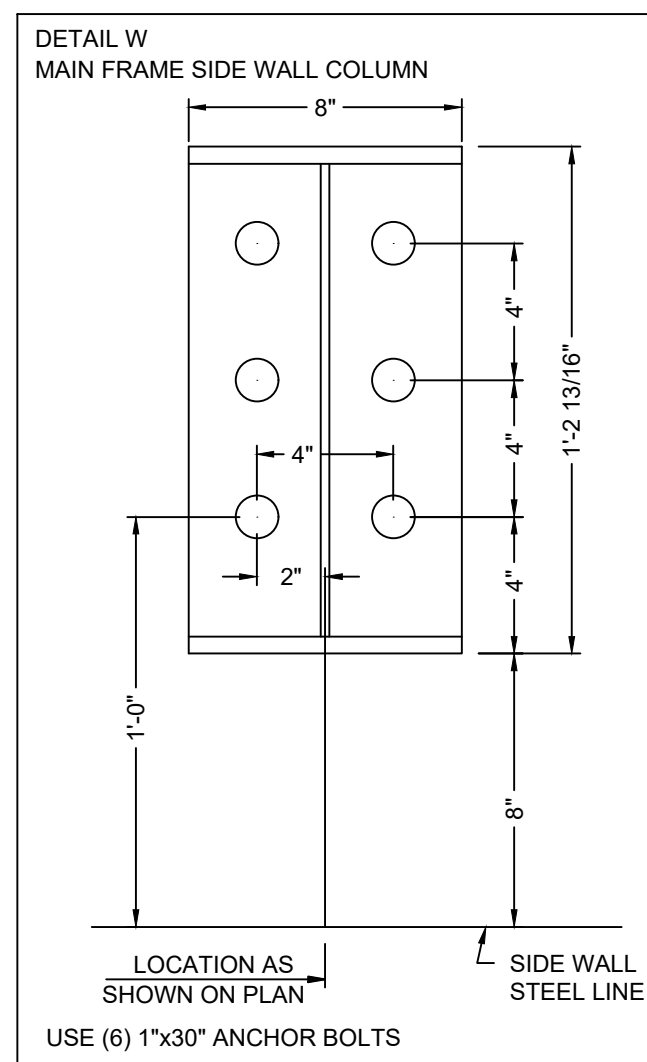
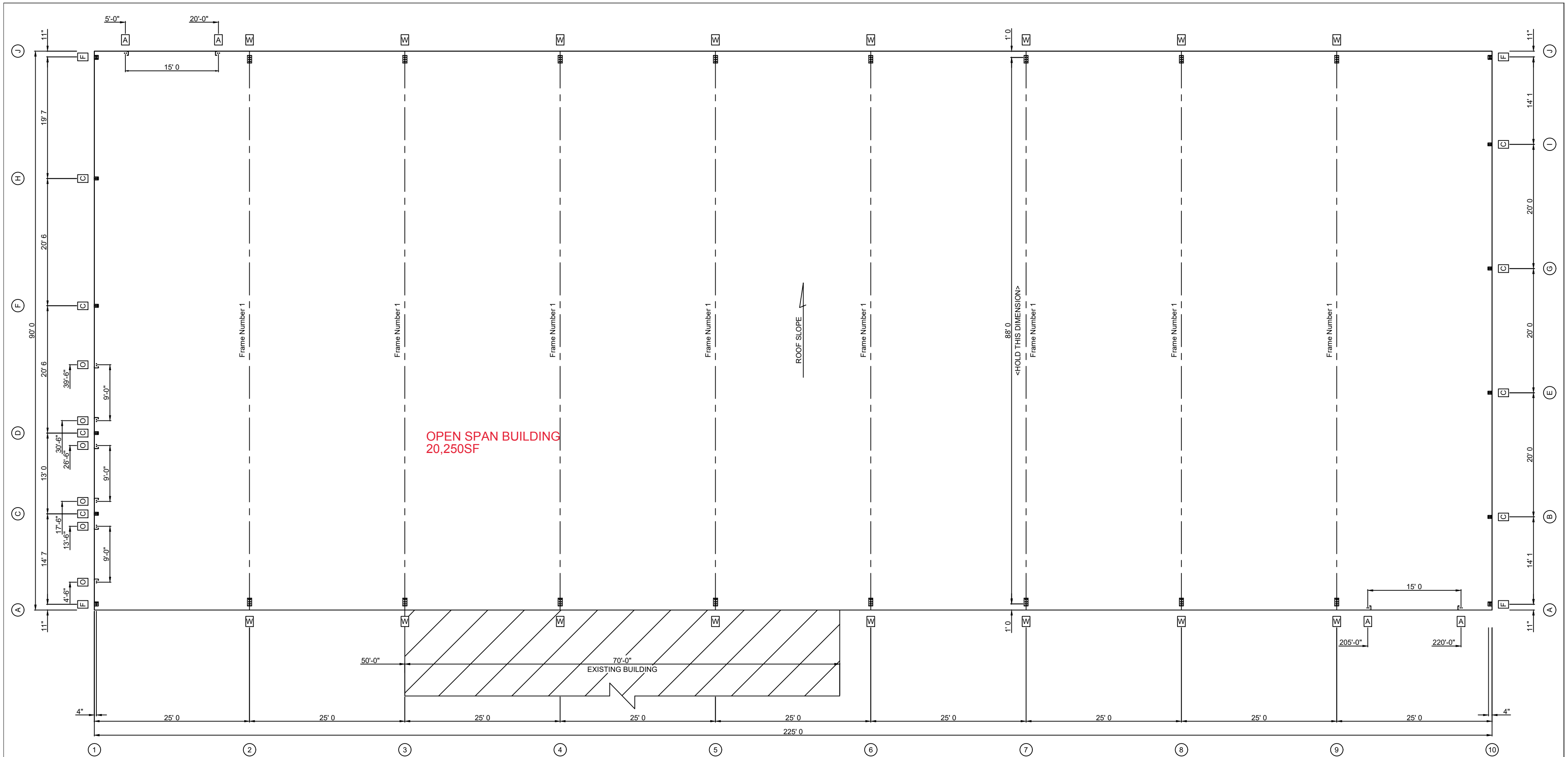


**Learn more  
at therm-all.com.**

Find more information about **ProLiner™**, including specification guidelines, install instructions and more on our brand new website.







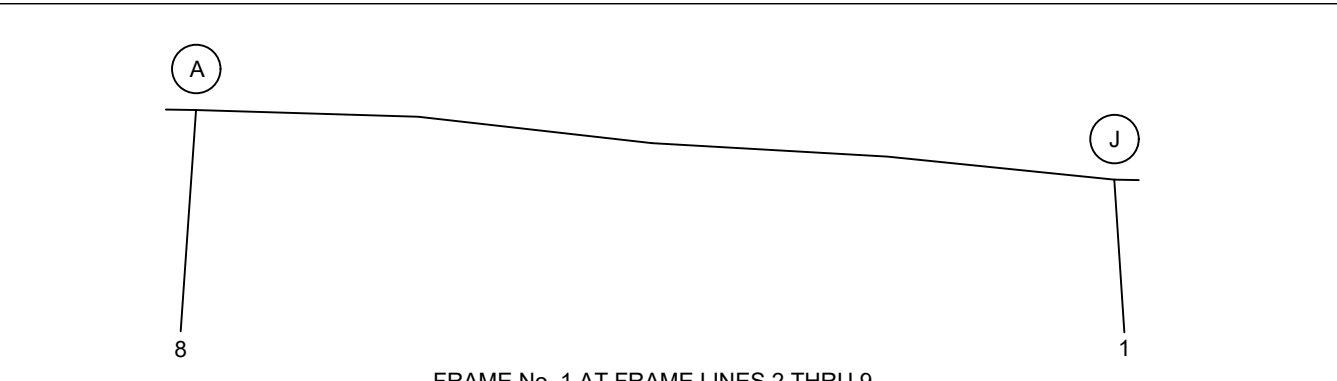
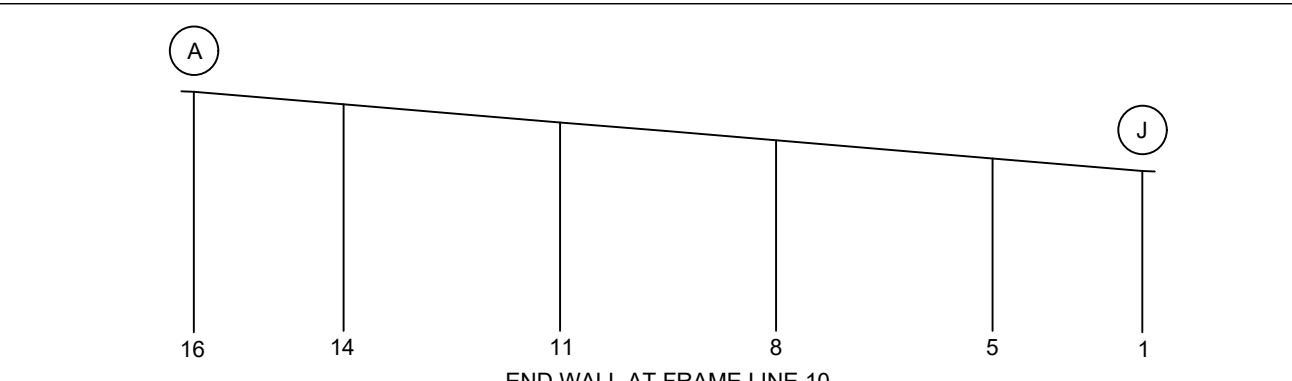
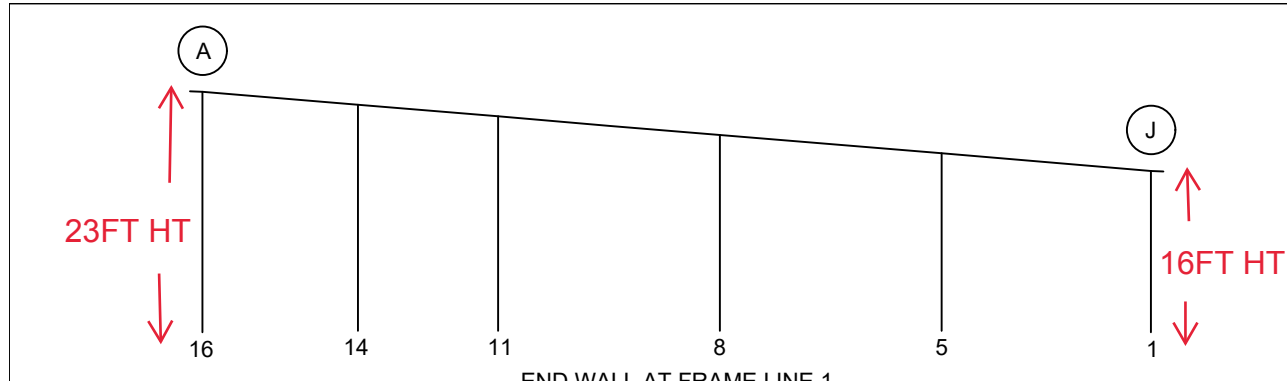
NOTE: ALL TAIL DIMENSIONS FOR OPENINGS ARE FROM STEEL LINE  
NOTE: NOT TO SCALE

QTY	DESCRIPTION	PROJECTION (IN)
20	1/2"x6" EXP. ANCHOR	1.50
48	5/8"x12" A-BOLT	2.00
96	1"x30" A-BOLT	2.50

ERECTION REQUIRES MINOR ADJUSTMENTS

ESSEX STRUCTURAL STEEL CO., INC.  
CORTLAND, NEW YORK 13045

REVISIONS	PROJECT: INDUSTRIAL TIRE OF CNY 210 SIXTH NORTH STREET SYRACUSE, NY 13208	SHEET: <b>1</b>
	CONTRACTOR: 1015 HIAWATHA BLVD. LLC. PROJECT NO.: S-202466	
	TITLE: ANCHOR BOLT LAYOUT	
	DRAWN BY: CRJ	
	DATE: 03/28/24	
	SCALE: D.N.S.	



NOTE: (+) VERT = BEARING ON THE FOUNDATION; (-) VERT = ANCHOR RODS IN TENSION

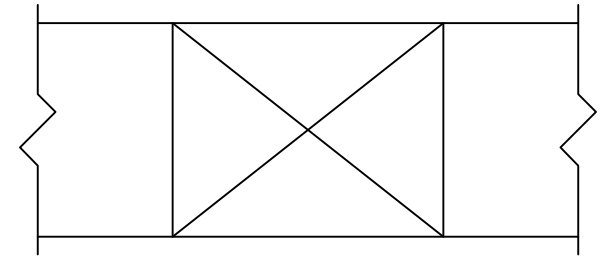
NOTE: (+) VERT = BEARING ON THE FOUNDATION; (-) VERT = ANCHOR RODS IN TENSION

NOTE: (+) VERT = BEARING ON THE FOUNDATION; (-) VERT = ANCHOR RODS IN TENSION

DESCRIPTION	SUPPORT	REACTION		
		HORIZ (KIPS)	VERT (KIPS)	MOMENT (KIPS-FT)
49 D	1	-07	1.16	.00
49 D	5	.00	2.70	.00
49 D	8	.00	2.60	.00
49 D	11	.00	2.16	.00
49 D	14	.00	1.60	.00
49 D	16	.07	1.02	.00
50 L	1	-08	1.40	.00
50 L	5	.00	3.24	.00
50 L	8	.00	3.12	.00
50 L	11	.00	2.59	.00
50 L	14	.00	1.92	.00
50 L	16	.08	1.23	.00
51 S	1	-23	4.07	.00
51 S	5	.00	9.46	.00
51 S	8	.00	9.11	.00
51 S	11	.00	7.55	.00
51 S	14	.00	5.61	.00
51 S	16	.23	3.58	.00
52 W C1IP L	1	1.34	-3.53	.00
52 W C1IP L	5	.00	-6.85	.00
52 W C1IP L	8	.00	-7.03	.00
52 W C1IP L	11	.00	-5.82	.00
52 W C1IP L	14	.00	-3.95	.00
52 W C1IP L	16	1.49	-2.99	.00
53 W C1IP R	1	-4.11	1.35	.00
53 W C1IP R	5	.00	-7.73	.00
53 W C1IP R	8	.00	-2.99	.00
53 W C1IP R	11	.00	-4.09	.00
53 W C1IP R	14	.00	-.12	.00
53 W C1IP R	16	-2.24	-3.26	.00
54 W C1IS L	1	2.12	-2.81	.00
54 W C1IS L	5	.00	-4.61	.00
54 W C1IS L	8	.00	-5.09	.00
54 W C1IS L	11	.00	-4.01	.00
54 W C1IS L	14	.00	-3.29	.00
54 W C1IS L	16	.71	-1.98	.00
55 W C1IS R	1	-3.33	2.06	.00
55 W C1IS R	5	.00	-5.49	.00
55 W C1IS R	8	.00	-1.05	.00
55 W C1IS R	11	.00	-2.28	.00
55 W C1IS R	14	.00	.53	.00
55 W C1IS R	16	-3.03	-2.25	.00
56 W C2IP L	1	-2.25	-2.20	.00
56 W C2IP L	5	.00	-8.57	.00
56 W C2IP L	8	.00	-6.56	.00
56 W C2IP L	11	.00	-6.32	.00
56 W C2IP L	14	.00	-2.41	.00
56 W C2IP L	16	1.05	-4.10	.00
57 W C2IP R	1	-1.51	-1.49	.00
57 W C2IP R	5	.00	-4.48	.00
57 W C2IP R	8	.00	-3.82	.00
57 W C2IP R	11	.00	-3.59	.00
57 W C2IP R	14	.00	-1.29	.00
57 W C2IP R	16	1.40	-2.18	.00
58 W C2IS L	1	-1.47	-1.49	.00
58 W C2IS L	5	.00	-6.34	.00
58 W C2IS L	8	.00	-4.61	.00
58 W C2IS L	11	.00	-4.51	.00
58 W C2IS L	14	.00	-1.76	.00
58 W C2IS L	16	.27	-3.08	.00
59 W C2IS R	1	-73	-.78	.00
59 W C2IS R	5	.00	-2.25	.00
59 W C2IS R	8	.00	-1.87	.00
59 W C2IS R	11	.00	-1.77	.00
59 W C2IS R	14	.00	-.64	.00
59 W C2IS R	16	.62	-1.16	.00
60 E L	1	.62	-.62	.00
60 E L	5	.00	.75	.00
60 E L	8	.00	-.20	.00
60 E L	11	.00	.19	.00
60 E L	14	.00	-.56	.00
60 E L	16	.21	.44	.00
61 E R	1	-.62	.62	.00
61 E R	5	.00	-.75	.00
61 E R	8	.00	.20	.00
61 E R	11	.00	-.19	.00
61 E R	14	.00	.56	.00
61 E R	16	-.21	-.44	.00

DESCRIPTION	SUPPORT	REACTION		
		HORIZ (KIPS)	VERT (KIPS)	MOMENT (KIPS-FT)
49 D	1	-.02	.78	.00
49 D	5	.00	2.31	.00
49 D	8	.00	2.54	.00
49 D	11	.00	2.54	.00
49 D	14	.00	2.29	.00
49 D	16	.02	.79	.00
50 L	1	-.02	.94	.00
50 L	5	.00	2.77	.00
50 L	8	.00	3.04	.00
50 L	11	.00	3.05	.00
50 L	14	.00	2.75	.00
50 L	16	.02	.95	.00
51 S	1	-.07	2.74	.00
51 S	5	.00	8.08	.00
51 S	8	.00	8.88	.00
51 S	11	.00	8.88	.00
51 S	14	.00	8.02	.00
51 S	16	.07	2.77	.00
52 W C1IP L	1	1.26	-2.68	.00
52 W C1IP L	5	.00	-5.63	.00
52 W C1IP L	8	.00	-6.85	.00
52 W C1IP L	11	.00	-6.83	.00
52 W C1IP L	14	.00	-5.73	.00
52 W C1IP L	16	1.57	-2.46	.00
53 W C1IP R	1	-4.27	3.10	.00
53 W C1IP R	5	.00	-8.23	.00
53 W C1IP R	8	.00	-2.96	.00
53 W C1IP R	11	.00	-4.36	.00
53 W C1IP R	14	.00	-1.67	.00
53 W C1IP R	16	-2.08	-2.72	.00
54 W C1IS L	1	2.05	-2.27	.00
54 W C1IS L	5	.00	-3.69	.00
54 W C1IS L	8	.00	-4.95	.00
54 W C1IS L	11	.00	-4.77	.00
54 W C1IS L	14	.00	-4.53	.00
54 W C1IS L	16	.78	-1.58	.00
55 W C1IS R	1	-3.48	3.51	.00
55 W C1IS R	5	.00	-6.29	.00
55 W C1IS R	8	.00	-1.07	.00
55 W C1IS R	11	.00	-2.31	.00
55 W C1IS R	14	.00	-.47	.00
55 W C1IS R	16	-2.87	-1.84	.00
56 W C2IP L	1	-2.35	-.83	.00
56 W C2IP L	5	.00	-7.85	.00
56 W C2IP L	8	.00	-6.42	.00
56 W C2IP L	11	.00	-7.14	.00
56 W C2IP L	14	.00	-4.42	.00
56 W C2IP L	16	1.15	-3.51	.00
57 W C2IP R	1	-1.54	-.86	.00
57 W C2IP R	5	.00	-3.92	.00
57 W C2IP R	8	.00	-3.73	.00
57 W C2IP R	11	.00	-4.06	.00
57 W C2IP R	14	.00	-2.38	.00
57 W C2IP R	16	1.43	-1.90	.00
58 W C2IS L	1	-1.55	-.42	.00
58 W C2IS L	5	.00	-5.91	.00
58 W C2IS L	8	.00	-4.52	.00
58 W C2IS L	11	.00	-5.09	.00
58 W C2IS L	14	.00	-3.23	.00
58 W C2IS L	16	.36	-2.63	.00
59 W C2IS R	1	-.75	-.46	.00
59 W C2IS R	5	.00	-1.99	.00
59 W C2IS R	8	.00	-1.83	.00
59 W C2IS R	11	.00	-2.00	.00
59 W C2IS R	14	.00	-1.18	.00
59 W C2IS R	16	.63	-1.02	.00
60 E L	1	.64	-.86	.00
60 E L	5	.00	.97	.00
60 E L	8	.00	-.19	.00
60 E L	11	.00	.12	.00
60 E L	14	.00	-.45	.00
60 E L	16	.20	.40	.00
61 E R	1	-.64	.86	.00
61 E R	5	.00	-.97	.00
61 E R	8	.00	.19	.00
61 E R	11	.00	-.12	.00
61 E R	14	.00	.45	.00
61 E R	16	-.20	-.40	.00

DESCRIPTION	SUPPORT	REACTION		
		HORIZ (KIPS)	VERT (KIPS)	MOMENT (KIPS-FT)
49 D	1	-9.76	12.38	.00
49 D	8	9.76	12.37	.00
50 L	1	-10.65	13.50	.00
50 L	8	10.65	13.50	.00
51 S	1	-31.06	39.38	.00
51 S	8	31.06	39.37	.00
52 W C1IP L	1	17.48	-21.98	.00
52 W C1IP L	8	-13.81	-22.00	.00
53 W C1IP R	1	5.66	-12.17	.00
53 W C1IP R	8	-13.49	-14.05	.00
54 W C1IS L	1	12.40	-13.81	.00
54 W C1IS L	8	-8.71	-13.94	.00
55 W C1IS R	1	.58	-4.00	.00
55 W C1IS R	8	-8.39	-5.99	.00
56 W C2IP L	1	12.87	-21.67	.00
56 W C2IP L	8	-13.83	-22.31	.00
57 W C2IP R	1	7.53	-13.16	.00
57 W C2IP R	8	-7.32	-13.06	.00
58 W C2IS L	1	7.79	-13.50	.00
58 W C2IS L	8	-8.73	-14.25	.00
59 W C2IS R	1	2.44	-4.99	.00
59 W C2IS R	8	-2.22	-5.00	.00
60 E L	1	1.16	-.38	.00
60 E L	8	.74	.38	.00
61 E R	1	-1.16	.38	.00
61 E R	8	-.74	-.38	.00



SIDEWALL WIND BRACING

NOTE: REACTIONS ARE AT THE BASE OF EACH COLUMN TO WHICH A BRACE ATTACHES.

DESCRIPTION	REACTION		
	TENSION (KIPS)	HORIZ (KIPS)	VERT (KIPS)
MAXIMUM REACTION LOW SIDEWALL	4.43	3.73	2.39
MAXIMUM REACTION HIGH SIDEWALL	5.83	4.25	3.99

**REACTION ABBREVIATION KEY**

LOAD DESCRIPTION  
W - WIND, S = SNOW, L = LIVE, E = SEISMIC, Lf = LIVE FLOOR LOAD  
Em = SEISMIC LOAD TO CONNECTION, SU = SNOW UNBALANCED

LOAD SUFFIX KEY (NOTE THESE MAY OR NOT BE PRESENT DEPENDING ON THE BUILDING CODE)

C1 = WIND CASE ONE (ie WIND ACTING PARALLEL TO THE RIDGE)  
C2 = WIND CASE TWO (ie WIND ACTING PERPENDICULAR TO THE RIDGE)  
C3 = WIND CASE THREE (ie WIND ACTING 45 DEGREES TO THE RIDGE)  
IP = INTERNAL PRESSURE  
IS = INTERNAL SUCTION  
L = LEFT DIRECTION (ie WIND ACTING LEFT TO RIGHT OR FRONT TO BACK)  
R = RIGHT DIRECTION (ie WIND ACTING RIGHT TO LEFT OR BACK TO FRONT)  
LC = LEFT DIRECTION WITH ADDITIONAL SEISMIC COLUMN COMPRESSION  
LT = LEFT DIRECTION WITH ADDITIONAL SEISMIC COLUMN TENSION  
RC = RIGHT DIRECTION WITH ADDITIONAL SEISMIC COLUMN COMPRESSION  
RT = RIGHT DIRECTION WITH ADDITIONAL SEISMIC COLUMN TENSION

ERECTION REQUIRES MINOR ADJUSTMENTS

ESSEX STRUCTURAL STEEL CO., INC.  
CORTLAND, NEW YORK 13045

REVISIONS	PROJECT: INDUSTRIAL TIRE OF CNY 210 SIXTH NORTH STREET SYRACUSE, NY 13208
	CONTRACTOR: 1015 HIAWATHA BLVD. LLC.
	PROJECT NO.: S-202466
	TITLE: REACTIONS
	SCALE: D.N.S.
	SHEET: 2

DRAWN BY: CRJ DATE: 03/28/24



J.Ryan McMahon, II  
COUNTY EXECUTIVE

# Onondaga County Planning Board

## RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: April 17, 2024

OCPB Case # Z-24-99

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a SITE PLAN from the City of Syracuse Planning Commission at the request of Dennis Beaudette for the property located at 204 & 210 Sixth North Street and 1101-1105 Wolf Street; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Seventh North Street (Route 45), a county highway, and the municipal boundary between the City of Syracuse and the Town of Salina; and
- WHEREAS, the applicant is proposing to construct a 20,250 sf manufacturing and storage warehouse addition and create a parking area on 1.37 acres in a Light Industry and Employment (LI) zoning district; and
- WHEREAS, the Board is concurrently reviewing a subdivision referral (S-24-14) to combine the auto repair property with two neighboring parcels to allow for the currently proposed expansion; and
- WHEREAS, the Board previously held No Position regarding a project site review referral (Z-14-183) to demolish an existing commercial building, remove blacktop, and plant grass on the lot adjacent to the existing repair garage; and
- WHEREAS, the site is currently used for warehousing and storage along with two adjacent, vacant parcels at the corner of Sixth North and Wolf Streets on the Northside of the City of Syracuse; the site is located at the transition of residential to the commercial and industrial uses; surrounding uses include a parking lot, residential, a distribution company, and window and door supplier; and
- WHEREAS, the site will be the location of Industrial Tire Warehouse and contains two buildings, surrounded by outdoor storage from previous uses of the building; the site is located on the corner of Sixth North Street and Wolf Street with unrestricted access to Sixth North Street; per aerial imagery from May 2021, the City's right-of-way on Sixth North Street is currently used for parking; and
- WHEREAS, the applicant is proposing to renovate the site and expand the operation to incorporate two adjacent, vacant properties, to accommodate Industrial Tire Warehouse and Automobile Tire Retreading; per the local application, the existing building at the front of the site will have 4,000 sf at the rear of the building demolished to allow the construction of a 20,250 sf warehouse/manufacturing building along the Sixth North Street frontage; the rear building will be "converted into a temperature-controlled storage area for tire retreading adhesives"; the existing outdoor storage debris will be removed along with portions of the asphalt right-of-way on Sixth North Street; per the Site Plan dated 4/1/24, the entrance to the site will be constricted to a 24'-wide driveway providing access to a loading dock at the southeast of the proposed building and a 15-space parking lot to be

constructed along the Wolf Street side of the building; the Site Plan also shows trees to be planted along road frontages, a landscaping buffer between the parking lot and Wolf Street, and an evergreen landscape buffer between the northeast corner of the site and adjacent residential properties; and

- WHEREAS, per the Environmental Assessment Form (EAF) dated 2/19/24, 0.83 acres of the site will be disturbed by the proposed project; per the EAF, stormwater will be diverted to the “existing City of Syracuse Storm System”;  
 ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and
- WHEREAS, per the referral notice, the site is served by public drinking water; the proposed work may create an increase in demand; and
- WHEREAS, per the referral notice, the site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant service area and the proposed work may result in an increase in use;  
 ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects; the applicant must contact Plumbing Control to ensure appropriate permits are obtained;  
 ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) may be required due to a possible increase in use; additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online: <http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and
- WHEREAS, the project is within 2,000 feet of multiple sites (IDs: 734004, 734123) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); and
- WHEREAS, the site is located over, or immediately adjoining, primary and principal aquifers (per EAF Mapper); and
- WHEREAS, the site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological site inventory (per EAF Mapper); and
- WHEREAS, ADVISORY NOTE: Per GML § 239-nn, the legislative body or other authorized body having jurisdiction in a municipality shall give notice to an adjacent municipality when a hearing is held by such body relating to a subdivision, site plan, special use permit, or a use variance on property that is within five hundred feet of an adjacent municipality; such notice shall be given by mail or electronic transmission to the clerk of the adjacent municipality at least ten days prior to any such hearing; and



NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has determined that said referral will have no significant adverse inter-community or county-wide implications. The Board has offered the following COMMENT(S) in regards to the above referral:

The applicant is encouraged to retain and add trees and opaque screening to the extent practicable, particularly adjacent to residences.



Martin E. Voss, Chairman  
Onondaga County Planning Board

City of Syracuse

### Parcel History

01/01/1900 - 05/16/2024

Tax Map #: 003.-05-12.0

Owners: Schneid Construction Co Inc

Zoning: IN

Address	Date	Transaction	Transaction Type	Status	Description
210 Sixth North St	10/09/15	Inspection	Inspector Notification	In Progress	
210 Sixth North St	10/16/15	Inspection	Progress Inspection	In Progress	
210 Sixth North St	10/30/15	Inspection	Progress Inspection	In Progress	
210 Sixth North St	11/13/15	Inspection	Progress Inspection	In Progress	
210 Sixth North St	11/25/15	Inspection	Final Inspection	Pass	
210 Sixth North St	10/24/19	Completed Complaint	Driveway Damage	Completed	2019-28573   I see you dropped off a paver and roller next door this morning - due to heavy bus traffic on our street our front has been chewed up - could you fillin while you are in the area? Buses enter that area when trailers are parked at Champion across street on way to City School Bus Depot across Hiawatha. Thanks!!



City of Syracuse

**Parcel History**

01/01/1900 - 05/16/2024

Tax Map #: 003.-05-10.0

Owners: GSPDC

Zoning: IN

Address	Date	Transaction	Transaction Type	Status	Description
1101-05 Wolf St & Sixth North St	10/03/12	Inspection	Complaint Inspection	Pass	
1101-05 Wolf St & Sixth North St	10/24/12	Completed Complaint	Zoning Violations	Completed	2012-22054   multiple unregistered vehicles for sale without permit/license.
1101-05 Wolf St & Sixth North St	10/30/12	Completed Complaint	Property Maintenance-Ext	Completed	2012-22049   this vacant building is in major disrepair and an eyesore for the neighborhood. Siding and wood shake roof are falling off of building. Open windows looks as though someone is living in the premises.
1101-05 Wolf St & Sixth North St	04/19/13	Inspection	Complaint Inspection	Fail	
1101-05 Wolf St & Sixth North St	04/19/13	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
1101-05 Wolf St & Sixth North St	04/26/13	Inspection	Complaint Re-Inspection	No Progress	
1101-05 Wolf St & Sixth North St	05/03/13	Inspection	Complaint Re-Inspection	No Progress	
1101-05 Wolf St & Sixth North St	06/05/13	Inspection	Complaint Re-Inspection	No Progress	
1101-05 Wolf St & Sixth North St	07/01/13	Completed Complaint	Property Maintenance-Ext	Completed	2013-07886   Trash & Debris, broken glass
1101-05 Wolf St & Sixth North St	07/01/13	Inspection	Complaint Re-Inspection	Pass	
1101-05 Wolf St & Sixth North St	02/19/14	Completed Complaint	Pot Holes in Road	Completed	2014-02324   pothole
1101-05 Wolf St & Sixth North St	08/12/15	Inspection	Inspector Notification	In Progress	
1101-05 Wolf St & Sixth North St	12/07/15	Inspection	Final Inspection	Pass	

Jake Dishaw  
Zoning Administrator



300 South State St, Suite 700  
Syracuse, NY 13202

OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Schneid Construction Co Inc  
From: Haohui Pan, Zoning Planner  
Date: 5/21/2024 4:36:36 PM  
Re: Major Site Plan Review MaSPR-24-12  
210 Sixth North St, Syracuse, 13208

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov.net if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	On Hold	04/02/2024	Vinny Esposito	Drainage plan required.
DPW - Transportation Planner	Conditionally Approved	05/21/2024	Neil Milcarek-Burke	5/21/24 Revised plans have addressed previous comments 4/234/24 Plans require updates and additional details. - Planting plan needed, including specs for tree pits, restored grass areas, and other plantings - All parking areas and drive isles to be curbed - Curb-cuts on Wolf St to be properly abandoned and replaced with full-reveal curbing - Sidewalk to be replaced along entire frontages, both Wolf St and 6th N to meet ADA and City spec 5' wide concrete, required through driveway - Ground cover material to be identified on plans, what is being used on site around building, outside of parking areas, etc. all must be labeled.  Related Permit App PC-0142-24 comments cross posted
Water Engineering	Conditionally Approved	04/01/2024	Kim Kelchner	04/01/2024 CONDITIONALLY APPROVED: Commercial Property with water services require back flow preventers on water services, Domestic get RPZ and Fire get Double Check Valves. Contact Kim Kelchner SWD, Kkelchner@syr.gov
Zoning Planner	Pending	05/15/2024		Update site plan 5/14 addressed the comments on 4/15 4/15 Site Pan update required: -10 % snow storage designation on site



- location of dumpster

Fire Prevention - Zoning	Internal Review Complete	04/12/2024	Elton Davis	Construction, alteration, or demolition shall adhere to applicable sections of the 2020 FCNYS and the 2020 BCNYS.  Meet all applicable Sections of Chapter 34 - Tire Rebuilding and Tire Storage of the 2020 FCNYS.
Planning Commission	Pending	04/01/2024		
Eng. Design & Cons. - Zoning	Conditionally Approved	04/25/2024	Mirza Malkoc	<ul style="list-style-type: none"> <li>• All construction in the R.O.W. will require a road cut permit, all construction in the R.O.W. to be per City standards and specifications.</li> <li>• Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review. No permits are allowed to be issued until the site plans, County's 1:1 offset &amp; the SWPPP are approved.</li> <li>• Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf.</li> <li>• Stormwater Access &amp; Maintenance Agreements shall be submitted for review.</li> <li>• Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties &amp; to the City R.O.W.</li> <li>• The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan &amp; details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council Approval.</li> <li>• Onondaga County Plumbing Control shall review and approve the plans as well.</li> </ul>
Parks - Forestry	Approved	04/11/2024	Jeff Romano	Forestry comments; prefer large shade trees (no overhead wire restrictions) to be planted along both street frontages. Requiring to NOT plant Maples. Species to consider; Hackberry, Sycamore, Elm (hybrid), Sweetgum, and Oak.
Eng. Mapping - Zoning	Internal Review Complete	04/09/2024	Ray Wills	Proposed work should have no impact on Mapping Division assets.



Haohui Pan, Zoning Planner  
Office of Zoning Administration  
City of Syracuse, NY

May 14, 2024

RE: Major Site Plan Review MaSPR-24-12  
210 Sixth North St, Syracuse NY 13208

The following is a response to the Department Review Comments received on April 29, 2024.  
See the attached Site Plans dated 5-14-2024.

- DPW- Sanitation & Sewers. An SWPPP and supportive plan will be prepared for Site Building permit Submission.
- DPW – transportation. The following items have been added to the Site Pla: planting plan, the extent of lawn coverage, sidewalks in the ROW, Wolf St curb cuts removed, and soil restoration are added to Notes.
- Water Engineering – Backflow preventer and check valves will be submitted with building permit drawings.
- Zoning planner- Snow storage is defined on the Site Plan. The owner is not proposing a new dumpster and will handle garbage in the building.
- Fire Prevention- Adhering to the NYS Fire Code will be submitted with the building permit application.
- Engineering & Construction- The Site Plan has added notes regarding opting for R.O.W permits. Stormwater and sanitary comments will be addressed with the Site Building Permit application.
- Parks – plant list has been added to the plan

Submitted By,  
Terry Horst





**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u><i>R-24-21</i></u>	<i>Staff Report – May 28, 2024</i>
<i>Application Type:</i>	Rersubdivision
<i>Project Address:</i>	210 Sixth North Street (003.-05-12.0), 1101-05 Wolf Street & Sixth North Streer (003.-05-10.0), 204 Sixth North Street (003.-05-11.0)
<i>Summary of Proposed Action:</i>	The Applicant proposes to combine three lots into one new lot.  New Lot 1: 1.37 Acres (59,471.9 SF)
<i>Owner/Applicant</i>	Dennis Beaudette, Schneid Construction Company, Inc. (Owner) Terry Horst, Terry Horst Landscape Architecture, PC. (applicant)
<i>Existing Zone District:</i>	Light Industry and Employment, IN Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north, south, and west are the Light Industry and Employment, IN Zone District, and to the east of the property is the neighborhood Center, MX-2 Zone District.
<i>Companion Application(s)</i>	MaSPR-24-12: Partial demolition of existing building, construct 20,250 SF addition on building, improvement on site.
<i>Scope of Work:</i>	Eliminate the property line between three subject parcels, merge three individual lots into one new lot.
<i>Staff Analysis:</i>	<b>Factors:</b> <ul style="list-style-type: none"> <li>- The proposed lot complies with the design standard of lot width and size in IN Zone.</li> <li>- 204 Sixth North Street is currently a vacant land and too small to develop either residential or commercial use.</li> </ul>
<i>Zoning Procedural History:</i>	210 Sixth North Street: <ul style="list-style-type: none"> <li>- V-83-05   Variance, to install barbed wire on top of the existing fence., approved on 4/28/1983</li> </ul> 1101-05 Wolf & Sixth North Street: <ul style="list-style-type: none"> <li>- PR-14-23   Project site Review, small neighborhood commercial building Demolition, approved on 6/16/2014</li> </ul> 204 Sixth North Street: <ul style="list-style-type: none"> <li>- AS-87-087   off-premise advertising sign, approved on 12/10/1987.</li> </ul>
<i>Summary of Zoning History:</i>	In 1983, BZA approved a variance to allow installing barbed wire on top of the fence in 210 Sixth North Street. The property owner of 1101-05 Wolf Street proposed to demolish a small neighborhood commercial building complex and seed the site with grass. The proposal was approved by Zoning Administrator in 2014. Two off-premise signs were granted by the Zoning Administrator to be placed back-to-back in 204 Sixth North Street. The Approval is valid for a ten (10) year period until December 10, 1997.
<i>Code Enforcement History:</i>	See attached code enforcement history.
<i>Zoning Violations:</i>	The proposed lot has no zoning violations.
<i>Summary of Changes:</i>	This is not a continued application.
<i>Property</i>	210 Sixth North Street is irregular in shape with 219.15 feet of frontage on Sixth North

**R-24-21**

<b>Characteristics:</b>	<p>Street and a lot depth of 198.59 feet.</p> <p>204 Sixth North Street is irregular in shape with 32 feet of frontage on Sixth North Street and a lot depth of 130.1 feet.</p> <p>1101-05 Wolf Street &amp; Sixth North Street is irregular in shape with 81.84 feet of frontage on Sixth North Street and a lot depth of 130.40 feet.</p>
<b>SEQR Determination:</b>	Pursuant to the 6 NYCRR § 617.2(al), the proposal is an unlisted Action
<b>Onondaga County Planning Board Referral:</b>	Pursuant to GML §239-1, m and n, the proposal was reviewed by the Onondaga County Planning Board with no opposition.

**Application Submittals:** The application submitted the following in support of the proposed project:

- Resubdivision application
- Short Environmental Assessment Form Part 1
- The rest of the submittals are the drawings such as the listed below.
- Resubdivison Map, Map of Proposed Resubdivision on Part og Block No.22 Known as No.204 & No.210 Sixth North Street & 1101-05 Wolf Street, City Of Syracuse, County Of Onondaga, New York, State Of New York; Licensed Land Surveyor: James Richard Lighton; J.R.L Land Surveying PLLC; Scale: 1”= 20’; Dated: 01/05/2024.

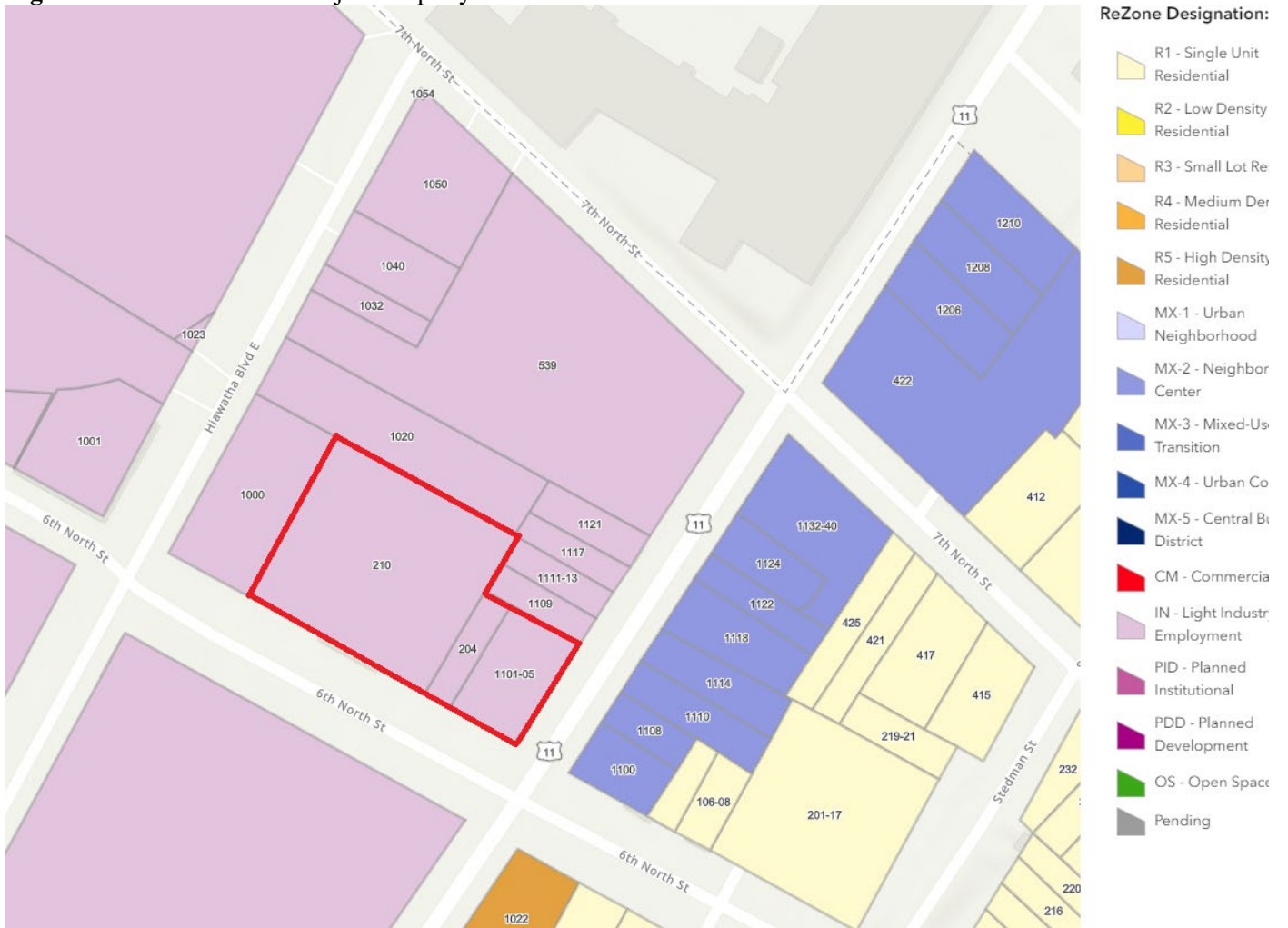
**Attachments:**

- |   |                                    |
|---|------------------------------------|
| Resubdivision Application                           | OCPB Comments                      |
| Short Environmental Assessment Form Part 2 & Part 3 | IPS Comments from City Departments |
| Code Enforcement History                            |                                    |

R-24-21

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map



R-24-21

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

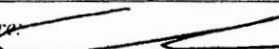


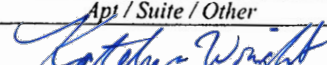


City of Syracuse Office of Zoning Administration

**PROPERTY OWNER(S) (required)**

As listed in Department of Assessment property tax records (<http://syrgov.net/Assessment.aspx> - 315-448-8280). If not listed as the owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a letter describing the legal arrangement. If the property owner is a Corporation or Organization, the person signing must provide member verification. **Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.**

Dennis	Beaudette		Industrial Tire of CNY, LLC Syracuse Retreaders, LLC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
1015 Hiawatha Blvd. E,		Syracuse	NY	13208	Phone: 315.399.5335
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: indtirecny@yahoo.com</i>
* Signature: 			Date: 2-19-24		

Katelyn	Wright	Executive Director	GSPDC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
431 East Fayette St		Syracuse	NY	13202	Phone: 315-422-2301
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature: 			Date: 2/20/2024		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>			<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>	
* Signature:			Date:			

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>			<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>	
* Signature:			Date:			

**\* OWNER SIGNATURE DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

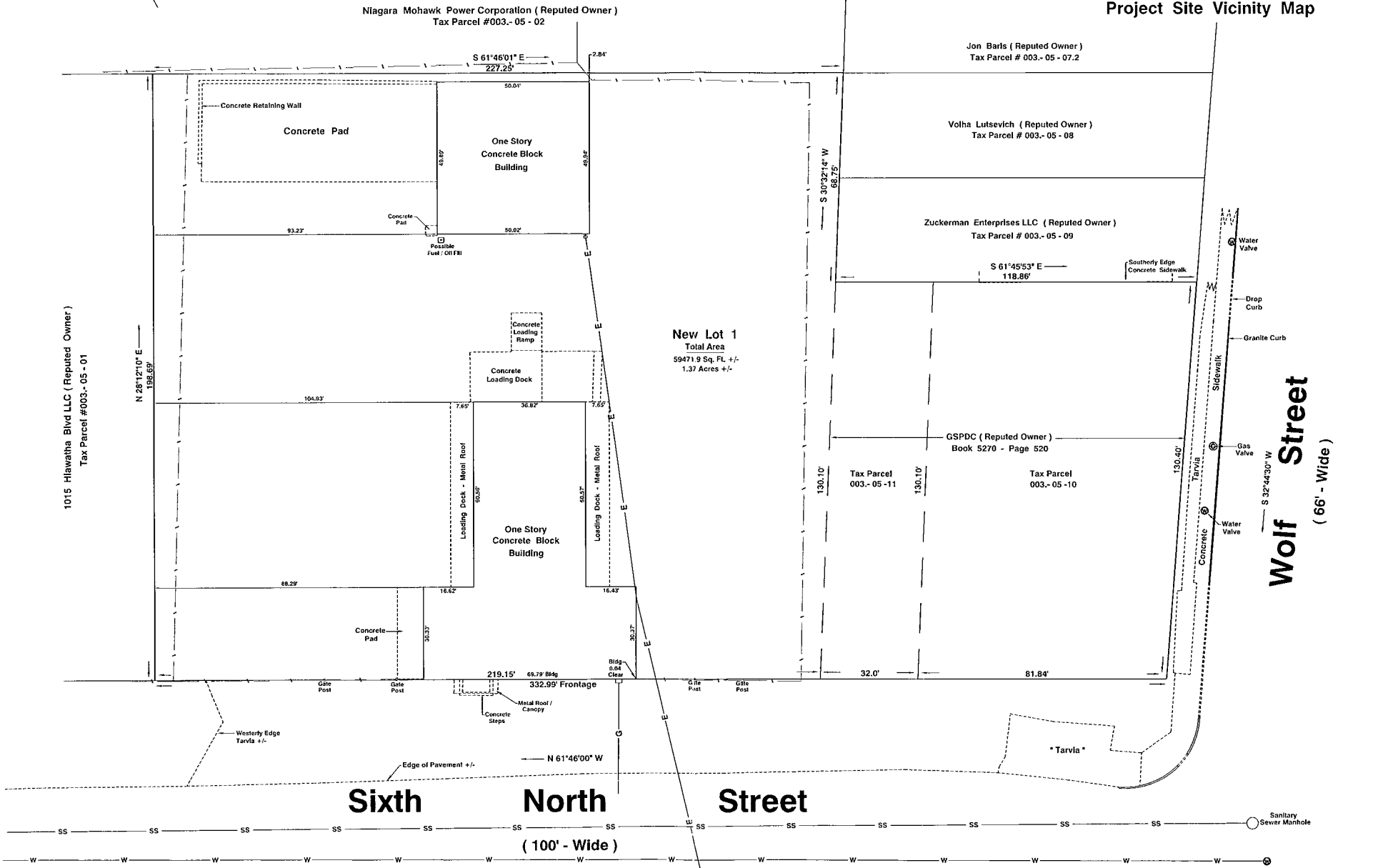
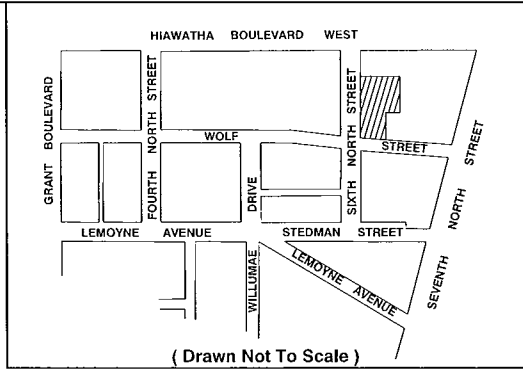
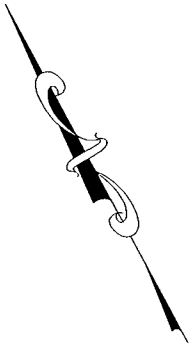
**APPLICANT(S) (if applicable)**

Dennis	Beaudette		Industrial Tire of CNY, LLC Syracuse Retreaders, LLC			
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>			
1015 Hiawatha Blvd. E		Syracuse	NY	23208	Phone: 315-399-5335	
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: indtirecny@yahoo.com</i>	
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>			<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>	

**REPRESENTATIVE(S)/CONTACT(S) (if applicable)**

Terry	Horst		Terry Horst Landscape Architecture PC			
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>			
306 Hawley Ave		Syracuse	NY	13203	Phone: 315-472-2461	
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: thorst@thorstlandscapearch.com</i>	
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>			<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>	





**Legend**

- These standard symbols may be found in the drawing and are not always drawn to scale.
- Gas Valve
  - Sanitary Sewer Manhole
  - Utility Service Pole
  - Light Pole
  - Water Valve
  - Fire Hydrant
  - Sanitary Sewer
  - Gas Main
  - Overhead Electric & Communication Lines
  - Water Main
  - Chain Link Fence

**General Notes**

- 1.) This survey was prepared without the benefit of an up to date Abstract of Title, and is subject to any additional facts such as an up to date Abstract may disclose.
- 2.) This survey is subject to any and all subsurface conditions, improvements, if any, as well as any apparent encroachments within and/or adjacent to the platted parcel.
- 3.) The locations of underground utilities shown hereon were compiled from observable surface evidence and mapping by others the actual locations are subject to field excavation.
- 4.) The data collected for utilities shown hereon were NOT demarcated by any Utility Locator Company.

**Graphic Barscale**  
One Inch = Twenty Feet



37 First Street, Camillus, New York 13031  
 Email: jrlandsurveying@aol.com  
 Phone: (315) 265-9621  
 Fax: (315) 320-4298

**J.R.L. Land Surveying PLLC**  
 James Richard Lighton New York State Licensed Land Surveyor #50609

I hereby certify that this map was made from an actual survey and same is correct. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 7 of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's linked seal or his embossed seal shall be considered to be true valid copies. Certifications shall run only to the person or entities for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2024, J.R.L. Land Surveying PLLC.

Map of Proposed Resubdivision on Part of Block No.22  
 Known as No.204 & No.210 Sixth North Street & 1101-05 Wolf Street, City of Syracuse, County of Onondaga State of New York.  
 Scale: 1" = 20' Date: 01-05-2024 Drawn By: J.R.L.  
 Revisions:



J.Ryan McMahon, II  
COUNTY EXECUTIVE

# Onondaga County Planning Board

## RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: April 17, 2024

OCPB Case # S-24-14

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a SUBDIVISION from the City of Syracuse Planning Commission at the request of Dennis Beaudette for the property located at 204 & 210 Sixth North Street and 1101-1105 Wolf Street; and
- WHEREAS, General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of Seventh North Street (Route 45), a county highway, and the municipal boundary between the City of Syracuse and the Town of Salina; and
- WHEREAS, the applicant is proposing to combine three parcels into one new lot, New Lot 1 (1.37 acres), in a Light Industry and Employment (LI) zoning district; and
- WHEREAS, the Board is concurrently reviewing a site plan referral (Z-24-99) to allow the conversion of the site into an Industrial Tire Warehouse; and
- WHEREAS, the Board previously held No Position regarding a project site review referral (Z-14-183) to demolish an existing commercial building, remove blacktop, and plant grass on the lot adjacent to the existing repair garage; and
- WHEREAS, the site is currently used for warehousing and storage along with two adjacent, vacant parcels at the corner of Sixth North and Wolf Streets on the Northside of the City of Syracuse; the site is located at the transition of residential to the commercial and industrial uses; surrounding uses include a parking lot, residential, a distribution company, and window and door supplier; and
- WHEREAS, the site will be the location of Industrial Tire Warehouse and contains two buildings, surrounded by outdoor storage from previous uses of the building; the site is located on the corner of Sixth North Street and Wolf Street with unrestricted access to Sixth North Street; per aerial imagery from May 2021, the City's right-of-way on Sixth North Street is currently used for parking; and
- WHEREAS, the applicant is proposing to renovate the site and expand the operation to incorporate two adjacent, vacant properties, to accommodate Industrial Tire Warehouse and Automobile Tire Retreading; per the local application, the existing building at the front of the site will have 4,000 sf at the rear of the building demolished to allow the construction of a 20,250 sf warehouse/manufacturing building along the Sixth North Street frontage; the rear building will be "converted into a temperature-controlled storage area for tire retreading adhesives"; the existing outdoor storage debris will be removed along with portions of the asphalt right-of-way on Sixth North Street; per the Site Plan dated 4/1/24, the entrance to the site will be constricted to a 24'-wide driveway providing access to a loading dock at the southeast of the proposed building and a 15-space parking lot to be constructed along the Wolf Street side of the building; the Site Plan also shows trees to be planted along road frontages, a landscaping buffer between the

parking lot and Wolf Street, and an evergreen landscape buffer between the northeast corner of the site and adjacent residential properties; and

WHEREAS, per the Map of Proposed Resubdivision on Part of Block No.22 dated 1/5/24, the existing warehouse site and two adjacent, vacant parcels will be combined into a 1.37-acre lot (New Lot 1); and

WHEREAS, per the Environmental Assessment Form (EAF) dated 2/19/24, 0.83 acres of the site will be disturbed by the proposed project; per the EAF, stormwater will be diverted to the “existing City of Syracuse Storm System”;  
ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the referral notice, the site is served by public drinking water; the proposed work may create an increase in demand; and

WHEREAS, per the referral notice, the site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant service area and the proposed work may result in an increase in use;  
ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects; the applicant must contact Plumbing Control to ensure appropriate permits are obtained;  
ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) may be required due to a possible increase in use; additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:  
<http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and

WHEREAS, the project is within 2,000 feet of multiple sites (IDs: 734004, 734123) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); and

WHEREAS, the site is located over, or immediately adjoining, primary and principal aquifers (per EAF Mapper); and

WHEREAS, the site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological site inventory (per EAF Mapper); and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has determined that said referral will have no significant adverse inter-community or county-wide implications and may consequently be acted on solely by the referring board.





Martin E. Voss, Chairman  
Onondaga County Planning Board

Jake Dishaw  
Zoning Administrator



300 South State St, Suite 700  
Syracuse, NY 13202

OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Schneid Construction Co Inc  
From: Haohui Pan, Zoning Planner  
Date: 4/29/2024 2:43:41 PM  
Re: Resubdivision R-24-21  
210 Sixth North St, Syracuse, 13208

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Zoning Planner	Pending	04/05/2024		The proposed lot complies with the design standard of the required lot width and size in IN Zone District.
Eng. Mapping - Zoning	Internal Review Complete	04/09/2024	Ray Wills	-The bearings for the streets in question AGREE with the Official City Records for the area. The Office of the City Engineer only verifies ROW bearings, not interior angles, bearings abutting neighboring properties or private easements. City Plat# 501
Finance - Zoning	Internal Review Complete	04/08/2024	Veronica Voss	204 Sixth North is GSPDC, no taxes due. 210 Sixth North is current, due for July. 1101-05 Wolf St & Sixth North is also GSPDC, no taxes due.
Eng Stormwater (SWPPP)- Zoning	Internal Review Complete	04/05/2024	Romeo Kpolo	Development on these lots will be treated as one project, as such the project shall be subject to the City's stormwater requirements & process and a SWPPP shall be required.
Eng Sewers- Zoning	Internal Review Complete	04/05/2024	Romeo Kpolo	Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. All installation & restoration work to be done to City of Syracuse specifications & details.
Eng. Design & Cons. - Zoning	Internal Review Complete	04/05/2024	Romeo Kpolo	Construction/development on the lots will be subject to the City plan review, approval and permitting process as applicable.
Planning Commission	Pending	04/05/2024		

## *Short Environmental Assessment Form*

### *Part 1 - Project Information*

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Industrial Tire Warehouse Expansion for Automobile Tire Retreading			
Project Location (describe, and attach a location map): 210 Sixth North St; 1101-05 Wolf St & Sixth North; 204 Sixth North st			
Brief Description of Proposed Action: This project involves the development of a new facility for retreading and storing automobile tires. The key elements include:  Site Consolidation: Three lots will be merged into a single lot. New Warehouse Construction: A 20,250 square foot warehouse/manufacturing building will be built to accommodate retreading operations and tire storage. Existing Building Re-Use: The existing 2,500 square foot building at the back of the property will be converted into a temperature-controlled storage area for tire retreading adhesives. Partial Demolition and Site Improvements: To make way for the new addition, a 4,000 square foot section of the existing building will be demolished. Additionally, the project will include: Creation of 15 new parking spaces, new landscaping and conversion of ROW asphalt to lawn.			
Name of Applicant or Sponsor: Dennis Beaudette		Telephone: 315-399-5335 E-Mail: indtirecny@yahoo.com	
Address: 1015 Hiawatha BLVD			
City/PO: Syracuse		State: NY	Zip Code: 13208
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: RE subdivision, Project Site Review from City of Syracuse			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.37 acres	
b. Total acreage to be physically disturbed?		.83 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.84 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

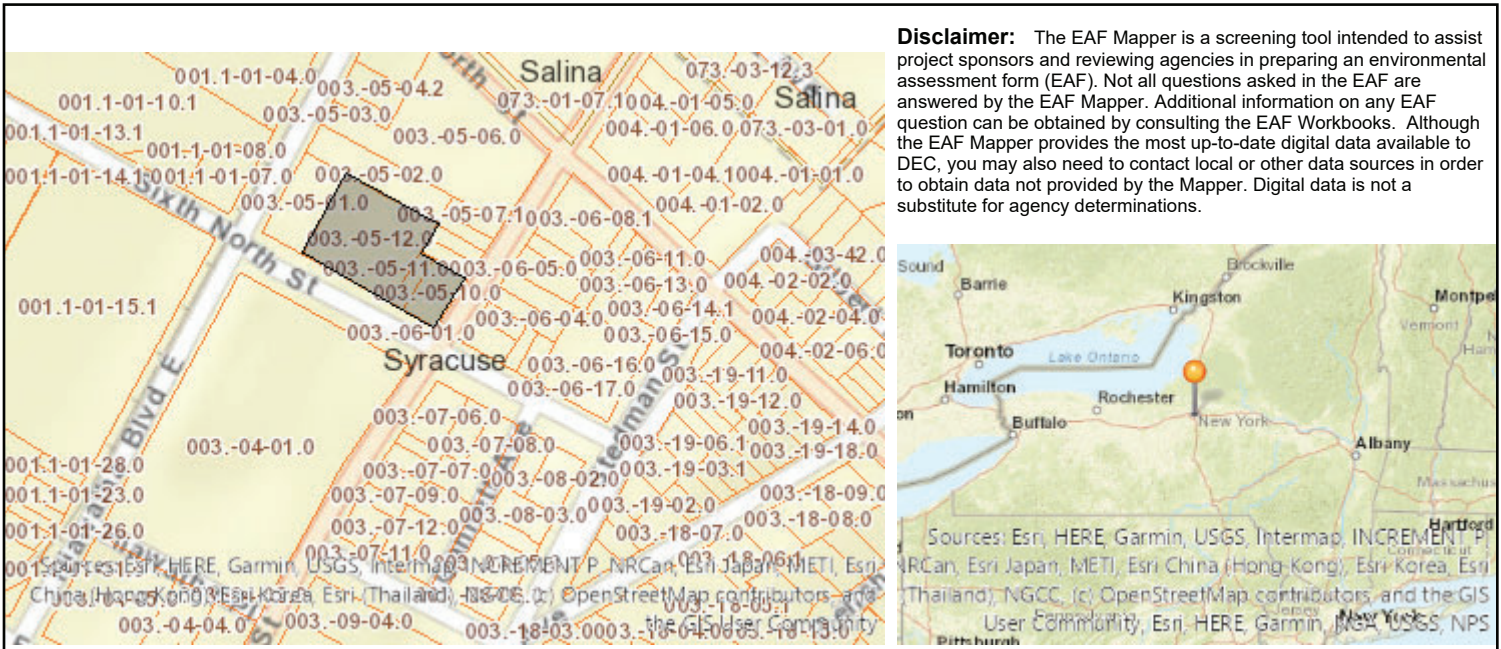


5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	



# EAF Mapper Summary Report

Monday, February 19, 2024 1:21 PM



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



**Project:** R-24-21 & MaSPR-24-12

**Date:** 5/21/2024

***Short Environmental Assessment Form  
Part 2 - Impact Assessment***

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**PRINT FORM**

Project: **R-24-21& MaSPR-24-12**  
 Date: **5/28/2024**

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Syracuse Planning Commission	5/28/2024
Name of Lead Agency	Date
Steven Kulick	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**