



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>SP-24-06</i>	<i>Staff Report – April 15, 2024</i>
<i>Application Type:</i>	Special Use Permit
<i>Project Address:</i>	1133-37 Salina St. S & Raynor Ave. E (Tax Map ID: 094.-19-11.0)
<i>Summary of Proposed Action:</i>	The applicant proposes to remove the on-site automobile repair use and expand the existing on-site convenience store into the space used for the automobile repair. The applicant also proposes to establish 6 on-site vehicle parking spaces (including 1 ADA parking space).
<i>Owner/Applicant</i>	Mark E Mondo (Owner) James Owen, JM Owen Design, LLC (Applicant)
<i>Existing Zone District:</i>	Mixed-Use Transition, MX-3 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north, east and west are the Mixed-Use Transition, MX-3 Zone District, and to the south is within the Neighborhood Center, MX-2 Zone District.
<i>Companion Application(s)</i>	MiSPR-24-14: interior and exterior build-out for an on-site convenience store.
<i>Scope of Work:</i>	Change the use in the space for auto repair services to a convenience store (retail use). Interior build-out for the convenience store includes eliminating 2 service repair bays and installing appliances for the store. Exterior build-out includes replacing the siding, installing new windows and doors, and establishing 6 on-site vehicle parking spaces.
<i>Staff Analysis:</i>	<p><u>Factors:</u></p> <ul style="list-style-type: none"> - This proposal converts the nonconforming auto repair use into a conforming retail use. - Less pollution is expected to be caused by the convenience store than the auto repair use. - The provided bike parking spaces provides convenience to the nearby bike trail. - The location of the proposed parking spaces does not conform to the Zoning Ordinance, no parking is allowed between the front façade of the building and the primary street frontage, which corner lots also have two primary street frontages. - The subject property is located in a flood plain area, while this property has impervious coverage at almost 100%. - The impervious surface coverage is a legal non-conforming site feature because previous Special Use Permits approved site plans that covered the entire lot. - They are required to apply for a Use Variance to allow parking within the front setbacks. <p><u>Suggested Conditions:</u></p> <ul style="list-style-type: none"> - Vehicles parking shall not encroach into the sidewalks. - Buffers (landscaped or fencing) shall be provided to prevent cars from parking on the sidewalk and within the ROW along E. Raynor St.
<i>Zoning Procedural History:</i>	<ul style="list-style-type: none"> - SP-76-11 Special Use Permit. Initial approval to convert all pump islands from regular to full service. Approved on 4/27/1976 by CPC. - SP-76-11 Special Use Permit. Non-substantial change to convert full-service gas station to self-service gas station and install signs. Approved on 8/3/1976 by CPC. - SP-76-11 Special Use Permit. Non-substantial change to install a

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	13.5-foot-high pump island canopy. Approved on 3/1/1977 by CPC.
Summary of Zoning History:	All the pump islands of gas station at 1133-37 Salina St S & Raynor Ave E were converted into full service in 1976. 2 months after the approval, the gas station was converted into a self-service gas station. In 1977, the installation of a pump island canopy for the gas station was approved.
Code Enforcement History:	See attached code enforcement history.
Zoning Violations:	- The proposed parking spaces are located between the building's front façade and public right-of-way in MX Zone District, which is prohibited by ReZone, Art. 4, Sec. 4.4F(4)c.
Summary of Changes:	This is not a continued application.
Property Characteristics:	The subject property is regular in shape with 100.00 feet of frontage on South Salina Street and 89.70 feet of frontage on East Raynor Street.
SEQR Determination:	Pursuant to the 6 NYCRR §617.5(c)(18), the proposal is a Type II Action.
Onondaga County Planning Board Referral:	Pursuant to GML §239-l, m and n, the proposal meets the criteria to be referred to the Onondaga County Planning Board. The Board has no opposition against the proposal but has following comments: - The Board strongly encourages the City and applicant to work to minimize pavement and to incorporate green infrastructure where possible, in order to minimize stormwater runoff from such an intensely impervious surface

Application Submittals: The application submitted the following in support of the proposed project:

- Special Use Permit application
- Short Environmental Assessment Form Part 1
- Property survey map. Location Survey in Part of Block 386, City of Syracuse. Known as 1127 South Salina Street, 1044 Montgomery Street, 1046 Montgomery Street & 113 East Raynor Street or 1058 Montgomery Street, City of Syracuse, County of Onondaga, New York; Licensed Land Surveyor: Douglas R. Lehr, LEHR Land Surveyors D.P.C.; Scale: 1" = 20', Drawn by: GCH; Date: 12/14/2023.
- Site Plan (Sheet A0.2), prepared by JM Owen Design, LLC; Scale: 1" = 20'; Date 4/4/2024.
- Floor Plan (Sheet A1 to A3), prepared by JM Owen Design, LLC; Scaled as noted; Date 4/4/2024.
- Elevation Plan (Sheet A3), prepared by JM Owen Design, LLC; Scale: 1/4" = 1'; Date 4/4/2024.

Attachments:

Special Use Permit Application

Short Environmental Assessment Form Part 2 & Part 3

OCPB comments

Code Enforcement History

IPS Comments from City Departments

SP-24-06

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

SP-24-06

Figure 2: Aerial Imagery of Subject Property

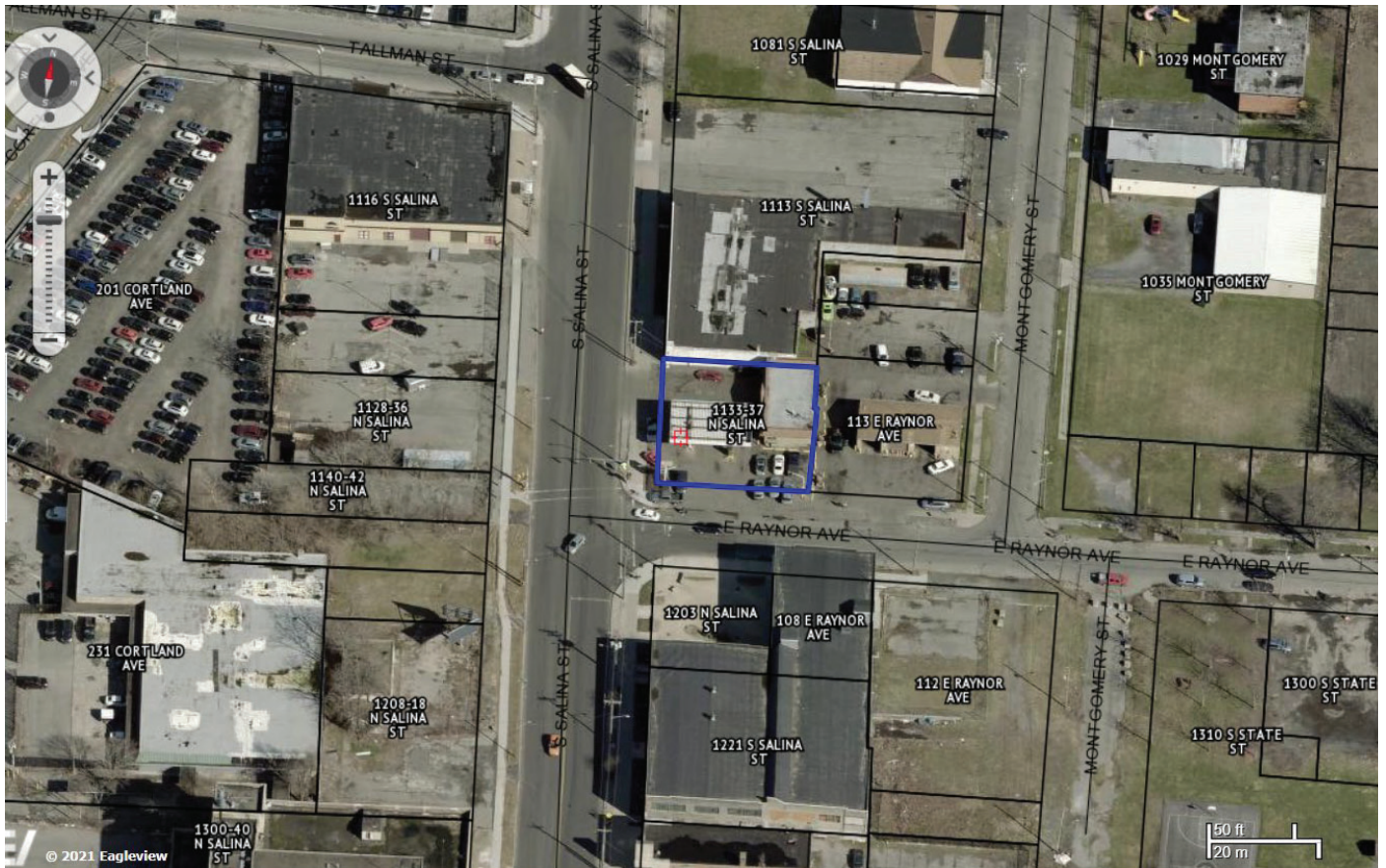


Image Source: EagleView US, <https://explorer.eagleview.com/index.php>

Special Use Permit Application



For Office Use Only		
Zoning District:	_____	
Application Number:	SP-_____ - _____	
Date:	_____	

Office of Zoning Administration
 One Park Place, 300 S State St,
 Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syrgov.net

Special Use Permit Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name: Ed Mondo's		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 1133-37 Salina St S (aka 1127 S Salina St)		
Lot numbers:	Block number:	Lot size (sq. ft.) 8,970
Current use of property: gas station/retail & auto repair		Proposed: gas station/retail
Current number of dwelling units (if applicable): n/a		Proposed:n/a
Current hours of operation (if applicable): 5am-12am		Proposed: 5am-12am
Current onsite parking (if applicable): 3+6 at gas pumps		Proposed: 6+6 at gas pumps
Zoning (base and any overlay) of property: MX-3		
Companion zoning applications (if applicable, list any related zoning applications):		
Has the owner obtained a certificate of use: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size:	Type:	Location:
Size:	Type:	Location:
Nature and extent of Special Use requested (attach additional pages if necessary):		



Site Plan Review Application

Office of Zoning Administration
 300 S State St, Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syr.gov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

Print owner's name: MARK E MONDO	
Signature: <i>Mark E Mondo</i>	Date: 03/01/2024
Mailing address: 4901 MACgregor LANE	
Print authorized agent's name: James Owen	
Date: 02/26/2024	
Signature: <i>James Owen</i>	
Mailing address: 207 Maple Dr, Fayetteville, NY 13066	
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.	

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- APPLICATION** – filled out completely, dated, and signed by property owner as instructed
- STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR)** – Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
- PHOTOGRAPHS (COLOR) of the PROJECT SITE** – keyed to a property survey or site plan
- PHOTOGRAPHS (COLOR) of the STREETScape** – including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
- APPLICATION FEE** – \$0

Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, **separate site plan review applications must be submitted for each project site.** Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below:

- AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
- SITE PLAN(S)** illustrating site alterations and post project conditions that are/will be different from the as built property survey including:
 - Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
 - Demolitions and post demolition conditions
 - Structures
 - Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage

Short Environmental Assessment Form

Part 1 - Project Information

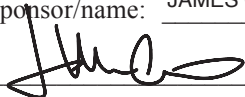
Instructions for Completing

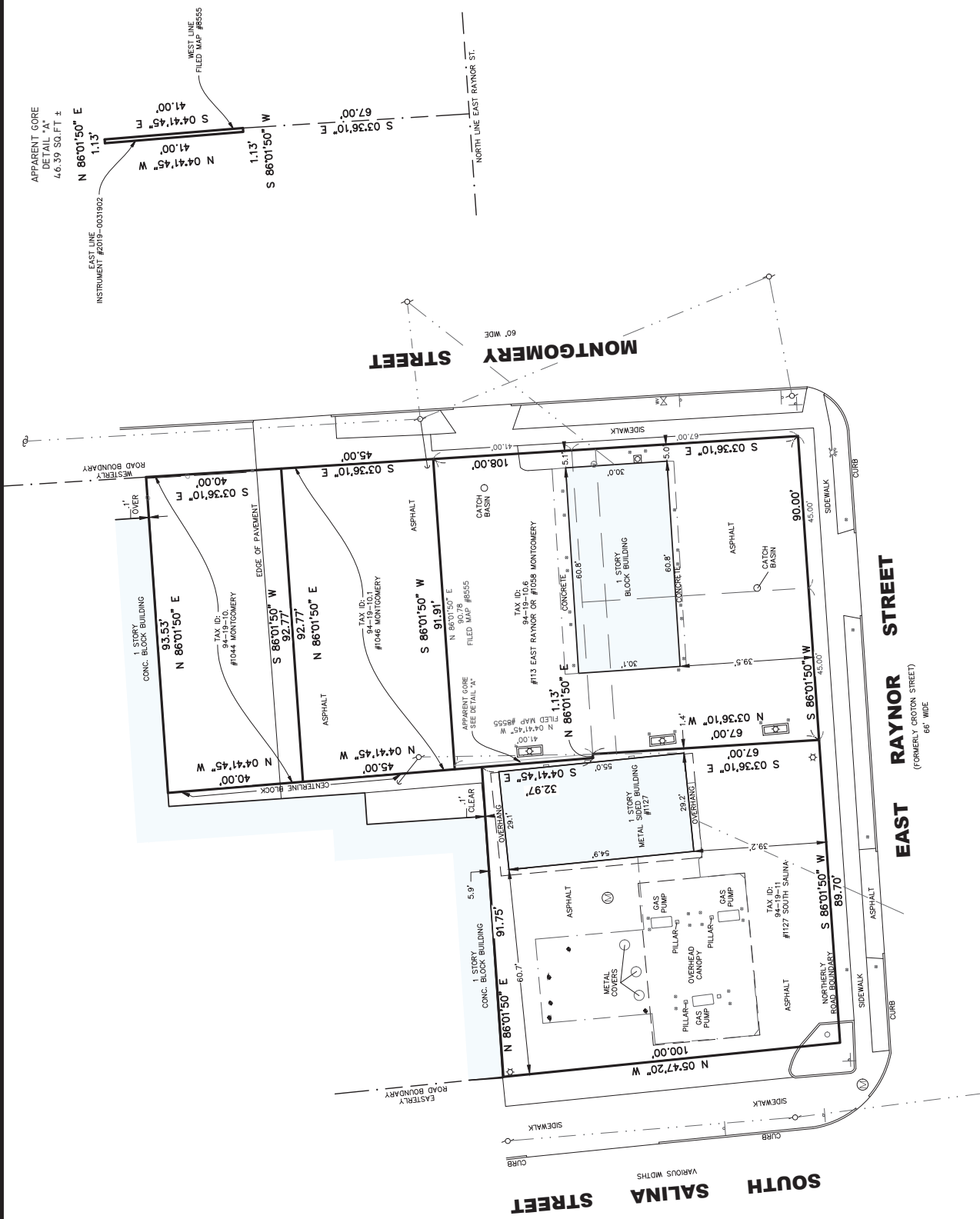
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 1127 S SALINA ST IMPROVEMENTS			
Project Location (describe, and attach a location map): 1127 S SALINA ST, SYRACUSE, NY			
Brief Description of Proposed Action: ALTERATIONS TO EXISTING GAS STATION/RETAIL WITH AUTO REPAIR SERVICE. ALTERATIONS INCLUDE ELIMINATING 2 SERVICE REPAIR BAYS AND EXPAND EXISTING RETAIL INTO THAT AREA. ADDITIONAL WORK INCLUDES EXTERIOR FACADE IMPROVEMENTS AND PROVIDE ADDITIONAL ONSITE PARKING SPACES. NO OTHER ALTERATIONS ARE PROPOSED TO SITE.			
Name of Applicant or Sponsor: JAMES OWEN		Telephone: 315 952-6652 E-Mail: JAMES@JMOWENDESIGN.COM	
Address: 207 MAPLE DR			
City/PO: FAYETTEVILLE		State: NY	Zip Code: 13066
1. <u>Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?</u>		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. <u>Does the proposed action require a permit, approval or funding from any other government Agency?</u>		NO	YES
If Yes, list agency(s) name and permit or approval: CITY OF SYRACUSE BUILDING PERMIT		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. <u>Total acreage of the site of the proposed action?</u>		.206 acres	
b. <u>Total acreage to be physically disturbed?</u>		0 acres	
c. <u>Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?</u>		.614 acres	
4. <u>Check all land uses that occur on, are adjoining or near the proposed action:</u>			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. <u>A permitted use under the zoning regulations?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. <u>Consistent with the adopted comprehensive plan?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. <u>Is the proposed action consistent with the predominant character of the existing built or natural landscape?</u>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. <u>Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</u> If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. <u>Will the proposed action result in a substantial increase in traffic above present levels?</u> b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. <u>Does the proposed action meet or exceed the state energy code requirements?</u> If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. <u>Will the proposed action connect to an existing public/private water supply?</u> If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. <u>Will the proposed action connect to existing wastewater utilities?</u> If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. <u>Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</u> b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <ul style="list-style-type: none"> a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: EXISTING RUNOFF WILL RUN TO EXISTING STREET GUTTERS & PORIOUS ASPHALT SURFACES ADJACENT TO EXISTING SIDEWALKS		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: <u>JAMES OWEN</u> Date: <u>02/15/24</u></p> <p>Signature:  Title: <u>PROJECT DESIGNER</u></p>		



Only survey maps with the Land Surveyor's embossed seal are genuine true and correct copies of the surveyor's original work and opinion. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7205, sub-section 2, of the New York State Education Law. This map was prepared for the use of the person(s) named herein and is not to be used for any other purpose without the written consent of the surveyor. The surveyor is not responsible for any errors or omissions in this survey or for any consequences arising therefrom, and the user of this survey is advised to verify the accuracy of the information shown hereon and to the assignees of the lending institution and/or subsequent owners.

This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain a loan for any subsequent or future grantee.

Survey prepared without the benefit of an abstract.

Location surveys do not include the staking of the property corners except as shown.

No.	DATE	DESCRIPTION	BY

LAND SURVEYORS P.C.

116 SALINA STREET - SUITE 1068
 LIVERPOOL, NEW YORK 13088
 315-451-3333
 info@landsurveyorspc.com

931012

I HEREBY CERTIFY THAT THIS IS AN ACCURATE MAP MADE FROM AN ACTUAL SURVEY.

DOUGLAS R. LEHR
 LICENSED LAND SURVEYOR
 #1660

LOCATION SURVEY IN PART OF BLOCK 386, CITY OF SYRACUSE

KNOWN AS 1127 SOUTH SALINA STREET, 113 EAST RAYNOR STREET, 1044 MONTGOMERY STREET, MONTGOMERY STREET, CITY OF SYRACUSE, COUNTY OF ONONDAGA, NEW YORK

FIELD DATE: 05 DECEMBER 2023
 MAP DATE: 14 DECEMBER 2023
 REVISIONS: 14 DECEMBER 2023

SCALE: DRAWN BY: CCH
 DRAWING No. 23-K-29



PROJECT NAME
MONDO'S
 CONVENIENCE
 STORE
 Alterations

PROJECT ADDRESS
 1127 S. Salina Street
 Syracuse, New York

ARCHITECT OF RECORD
 Rod VanderWater, P.C.
 115 Morgan Road
 Liverpool, New York 13084

DRAWING ISSUE
 DRAWN BY: JMO
 CHECKED BY: JMO
 BUILDING DEPARTMENT: 03/19/24
 110 STEEL PLAN REVIEW: 04/01/24

SHEET INFORMATION
 PROJECT NO.: 1802020
 SHEET NO.: 213002
 DATE: 03/19/24

PAGE TITLE
 TITLESHEET - CODE
 REVIEW

A0

MONDO'S SOUTH SIDE GAS & CONVENIENCE STORE

PROJECT DIRECTORY

OCCUPANT:
 MONDO'S SOUTH SIDE SERVICE, LLC
 1127 S. SALINA STREET
 SYRACUSE, NY 13202
 O. 315 475-7484

DESIGNER:
 J.M. O'NEIL DESIGN, LLC
 107 MARPLE DRIVE
 SYRACUSE, NY 13066
 O. 315 452-6652

CONTRACTOR:
 TBD

ARCHITECT OF RECORD:
 ROD VANDERWATER, P.C.
 115 MORGAN ROAD
 LIVERPOOL, NY 13084
 O. 315 472-0846

CODE INFORMATION

MUNICIPALITY: CITY OF SYRACUSE, NEW YORK
 SCOPE OF WORK: LEVEL 2 ALTERATIONS TO EXISTING SINGLE TENANT, SINGLE STORY MASONRY DETACHED BUILDING. WORK INCLUDES: REPAIRS TO EXISTING ROOFING SYSTEM, REPAIRS TO EXISTING CEILING FINISHES, NEW EQUIPMENT SHALL INCLUDE BEVERAGE COOLERS, MERCHANDISE COOLERS, COFFEE SERVICE COUNTER & CUSTOMER SERVICE COUNTER. ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING & LIFE SAFETY SYSTEMS TO BE ADAPTED AS REQUIRED BY NEW TENANT LAYOUT.
 CONSERVATION CODE: 2020 NYS FIRE CODE, 2020 NYS PLUMBING CODE, 2020 NYS MECHANICAL CODE AND 2020 NYS ENERGY CONSERVATION CODE

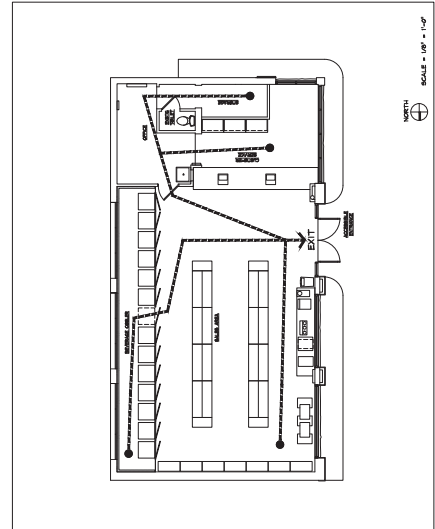
CODE REVIEW	REFERENCE	PROVIDED	REQ'D / ALLOWED
TENANT AREA:		APPROX. 1,405 USABLE SF	
CONSTRUCTION TYPE:	BC601	TYPE III-A PROTECTED	
USE GROUP - PARTIAL CHANGE OF USE:	BC609	"M" MERCANTILE	"M" MERCANTILE
OCCUPANT LOAD:	BC1004.5	TOTAL = 118 OCC	TOTAL = 118 OCC
			MERCANTILE 100/99/100 + 17 STORAGE 200/100 = 11

PARTIAL CHANGE OF OCCUPANCY:	REQUIREMENT	1 ACTUAL	1 REQUIRED
MITIGATION SEPARATION:	IBC101.1.1.1	NO	NO
AUTOMATIC SPRINKLER SYSTEM:	BC909.2.7	NO	NO
FIRE ALARM SYSTEM:	BC907.2.7	NO	NO
CARBON MONOXIDE DETECTION:	FC19.3	YES	YES
NUMBER OF EXITS:	IBC101.3/BC101.2.1	1 ACTUAL	1 REQUIRED
TRAVEL DISTANCE:	BC101.3/BC101.2.1	APPROX. 50'	75' MAX. ALLOWED
EGRESS COMPONENT WIDTH:	BC101.3/BC101.2.1	72" ACTUAL	72" ACTUAL
ENERGY CONSERVATION:	BC609	NEW STOREFRONT WINDOWS & DOORS COMPLY WITH EXISTING INSULATION & WALL & CLG TO REMAIN	EXISTING INSULATION & WALL & CLG TO REMAIN
PLUMBING FIXTURES:	PC409.2	1 - EXIST'G UNISEX	1 - UNISEX

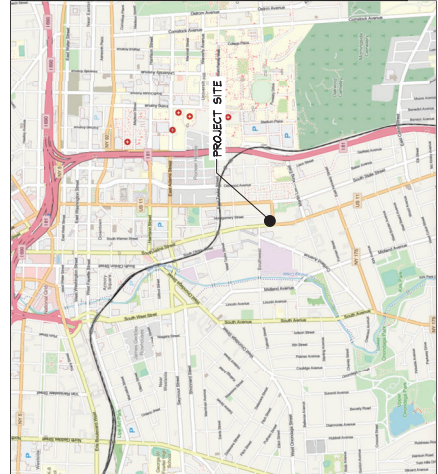
DRAWING INDEX

#	SHEET	DESCRIPTION	ISSUED	REVISED	PERMIT
1	AO	COVER SHEET	02/08/24		02/14/24
2	AS	EXTERIOR ELEVATIONS	02/08/24		02/14/24
3	AS	EXTERIOR ELEVATIONS	02/08/24	04/04/24	02/14/24
4	AI	CONSTRUCTION & DEMOLITION PLANS	02/08/24		02/14/24
5	AS	EQUIPMENT PLAN & POWER PLAN	02/08/24		02/14/24
6	AS	EXTERIOR ELEVATIONS	02/08/24	03/19/24	02/14/24

EGRESS DIAGRAM



LOCATION MAP





MONDO'S CONVENIENCE STORE

PROJECT ADDRESS: 121 S. 34th Street, Syracuse, NY, 13204

ARCHITECT OF RECORD: Rothman/Winter P.C., 300 Washington Street #18, Syracuse, NY, 13202

DATE: 02/20/2014

SHEET INFORMATION: Project No: 13092020, Date: 02/20/14, Page Title: GENERAL NOTES

A0.1

SYMBOLS

Table with 3 columns: SYMBOL, PARTITION TYPE, and ALIAS. Includes symbols for wall, door, window, and various ceiling types.

ABBREVIATIONS

Table with 2 columns: ABBREVIATION and DESCRIPTION. Lists abbreviations like AC, AD, AL, and their meanings.

LOSS PREVENTION

GENERAL: MILLWORK SUBCONTRACTOR TO SUPPLY LOCKS FOR ALL CABINETS SPACE KEY.

ABBREVIATIONS

Table with 2 columns: ABBREVIATION and DESCRIPTION. Lists abbreviations like AC, AD, AL, and their meanings.

ENGINEERS

- 1. SPINFLER REAR SHALL BE RECESSED IN CEILING ONLY. ALL SPINFLER REAR SHALL BE LOCATED WITHIN THE CEILING TRUSS SYSTEM AS APPLICABLE.
2. SPINFLER REAR LOCATIONS FOR SPIN AND APPROVAL BY ARCHITECT AND MILLWORKER SHALL BE DETERMINED BY ARCHITECT. APPROVAL SHALL BE OBTAINED BY ARCHITECT.

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ENGINEERS

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2. SPINFLER REAR LOCATIONS FOR SPIN AND APPROVAL BY ARCHITECT AND MILLWORKER SHALL BE DETERMINED BY ARCHITECT. APPROVAL SHALL BE OBTAINED BY ARCHITECT.

ENGINEERS

- 1. SPINFLER REAR SHALL BE RECESSED IN CEILING ONLY. ALL SPINFLER REAR SHALL BE LOCATED WITHIN THE CEILING TRUSS SYSTEM AS APPLICABLE.
2. SPINFLER REAR LOCATIONS FOR SPIN AND APPROVAL BY ARCHITECT AND MILLWORKER SHALL BE DETERMINED BY ARCHITECT. APPROVAL SHALL BE OBTAINED BY ARCHITECT.

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ENGINEERS

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GENERAL NOTES

- 1. ALL MILLWORK SHALL BE FABRICATED AND INSTALLED BY A QUALIFIED MILLWORKER AND APPROVED BY THE ARCHITECT. MILLWORK SHALL BE FABRICATED IN A FABRICATOR'S SHOP. MILLWORK SHALL BE SHIPPED TO THE PROJECT SITE IN A CONTAINER THAT IS PROTECTED FROM DAMAGE. MILLWORK SHALL BE STORED IN A DRY, PROTECTED AREA. MILLWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. APPROVAL SHALL BE OBTAINED BY ARCHITECT.

GENERAL NOTES

- 1. ALL MILLWORK SHALL BE FABRICATED AND INSTALLED BY A QUALIFIED MILLWORKER AND APPROVED BY THE ARCHITECT. MILLWORK SHALL BE FABRICATED IN A FABRICATOR'S SHOP. MILLWORK SHALL BE SHIPPED TO THE PROJECT SITE IN A CONTAINER THAT IS PROTECTED FROM DAMAGE. MILLWORK SHALL BE STORED IN A DRY, PROTECTED AREA. MILLWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. APPROVAL SHALL BE OBTAINED BY ARCHITECT.



MONDO'S CONVENIENCE STORE Alterations

PROJECT ADDRESS: 107 SOUTH SALINA STREET SYRACUSE, NEW YORK

ARCHITECT OF RECORD: BOB WINDOM/OWEN P.C. 107 S. SALINA STREET SYRACUSE, NEW YORK

DRAWN FOR: OWEN CONSULTING INC. 107 SOUTH SALINA STREET SYRACUSE, NEW YORK

SHEET INFORMATION: Project No. 19092021, Date: 02/14/24, Project Name: MONDO'S CONVENIENCE STORE, Drawing: 01, Page Title: SITE PLAN

A0.2

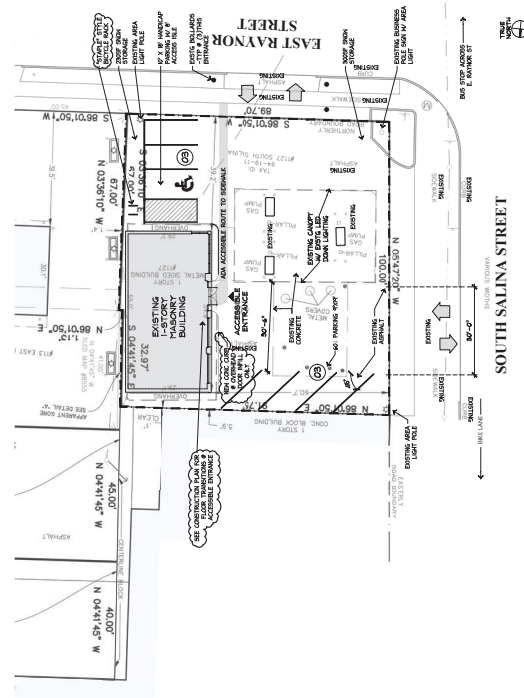
Copyright © 2024 by J.M. Owen Consulting, Inc.

SITE INFORMATION: ADDRESS: 107 SOUTH SALINA STREET, TAX ID: 04-1-010-0, ZONE: PK-3 THRU-USE TRANSITION, CURRENT USE: GAS STATION/RETAIL & AUTO REPAIR, SPECIAL USE: AUTO REPAIR, STATEMENT OF USE: APPLICANT IS SEEKING MINOR MODIFICATION TO SPECIAL USE PERMIT & APPROVAL TO PROVIDE ADDITIONAL PARKING FOR EXPANDED RETAIL AREA.

GENERAL SITE PLAN NOTES: 1) EXISTING SITE TO REMAIN AS-IS, EXCEPT AS STATED BELOW, 2) EXISTING SERVICE BAYS TO BE CONVERTED TO ADDITIONAL CUSTOMER SALES AREA, 3) EXISTING BUILDING TO RECEIVE HIGH EXTERIOR FINISHES (SEE MONDO'S STORE SPECIFICATIONS), 4) EXISTING PAVED SURFACES INCLUDE ASPHALT, CONCRETE AND POROUS ASPHALT TO REMAIN AS-IS, 5) ADDITIONAL PARKING SPACES TO BE ADDED TO EXISTING PAVED SURFACES, 6) EXISTING UNPAVED SURFACES TO BE REPAIRED AND IMPROVED, 7) EXISTING LIGHTING TO REMAIN AS-IS (AS COORDINATED BY MUNICIPAL ENGINEER/PROJECT).

PARKING REQUIREMENTS: ON-SITE PARKING REQUIRED: (4) SPACES, 1,425 GROSS BUILDING AREA, (3) PARKING SPACES, (3) 2-BAY GAS PUMPS, (6) PARKING SPACES, (BASED ON 1 SPACE PER PUMP PLUS 1 SPACE PER 400 SQ FT BUILDING AREA (RETAIL, OFFICE, SERVICE, FOOD SERVICE)), ON-SITE PARKING PROVIDED: (2) SPACES, (3) 2-BAY ANGLED SPACES, (3) 2-BAY GAS PUMPS, (6) PARKING SPACES, (8) 2-BAY GAS PUMPS, (6) ACCESSIBLE SPACES AT GAS PUMPS.

OFF-SITE PARKING AVAILABLE (LOTION 2,000 LEVEL): (7) SPACES, (8) WEST SIDE OF SOUTH SALINA, (2-4) PARKING COUNTS 1 BLOCK NORTH & 1 BLOCK SOUTH OF PROPERTY ALONG S. SALINA, REQUIRED ASPHALT STORAGE: 4,000 SF, UNCOVERED PAVED AREA: 400 SF (OR), STORAGE AREA REQUIRED: 400 SF (OR), STORAGE AREA PROVIDED: 800 SF.



1. SITE PLAN 1/8" = 20'-0"



3. EXISTING SITE: VIEW LOOKING EAST (WEST ELEVATION)



2. EXISTING SITE: VIEW LOOKING EAST



5. EXISTING SITE: VIEW LOOKING NORTH



4. EXISTING SITE: VIEW LOOKING NORTH (SOUTH ELEVATION)



MONDO'S CONVENIENCE STORE
Alterations

PROJECT ADDRESS
1127 S. Salina Street
SYRACUSE, NEW YORK

ARCHITECT OF RECORD
RSD WARD/WHITNEY P.C.
150 Morgan Road Liverpool, NY

DRAWING TITLE
DRAWING NO.
DATE
DESIGNED BY
CHECKED BY
IN CHARGE
PROJECT MANAGER

SHEET INFORMATION
PROJECT NO.
DATE
DRAWING NO.
PAGE NO.
PAGE TITLE
CONSTRUCTION -
DEMOLITION PLANS

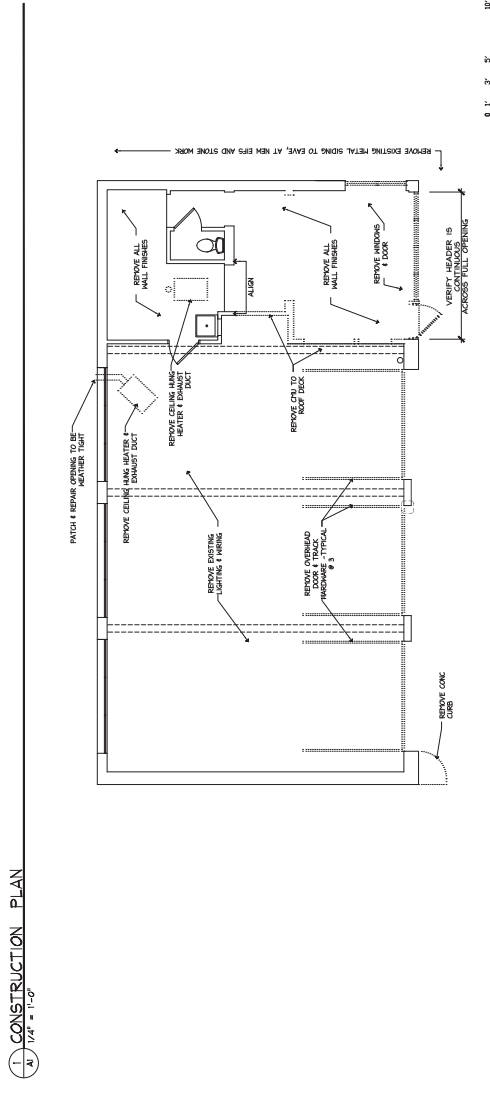
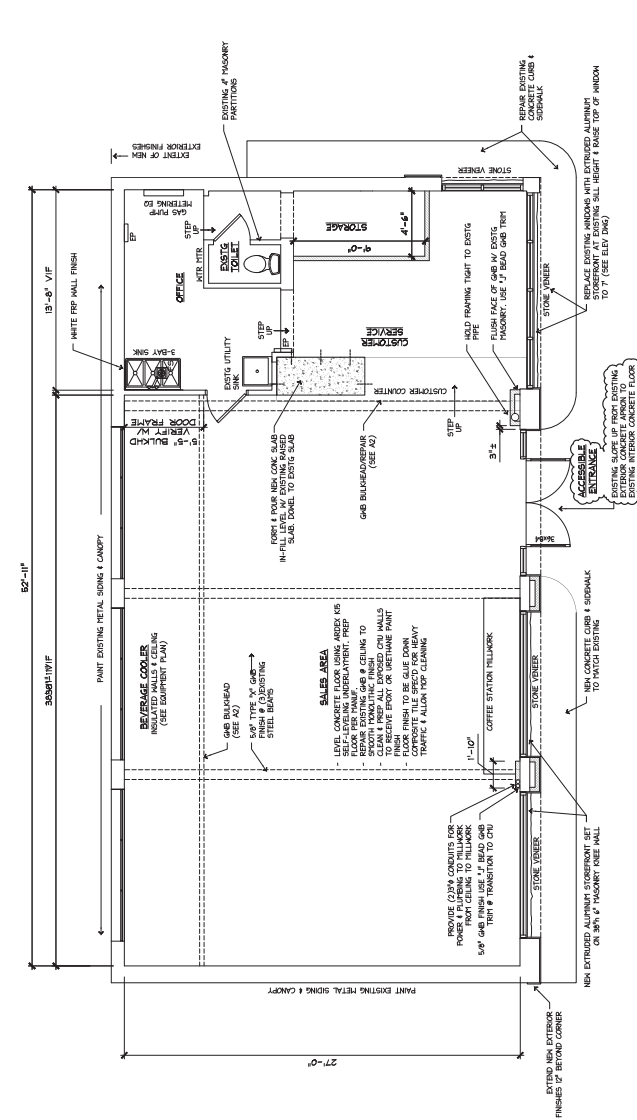
A1

- GENERAL CONSTRUCTION PLAN NOTES:**
1. ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH THE OFFICIAL COMPILATION OF CODES, RULES, AND REGULATIONS OF THE STATE OF NEW YORK AND OTHER AGENCIES HAVING JURISDICTION OVER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING AND PREMISES. THE CONTRACTOR IS TO VERIFY THE INTEGRITY OF ALL EXISTING EXPOSED STRUCTURAL MEMBERS, INCLUDING THE SUBSTRUCTURE, BEFORE ANY DEMOLITION OR ALTERATION IS PERMITTED TO BE COMMENCED OR DISMISSED IN ANY WAY.
 2. DEMOLITION CONTRACTOR SHALL FULLY FAMILIARIZE HIMSELF WITH ALL ASPECTS OF ANY NEW STRUCTURAL MEMBERS TO BE INSTALLED AND THE RESPONSIBILITY OF SURETY WITH ALL DEMOLITION OPERATIONS.
 3. ALL WORK SHALL BE PERFORMED IN THE BEST WORKMANLIKE MANNER AND IN ACCORDANCE WITH THOSE PRACTICES NORMAL AND ACCEPTABLE IN THE TRADE. IN ALL CASES, EXPERTS' PRESENTATIONS SHALL BE OBTAINED TO INSURE THE SAFETY TO PROPERTY AND PERSONS.
 4. REMOVE PORTIONS OF THE EXISTING EXTERIOR AND INTERIOR AS NOTED ON THE DRAWINGS TO ACCOMMODATE NEW STRUCTURE AND TO MAINTAIN THE EXISTING CONDITION OF THE EXISTING BUILDING.
 5. REMOVE OR RE-ROUTE ANY ELECTRICAL DISTRIBUTION TRUNKS, CIRCUITS, PANELS, RECEPTACLES, OUTLETS, AND OTHER ELECTRICAL WORK.
 6. REMOVE OR RE-ROUTE ANY WATER SUPPLY LINES, DRAINS, AND OTHER UTILITIES TO BE USED.
 7. UNDER NO CIRCUMSTANCES SHALL THE HANDLING, REMOVAL OR DISPOSAL OF ANY HAZARDOUS MATERIALS BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER HANDLING AND DISPOSAL OF ANY HAZARDOUS MATERIALS ENCOUNTERED AND PROCEED ONLY WHEN AND AS DIRECTED BY THE OWNER.

CONSTRUCTION PLAN LEGEND

Type	Description
	NEW WALL FINISH (EXTERIOR TO CEILING ABOVE, INTERIOR TO FINISH SYSTEM)
	EXTERIOR DETAIL FRAMING
	EXISTING CMU WALLS AND PARTITIONS

Item	Description
	ABOVE, BELOW OR RETROFIT
	EXISTING DOOR
	NEW DOOR



1. CONSTRUCTION PLAN
1/4" = 1'-0"

2. DEMOLITION DIAGRAM
3/16" = 1'-0"



MONDO'S CONVENIENCE STORE
Alterations

PROJECT ADDRESS
1127 S. Shaina Street
Syracuse, New York

ARCHITECT OF RECORD
RDM VanDyke P.C.
751 Morgan Road, Liverpool, NY

DATE
10/27/2023
DRAWN BY
JMK/AMM
CHECKED BY
JMK/AMM

SHEET INFORMATION
Project Name: 100000000
Project No.: 23062
Drawing: 70
SHEET TITLE: REFLECTED CEILING PLAN

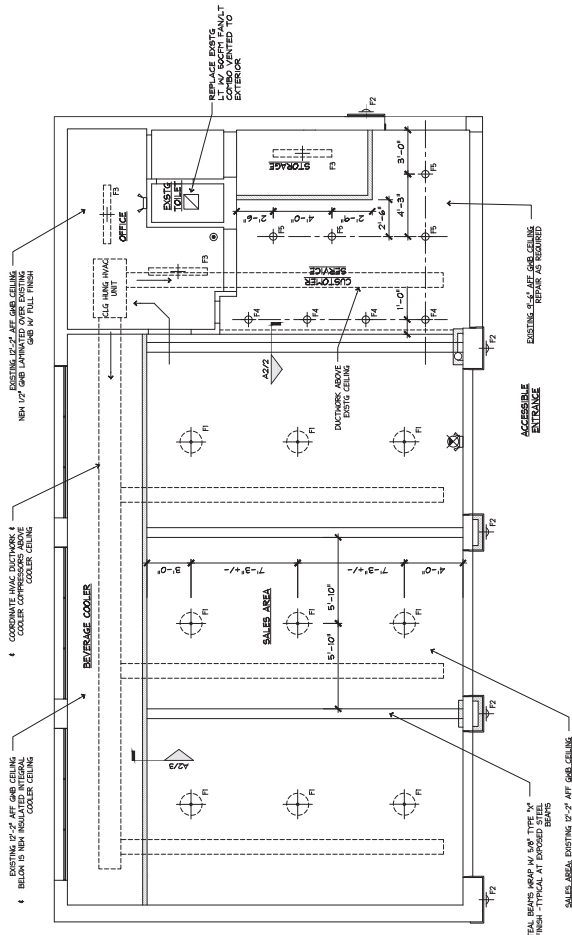
A2

GENERAL CEILING PLAN NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR'S OBLIGATION TO OBTAIN ALL NECESSARY APPROVALS, PERMITS, AND INSPECTIONS SUBMITTED BY LOCAL AND STATE CODES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS, PERMITS, AND INSPECTIONS SUBMITTED BY LOCAL AND STATE CODES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS, PERMITS, AND INSPECTIONS SUBMITTED BY LOCAL AND STATE CODES.
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8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS, PERMITS, AND INSPECTIONS SUBMITTED BY LOCAL AND STATE CODES.

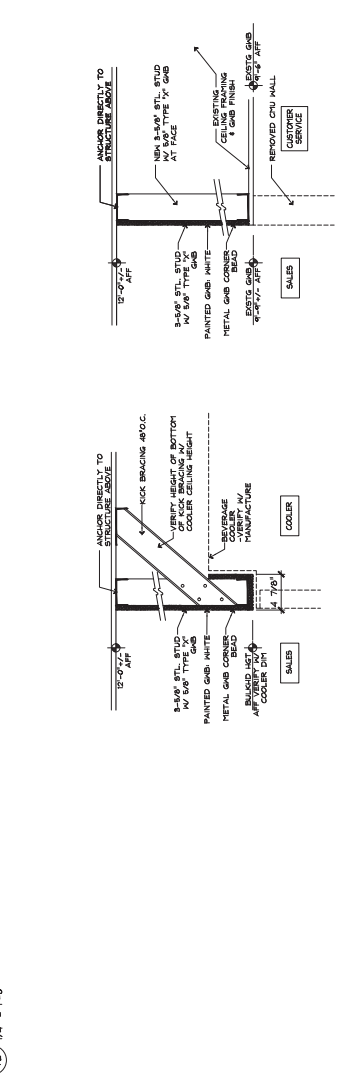
CEILING PLAN LEGEND

Symbol	Description
[Symbol]	ILLUMINATED DOT SIGNAL SHARED QUADRANT INDICATES LIGHTED FACE DIRECTIONAL ARROWS INDICATED HERE REQUIRED
[Symbol]	HALL MOUNTED PENDENT LIGHTING FIXTURE
[Symbol]	50 CFT MIN BATHROOM EXHAUST FAN VENTED TO EXTERIOR
[Symbol]	CEILING SUSPENDED LED 3000K PENDENT FIXTURE
[Symbol]	MALL MOUNTED EXTERIOR LED 3000K FIXTURE
[Symbol]	CEILING SUSPENDED LED 3000K LED STRIP FIXTURE
[Symbol]	RECEIVED LED 3000K FIXTURE
[Symbol]	RECEIVED LED 3000K FIXTURE
[Symbol]	CUSTOM MONITOR FIXTURE TO BE LOCATED BY CONTRACTOR PER THE PERMITS CODE



REFLECTED CEILING PLAN

EXISTING SITE PLAN FOR EXISTING SITE LIGHTING



REFLECTED CEILING PLAN

EXISTING SITE PLAN FOR EXISTING SITE LIGHTING



MONDO'S CONVENIENCE STORE
Alterations

PROJECT ADDRESS:
1127 S. Salina Street
SYRACUSE, NEW YORK

ARCHITECT OF RECORD:
RODMAN/WALKER, P.C.
101 Montgomery Street
Syracuse, NY

DATE:
PROJECT NO.:
DRAWING NO.:
REVISIONS:

PAGE TITLE:
EQUIPMENT - POWER PLAN

A3

Copyright © 2010 Rodman/Walker, P.C.

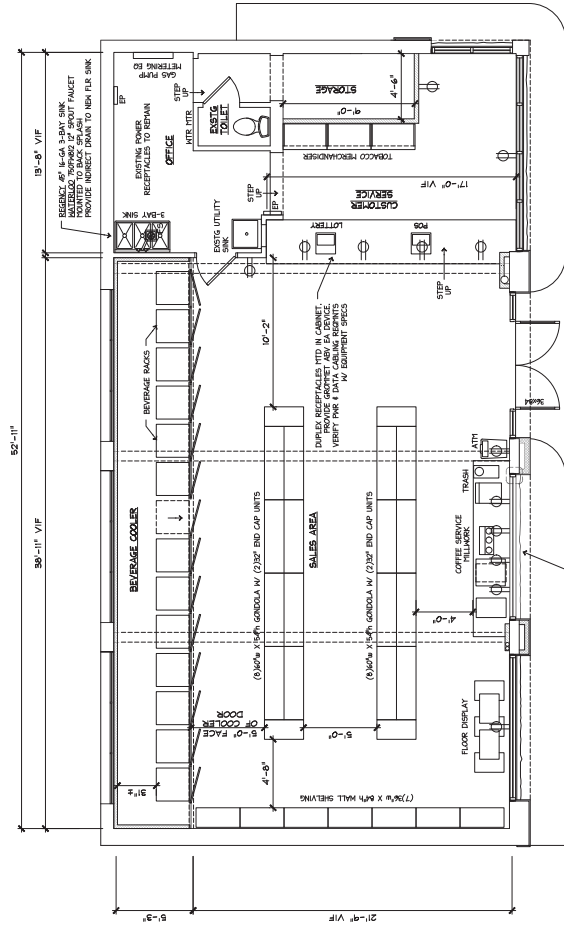
GENERAL POWER PLAN NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS, PERMITS, AND INSPECTIONS REQUIRED BY LOCAL AND STATE CODES.
2. THE EXISTING BREAKER PANELS ARE TO BE USED & NEW CIRCUITS ADDED AS REQUIRED. THE CONTRACTOR SHALL VERIFY THE EXISTING PANELS ARE PROPERLY RATED AND BALANCED LOADS FOR APPROVED ELECTRICAL SYSTEMS. REMOVE ALL POWER LON VOLTAGE WIRING NOT USED. RESPECT ALL ELECTRICAL SYSTEMS AND CORRECT ANY ITEMS THAT DO NOT MEET CURRENT CODES.
3. POWER POINTS SHOWN ON THE POWER PLAN ARE IN ADDITION TO EQUIPMENT REQUIREMENTS PER MANUFACTURER'S SPECIFICATIONS.
4. ALL ELECTRICAL RECEPTACLE DEVICES TO BE INSTALLED AT 8" AFF OR AS REQUIRED BY MANUFACTURER OR OTHER EQUIPMENT.
5. PUMPING OR HVAC RELATED ELECTRICAL PROVIDE & INSTALL ELECTRICAL DEVICES, WIRE & CIRCUIT BREAKER PER MANUFACTURER INSTRUCTIONS.
6. CONTRACTOR TO REMOVE ALL UNUSED ELECTRICAL WIRING, CONDUIT & JUNCTION BOXES BACK TO PANEL.

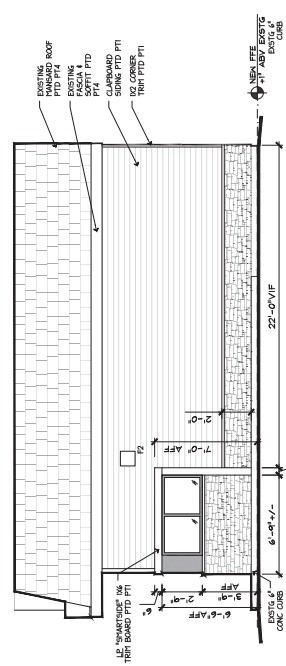
SYMBOL LEGEND

Item	Status or Requirement
⊕	NEW OR EXISTING ELECTRICAL OUTLET INSTALLED IN FLOOR FOR BOX AS RATED FOR FLOOR APPLICATION
⊖	GROUND FAULT INTERRUPTION DUPLEX ELECTRICAL OUTLET
⊕	ELECTRICAL OUTLET WHERE NUMBER INDICATES MOUNTING HEIGHT
⊕	DEDICATED DUPLEX ELECTRICAL OUTLET
⊕	EXISTING TO REMAIN
⊕	TRN (NPS) DUPLEX ELECTRICAL OUTLET
⊕	DATA OUTLET, POINT AT 8" AFF (ON)

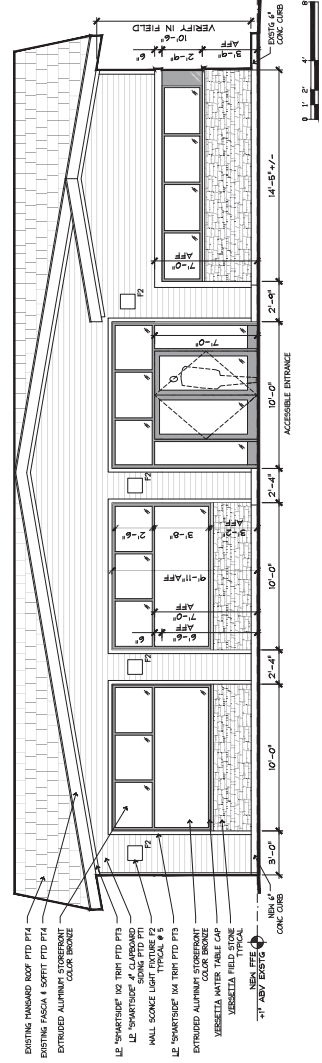
NOTE: ALL DEVICES TO BE POINTED 30" AFF TO CENTER OF DEVICE - UNLESS OTHERWISE NOTED.



1. EQUIPMENT PLAN
1/4" = 1'-0"



1. SOUTH ELEVATION
1/4" = 1'-0"



1. WEST ELEVATION
1/4" = 1'-0"

Agency Use Only [If applicable]

Project: SP-24-06

Date: 4/15/2024

Short Environmental Assessment Form

Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

PRINT FORM

Project:	SP-24-06
Date:	4/15/2024

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse City Planning Commission <hr/> Name of Lead Agency	4/15/2024 <hr/> Date
Steven Kulick <hr/> Print or Type Name of Responsible Officer in Lead Agency	Chairperson <hr/> Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<hr/> Signature of Preparer (if different from Responsible Officer)

PRINT FORM

ONONDAGA COUNTY

DEPARTMENT OF PLANNING



TO: Members, Syracuse City Planning Commission

FROM: Dan Kwasnowski, AICP Director *DK*
Onondaga County Department of Planning (OCDOP)

DATE: 3/20/2024

RE: Administrative Review – Ed Mondo’s Gas Station and Store

RECOMMENDATION: No Position

J. Ryan McMahon, II
County Executive

Daniel Kwasnowski, AICP
Planning Director

Per General Municipal Law, §§239-m and –n, and the Onondaga County Planning Board Rules of Procedure and Referral Policy, the Board may delegate review and recommendation on certain referral actions to the Director of the Onondaga County Department of Planning.

These actions, determined as being generally routine in nature with minimal and/or well-understood intercommunity or countywide concerns, are listed within the Rules of Procedure, and at this website:

<http://www.ongov.net/planning/ocpbpreferableactions.html>.

CASE NUMBER: Z-24-70

REFERRING BOARD: Syracuse City Planning Commission

DATE RECEIVED: 3/12/2024

TYPE OF ACTION: Special Permit

APPLICANT: James Owen

LOCATION: 1133-1137 South Salina Street

WITHIN 500’ OF: Centro Bus Garage (NYS owned)

TAX ID(s): 094.-19-11.0

RELATED CASES: Z-24-69

Please contact OCDOP staff at (315)435-2611 or countyplanning@ongov.net with any questions.

Project Summary:

The applicant is proposing to renovate a former auto repair and gas station facility into a convenience store and gas station at the corner of South Salina Street and Raynor Avenue, south of Downtown Syracuse. The existing facility contains an approximately 1,606 sf building located in the northeast corner, three gas pumps with an overhead canopy, and asphalt parking area extending to the property boundaries. The site has unrestricted access to both East Raynor Street and South Salina Street and informal parking around the property. The applicant will remove the existing service bay doors and expand the existing retail area to convert the whole building to a convenience store. Also proposed are façade improvements and striping of 6 parking spaces. Per the application, no other improvements or changes will be made to the site.

The entire site is located in the flood plain for Onondaga Creek and per the Environmental Assessment Form dated 2/15/24, stormwater “runoff will run to existing street gutter & porous asphalt surfaces adjacent to existing sidewalks.”

Recommendation: No Position with Comment

Comment:

The Board strongly encourages the City and applicant to work to minimize pavement and to incorporate green infrastructure where possible, in order to minimize stormwater runoff from such an intensely impervious surface.

City of Syracuse

Parcel History

01/01/1900 - 04/08/2024
Tax Map #: 094.-19-11.0
Owners: Mark Edward Mondo
Zoning: MX-3

Address	Date	Transaction	Transaction Type	Status	Description
1133-37 Salina St S & Raynor Ave	10/10/12	Permit Application	Electric	Issued	08762 SMARTWATT LIGHTING UPGRADE
1133-37 Salina St S & Raynor Ave	10/11/12	Inspection	Initial Inspection	Pass	
1133-37 Salina St S & Raynor Ave	01/18/13	Inspection	Final Inspection	Pass	
1133-37 Salina St S & Raynor Ave	01/22/13	Completed Permit	Electric	Certificate Issued	08762 SMARTWATT LIGHTING UPGRADE Certificate of Completion #08762
1133-37 Salina St S & Raynor Ave	11/05/13	Completed Complaint	Fire Safety	Completed	2014-02272 Fire Safety inspection
1133-37 Salina St S & Raynor Ave	08/30/16	Permit Application	Sprinkler	Issued	25173 Sprinkler
1133-37 Salina St S & Raynor Ave	08/31/16	Inspection	Fire Inspector Notification	Pass	
1133-37 Salina St S & Raynor Ave	08/31/16	Inspection	Inspector Notification	In Progress	
1133-37 Salina St S & Raynor Ave	09/08/16	Inspection	Sprinkler Inspection	In Progress	
1133-37 Salina St S & Raynor Ave	09/14/16	Inspection	Progress Inspection	In Progress	
1133-37 Salina St S & Raynor Ave	09/21/16	Inspection	Progress Inspection	Pass	
1133-37 Salina St S & Raynor Ave	09/22/16	Completed Permit	Sprinkler	Certificate Issued	25173 Sprinkler Certificate of Completion #25173
1133-37 Salina St S & Raynor Ave	09/15/22	Inspection	Complaint Inspection	In Progress	
1133-37 Salina St S & Raynor Ave	09/15/22	Violation	2020 FCNYS - 906.2 - General Requirements	Closed	
1133-37 Salina St S & Raynor Ave	09/15/22	Violation	Section 2305.2.4 Emergency shut off valves	Closed	
1133-37 Salina St S & Raynor Ave	09/15/22	Violation	Section 2305.2.5 Leak detectors	Closed	
1133-37 Salina St S & Raynor Ave	09/28/22	Inspection	Complaint Inspection	Pass	
1133-37 Salina St S & Raynor Ave	01/25/24	Inspection	Complaint Inspection	Pass	
1133-37 Salina St S & Raynor Ave	01/26/24	Completed Complaint	Fire Safety	Completed	2017-33883 Annual Service Station

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
1133-37 Salina St S & Raynor Ave	03/05/24	Project	SP - Other	In Review	SP-24-06 ALTERATIONS TO EXISTING GAS STATION/RETAIL WITH AUTO REPAIR SERVICE. ALTERATIONS INCLUDE ELIMINATING 2 SERVICE REPAIR BAYS AND EXPAND EXISTING RETAIL INTO THAT AREA. ADDITIONAL WORK INCLUDES EXTERIOR FACADE IMPROVEMENTS AND PROVIDE ADDITIONAL ONSITE PARKING SPACES. NO OTHER ALTERATIONS ARE PROPOSED TO SITE.
1133-37 Salina St S & Raynor Ave	03/05/24	Project	Minor Site Plan Review	In Review	MiSPR-24-14 Interior and exterior build-out for a convenience store.

Jake Dishaw
Zoning Administrator



300 South State St, Suite 700
Syracuse, NY 13202

OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Mark Mondo
From: Zhitong Wu, Zoning Planner
Date: 4/9/2024 11:11:51 AM
Re: SP - Other SP-24-06
1133-37 Salina St S & Raynor Ave, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	03/12/2024	Vinny Esposito	Sewer lateral must be cleaned and video inspected to the main sewer. Any deficiencies must be corrected by the owner. Sewer vent and clean-out must be as-per plumbing code. Any exterior site work will require a grading plan approved by the City Engineer.
DPW - Traffic Control	Conditionally Approved	03/13/2024	Charles Gafrancesco	3.13.24 No sidewalk closures, obstructions or street closures or obstructions will be allowed as part of this work. If work is going to affect the safe passage of vehicular or pedestrian traffic in the ROW an MUTCD compliant WZTP must be submitted and approved. - Any deviation from the requirements explained in these comments may result in revocation of permits on site. - Area subject to inspection without notice by the DPW / Syracuse DOT and any other City Department as necessary.
DPW - Transportation Planner	Internal Review Complete	03/26/2024	Neil Milcarek-Burke	Revised plans required: - ADA compliant walkway to/from the main entrance to the Raynor street public sidewalk required - Bike parking required utilizing a staple-style rack (no "wave" racks) in a conspicuous and well-lit area near the main entrance The City has made significant investments along both property frontages in the past several years, including new sidewalks, bollards, porous pavement snow storage areas and new curbing.

Engineering - Design & Construction	Conditionally Approved	03/12/2024	Mirza Malkoc	<ul style="list-style-type: none"> • Proposed project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. • Proposed elevations shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W. • Project site shall reduce stormwater sheet flow to the City's ROW or adjoining properties by removing some of the impervious surface area and replacing it with grass/landscape areas. • Onondaga County Plumbing Control shall review and approve the plans as well.
Onondaga Co Planning Board	Approved	03/20/2024	Zhitong Wu	<p>Recommendation: No Position with Comment</p> <p>Comment: The Board strongly encourages the City and applicant to work to minimize pavement and to incorporate green infrastructure where possible, in order to minimize stormwater runoff from such an intensely impervious surface.</p>
Water Engineering	Pending	03/11/2024		
Zoning Planner	On Hold	04/09/2024	Zhitong Wu	The proposed locations of parking spaces violates ReZone, Art. 4, Sec. 4.4F(4)c., applicant need to revise the plan or apply for use variance.
Common Council	Pending	03/11/2024		
Planning Commission	Pending	03/11/2024		