



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>MaSPR-24-01</i>	<i>Staff Report – February 12, 2024</i>
<i>Application Type:</i>	Major Site Plan Review
<i>Project Address:</i>	210 Hamilton Street (111.-11-03.0)
<i>Summary of Proposed Action:</i>	Demolish existing structures to redevelop site into a Starbucks beverage café drive-thru and drop-off window with no indoor seating.
<i>Owner/Applicant</i>	Stephen Case, 315 Development, LLC (Owner) Joseph M. Cavender, QPK Design (Applicant)
<i>Existing Zone District:</i>	Mixed-Use Transition, MX-3 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north, south, and west are MX-3 Zone Districts, and to the south is the R5 High density Residential Zone District.
<i>Companion Application(s)</i>	Encroachment application, area variance application, road cut permit application
<i>Scope of Work:</i>	The proposed scope of work includes demolishing existing structures and redeveloping the existing site for a drive-through and pick-up only coffee shop with no dining facilities. Vehicular entry to the site will be obtained with a proposed curb cut on North Lowell Avenue for access to the parking lot and drive-through. The drive-through exits back to North Lowell Avenue after wrapping around the north facade of the new one-story building. Pedestrian access from the right of way is provided from North Lowell Avenue. Landscaping improvements include trees, shrubs and grasses on site and street trees in the right of way. All utilities (sanitary, water, gas, electric) are accessed from North Lowell Avenue. Stormwater on site is captured and directed to an underground infiltration system prior to discharging to the municipal system on North Lowell Ave.
<i>Staff Analysis:</i>	<p><u>Pros:</u></p> <ul style="list-style-type: none"> - Redevelopment of the site will demolish three blighted structures that have a history of graffiti, unlicensed food stores, illegal cannabis events and vacancies. - Project will provide beverage café services along a major collector road. - Project proposal will introduce landscaping, trees, and stormwater management facilities reducing water run-off from the site and direct the water into an underground infiltration system. - Despite non-compliance with story requirements, the project does provide supporting commercial uses to a major collector street (W. Genesee St.) and is compatible to the other one-story buildings directly adjacent to the north, west, and east of the property. - The project proposal also shows sidewalks connecting N. Lowell Avenue to W. Genesee Street effectively improving the pedestrianization of this block. <p><u>Cons:</u></p> <ul style="list-style-type: none"> - In an MX-3 Zone District, there is a story requirement minimum of two stories, the proposal is one-story therefore applicant will be going to the BZA Public Hearing on 2/22/24 for an area variance.
<i>Zoning Procedural History:</i>	210 Hamilton aka 1519 W. Genesee Street: <ul style="list-style-type: none"> - AS-76-14 Sign waiver Approved in 1976 - SP-88-87 Special Use Permit for Restaurant Approved in 1988 - AS-02-08 Sign waivers Approved in 2002
<i>Summary of Zoning History:</i>	The subject property since the mid-60s was always one parcel but had multiple buildings on site serving different land uses at various times. Although the earliest record shows that in 1950 there was a building at 1515/1517 W. Genesee Street called Three Hour Laundry,

MaSPR-24-01

	Inc. there is no definitive way of knowing what businesses operated during those times. During the 70s, 1517 W. Genesee Street was Jimmy’s News and Smoke Shop and received a sign waiver to waive area requirements for signage. Throughout the 70s into the late 80s, 1519 W. Genesee Street was a pizza shop, a Dunkin’ Donuts, and a sandwich shop. In 1988 the SUP was for an ice cream parlor at the building at 1519 W. Genesee Street. After Jimmy’s News and Smoke Shop, Quick Cup was the business operating at 1517 W. Genesee Street. 1519 W. Genesee Street became a Byrne Dairy somewhere between the late 80s and early 2000s. Building 3 along 210 Hamilton was the Bingo Hall. Between 2012 and 2013 the Bingo Hall became vacant, 1517 W. Genesee Street became vacant at an unknown time, and the Bryne Dairy at 1519 W. Genesee Street became vacant between 2018 and 2019. All the buildings have sat vacant since around 2019.
Code Enforcement History:	See attached code enforcement history from 2014 onward.
Zoning Violations:	The proposed project only has one zoning violation pursuant to ReZone, Art. 2, Sec. 2.9 MX-3 Zone District – two-story minimum requirement.
Summary of Changes:	This is not a continued application.
Property Characteristics:	The subject property is an irregular, 0.453-acre lot with 75.79’ of frontage along W. Genesee Street, 208.49’ of frontage along the adjacent property to the north, 120.66’ of frontage along Hamilton Street, and 242.33’ along N. Lowell Avenue. There are two, one-story wood frame buildings and a single one-story masonry building.
SEQR Determination:	Pursuant to the New York State Environmental Quality Review Regulations, the proposal is an Unlisted Action.
Onondaga County Planning Board Referral:	Pursuant to GML §239-l, m and n, the proposal does not meet the referral criteria for Onondaga County Planning Board pursuant to GML §239-l, m and n.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review Application
- Short Environmental Assessment Form Part 1 & EAF Mapper
- Architectural/Structural/Site Plans: QPK Design; Starbucks Coffee Shop; 210 Hamilton St. Syracuse, New York; REDEV CNY Construction Corp.; Site Plan Review; Project Num. 2233115.00; Dated: 12/06/23; Sheets G-001, L-001, L-002, L-003, L-004, LD-101, LD-102, L-101, L-101.1, L-101.2, L-102, L-103, L-201, L-501, L-502, L-503, L-504, A.00, A.01, A.02, A.03).

Attachments:

Major Site Plan Review Submittals	Code Enforcement History
Short Environmental Assessment Form Part 2 & Part 3	IPS Comments from City Departments
Applicant response letter to City Department Comments	

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows three buildings on subject lot on an irregularly shaped parcel

Image Source: ConnectExplorer™, Eagle View Technology Corporation

Site Plan Review Application



For Office Use Only	
Zoning District:	MX-3 Zone District
Application Number: S-	MaSPR-24-01
Date:	02/01/24

Office of Zoning Administration
 One Park Place, 300 S State St,
 Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syr.gov.net

Site Plan Review Application

This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.

General Project Information

Business/project name: Starbucks Coffee Shop		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 210 Hamilton St, Syracuse, NY		
Lot numbers: 03.0	Block number: 11	Lot size (sq. ft.) 19,743 sf
Current use of property: Commercial		Proposed: Commercial
Current number of dwelling units (if applicable): 0		Proposed: 0
Current onsite parking (if applicable): 31		Proposed: 16
Zoning (base and any overlay) of property: MX-3 Mixed Use Transition		
Companion zoning applications (if applicable, list any related zoning applications): Special Use Permit, Encroachment Permit		
Type of Site Plan: <input type="checkbox"/> Major <input checked="" type="checkbox"/> Minor		
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size: See plans attached	Type:	Location: See plans attached
Size:	Type:	Location:
Nature and extent of Site Plan requested (attach additional pages if necessary): Redevelopment of the existing site for a drive-through and pick-up only coffee shop with no dining facilities. Vehicular entry to the site is obtained via a proposed curb cut on North Lowell Avenue for access to the parking lot and drive-through. The drive-through exits back to North Lowell Avenue after wrapping around the north facade of the new one-story building. Pedestrian access from the right of way is provided from North Lowell Avenue. Landscaping improvements include trees, shrubs and grasses on site and street trees in the right of way. All utilities (sanitary, water, gas, electric) are accessed from North Lowell Avenue. Stormwater on site is captured and directed to an underground infiltration system prior to discharging to the municipal system on North Lowell Ave.		

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.

Print owner name: Stephen Case (REDEV CNY) 315 Development LLC

Signature: Date: 12/28/23

Mailing address: 451 S Warren St. Floor 2, Syracuse, NY 13202

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

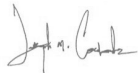
Part 1 – Project and Sponsor Information			
REDEV CNY			
Name of Action or Project: Starbucks Coffee Shop			
Project Location (describe, and attach a location map): 210 Hamilton St, Syracuse, NY			
Brief Description of Proposed Action: Redevelopment of the existing site for a drive-through and pick-up only coffee shop with no dining facilities. Vehicular entry to the site is obtained via a proposed curb cut on North Lowell Avenue for access to the parking lot and drive-through. The drive-through exits back to North Lowell Avenue after wrapping around the north facade of the new one-story building. Pedestrian access from the right of way is provided from North Lowell Avenue. Landscaping improvements include trees, shrubs and grasses on site and street trees in the right of way. All utilities (sanitary, water, gas, electric) are accessed from North Lowell Avenue. Stormwater on site is captured and directed to an underground infiltration system prior to discharging to the municipal system on North Lowell Ave.			
Name of Applicant or Sponsor: Joseph M. Cavender		Telephone: 315-472-7806 E-Mail: jcavender@qpkdesign.com	
Address: 450 S. Salina St.			
City/PO: Syracuse		State: NY	Zip Code: 13202
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse, Site Plan Review		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.45 acres	
b. Total acreage to be physically disturbed?		0.75 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.45 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Eligible properties: "Residence", Onondaga Pottery Company, St. Patrick's Church Complex b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		

Stormwater is collected from impervious areas on site via a series of storm structures and associated pipe prior to the eventual discharge to the municipal system		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Address: 312 State Fair Blvd. Remediation at the site is complete. Prior to remediation, the contaminants of concern were PCBs, lead, polycyclic aromatic hydrocarbons (PAHs), and mercury. Remedial actions have successfully achieved soil cleanup objectives.		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Joseph M. Cavender</u> Date: <u>12/12/2023</u>		
Signature: <u></u> Title: <u>RLA</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

210 Hamilton Street



February 1, 2024

Cristian Toellner
Zoning Administration
City of Syracuse
300 South State St.
Syracuse, NY 13202

Re: Site Plan Review Comments

Dear Mr. Toellner:

The purpose of this letter is to formally respond to comments received from City of Syracuse departments for the 210 Hamilton Street (Starbucks) project.

1. DPW - Sanitation & Sewers: SWPPP Report has been reviewed by the Department of Engineering. Sewer laterals will be constructed to the main in North Lowell Avenue. We understand a street cut permit is required.
2. DPW - Traffic control: A Maintenance & Protection of Traffic Plan has been added. See sheet L-004.
3. Engineering - Mapping: Per conversation with Ray Wills on January 11, 2024, a 10' long section of curbing is removed adjacent to the existing City of Syracuse ROW marker on the corner of North Lowell Avenue and Hamilton Street. A note has been added to sheets LD-101, L-101.1, & L-102 for the contractor to notify the City of Syracuse Department of Engineering 72 hours prior to any work completed within a 5' buffer of the existing right of way marker.
4. Fire Prevention Bureau: A Fire Access Plan has been added, which includes hydrant locations and distance between the building and roads. See sheet L-101.2.
5. Engineering - Design & Construction: Stormwater Access & Maintenance Agreements will be submitted by the developer. A 1.5" reveal header curb across both driveway entrances has been added to the plans, which will be installed by the City of Syracuse as part of the North Lowell Avenue improvements.
6. DPW - Transportation Planner: Will discuss concerns on site layout in meeting. Two curb-cuts are required for the use.
7. Parks - Forestry: The Ginkgo biloba tree has been replaced with a native tree species. Parking is not able to be reduced.

Thank You,
QPK DESIGN Architecture Engineering Site & Planning

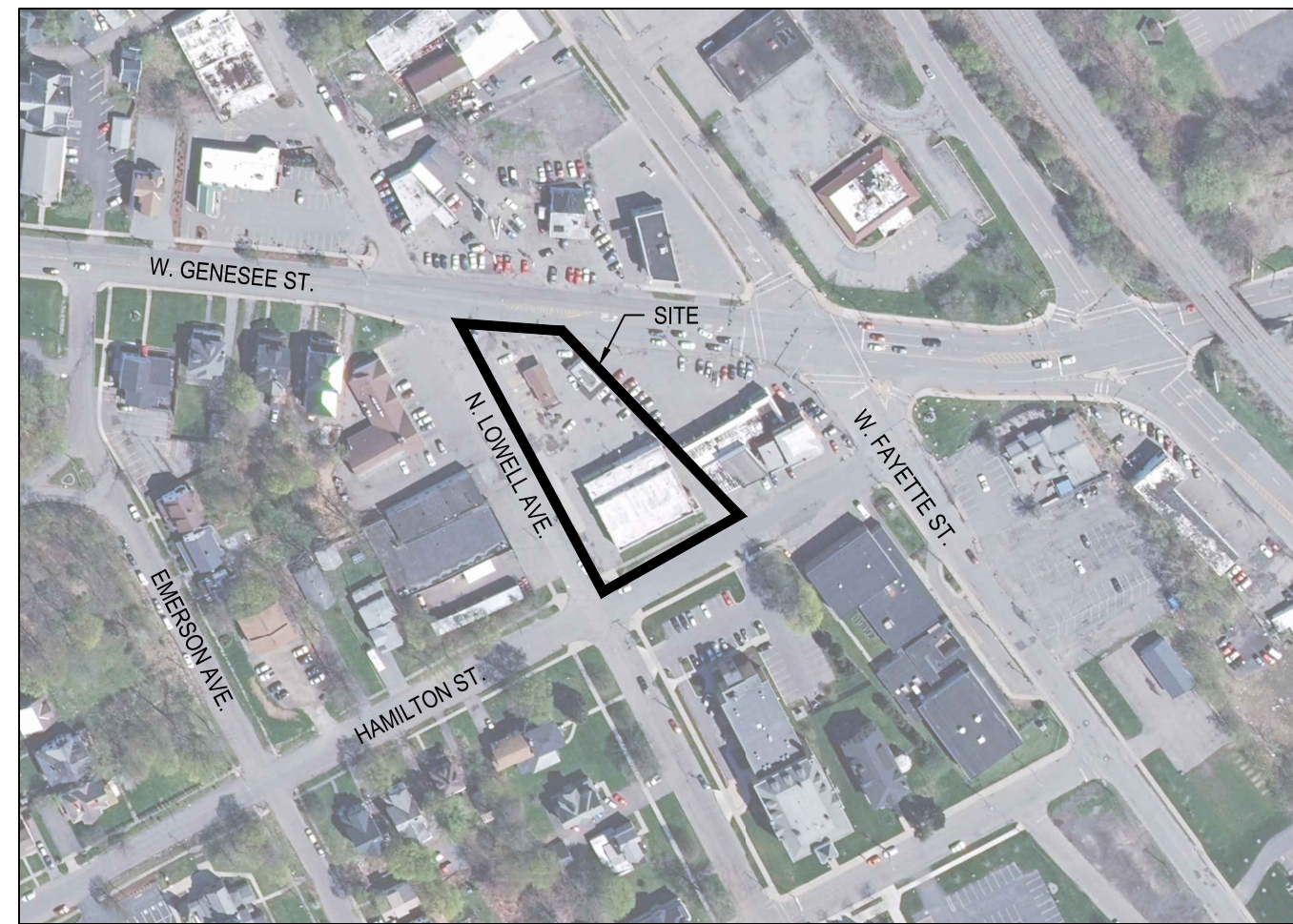
A handwritten signature in black ink that reads 'Amanda Russell'.

Amanda M. Russell, RLA
Landscape Architect

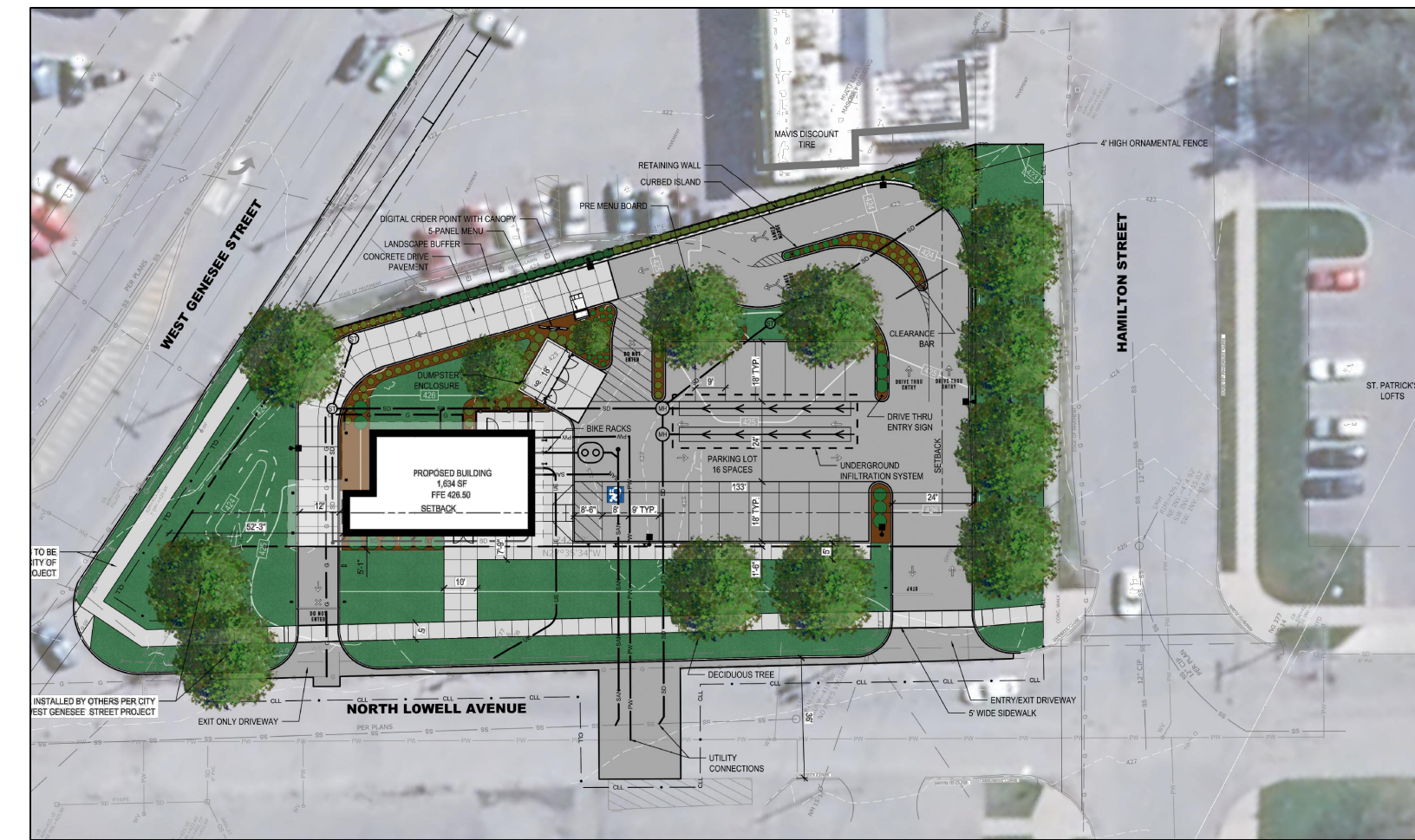
STARBUCKS COFFEE SHOP

SYRACUSE, NEW YORK

DECEMBER 6, 2023



LOCATION MAP



GENERAL SITE

ARCHITECTURAL /
STRUCTURAL / SITE:

QPK DESIGN
ARCHITECTS/ENGINEERS
450 SOUTH SALINA STREET
SYRACUSE, NY 13201
315-472-7806



MEP:

ARGUS ENGINEERING, PLLC.
200 BOSS ROAD
SYRACUSE, NY 13211
315-475-6061



OWNER:

REDEV CNY
251 SOUTH WARREN STREET
FLOOR 2
SYRACUSE, NY 13202
INFO@REDEV.CNY.COM



DRAWING LIST

LANDSCAPE INFORMATION	
L-001	GENERAL INFORMATION
L-002	PROJECT SITE PHOTOGRAPHS
L-003	STREETSCAPE PHOTOGRAPHS
L-004	MAINTENANCE & PROTECTION OF TRAFFIC PLAN
LANDSCAPE	
LD-101	DEMOLITION PLAN
LD-102	EROSION & SEDIMENTATION CONTROL PLAN
L-101	OVERALL LAYOUT PLAN
L-101.1	LAYOUT PLAN
L-101.2	FIRE ACCESS PLAN
L-102	GRADING & STORM SYSTEM PLAN
L-103	PLANTING PLAN
L-201	PHOTOMETRICS PLAN
L-501	SITE DETAILS
L-502	SITE DETAILS
L-503	SITE DETAILS
L-504	SITE DETAILS
SURVEY / EXISTING CONDITIONS	
V-101	SURVEY / EXISTING CONDITIONS MAP
ARCHITECTURAL	
A-00	FLOOR PLANS
A-01	EXTERIOR ELEVATIONS
A-02	EXTERIOR ELEVATIONS
A-03	EXTERIOR FINISHES & TRASH ENCLOSURE DETAILS



450 SOUTH SALINA STREET
SUITE 500 PO BOX 29
SYRACUSE, NY 13201-0029

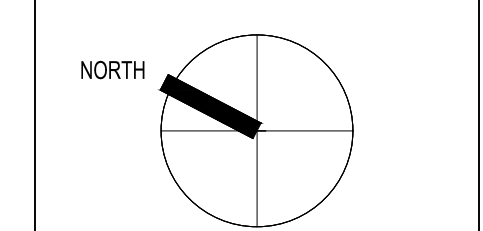
NOT FOR CONSTRUCTION

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING ARCHITECT SHALL AFFIX THEIR SEAL AND THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

STARBUCKS
COFFEE SHOP
210 HAMILTON ST.
SYRACUSE, NEW YORK

REDEV CNY
CONSTRUCTION CORP.

PROJECT STATUS
SITE PLAN REVIEW



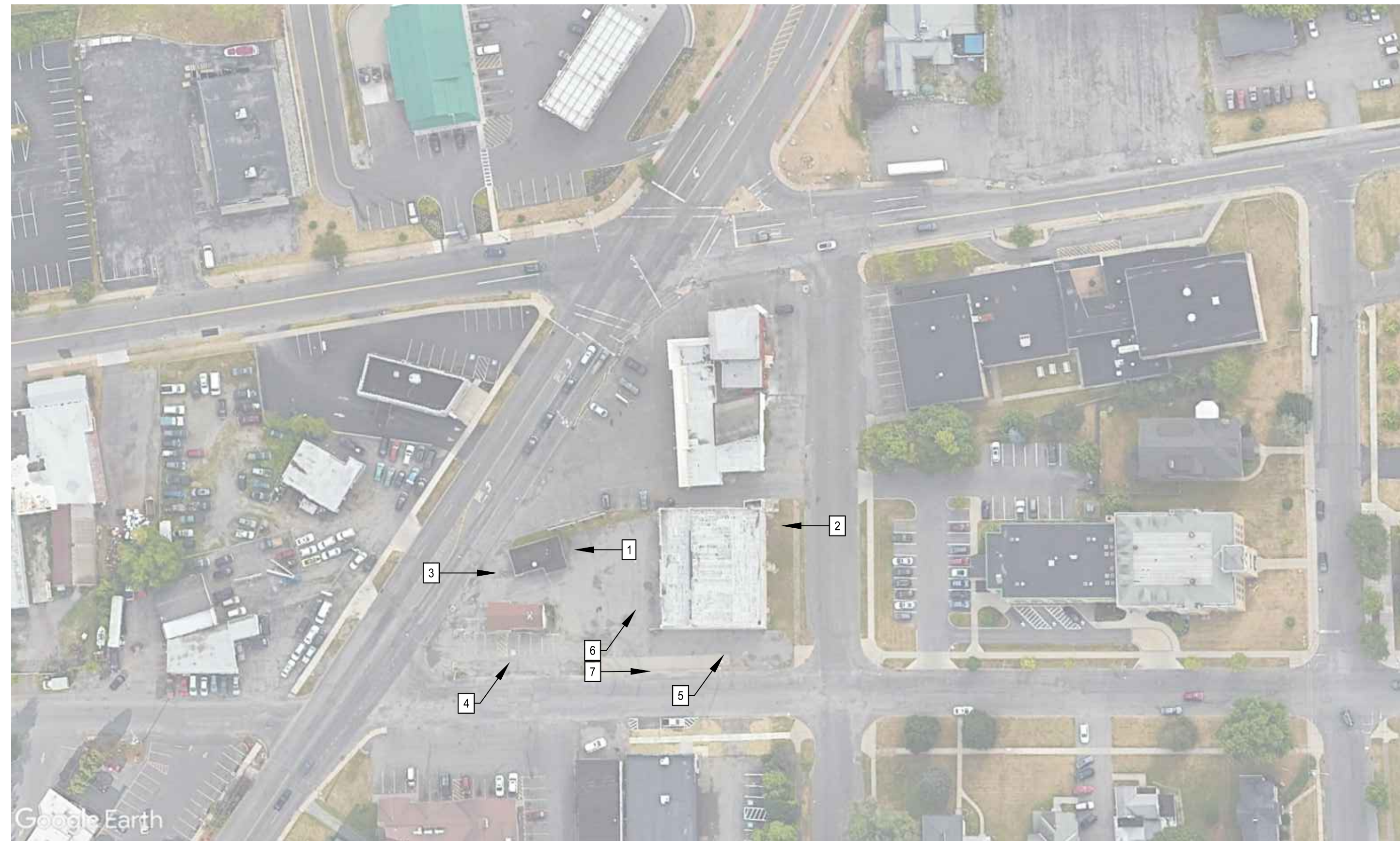
REVISIONS

MARK	DATE	DESCRIPTION

PROJECT NUMBER
223115.00
DATE
12/06/2023

SHEET TITLE
COVER SHEET

G-001



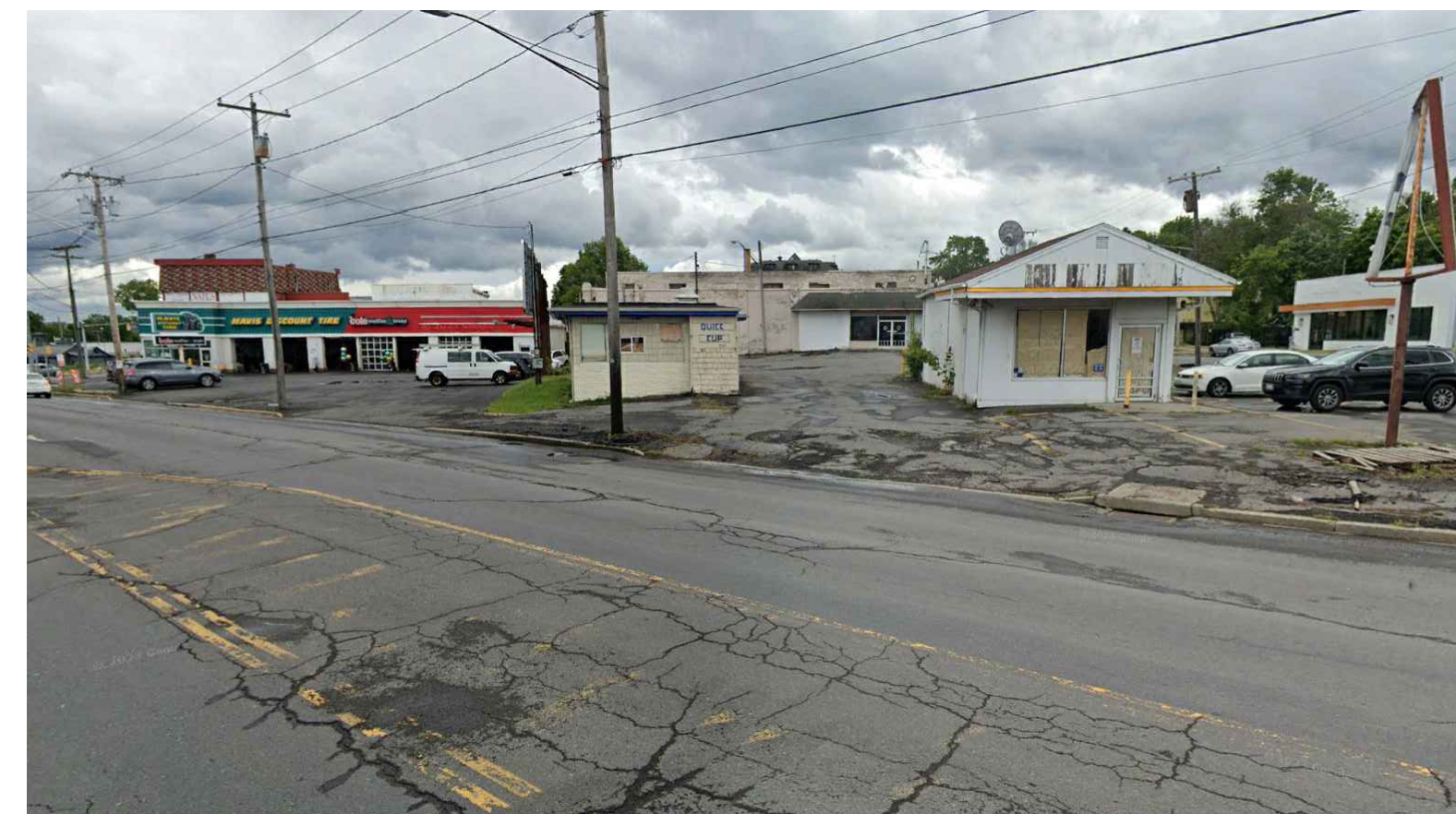
C1 KEY MAP



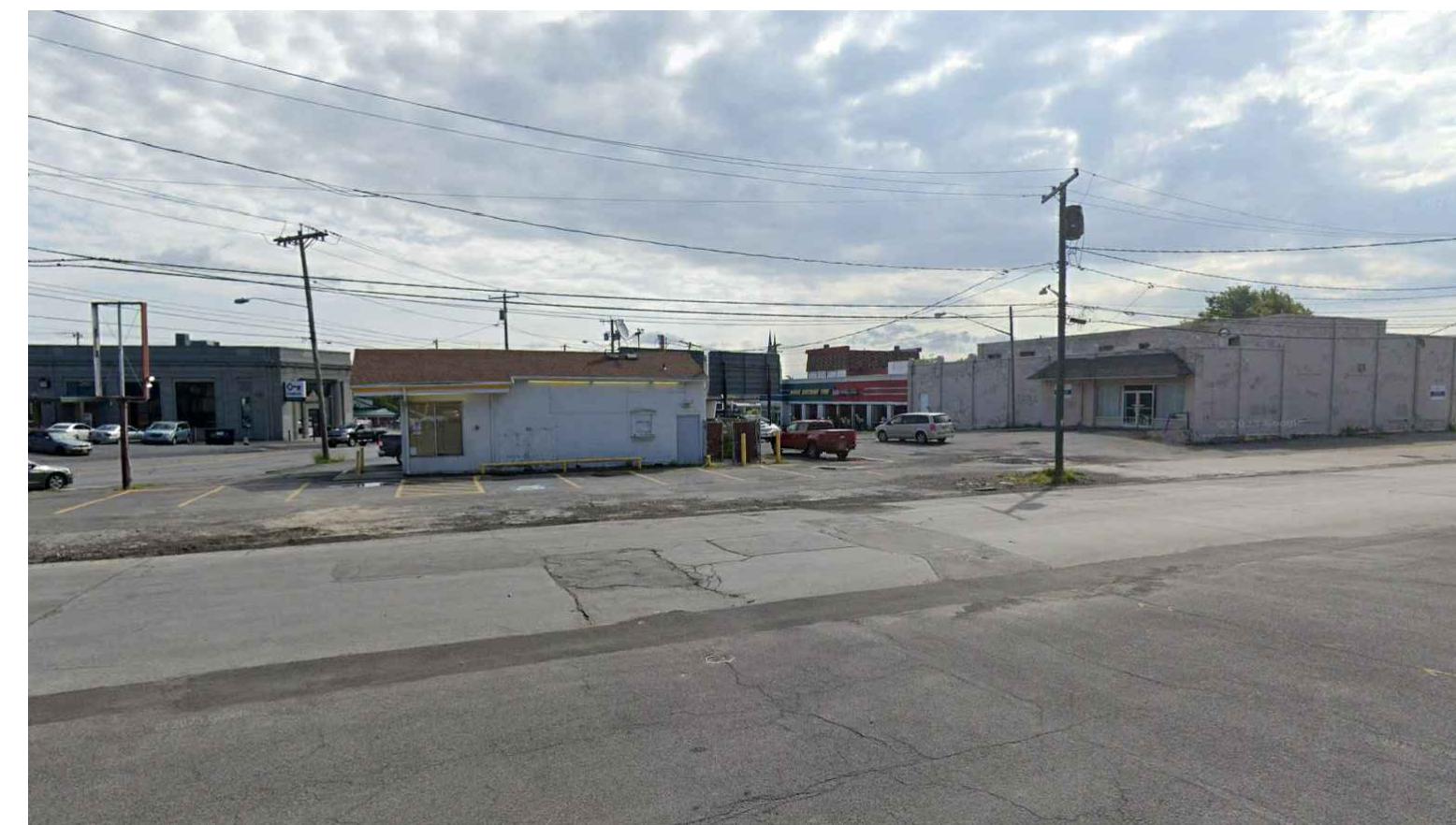
1 PROJECT SITE PHOTO 1



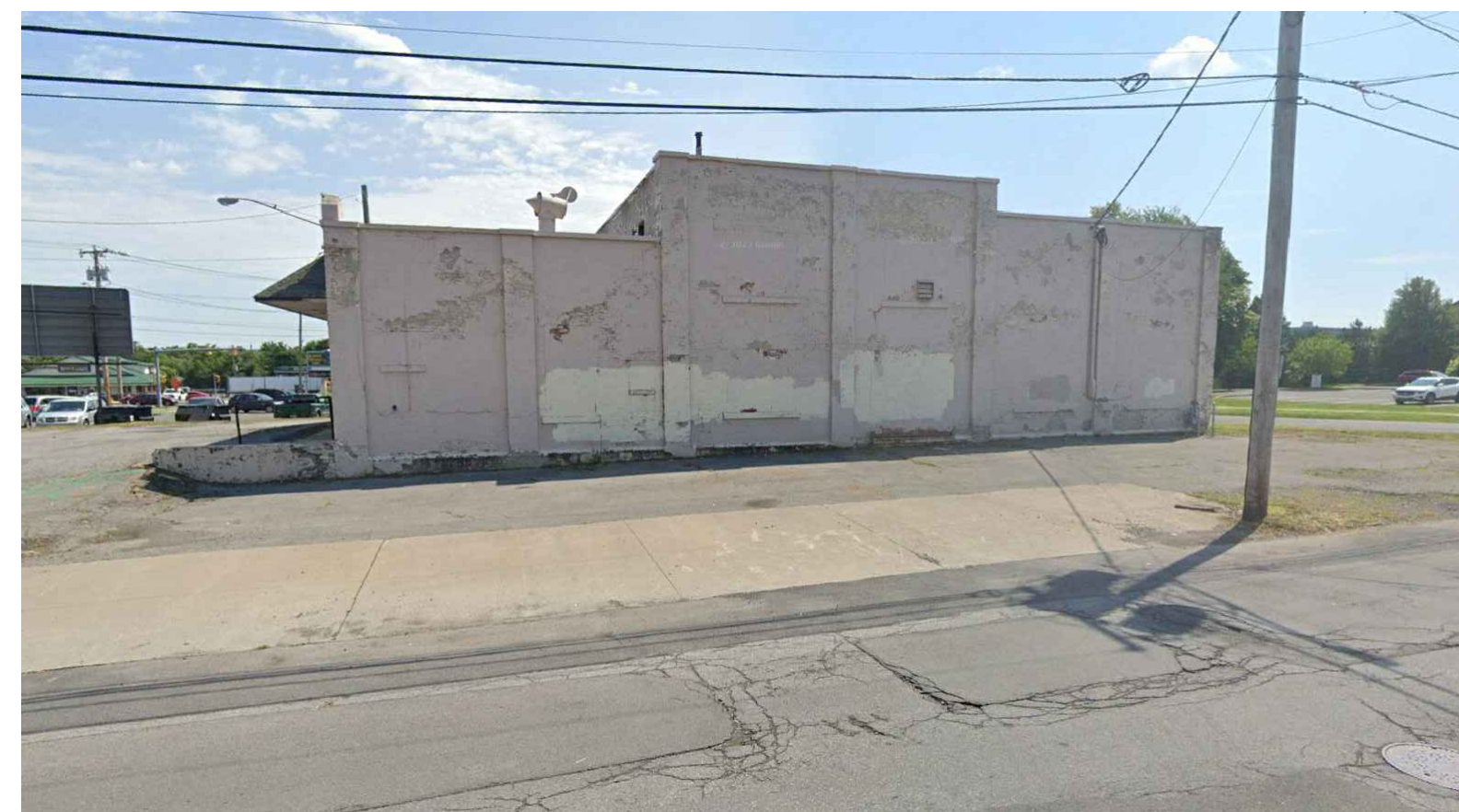
2 PROJECT SITE PHOTO 2



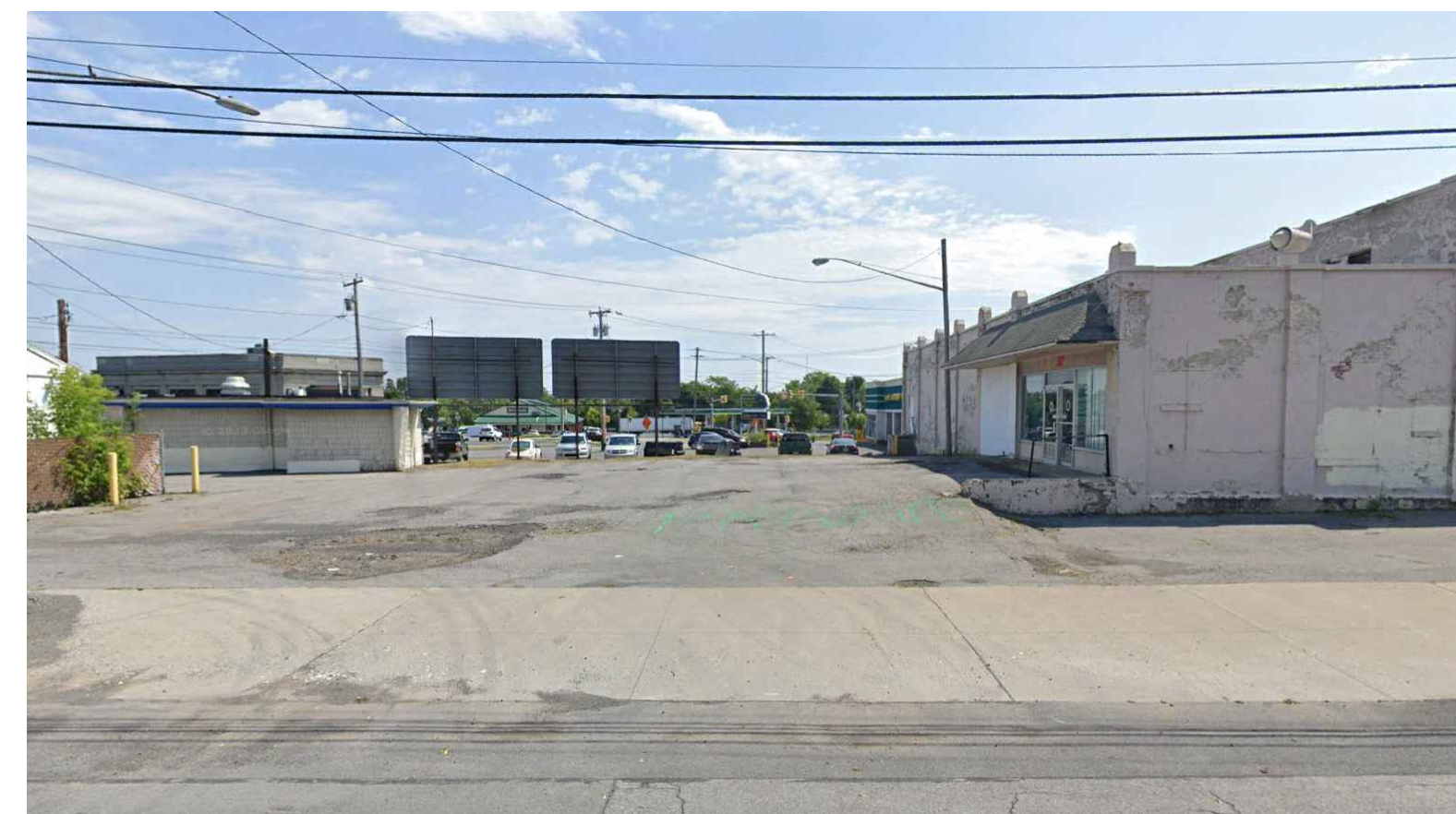
3 PROJECT SITE PHOTO 3



4 PROJECT SITE PHOTO 4



5 PROJECT SITE PHOTO 5



6 PROJECT SITE PHOTO 6



7 PROJECT SITE PHOTO 7



450 SOUTH SALINA STREET
SUITE 500 PO BOX 29
SYRACUSE, NY 13201-0029

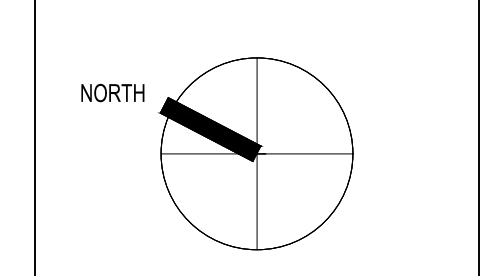
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STARBUCKS COFFEE SHOP
210 HAMILTON ST.
SYRACUSE, NEW YORK

REDEV CNY CONSTRUCTION CORP.

PROJECT STATUS
SITE PLAN REVIEW



REVISIONS

NO.	DATE	DESCRIPTION

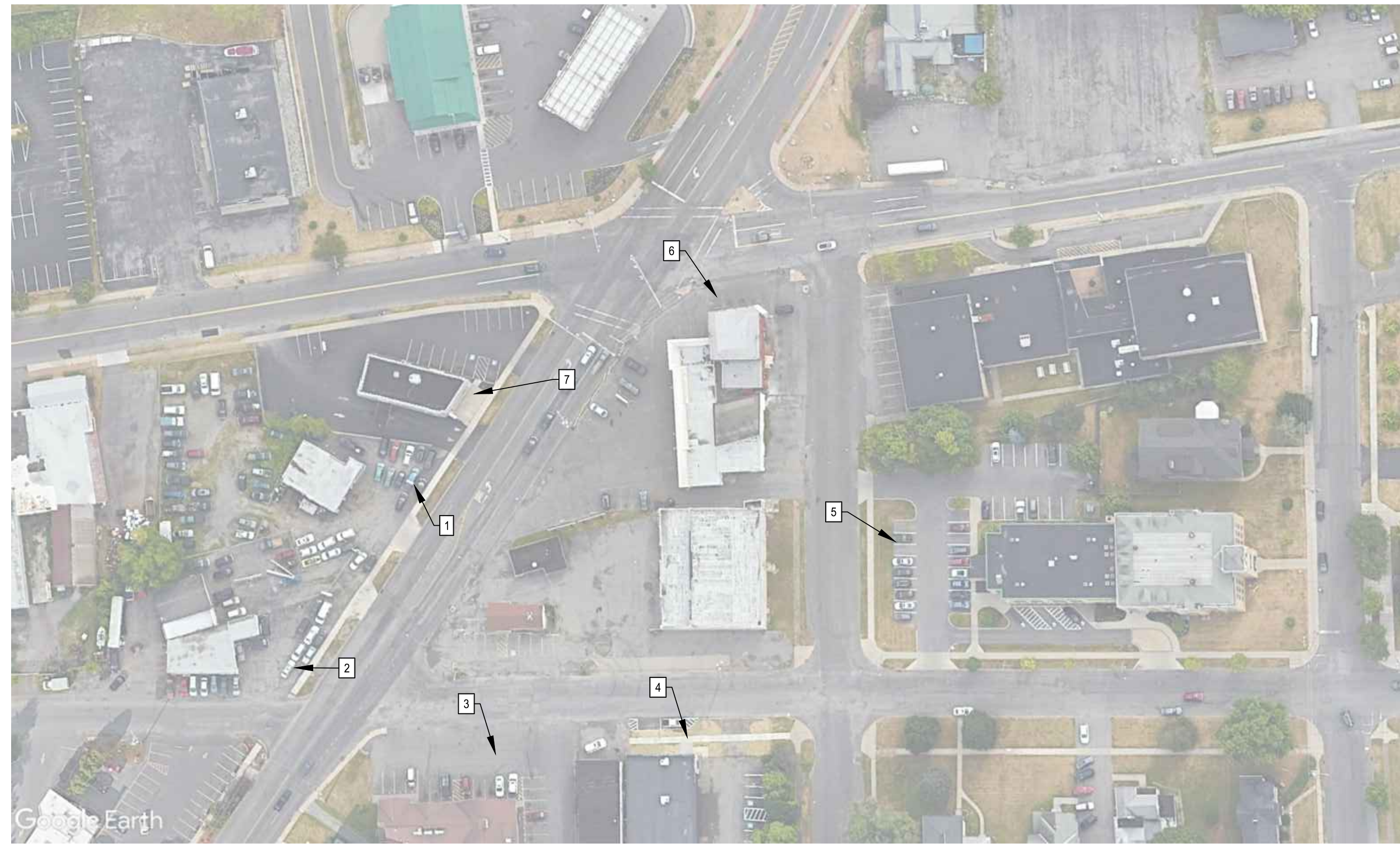
MARK	DATE	DESCRIPTION

PROJECT NUM
223115.00

DATE
12/06/2023

SHEET TITLE
PROJECT SITE PHOTOGRAPHS

L-002



C1 KEY MAP



1 STREETScape PHOTO 1



2 STREETScape PHOTO 2



3 STREETScape PHOTO 3



4 STREETScape PHOTO 4



5 STREETScape PHOTO 5



6 STREETScape PHOTO 6



7 STREETScape PHOTO 7

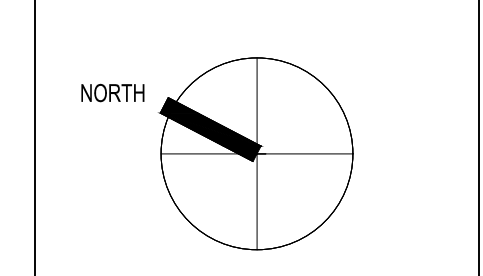
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STARBUCKS
COFFEE SHOP
210 HAMILTON ST.
SYRACUSE, NEW YORK

REDEV CNY
CONSTRUCTION CORP.

PROJECT STATUS
SITE PLAN REVIEW



REVISIONS

MARK	DATE	DESCRIPTION

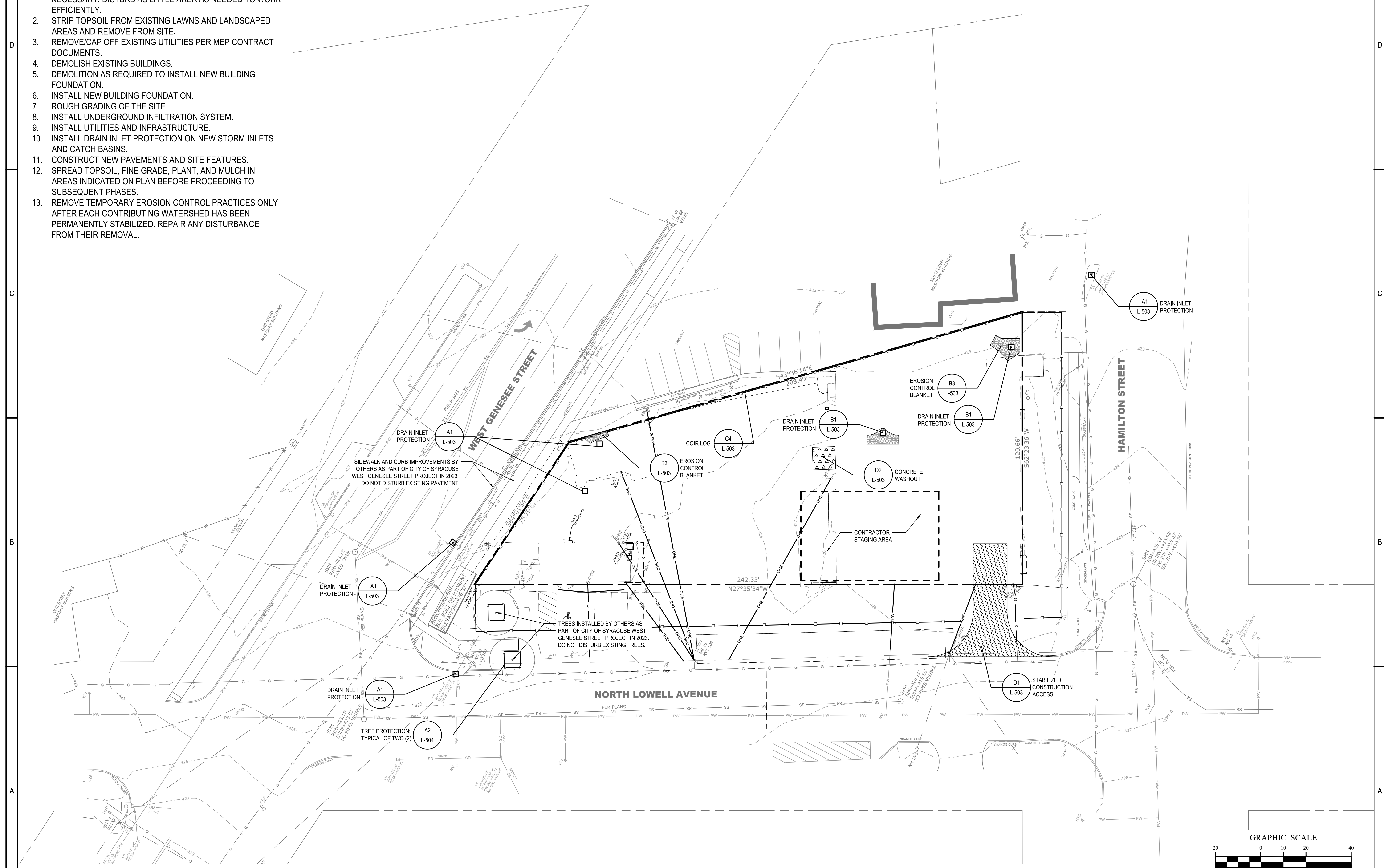
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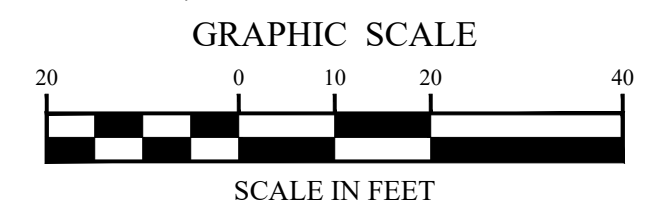
SHEET TITLE
STREETScape
PHOTOGRAPHS

SCHEDULE OF OPERATIONS

1. INSTALL STABILIZED CONSTRUCTION ACCESS AND EROSION CONTROL MEASURES AS INDICATED ON PLANS (INCLUDING COIR LOG & DRAIN INLET PROTECTION) AND AS OTHERWISE NECESSARY. DISTURB AS LITTLE AREA AS NEEDED TO WORK EFFICIENTLY.
2. STRIP TOPSOIL FROM EXISTING LAWNS AND LANDSCAPED AREAS AND REMOVE FROM SITE.
3. REMOVE/CAP OFF EXISTING UTILITIES PER MEP CONTRACT DOCUMENTS.
4. DEMOLISH EXISTING BUILDINGS.
5. DEMOLITION AS REQUIRED TO INSTALL NEW BUILDING FOUNDATION.
6. INSTALL NEW BUILDING FOUNDATION.
7. ROUGH GRADING OF THE SITE.
8. INSTALL UNDERGROUND INFILTRATION SYSTEM.
9. INSTALL UTILITIES AND INFRASTRUCTURE.
10. INSTALL DRAIN INLET PROTECTION ON NEW STORM INLETS AND CATCH BASINS.
11. CONSTRUCT NEW PAVEMENTS AND SITE FEATURES.
12. SPREAD TOPSOIL, FINE GRADE, PLANT, AND MULCH IN AREAS INDICATED ON PLAN BEFORE PROCEEDING TO SUBSEQUENT PHASES.
13. REMOVE TEMPORARY EROSION CONTROL PRACTICES ONLY AFTER EACH CONTRIBUTING WATERSHED HAS BEEN PERMANENTLY STABILIZED. REPAIR ANY DISTURBANCE FROM THEIR REMOVAL.



A1 EROSION & SEDIMENTATION CONTROL PLAN
1" = 20'



450 SOUTH SALINA STREET
SUITE 500 PO BOX 29
SYRACUSE, NY 13201-0029

NOT FOR CONSTRUCTION

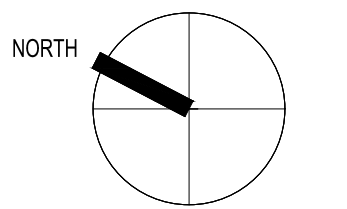
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STARBUCKS COFFEE SHOP

210 HAMILTON ST.
SYRACUSE, NEW YORK

REDEV CNY
CONSTRUCTION CORP.

PROJECT STATUS
SITE PLAN REVIEW



REVISIONS

MARK	DATE	DESCRIPTION

PROJECT NUMBER
223115.00

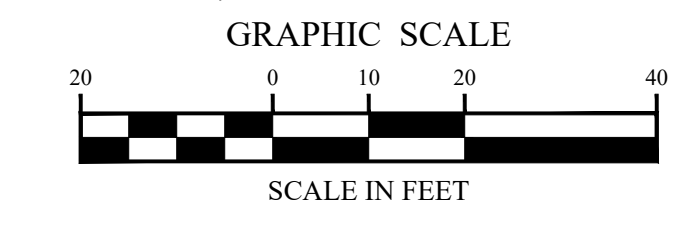
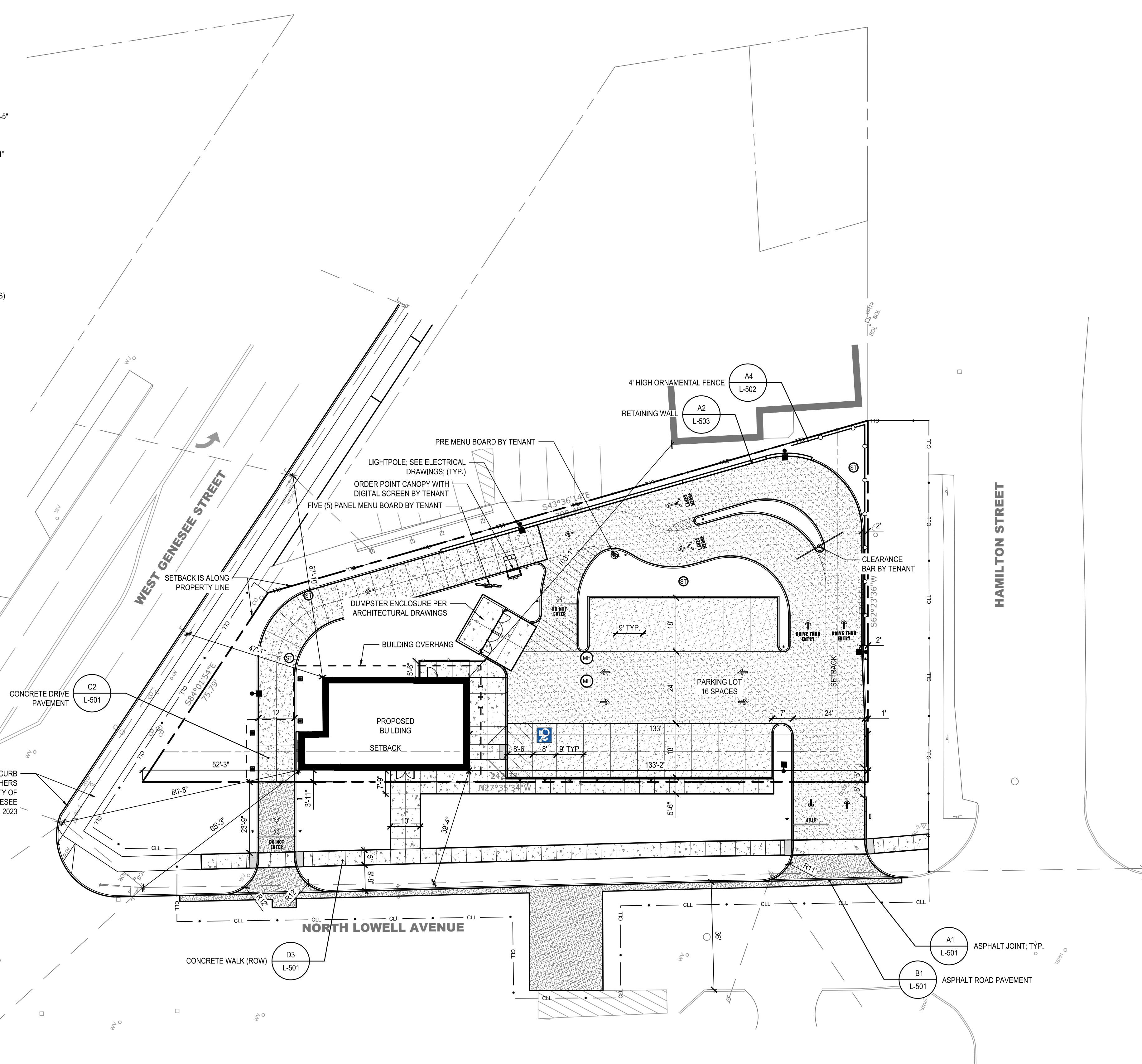
DATE
12/06/2023

SHEET TITLE
EROSION & SEDIMENTATION CONTROL PLAN

LD-102

ZONING / PLANNING DATA

1. **PROPERTY ADDRESS:** 210 HAMILTON STREET
SYRACUSE, NEW YORK 13204
2. **TAX MAP ID:** 111-11-03.0
3. **PROPERTY OWNER:** REDEV CNY
251 S WARREN ST., FLOOR 2
SYRACUSE, NEW YORK 13202
POINT OF CONTACT: STEPHEN F. CASE
4. **PROJECT DESCRIPTION:** DRIVE-THRU AND PICK-UP ONLY RESTAURANT AND ASSOCIATED PARKING.
LANDSCAPE ENHANCEMENTS INCLUDE ORNAMENTAL PLANTING AND STREET TREES.
5. **ZONE:** MX-3 MIXED USED TRANSITION
6. **REQUIRED SETBACKS:**
FRONT YARD: 0' TO WEST GENESEE ST.
(OR A BUILD-TO LINE ESTABLISHED WITH CITY PLANNING COMMISSION)
SIDE YARD: 0'
CORNER LOTS: 10' FROM SECONDARY STREET
REAR YARD: 4'
7. **PROVIDED SETBACKS:**
FRONT YARD: W. GENESEE ST: 20'-7"
SIDE YARD: HAMILTON ST.: 133'-0"
N LOWELL AVE: 3'-11"
NORTHWEST: 32'-1"
REAR YARD: N/A
8. **EXISTING SETBACKS:**
FRONT YARD: W. GENESEE ST: 1'-2" / 13'-5"
SIDE YARD: HAMILTON ST.: 0'-0.8"
N LOWELL AVE: 1'-2" / 0'-0.1"
NORTHWEST: 2'-4" / 2'-9"
REAR YARD: N/A
9. **LOT SIZE:**
REQUIRED: 40' MIN. WIDTH
NO AREA REQUIREMENT
PROPOSED: 75.79'
19,734 SF
EXISTING: 75.79'
19,734 SF
10. **LOT COVERAGE:**
IMPERVIOUS COVERAGE:
REQUIRED: 95% MAX. PERMITTED
PROPOSED: 74%
EXISTING: 99%
11. **BUILDING:**
AREA: REQUIRED: NONE
PROPOSED: 1,634 s.f.
HEIGHT: REQUIRED: NONE
PROPOSED: 19'-3"
STORIES: REQUIRED: 2 MIN., 6 MAX. FOR 60% MIN. OF BUILDING
PROPOSED: 1 STORY
EXISTING: 9,107 s.f., COMBINED
EXISTING: 20' +/-
EXISTING: 1 STORY (3 BUILDINGS)
12. **PARKING:**
STALL SIZE: REQUIRED: 8.5' X 18'
PROPOSED: 9 X 18'
EXISTING: 8'-2" X 18'
7'-2" X 18'
SPACES: REQUIRED: 1 SPACE / 300 SF OF GROUND FLOOR AREA
1,492 SF / 300 SF = 5 SPACES
PROPOSED: 16
EXISTING: 11 STRIPED & 20+/- NOT STRIPED
13. **ADA PARKING STALLS:** 1
PROPOSED: 1
EXISTING: 1
14. **DRIVE-THRU STACKING SPACES:**
REQUIRED: NONE
PROPOSED: 19 (10'X20')
EXISTING: NONE
15. **FENCE HEIGHTS WITHIN SETBACK:**
REQUIRED: FRONT: 4' MAX HEIGHT
SIDE: 6' MAX HEIGHT
PROPOSED: 4'
EXISTING: 6'
16. **SCREENING:**
REQUIRED: SCREEN PARKING TO RESIDENTIAL
PROPOSED: OPAQUE FENCE, TREES AND SHRUBS
EXISTING: NONE
REQUIRED: SCREEN PARKING ADJACENT TO STREET/ROW
PROPOSED: TREES AND OPAQUE FENCE
EXISTING: NONE
REQUIRED: SCREEN DRIVE-THRU
PROPOSED: SHRUBS, TREES, OPAQUE FENCE, & LOW RETAINING WALL
EXISTING: N/A
REQUIRED: SCREEN TRASH ENCLOSURE
PROPOSED: SHRUBS, TREES, DUMPSTER ENCLOSURE
EXISTING: N/A



A1 OVERALL LAYOUT PLAN
1" = 20'



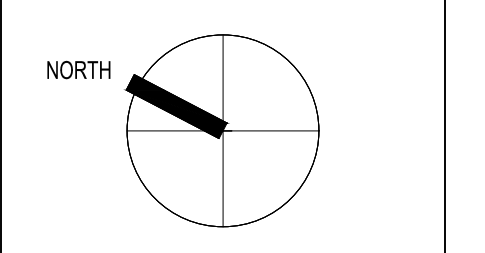
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STARBUCKS COFFEE SHOP
210 HAMILTON ST.
SYRACUSE, NEW YORK

REDEV CNY
CONSTRUCTION CORP.

PROJECT STATUS
SITE PLAN REVIEW



REVISIONS

MARK	DATE	DESCRIPTION

PROJECT NUM
223115.00

DATE
12/06/2023

SHEET TITLE
OVERALL LAYOUT PLAN

L-101



450 SOUTH SALINA STREET
SUITE 500 PO BOX 29
SYRACUSE, NY 13201-0029

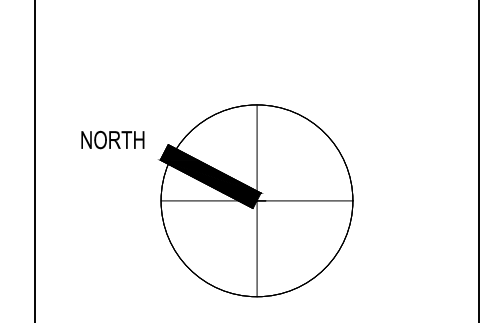
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SYRACUSE, NEW YORK

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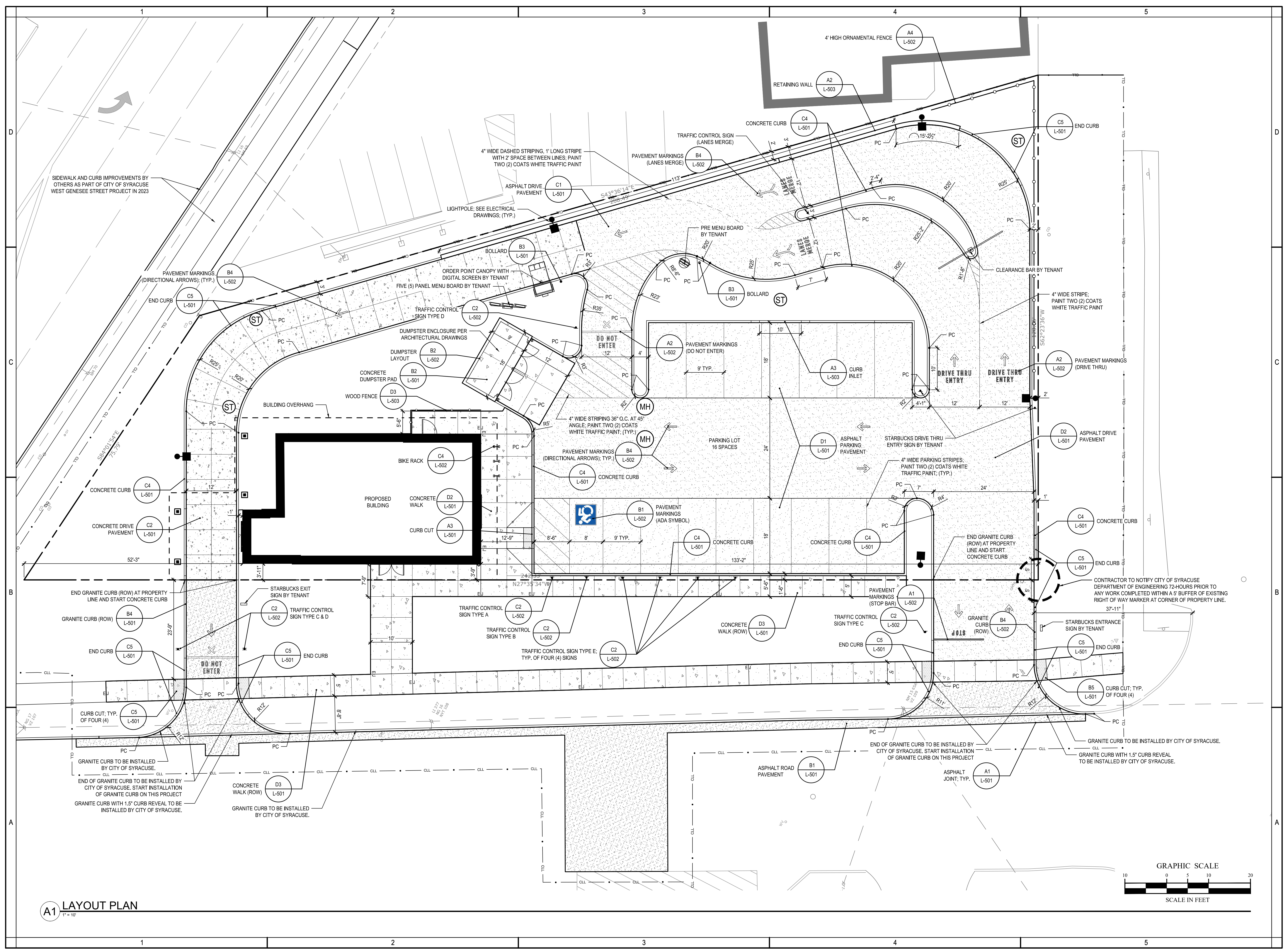
MARK	DATE	DESCRIPTION

PROJECT NUMBER
223115.00

DATE
12/06/2023

SHEET TITLE
LAYOUT PLAN

L-101.1



A1 LAYOUT PLAN
1" = 10'



450 SOUTH SALINA STREET
SUITE 500 PO BOX 29
SYRACUSE, NY 13201-0029

NOT FOR CONSTRUCTION

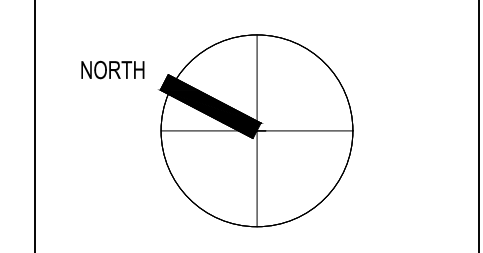
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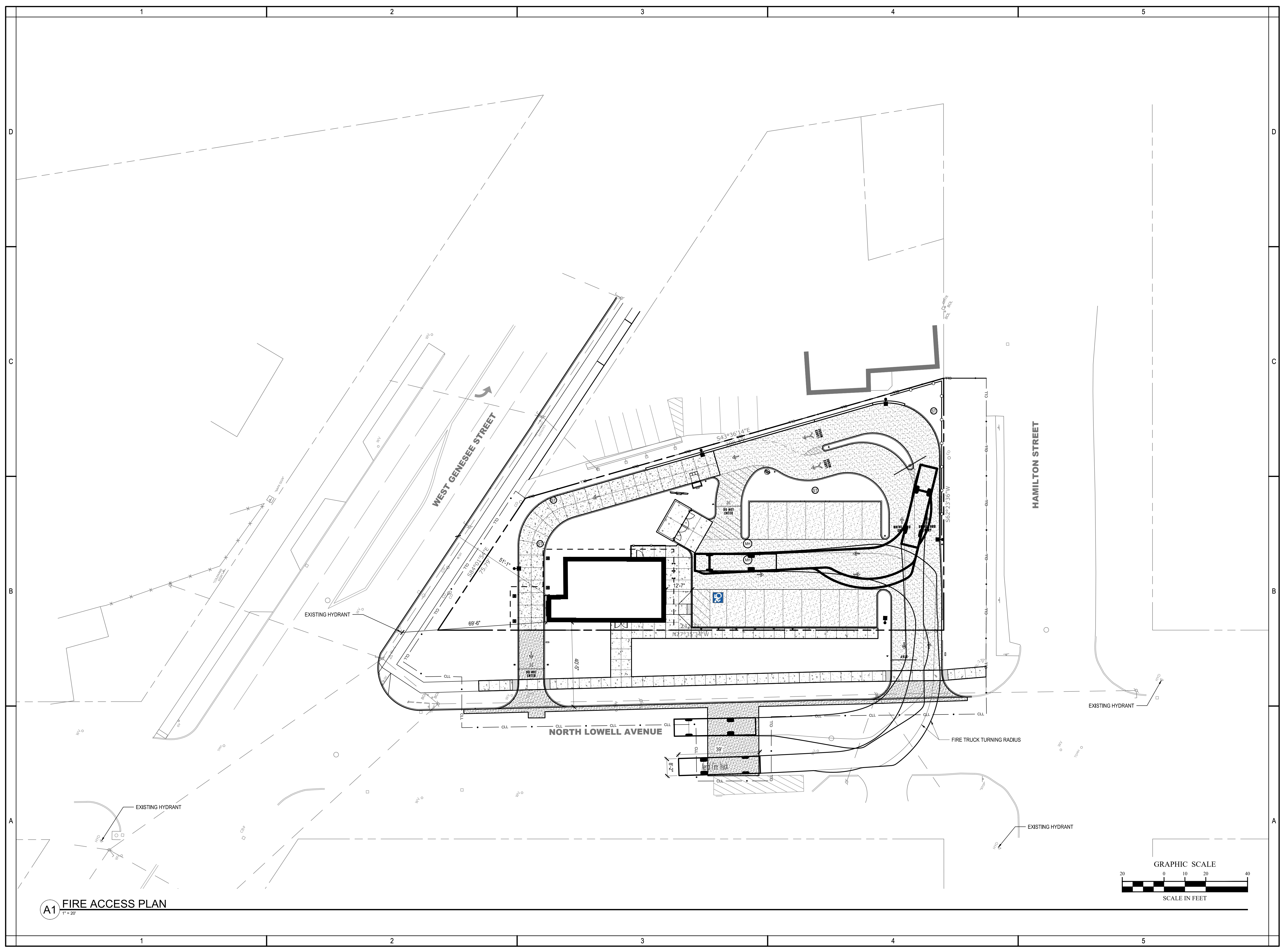
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PROJECT NUM
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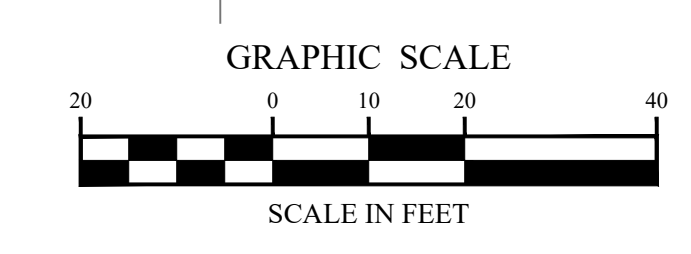
DATE
12/06/2023

SHEET TITLE
FIRE ACCESS PLAN

L-101.2



A1 FIRE ACCESS PLAN
1" = 20'



NOT FOR CONSTRUCTION

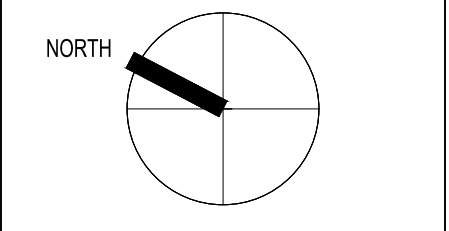
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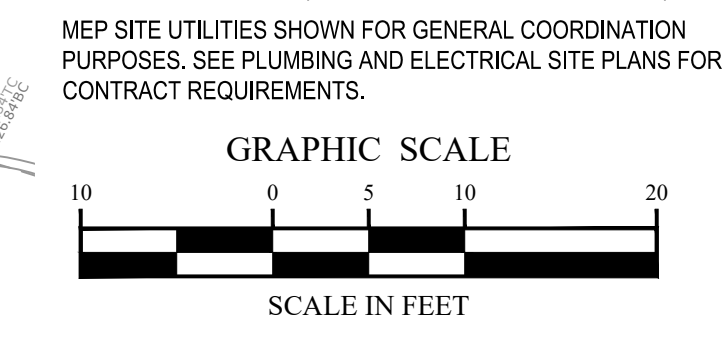
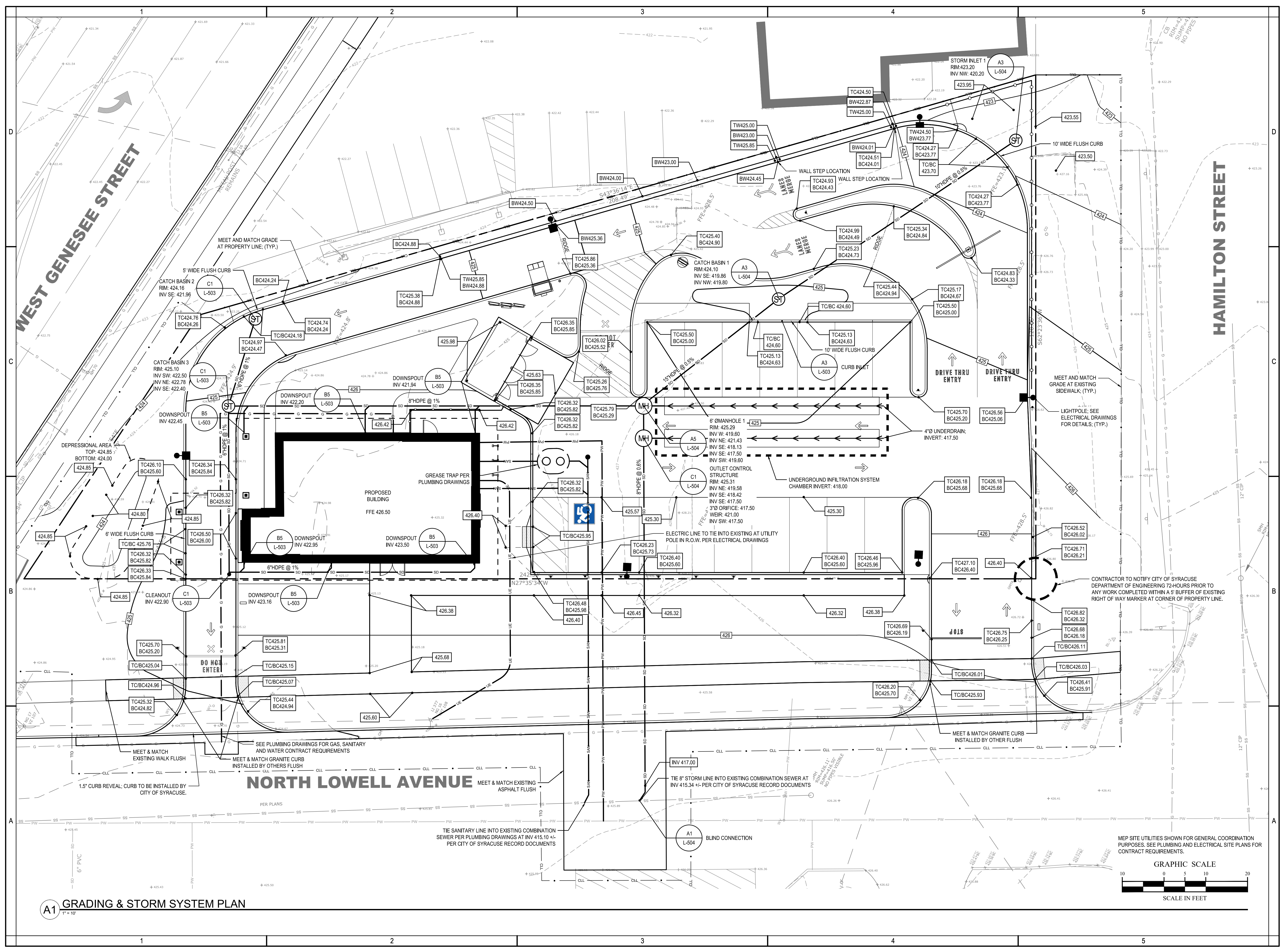
PROJECT STATUS
SITE PLAN REVIEW



REVISIONS

MARK	DATE	DESCRIPTION
PROJECT NUMBER 223115.00		
DATE 12/06/2023		

SHEET TITLE
**GRADING & STORM
SYSTEM PLAN**



A1 GRADING & STORM SYSTEM PLAN
1" = 10'

PLANT SCHEDULE						
TREES						
KEY	Botanical Name Common Name	SIZING	SPACING	ROOT	MATURE SIZE	REMARKS
AC	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' Autumn Brilliance Shadblow	2'-2 1/2' CALIPER	AS SHOWN	B&B	20' H x 15' W	TREE FORM
CC	<i>Cercis canadensis</i> Redbud	2'-2 1/2' CALIPER	AS SHOWN	B&B	40' H x 25' W	
AF	<i>Acer x freemanii</i> 'Autumn Blaze' Autumn Blaze Freeman Maple	3'-4' CALIPER	AS SHOWN	B&B	50' H x 35' W	
AR	<i>Acer rubrum</i> 'Red Sunset' Red Maple	3'-4' CALIPER	AS SHOWN	B&B	30' H x 12' W	MALE ONLY
SHRUBS						
IG	<i>Ilex glabra</i> 'Shamrock' Inkberry	No. 5 CONTAINER	AS SHOWN	CONTAINER	3.5 H x 3.5' W	
JV	<i>Juniperus scopulorum</i> 'Skyrocket' Skyrocket Juniper	No. 5 CONTAINER	No. 5 CONTAINER	CONTAINER	15' H x 2.5' W	
PS	<i>Prunus x 'Snofozan'</i> White Snow Fountains Weeping Cherry	No. 5 CONTAINER	No. 5 CONTAINER	CONTAINER	12' H x 10' W	
HERBACEOUS PLANTS						
HE	<i>Hemerocallis</i> 'Carnival Rose Grant' Coral Bells	No. 3 CONTAINER	AS SHOWN	CONTAINER	1.5' H x 1' W	
CA	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' Feather reed grass	No. 3 CONTAINER	AS SHOWN	CONTAINER	6-12" H x 12' W	
PA	<i>Pennisetum alopecuroides</i> 'Hameln' Hameln Grass	No. 3 CONTAINER	AS SHOWN	CONTAINER	2' H x 2' W	
PV	<i>Panicum virgatum</i> 'Northwind' Northwind Switchgrass	No. 5 CONTAINER	AS SHOWN	CONTAINER	5' H x 3' W	

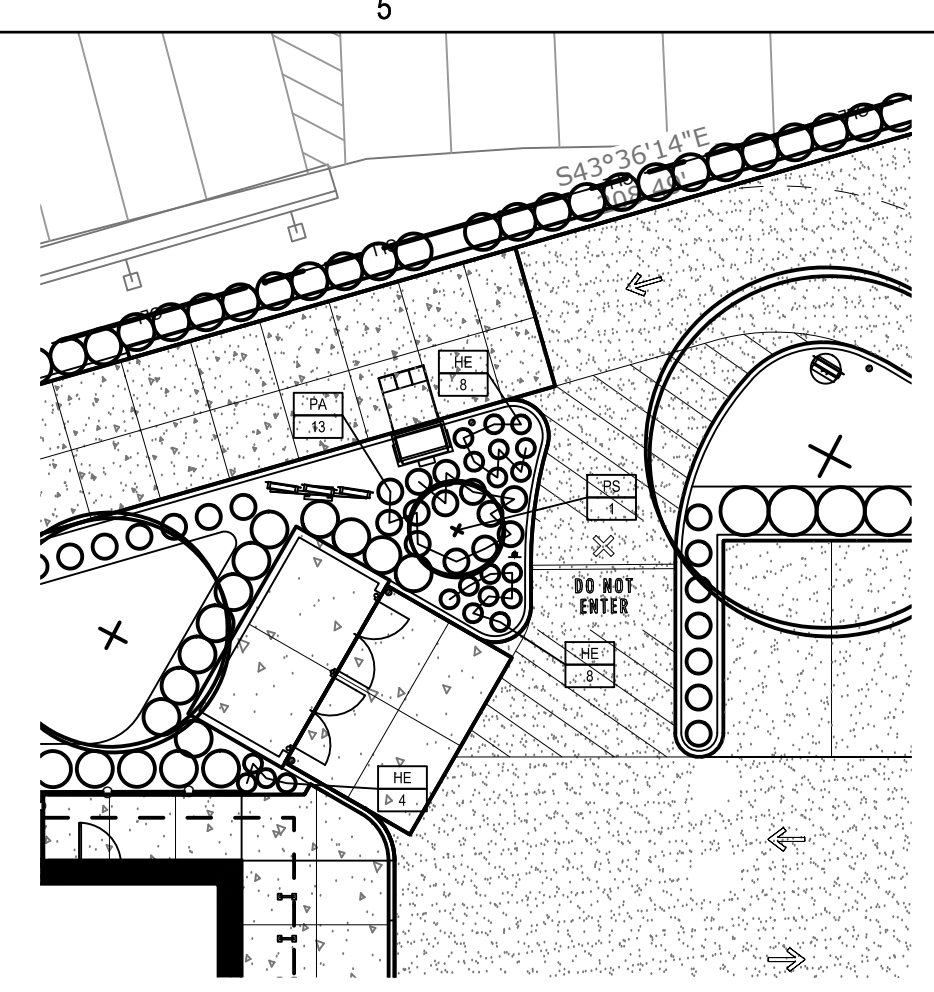
LETTER SYMBOL OF EACH PLANT SPECIES IDENTIFIED IN PLANT KEY

XX
#

NUMBER OF PLANTS REQUIRED FOR INDIVIDUAL PLANTING AREA

ABBREVIATION LIST:
B&B = BALLED & BURLAPPED
O.C.E.W. = ON CENTER EACH WAY

A1 PLANTING PLAN ENLARGEMENT
1" = 10'



450 SOUTH SALINA STREET
SUITE 500 PO BOX 29
SYRACUSE, NY 13201-0029

NOT FOR CONSTRUCTION

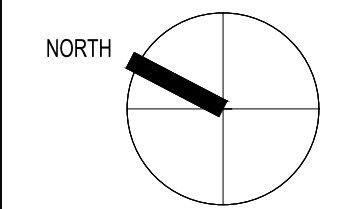
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STARBUCKS COFFEE SHOP

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SYRACUSE, NEW YORK

REDEV CNY CONSTRUCTION CORP.

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SITE PLAN REVIEW



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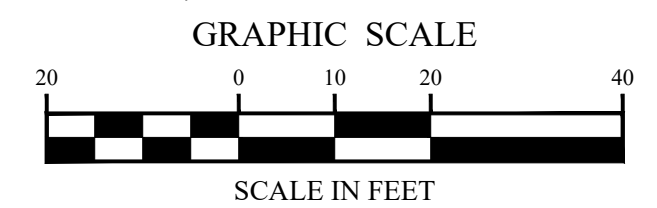
MARK	DATE	DESCRIPTION

PROJECT NUM	DATE
223115.00	12/06/2023

SHEET TITLE
PLANTING PLAN

L-103

A1 PLANTING PLAN
1" = 20'

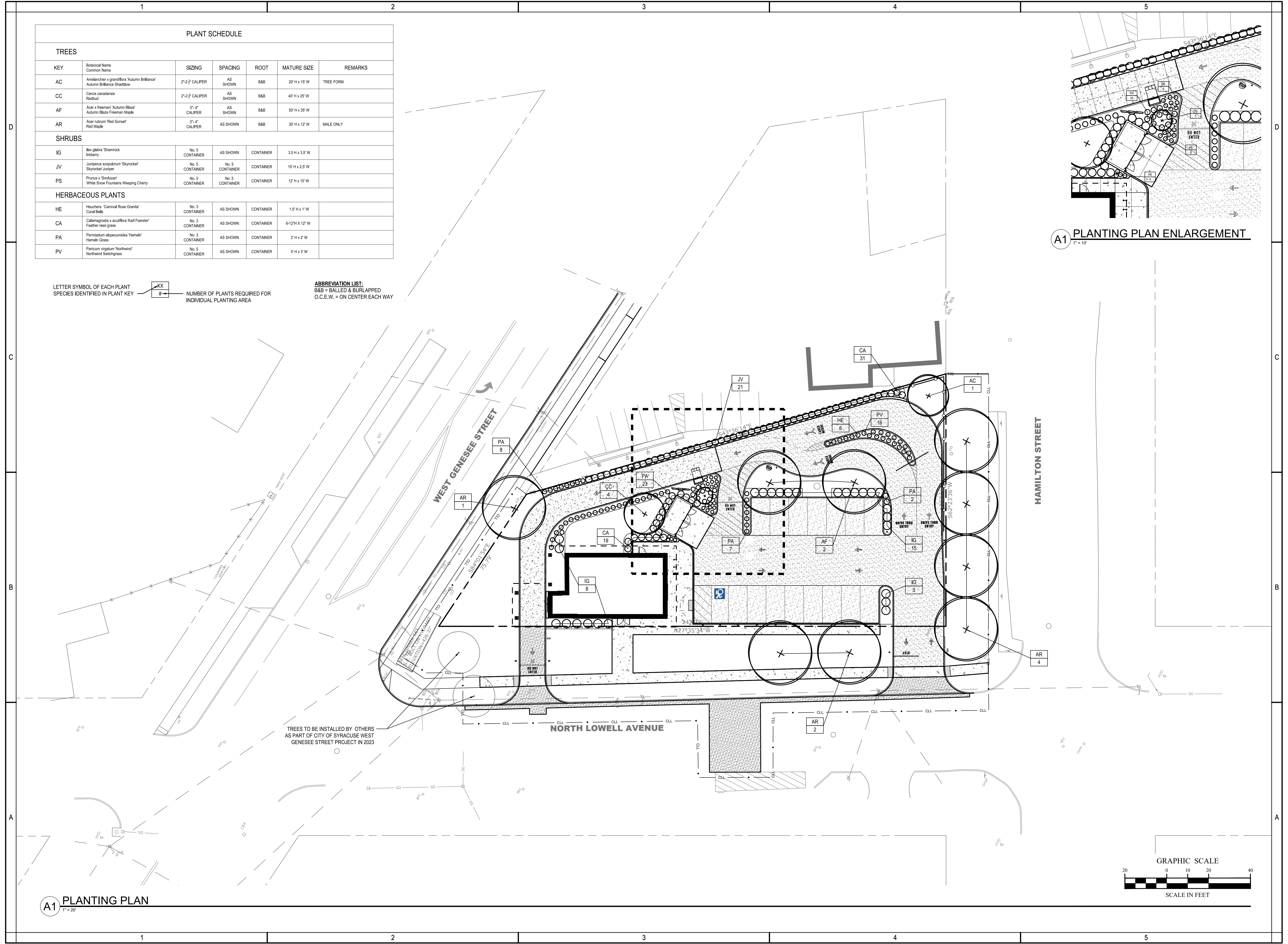


TREES TO BE INSTALLED BY OTHERS AS PART OF CITY OF SYRACUSE WEST GENESEE STREET PROJECT IN 2023

WEST GENESEE STREET

HAMILTON STREET

NORTH LOWELL AVENUE



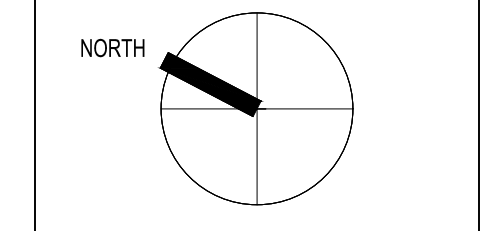
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210 HAMILTON ST.
SYRACUSE, NEW YORK

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CONSTRUCTION CORP.**

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REVISIONS

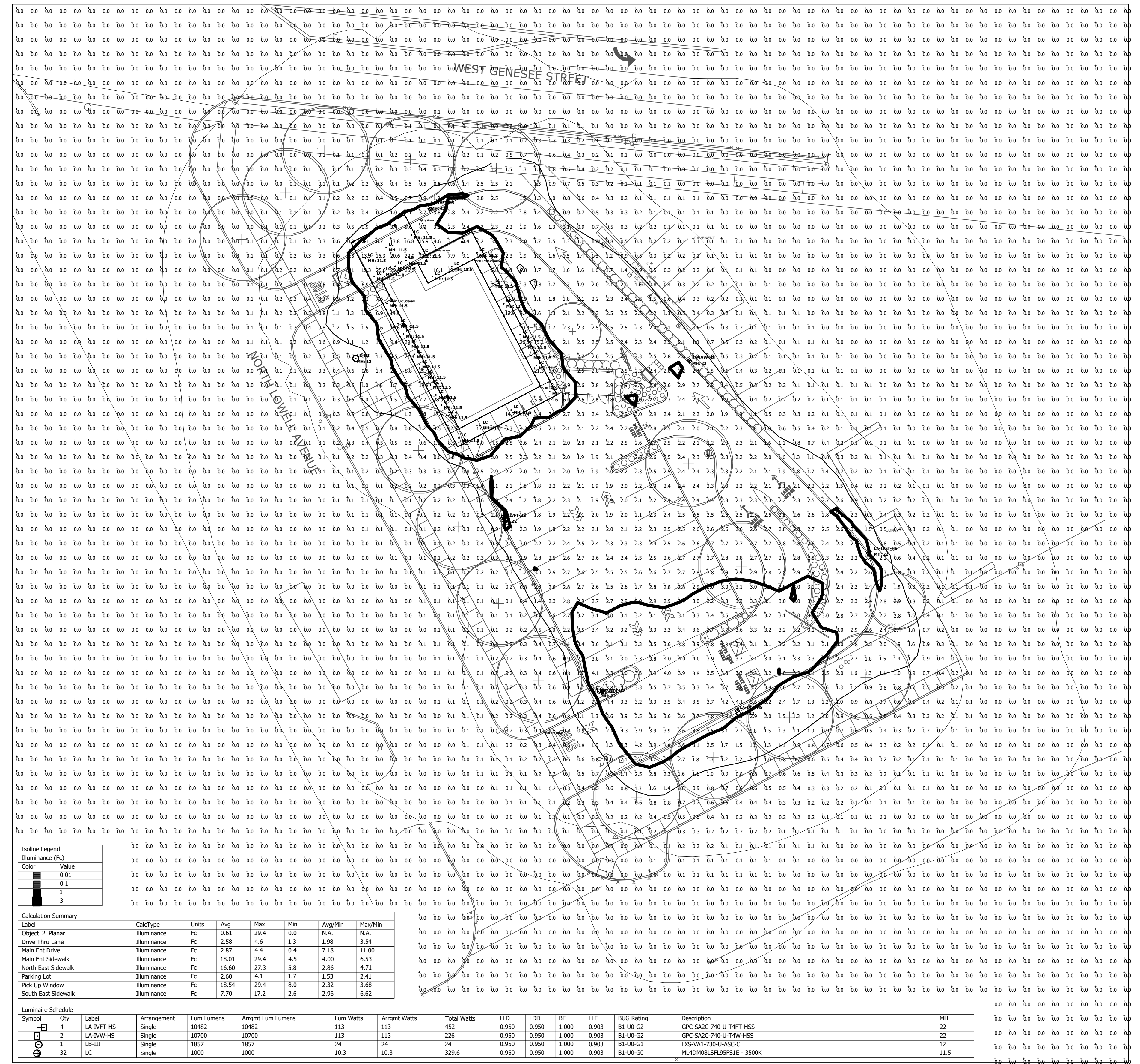
MARK	DATE	DESCRIPTION

PROJECT NUMBER
223115.00

DATE
12/06/2023

SHEET TITLE
PHOTOMETRICS PLAN

L-201



Iso-line Legend

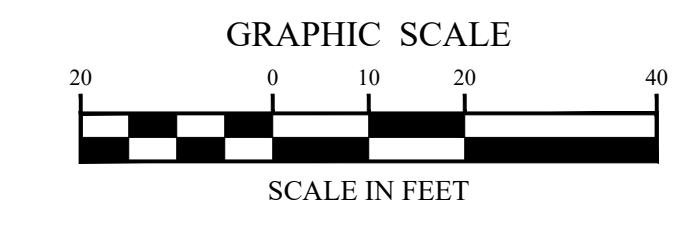
Color	Value
Lightest Gray	0.01
Light Gray	0.1
Medium Gray	1
Darkest Gray	3

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object_2_Planar	Illuminance	Fc	0.61	29.4	0.0	N/A	N/A
Drive Thru Lane	Illuminance	Fc	2.58	4.6	1.3	1.98	3.54
Main Ent Drive	Illuminance	Fc	2.87	4.4	0.4	7.18	11.00
Main Ent Sidewalk	Illuminance	Fc	18.01	29.4	4.5	4.00	6.53
North East Sidewalk	Illuminance	Fc	16.60	27.3	5.8	2.86	4.71
Parking Lot	Illuminance	Fc	2.60	4.1	1.7	1.53	2.41
Pick Up Window	Illuminance	Fc	18.54	29.4	8.0	2.32	3.68
South East Sidewalk	Illuminance	Fc	7.70	17.2	2.6	2.96	6.62

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum Lumens	Arrgmt Lum Lumens	Lum Watts	Arrgmt Watts	Total Watts	LLD	LDD	BF	LLF	BUG Rating	Description	MH
4	4	LA-IVFT-HS	Single	10482	10482	113	113	452	0.950	0.950	1.000	0.903	B1-U0-G2	GPC-SAZC-740-U-T4FT-HSS	22
2	2	LA-IVW-HS	Single	10700	10700	113	113	226	0.950	0.950	1.000	0.903	B1-U0-G2	GPC-SAZC-740-U-T4W-HSS	22
1	1	LB-III	Single	1857	1857	24	24	24	0.950	0.950	1.000	0.903	B1-U0-G1	LXS-WA1-730-U-ASC-C	12
32	32	LC	Single	1000	1000	10.3	10.3	329.6	0.950	0.950	1.000	0.903	B1-U0-G0	MLD-M08L5F55S1E-3500K	11.5



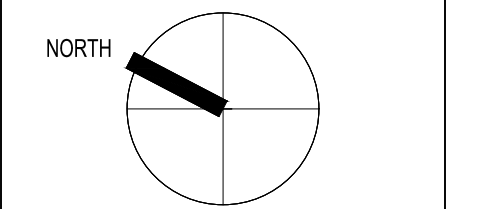
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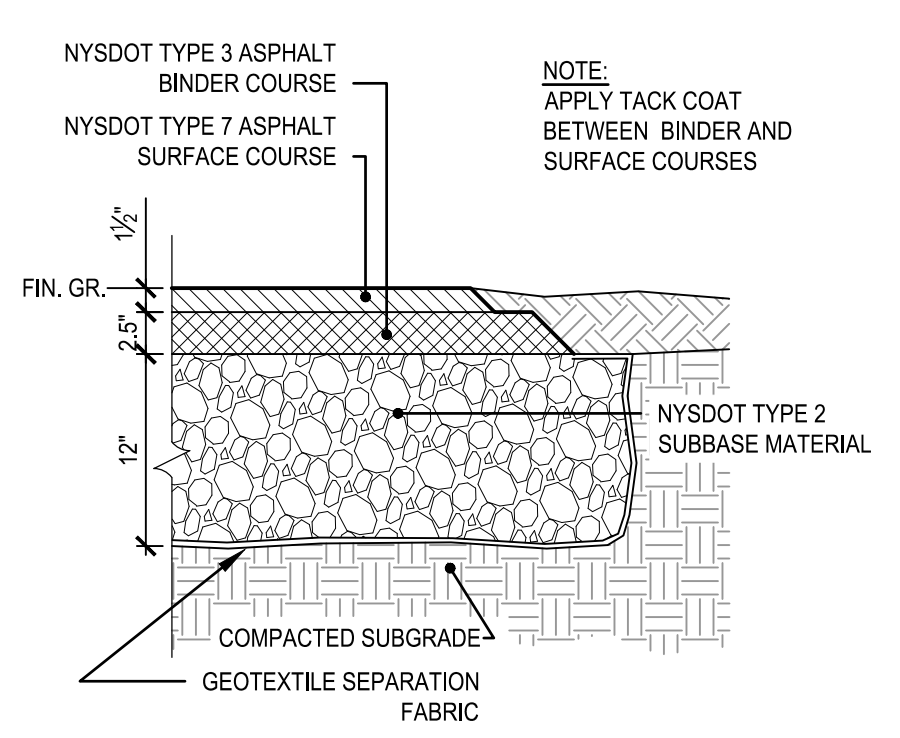


REVISIONS

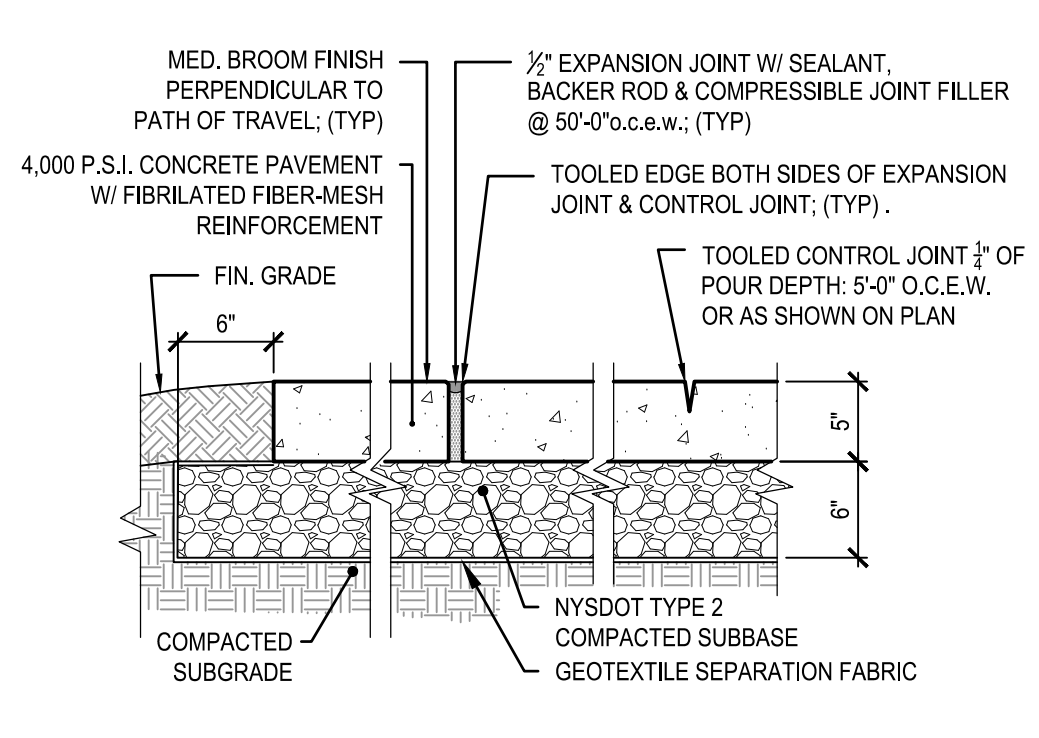
MARK	DATE	DESCRIPTION
PROJECT NUMBER 223115.00		
DATE 12/06/2023		

SHEET TITLE
**SITE GENERAL
INFORMATION**

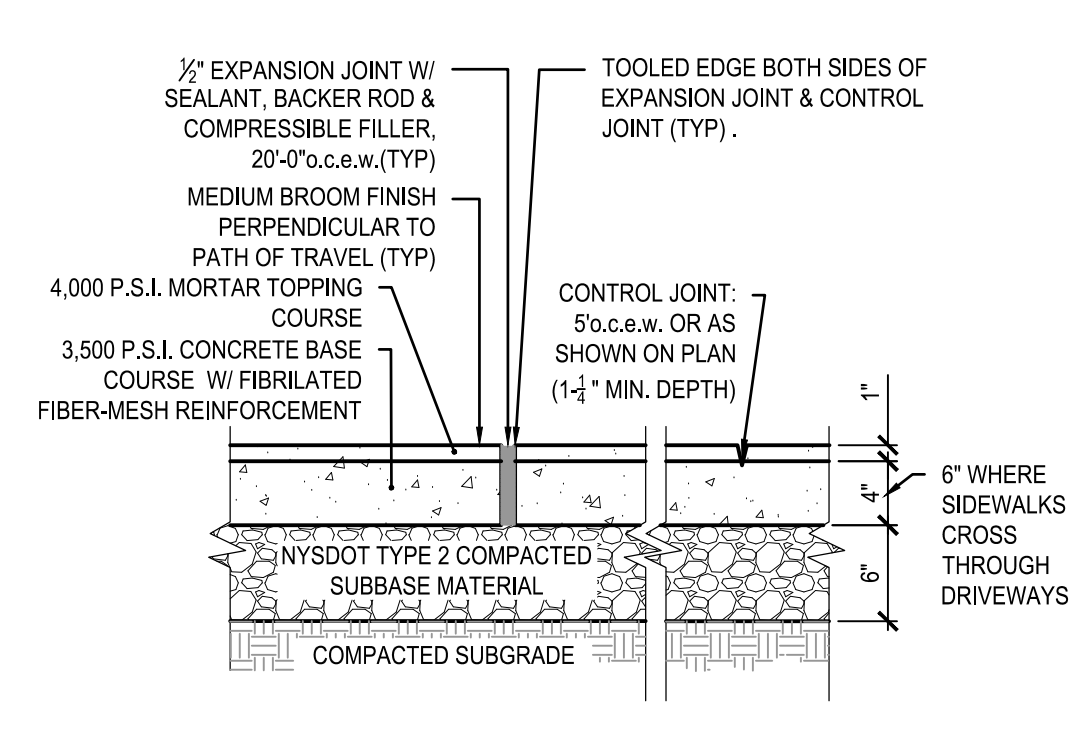
L-501



D1 ASPHALT PARKING PAVEMENT
NOT TO SCALE



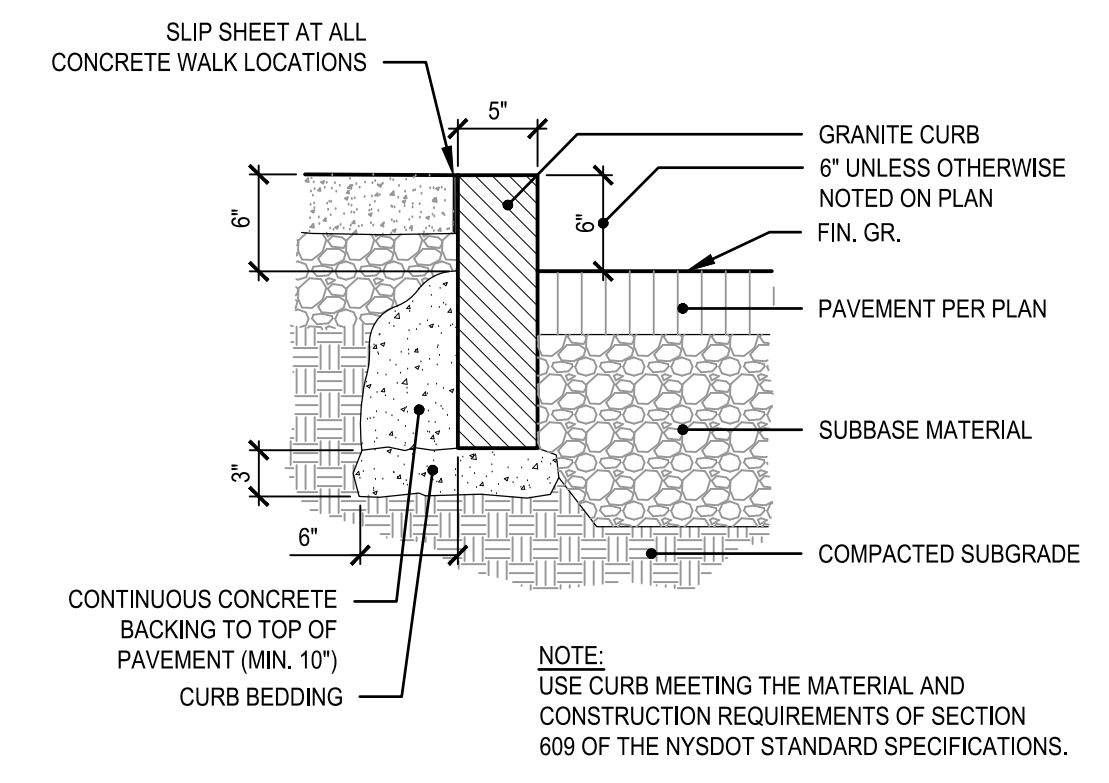
D2 CONCRETE WALK PAVEMENT
NOT TO SCALE



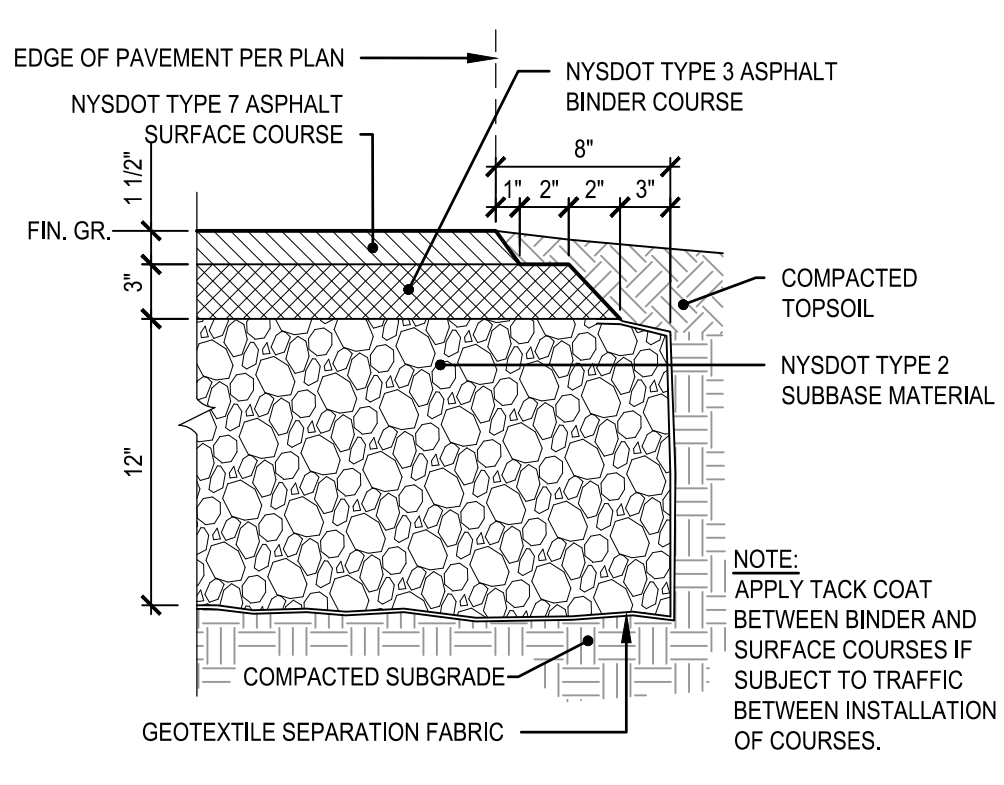
D3 CONCRETE WALK PAVEMENT (ROW)
NOT TO SCALE

NOTES:

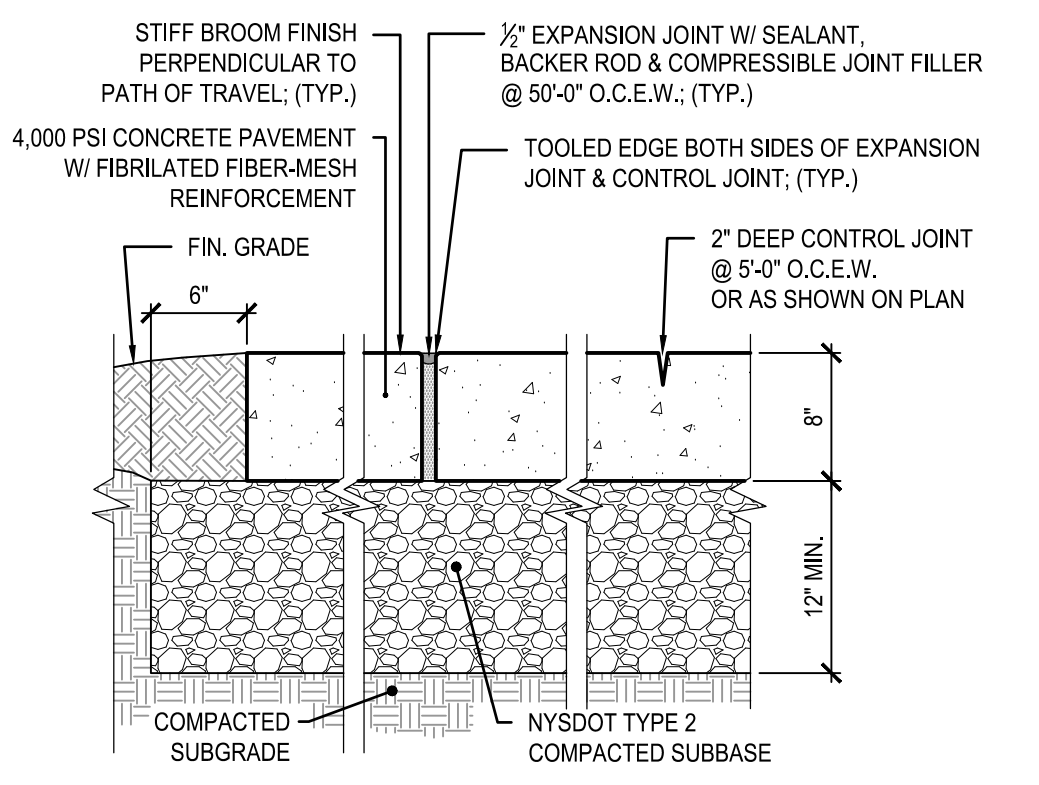
- SIDEWALK REPAIRS & REPLACEMENTS WITHIN THE CITY OF SYRACUSE RIGHT-OF-WAY (ROW) SHALL COMPLY WITH CURRENT CITY OF SYRACUSE STANDARDS AND SPECIFICATIONS FOR THE DESIGN/CONSTRUCTION DIVISION, SECTION 02520 FOR TWO-POUR CONCRETE SIDEWALKS.
- CONCRETE FOR THE LOWER COURSE SHALL COMPLY WITH THE REQUIREMENTS FOR CLASS A CONCRETE, AS DEFINED IN THE CURRENT NYSDOT STANDARD SPECIFICATIONS, TABLE 501-3, "CONCRETE MIXTURES". CONCRETE FOR THE MORTAR TOPPING COURSE SHALL CONSIST OF PORTLAND CEMENT, CONCRETE SAND, WATER AND IF NECESSARY, AN AIR ENTRAINING AGENT. THE MIXTURE SHALL BE PROPORTIONED TO CONTAIN (1) PART OF PORTLAND CEMENT TO TWO (2) PARTS OF CONCRETE SAND. SUFFICIENT WATER SHALL BE ADDED TO OBTAIN WORKABILITY AND YIELD A 4000psi COMPRESSIVE STRENGTH AT THE 28-DAY TEST PER ASTM C39-80. AIR CONTENT OF THE FRESHLY MIXED TOPPING COURSE SHALL BE 6%, PLUS OR MINUS ONE (1) PERCENT.
- LOCATE EXPANSION JOINTS WHERE THE SIDEWALK INTERSECTS BUILDINGS, WALKS, PERMANENT STRUCTURES OR OTHER LOCATIONS AS INDICATED ON THE PLANS. NO MORE THAN FIFTY (50) LINEAL FEET OF BASE COURSE SHALL BE PLACED BEFORE STARTING TO PLACE THE TOP COURSE AND THE TOP COURSE SHALL BE PLACED WITHIN FORTY-FIVE (45) MINUTES AFTER THE BASE COURSE IS PLACED AND BEFORE INITIAL SET HAS OCCURRED.
- CONTROL JOINTS SHALL EXTEND INTO THE BASE COURSE AND ALIGN WITH THE EXPOSED CONTROL JOINTS ABOVE.
- PROVIDE A COMPLETE CONCRETE WALK SUBMITTAL TO THE ENGINEER FOR REVIEW INCLUDING CONCRETE MIX DESIGNS, ADMIXTURES, FIBER MESH AND ALL OTHER RELATED ITEMS. INDICATE COMPLIANCE WITH APPROPRIATE CITY STANDARD SPECIFICATIONS.



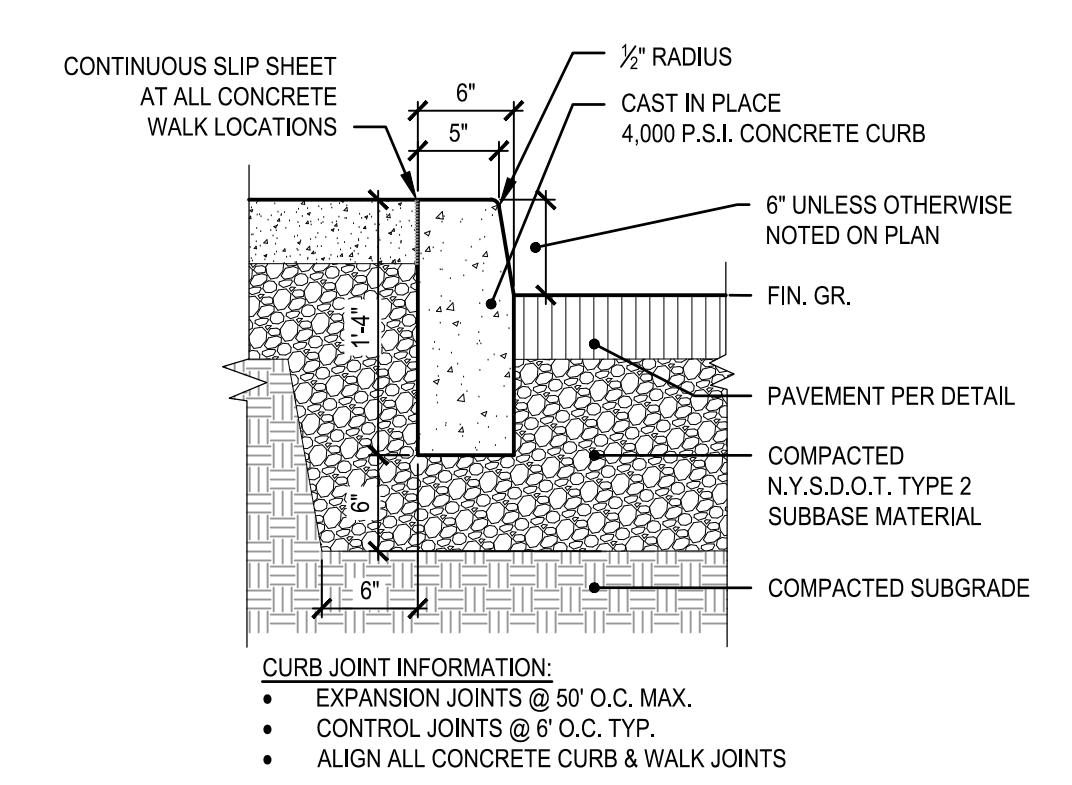
D5 GRANITE CURB
NOT TO SCALE



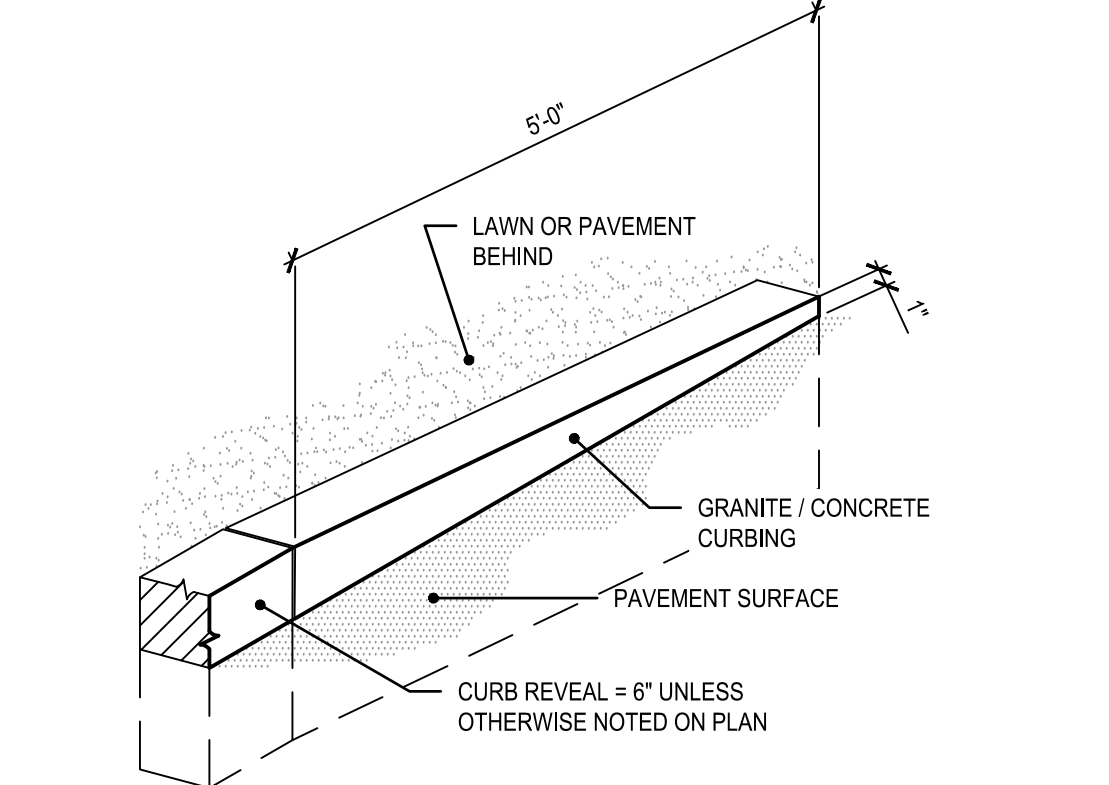
C1 ASPHALT DRIVE PAVEMENT
NOT TO SCALE



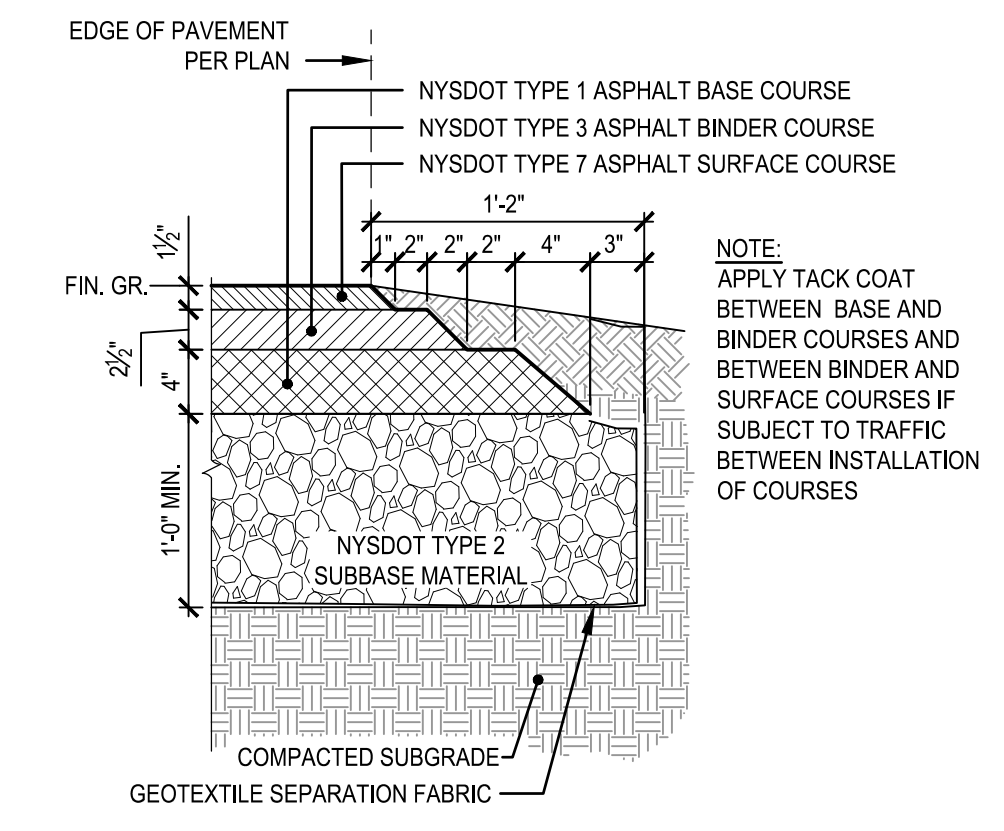
C2 CONCRETE DRIVE PAVEMENT
NOT TO SCALE



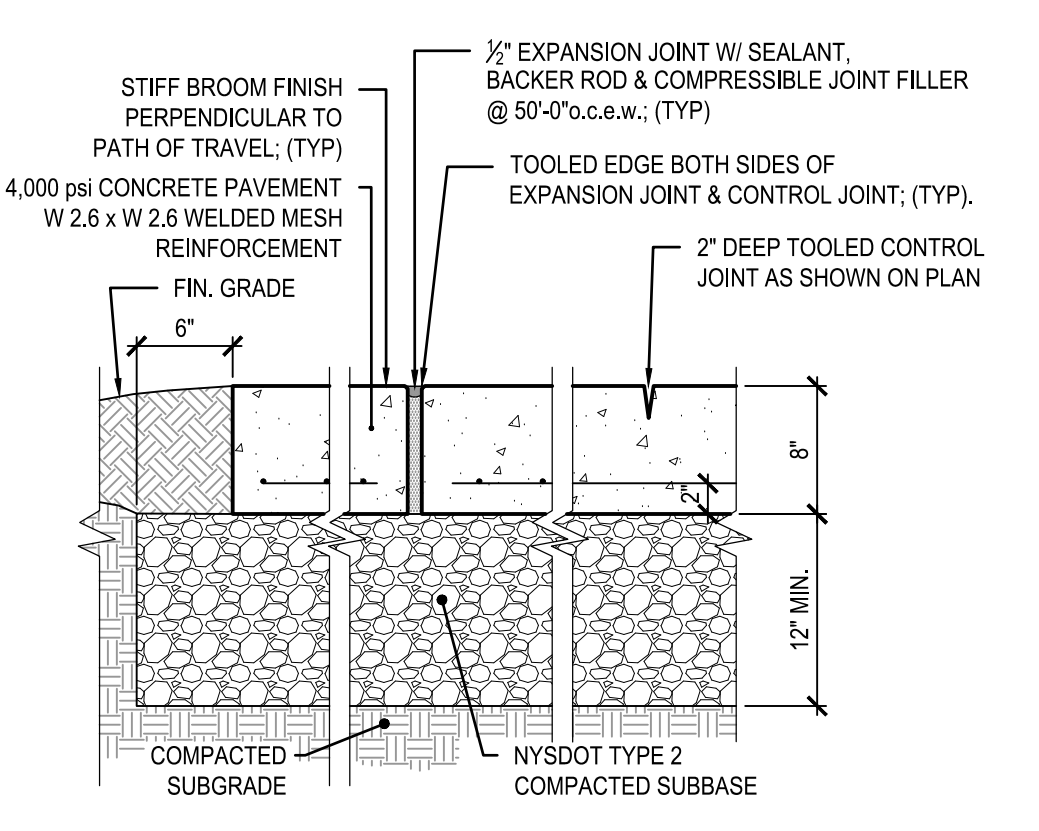
C4 CONCRETE CURB
NOT TO SCALE



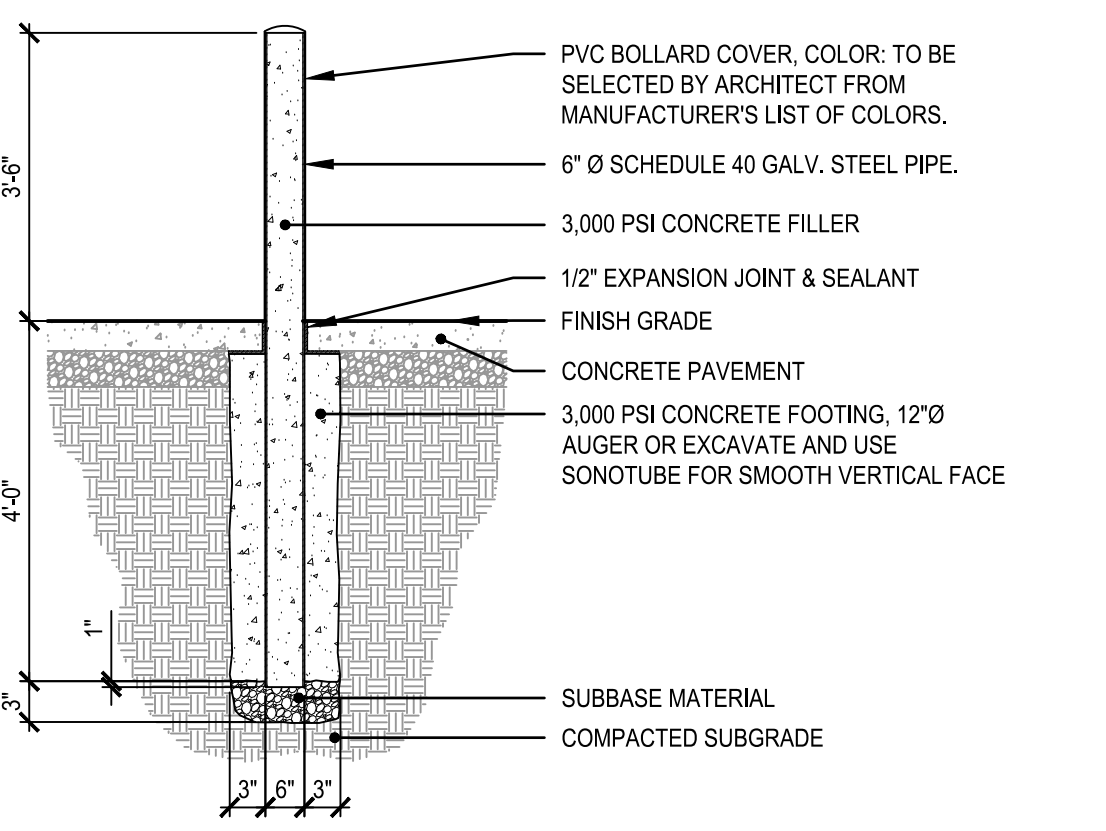
C5 CURB ENDING
NOT TO SCALE



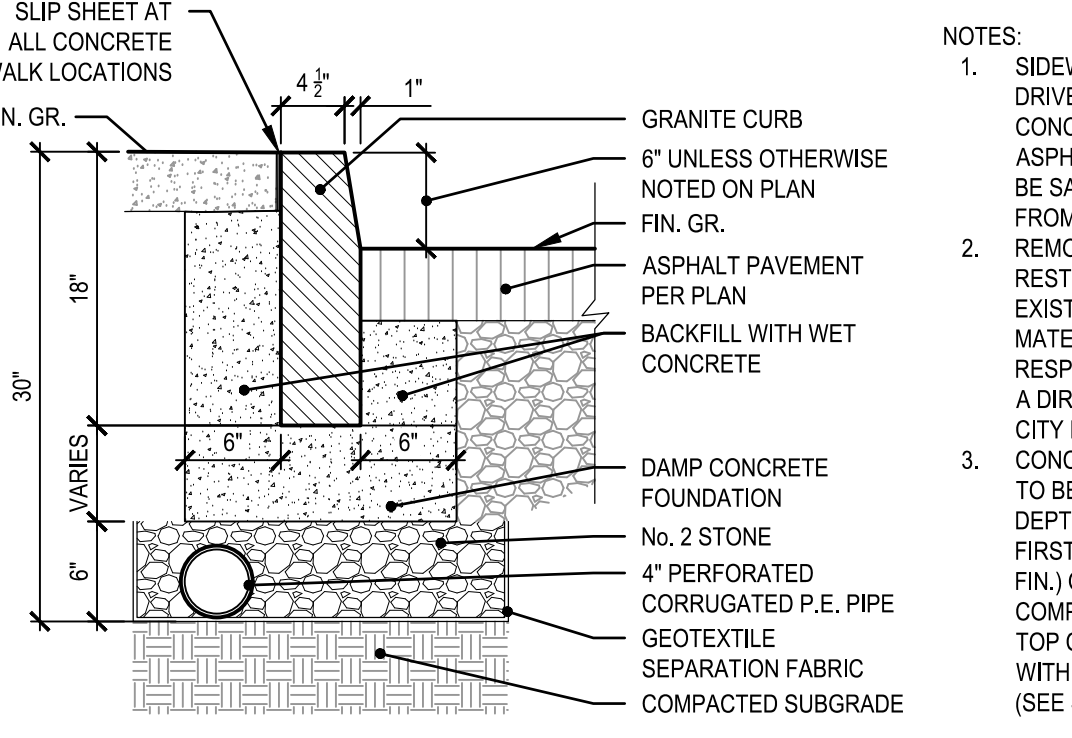
B1 ASPHALT ROAD PAVEMENT (ROW)
NOT TO SCALE



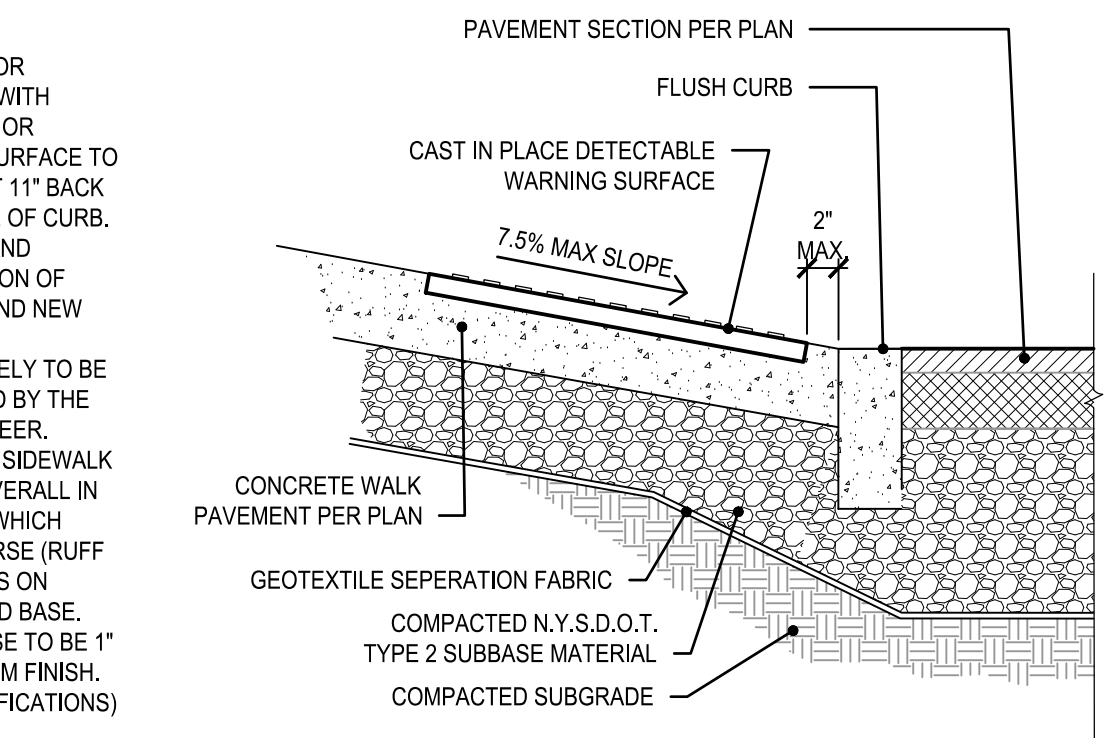
B2 CONCRETE DUMPSTER PAD
NOT TO SCALE



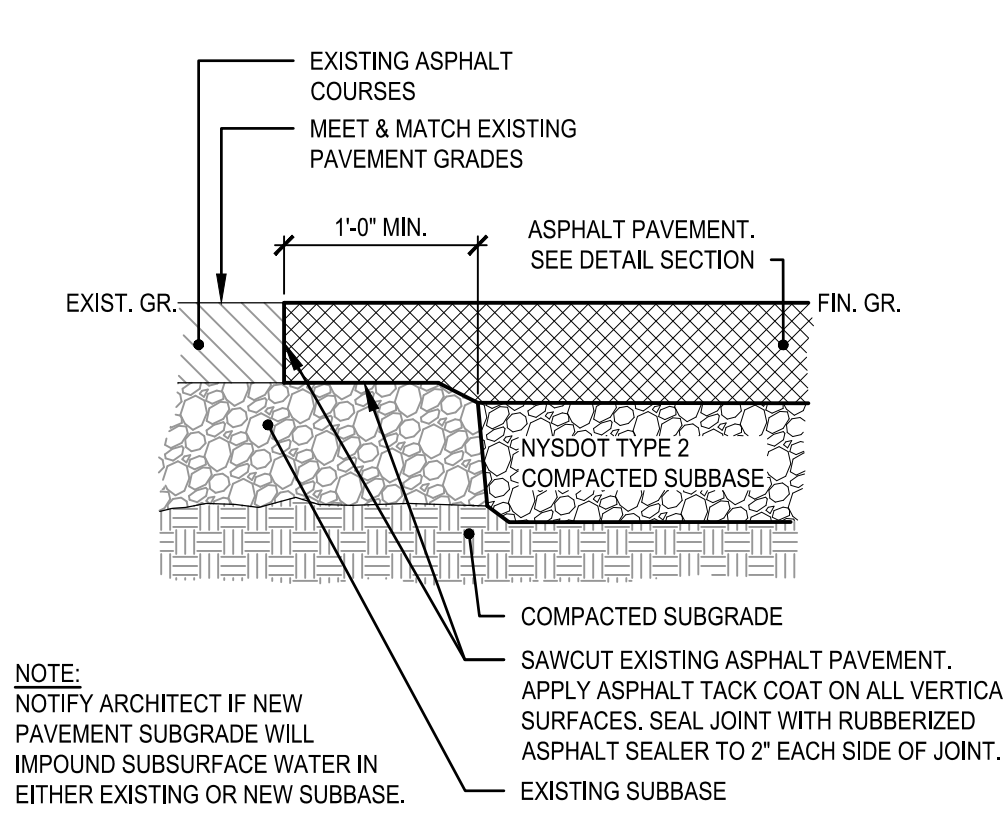
B3 BOLLARD
NOT TO SCALE



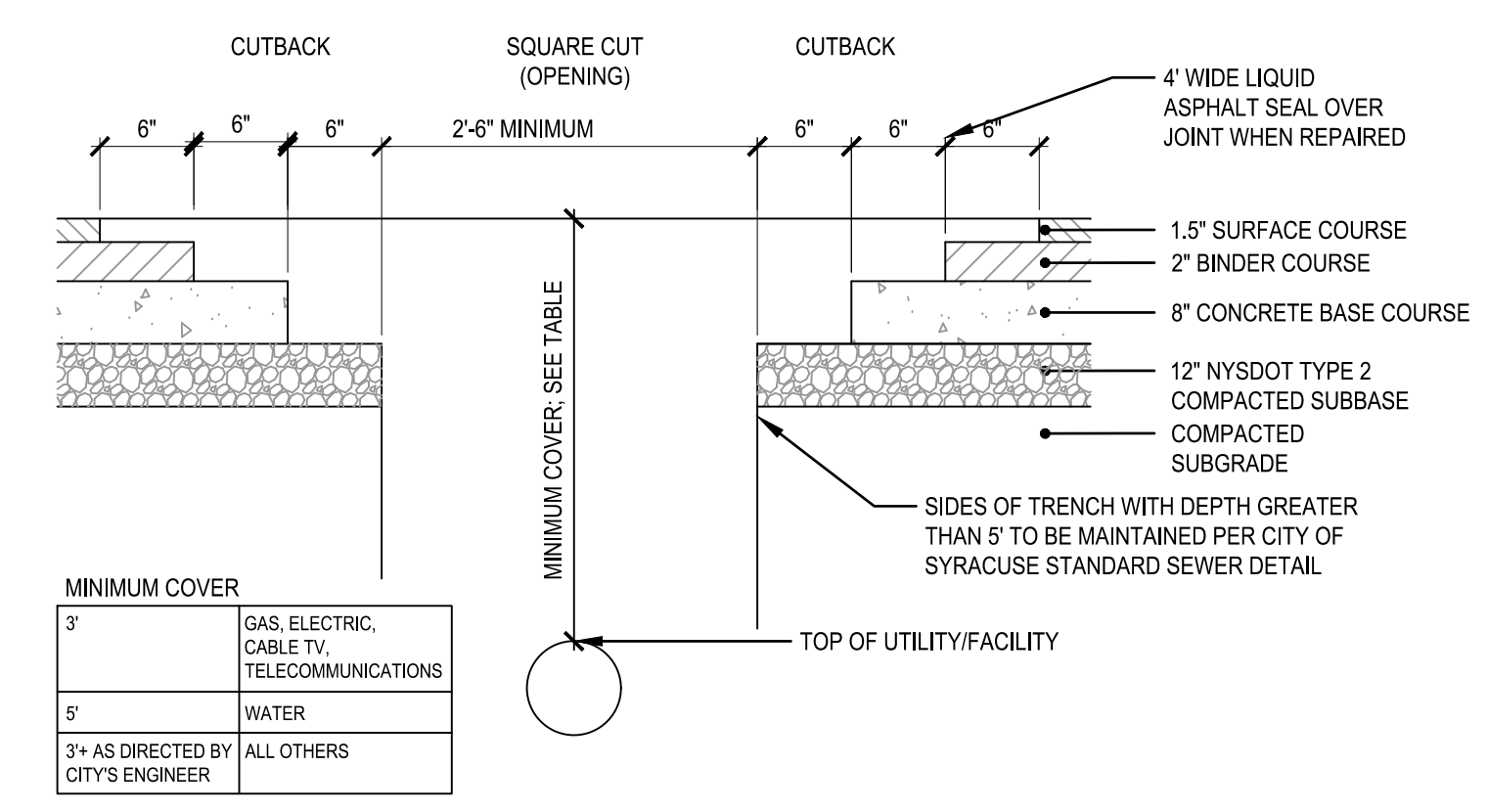
B4 GRANITE CURB (ROW)
NOT TO SCALE



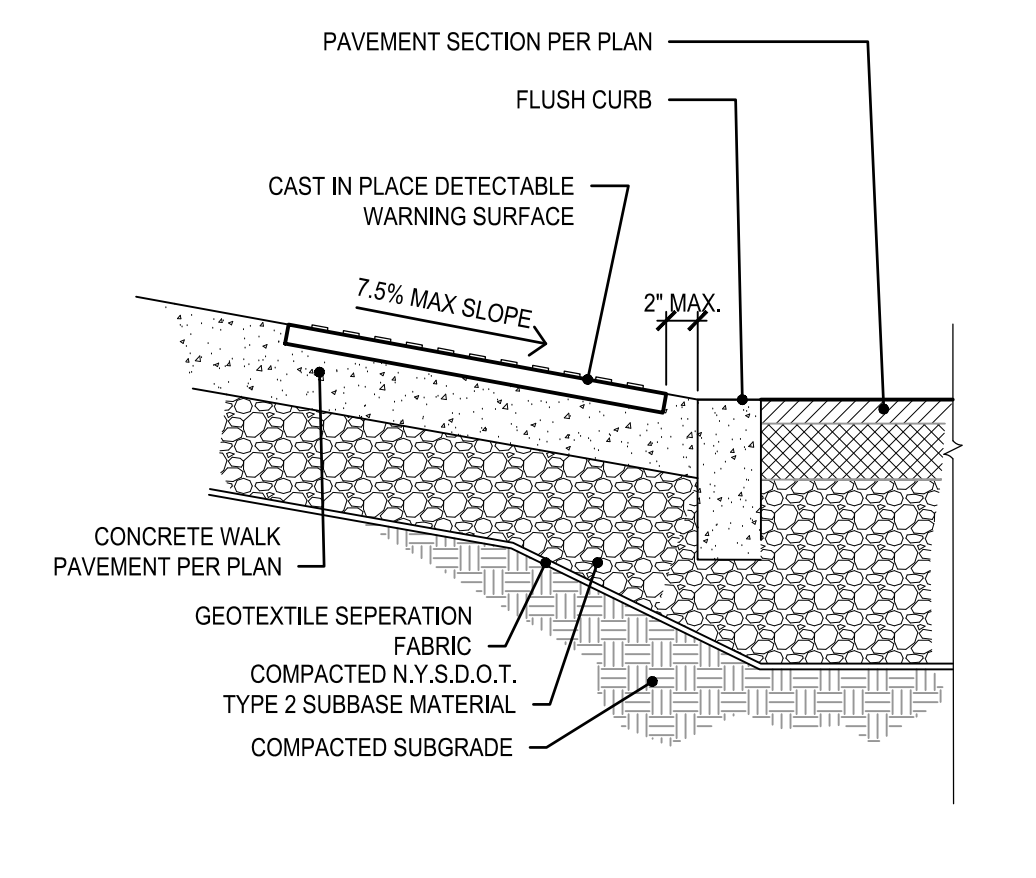
B5 CURB CUT
NOT TO SCALE



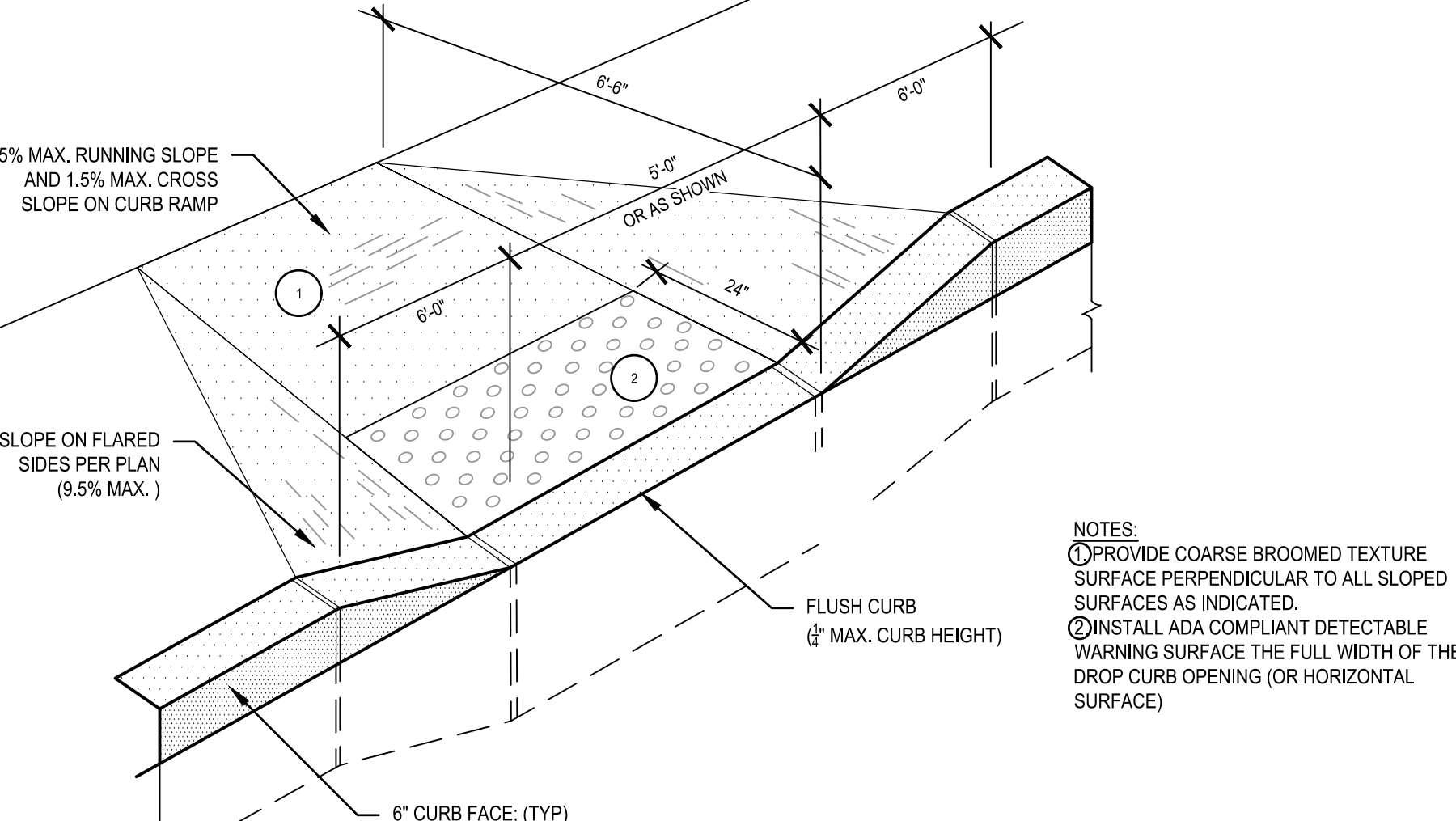
A1 ASPHALT JOINT
NOT TO SCALE



A2 ASPHALT STREET CUT REPAIR
NOT TO SCALE

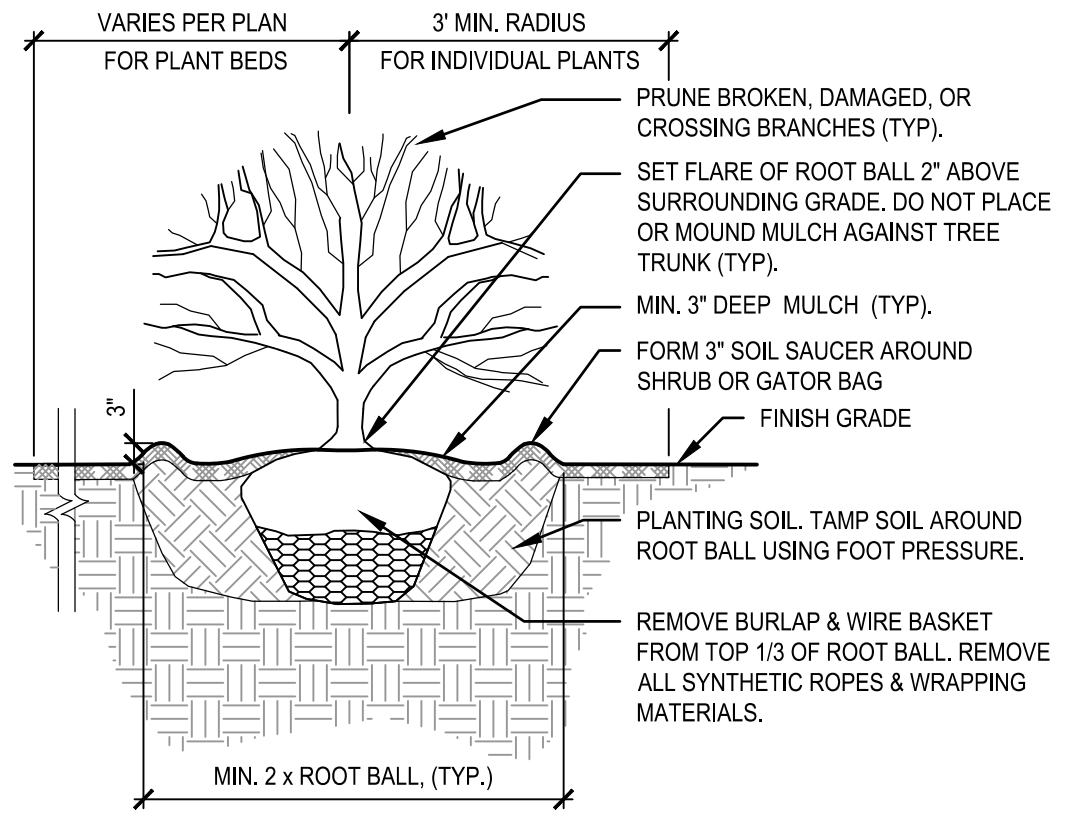


A3 CURB CUT
NOT TO SCALE

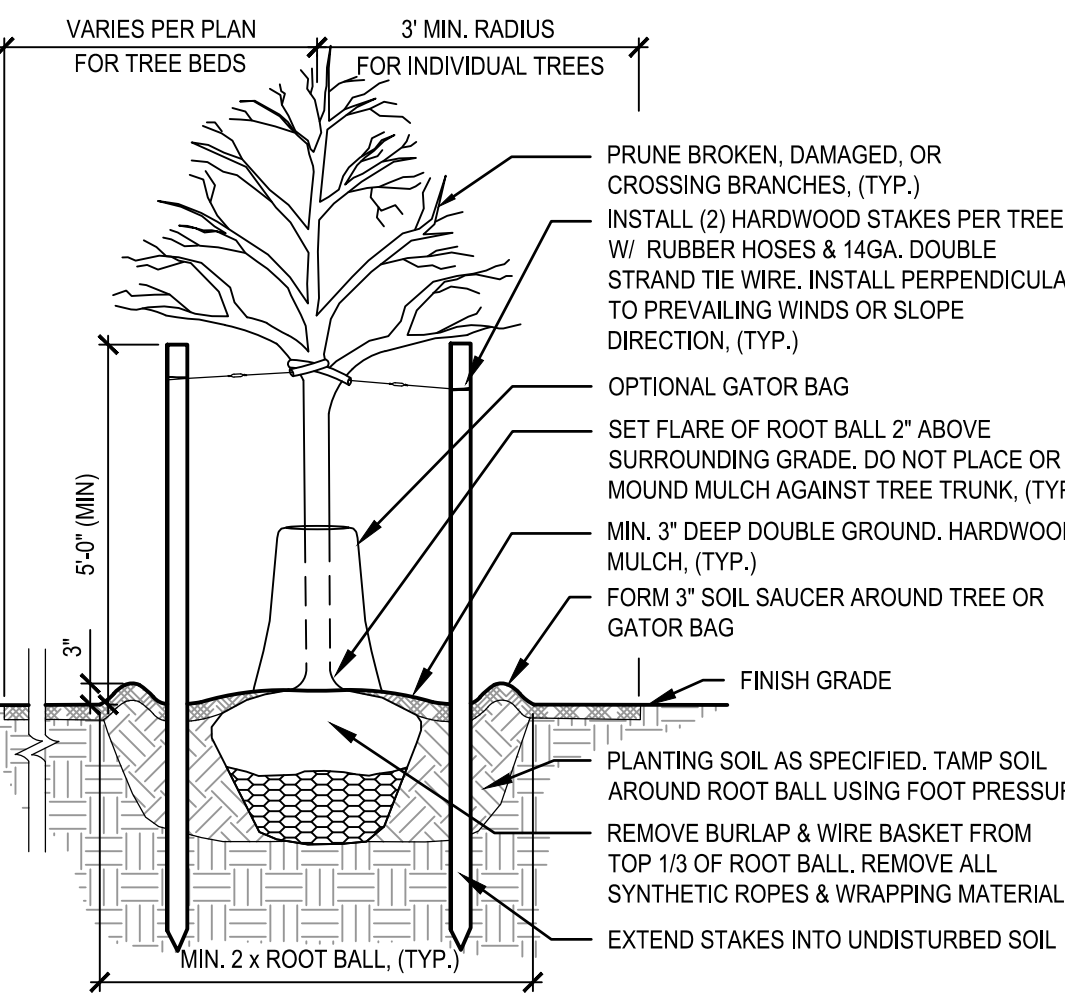


NOTES:

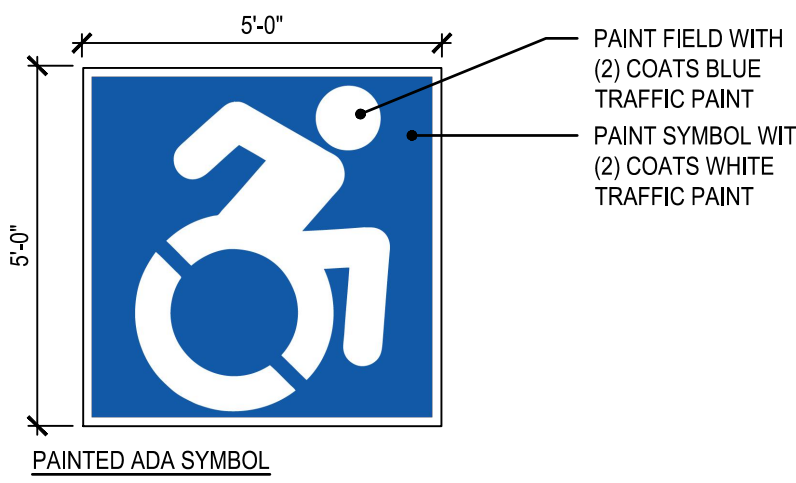
- PROVIDE COARSE BROOMED TEXTURE SURFACE PERPENDICULAR TO ALL SLOPED SURFACES AS INDICATED.
- INSTALL ADA COMPLIANT DETECTABLE WARNING SURFACE THE FULL WIDTH OF THE DROP CURB OPENING (OR HORIZONTAL SURFACE)



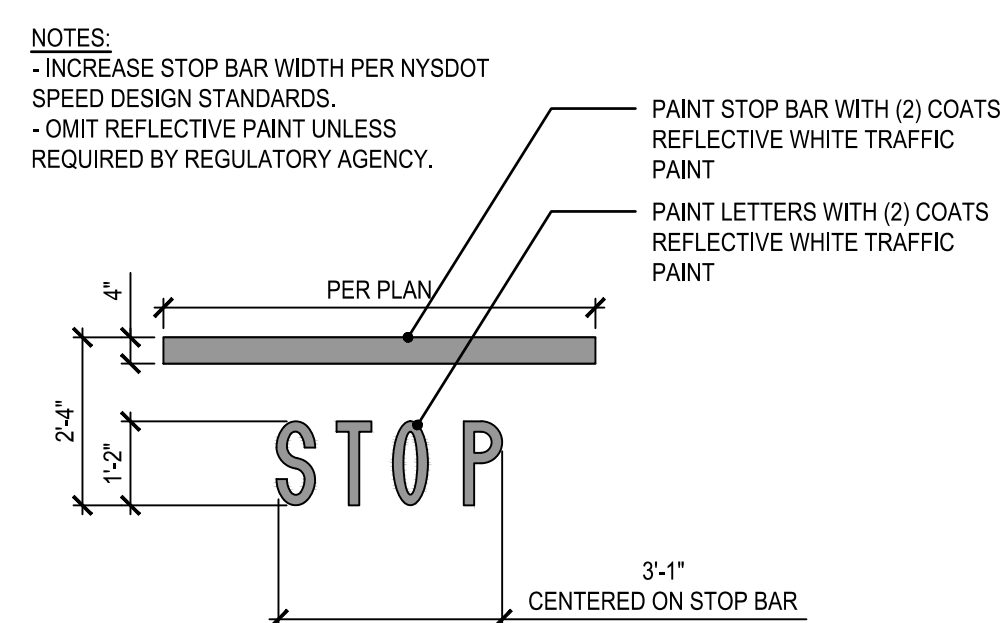
D1 SHRUB PLANTING
NOT TO SCALE



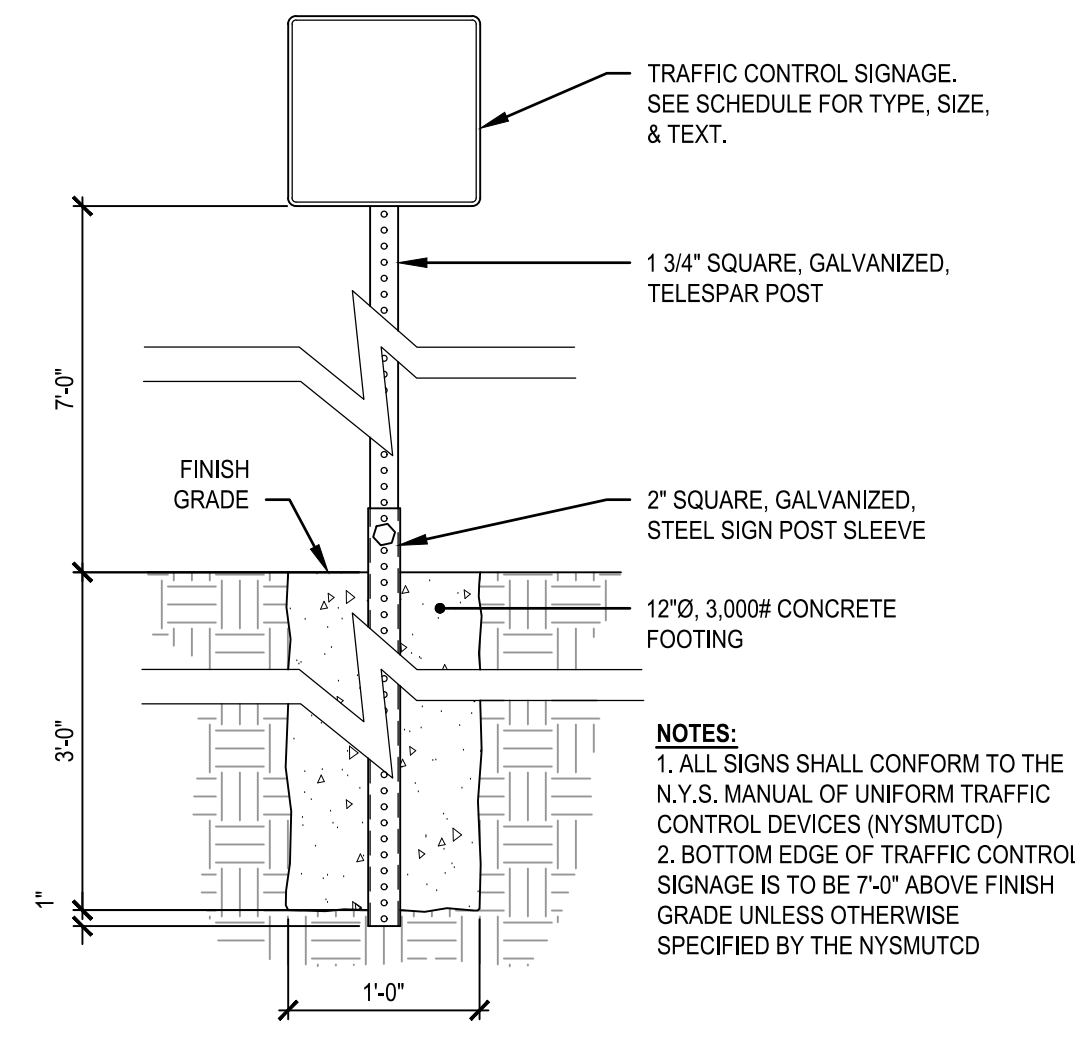
C1 TREE PLANTING
NOT TO SCALE



B1 PAINTED MARKINGS - ADA
NOT TO SCALE



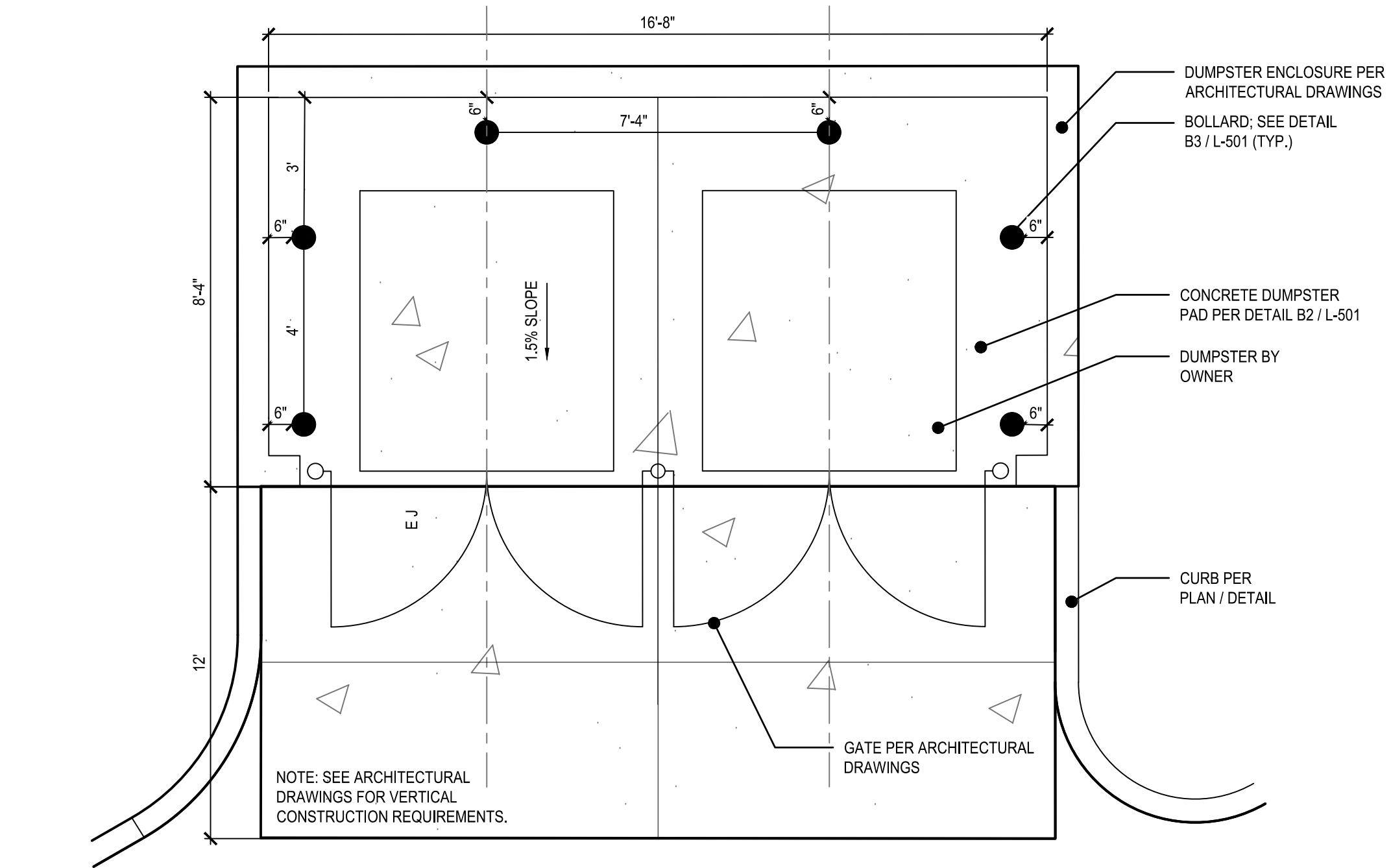
A1 PAINTED MARKINGS - STOP
NOT TO SCALE



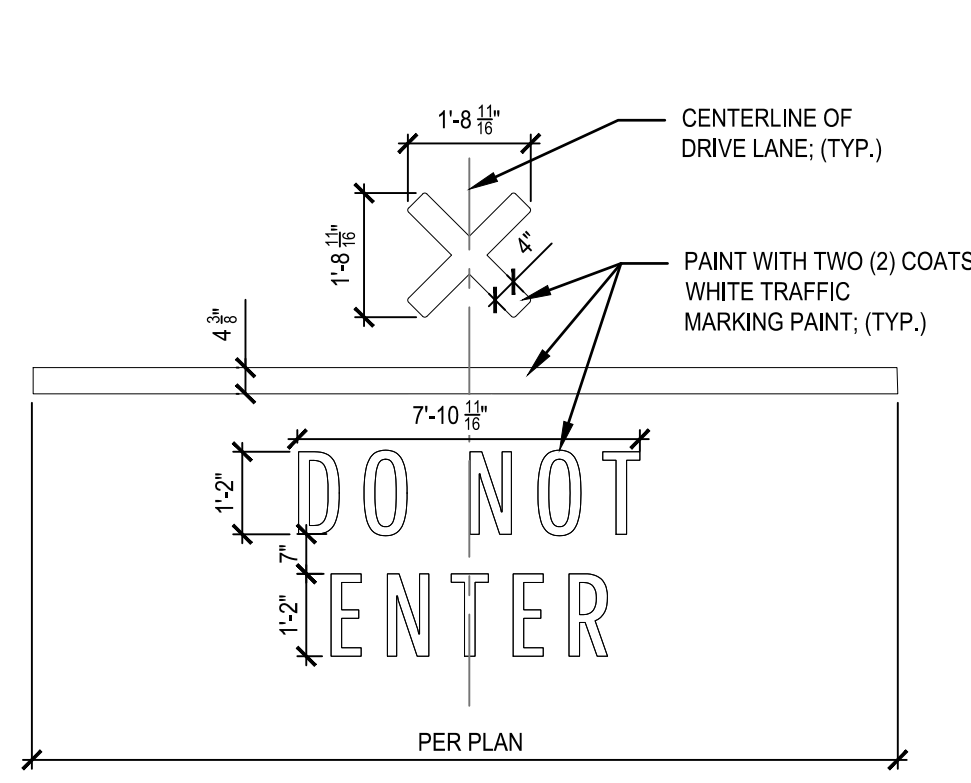
C2 TRAFFIC CONTROL SIGNAGE
NOT TO SCALE

TRAFFIC CONTROL SIGN SCHEDULE

TYPE	DESCRIPTION
A	"NO PARKING" SIGN - 12"x18"
B	A.D.A. PARKING SIGN - 12"x18"
C	STOP SIGN - 30" X 30"
D	DO NOT ENTER SIGN - 12"x18"
E	STARBUCKS ORDER PICK-UP SIGN - 12"x18"
F	NO PARKING HERE TO CORNER SIGN - 12"x18" (WITH DIRECTIONAL ARROW)
G	ODD / EVEN PARKING SIGN - 12"x18" (WITH DIRECTIONAL ARROW)
H	STOP SIGN - 30" X 30" WITH ALL WAY SIGN

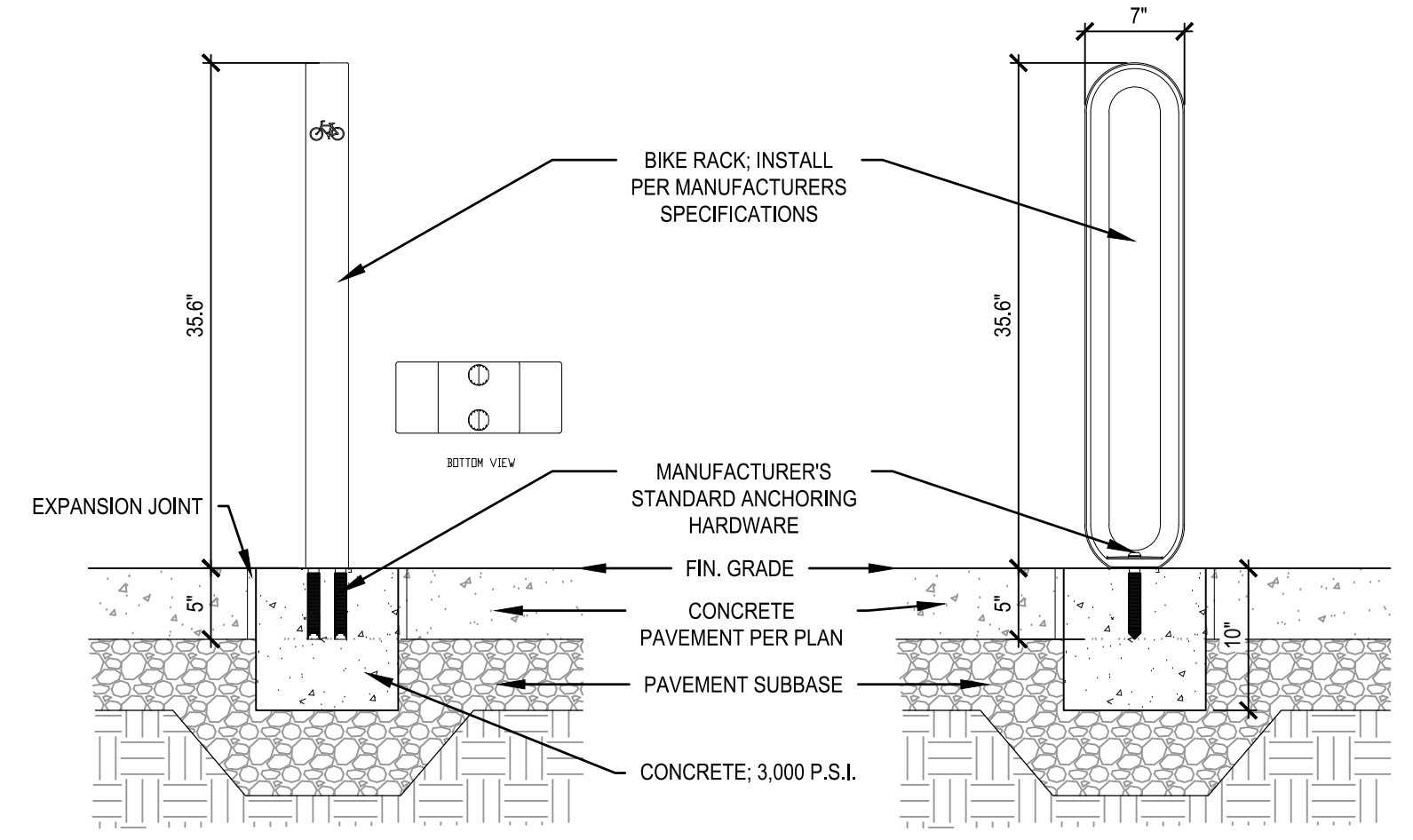


B2 DUMPSTER LAYOUT
NOT TO SCALE

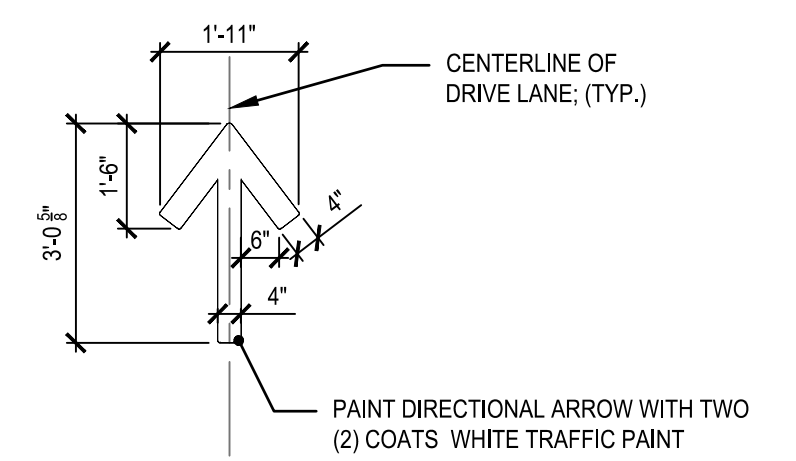


A2 PAVEMENT MARKINGS - DO NOT ENTER AND DRIVE THRU ENTRY
NOT TO SCALE

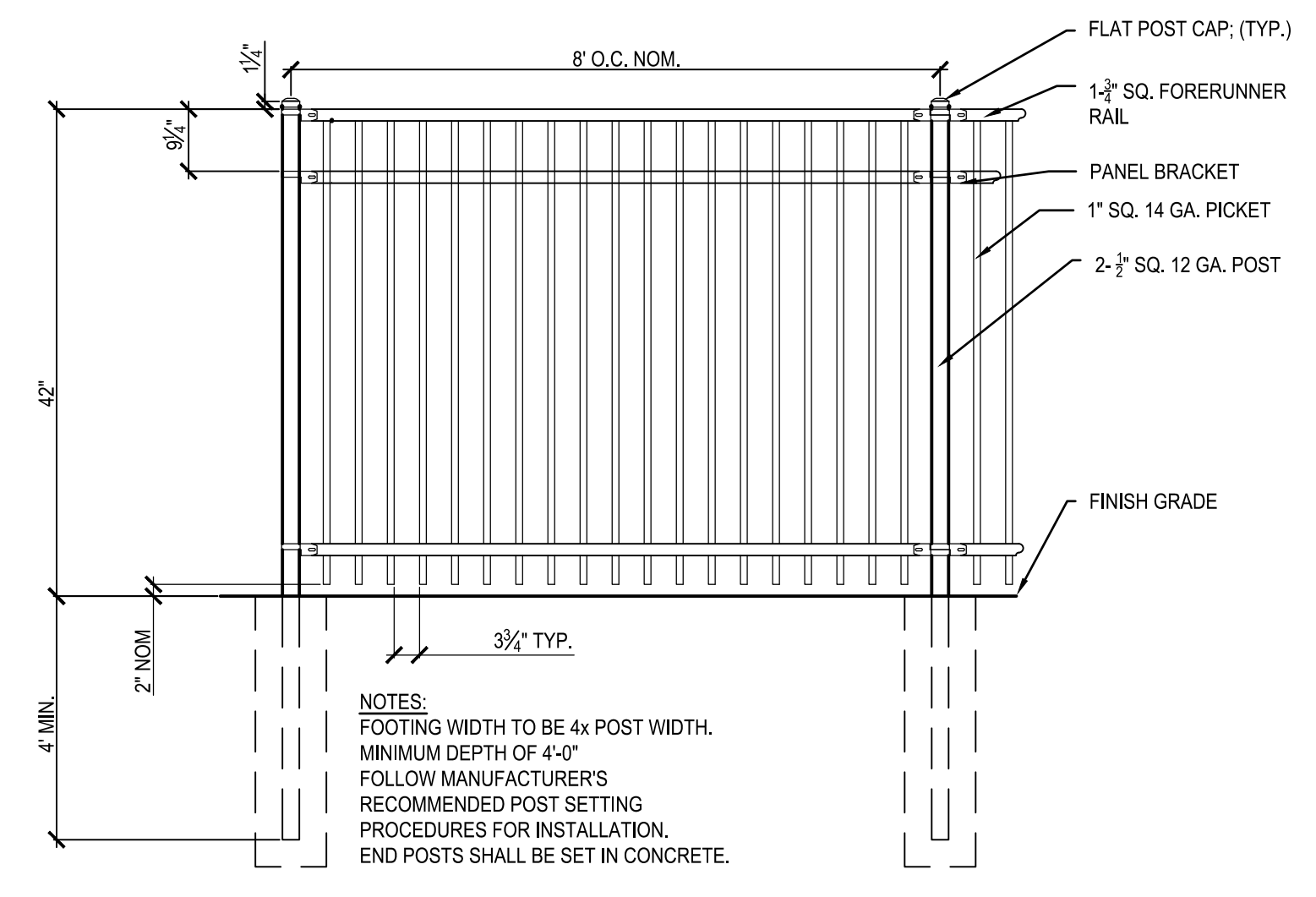
MANUFACTURER	MODEL #
FORMS AND SURFACES 800-451-0410 / sales@forms-surfaces.com www.forms-surfaces.com	OLYMPIA SURFACE MOUNT MODEL# SKOLY; STAINLESS STEEL



C4 BIKE RACK
NOT TO SCALE



B4 PAVEMENT MARKINGS - DIRECTIONAL ARROW AND LANES MERGE
NOT TO SCALE



A4 ORNAMENTAL FENCE
NOT TO SCALE



450 SOUTH SALINA STREET
SUITE 500 PO BOX 29
SYRACUSE, NY 13201-0029

NOT FOR CONSTRUCTION

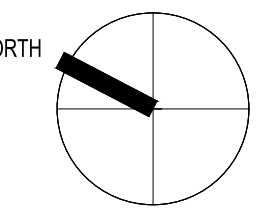
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STARBUCKS COFFEE SHOP

210 HAMILTON ST.
SYRACUSE, NEW YORK

REDEV CNY
CONSTRUCTION CORP.

PROJECT STATUS
SITE PLAN REVIEW



REVISIONS

MARK	DATE	DESCRIPTION

PROJECT NUM
223115.00

DATE
12/06/2023

SHEET TITLE
DETAILS

L-502

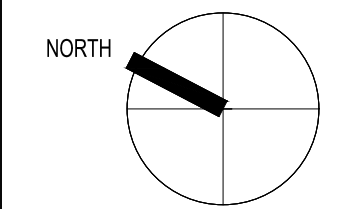
NOT FOR CONSTRUCTION

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY MANNER. IF ALTERED, THE ALTERING ARCHITECT SHALL AFFIX THEIR SEAL AND THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

**STARBUCKS
COFFEE SHOP**
210 HAMILTON ST.
SYRACUSE, NEW YORK

**REDEV CNY
CONSTRUCTION CORP.**

**PROJECT STATUS
SITE PLAN REVIEW**



REVISIONS

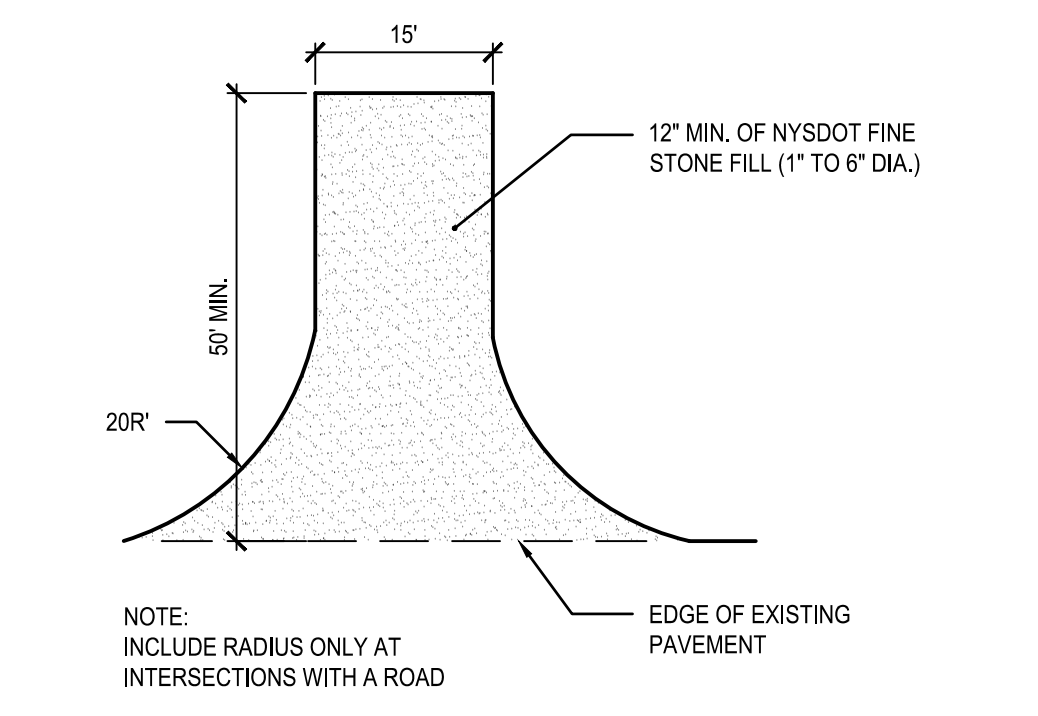
MARK	DATE	DESCRIPTION

**PROJECT NUMBER
223115.00**

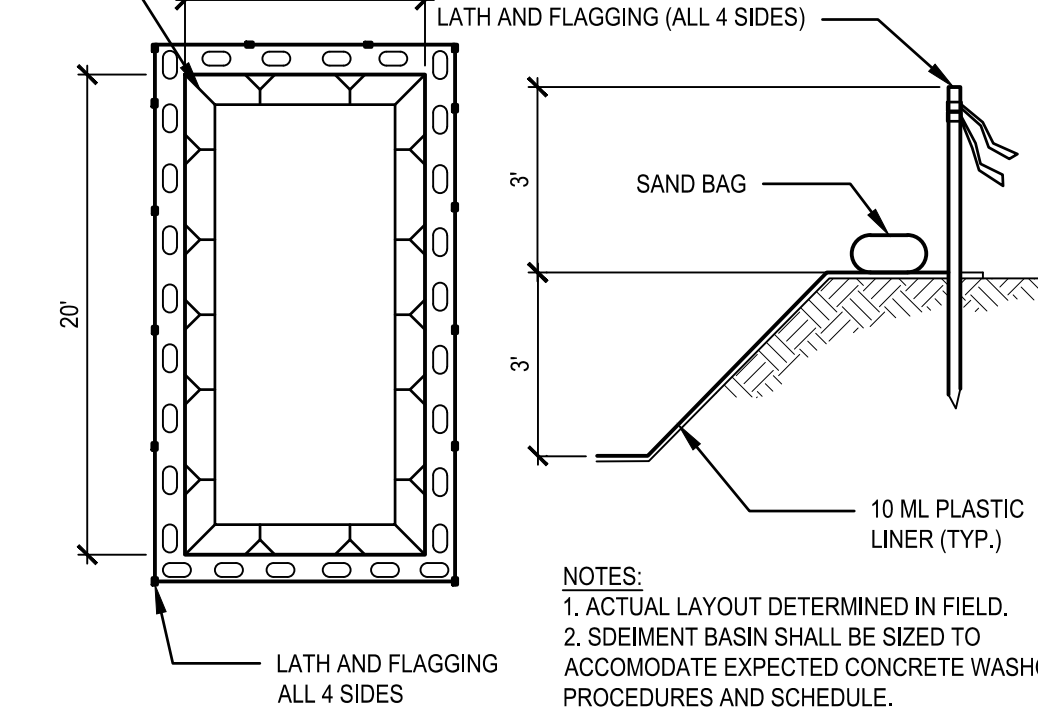
**DATE
12/06/2023**

**SHEET TITLE
DETAILS**

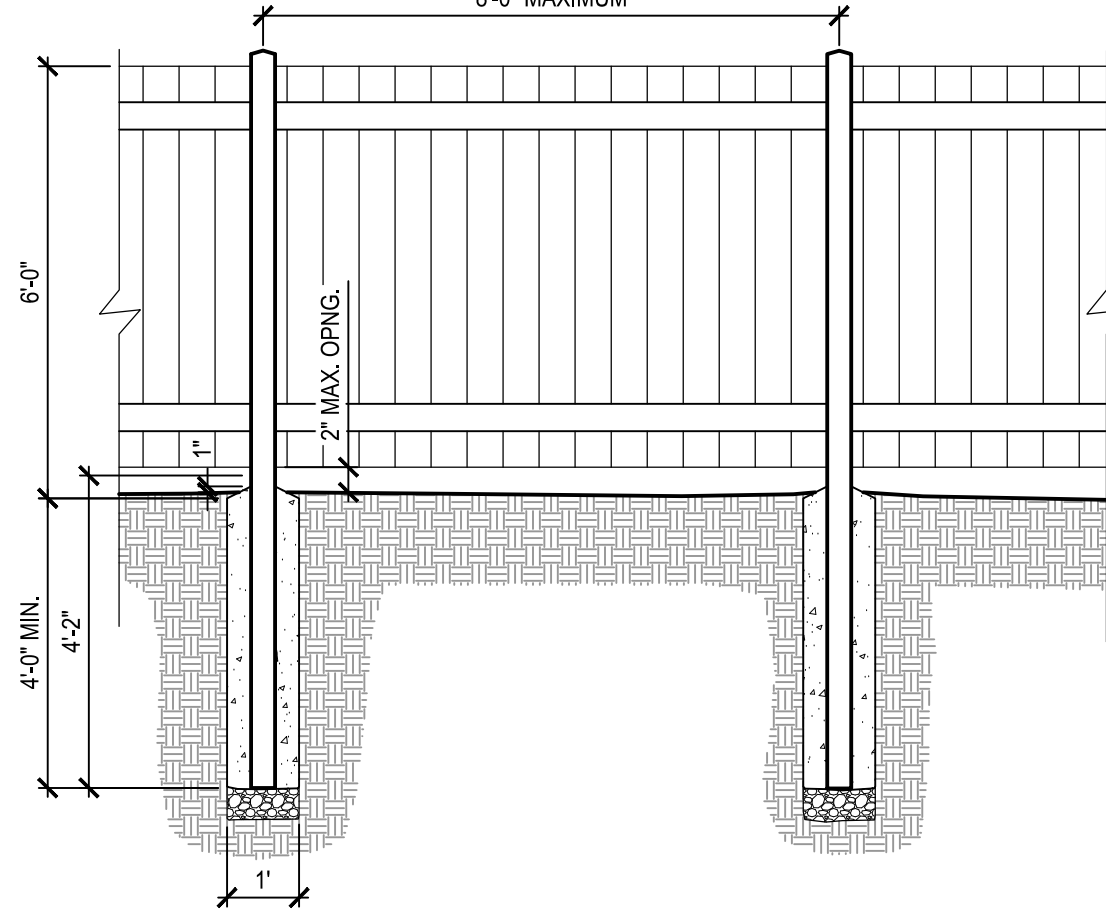
L-503



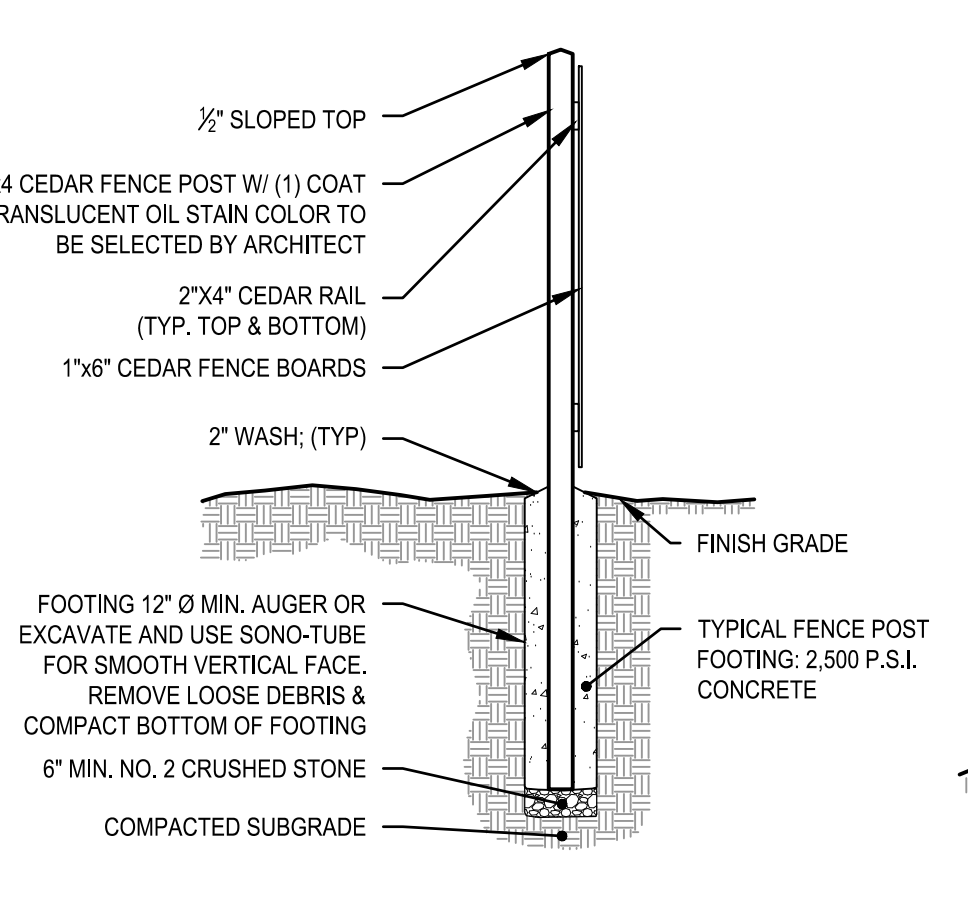
D1 STABILIZED CONSTRUCTION ACCESS
NOT TO SCALE



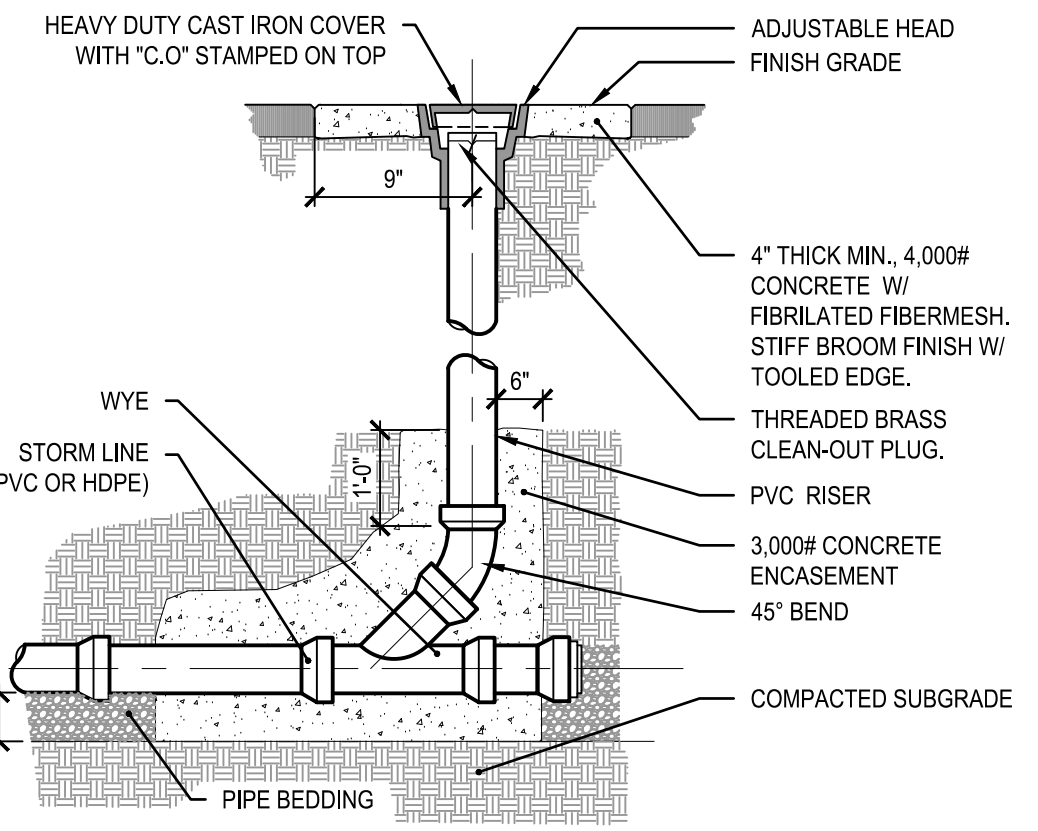
D2 CONCRETE WASHOUT
NOT TO SCALE



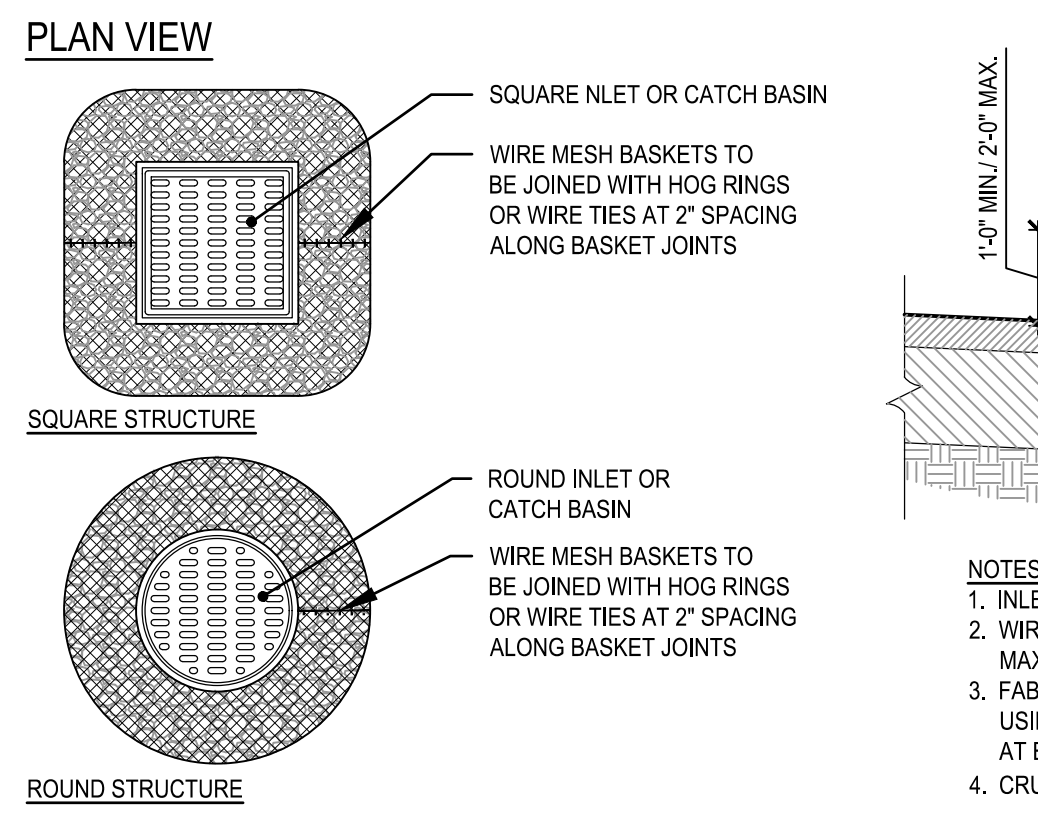
D3 WOOD FENCE
NOT TO SCALE



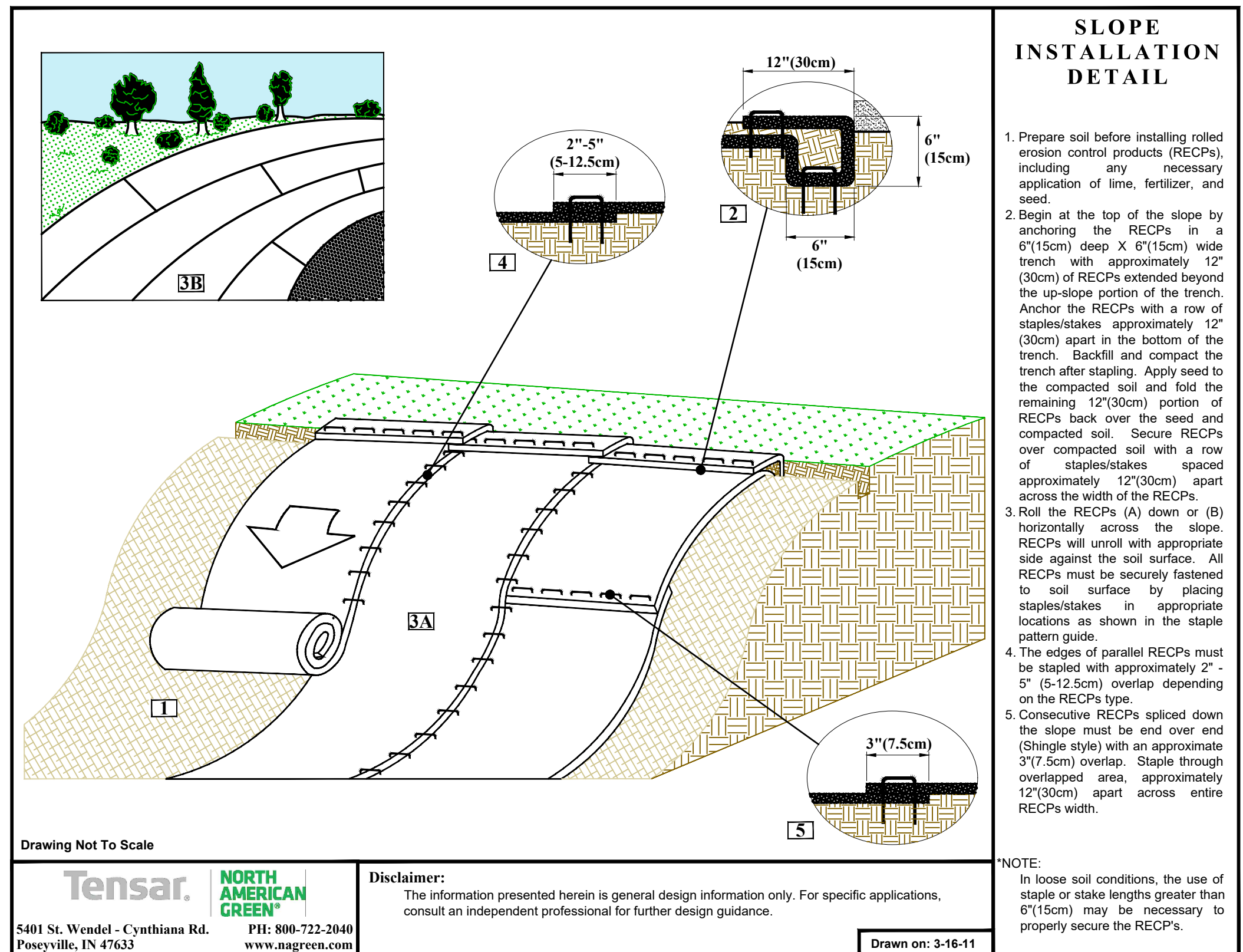
C4 COIR LOG
NOT TO SCALE



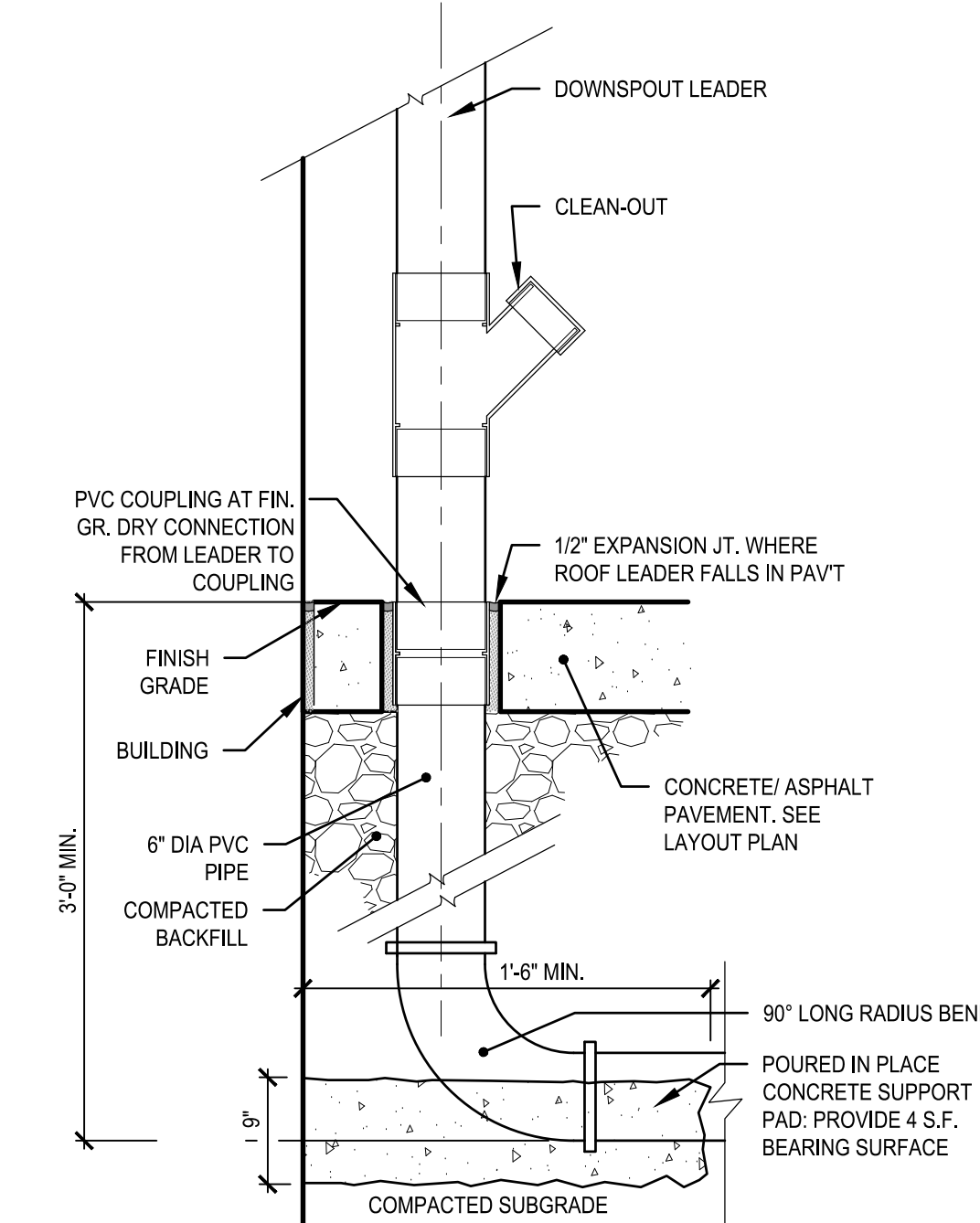
C1 CLEANOUT
NOT TO SCALE



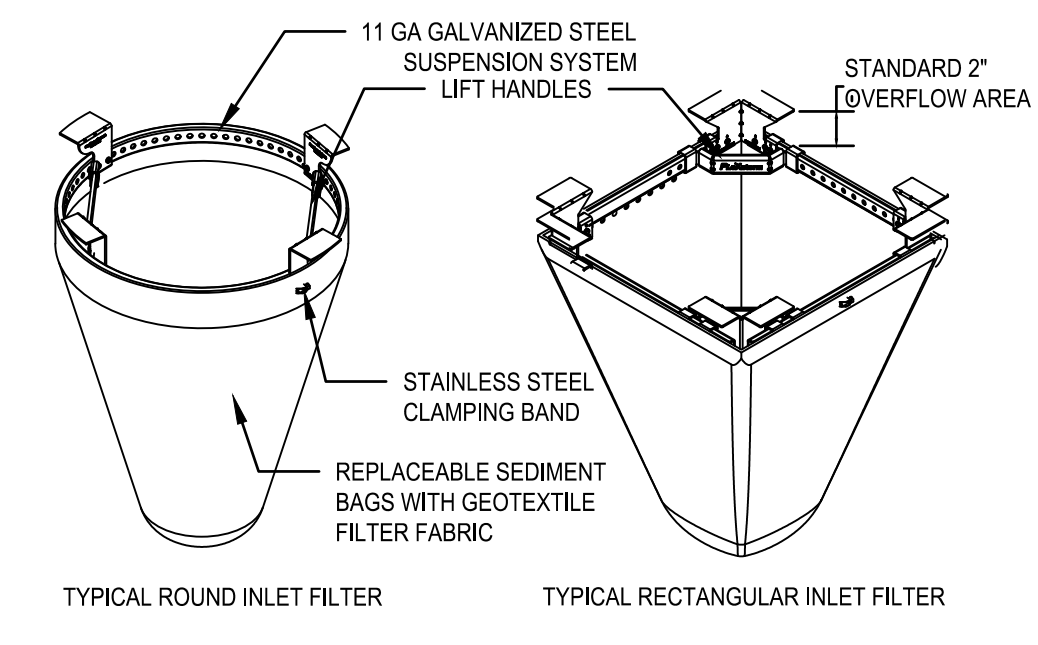
B1 DRAIN INLET PROTECTION
NOT TO SCALE



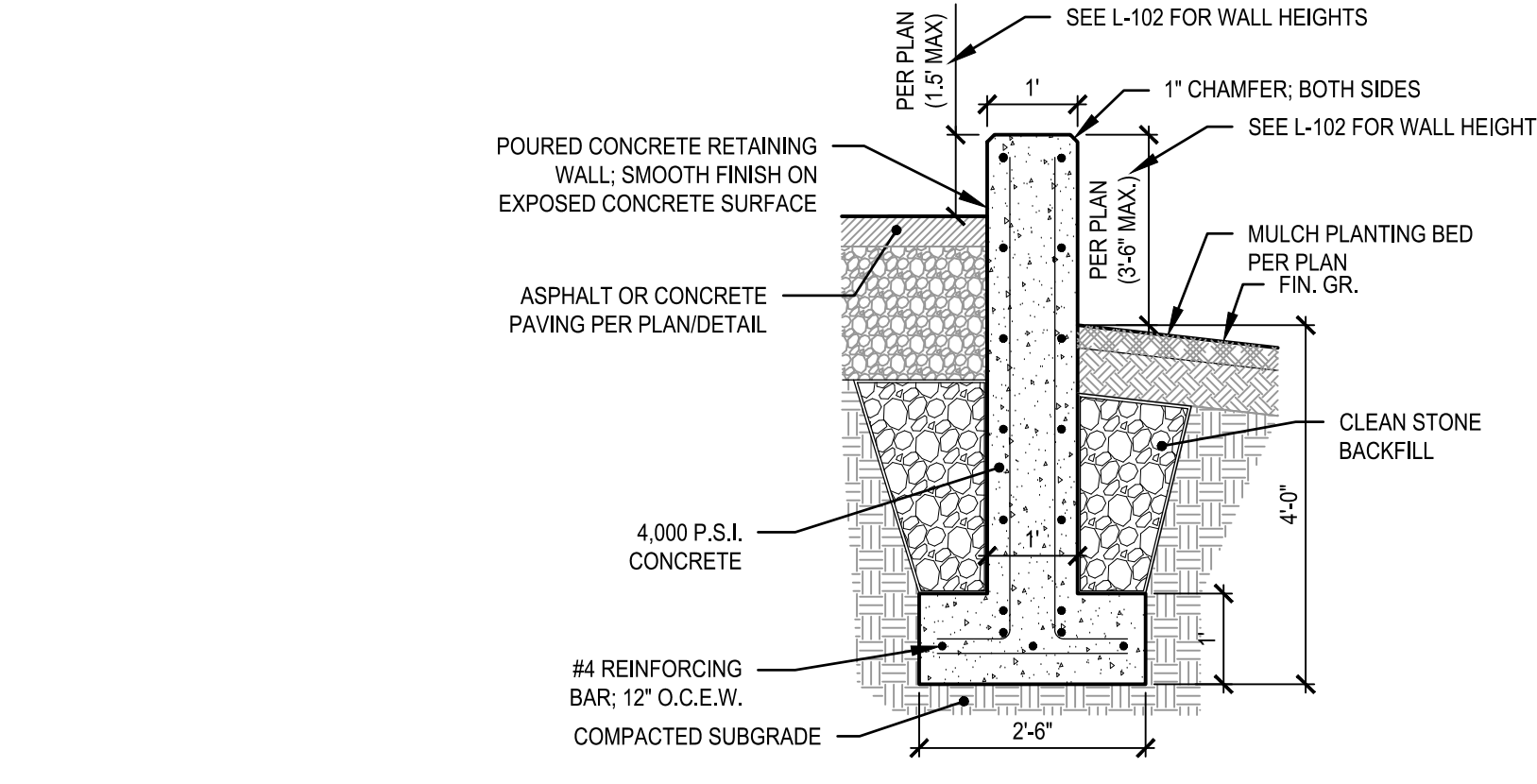
B3 EROSION CONTROL BLANKET
NOT TO SCALE



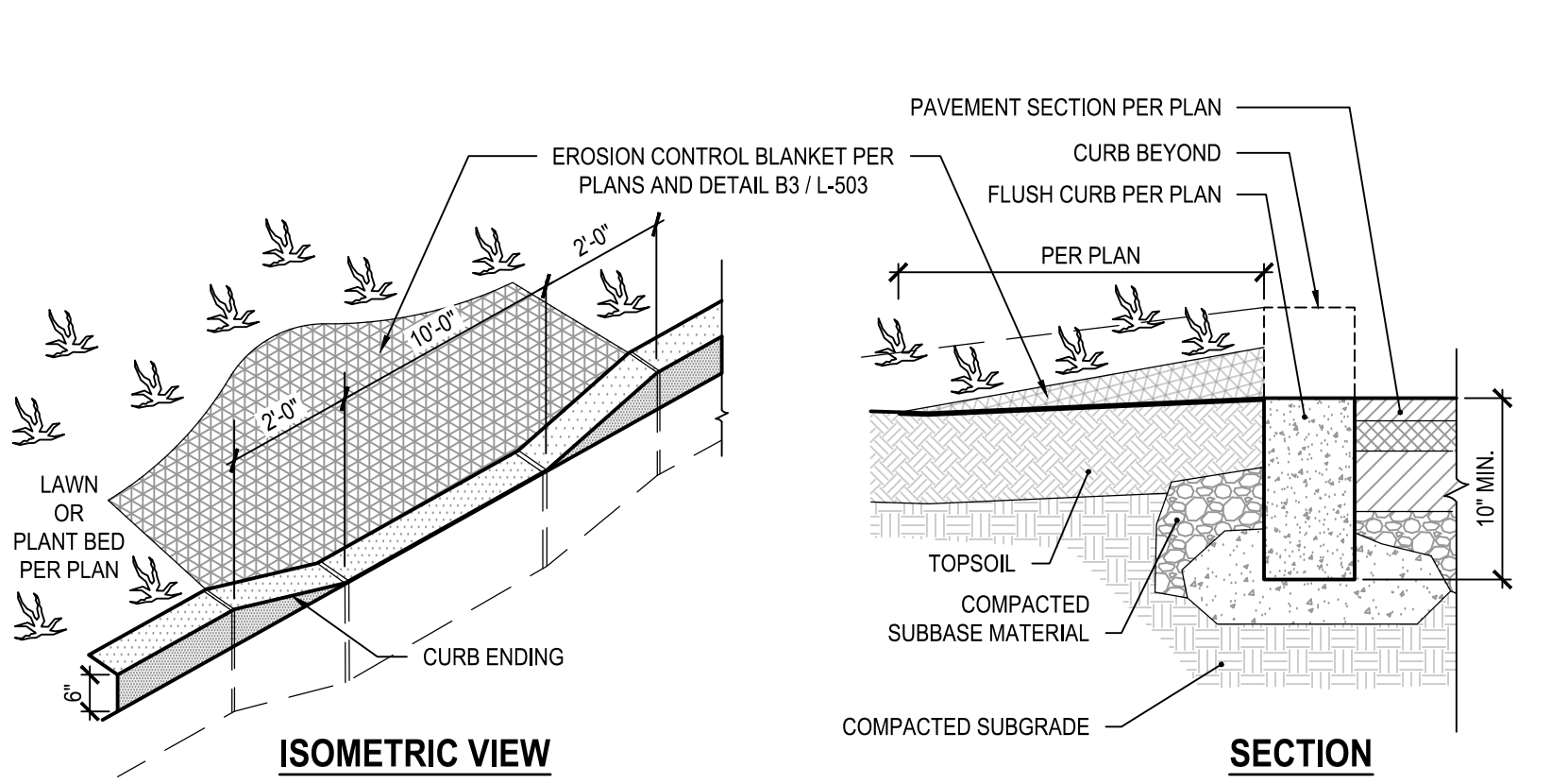
B5 DOWNSPOUT
NOT TO SCALE



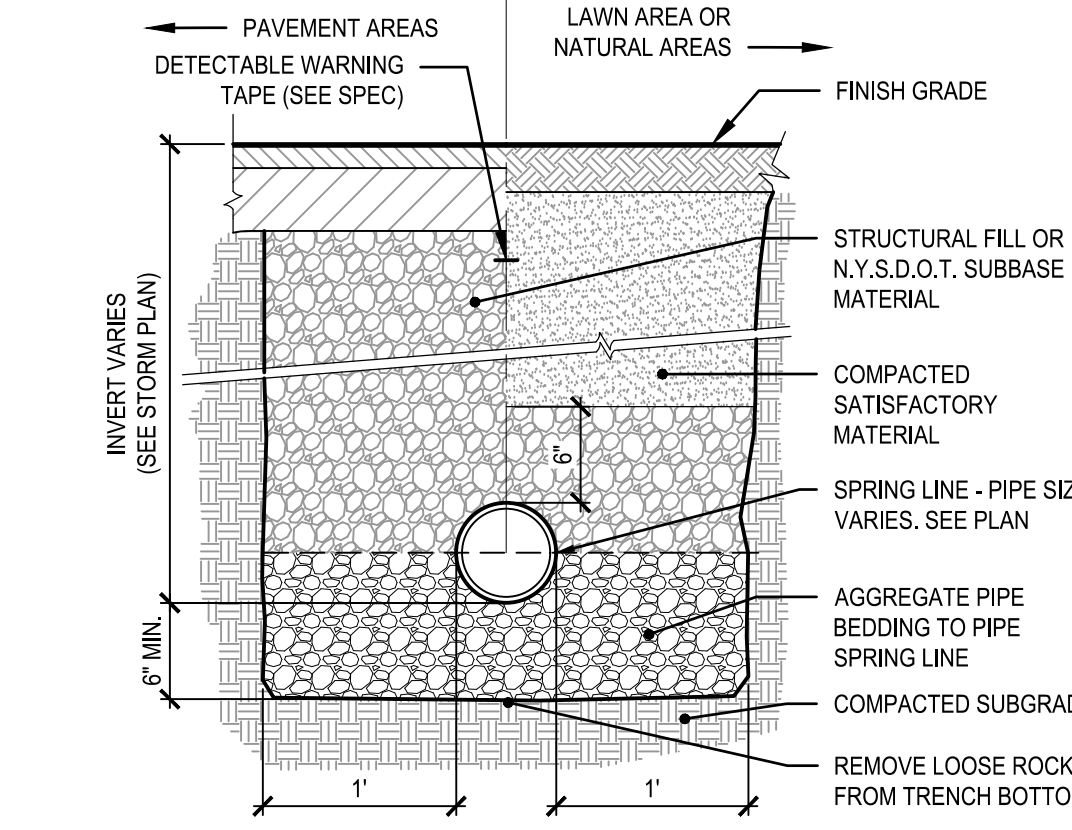
A1 DRAIN INLET PROTECTION
NOT TO SCALE



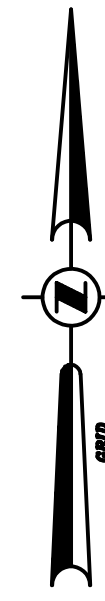
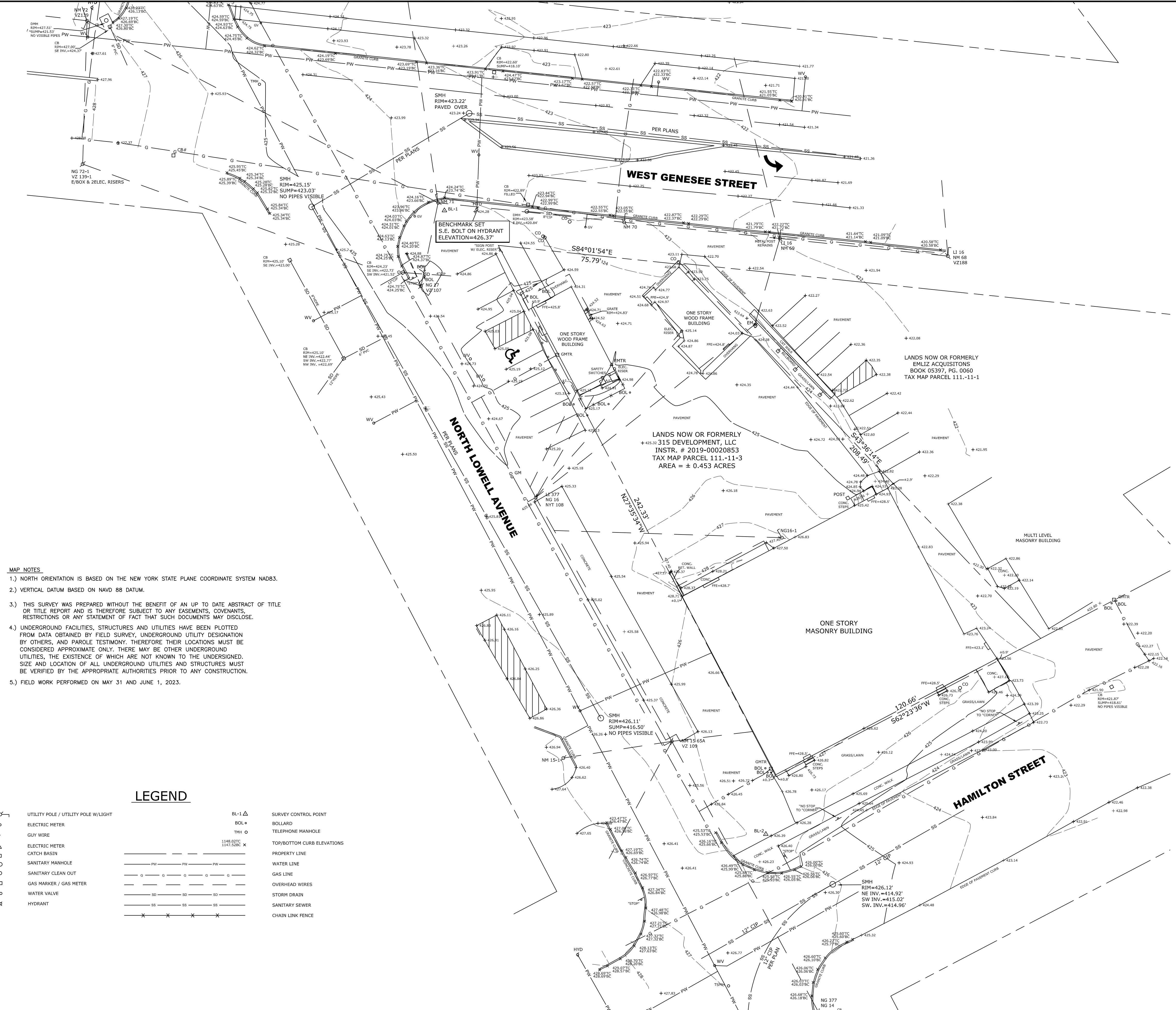
A2 RETAINING WALL
NOT TO SCALE



A3 CURB INLET
NOT TO SCALE



A5 PIPE BEDDING
NOT TO SCALE

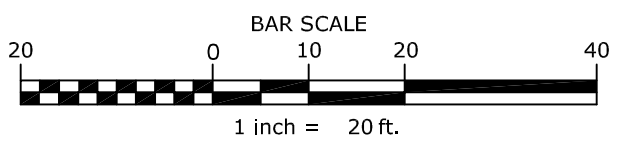


MAP NOTES

- 1.) NORTH ORIENTATION IS BASED ON THE NEW YORK STATE PLANE COORDINATE SYSTEM NAD83.
- 2.) VERTICAL DATUM BASED ON NAVD 88 DATUM.
- 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN UP TO DATE ABSTRACT OF TITLE OR TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, COVENANTS, RESTRICTIONS OR ANY STATEMENT OF FACT THAT SUCH DOCUMENTS MAY DISCLOSE.
- 4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, UNDERGROUND UTILITY DESIGNATION BY OTHERS, AND PAROLE TESTIMONY. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
- 5.) FIELD WORK PERFORMED ON MAY 31 AND JUNE 1, 2023.

LEGEND

<ul style="list-style-type: none"> UTILITY POLE / UTILITY POLE W/LIGHT ELECTRIC METER GUY WIRE ELECTRIC METER CATCH BASIN SANITARY MANHOLE SANITARY CLEAN OUT GAS MARKER / GAS METER WATER VALVE HYDRANT 	<ul style="list-style-type: none"> SURVEY CONTROL POINT BOLLARD TELEPHONE MANHOLE TOP/BOTTOM CURB ELEVATIONS PROPERTY LINE WATER LINE GAS LINE OVERHEAD WIRES STORM DRAIN SANITARY SEWER CHAIN LINK FENCE
--	---



ONLY COPIES OF THIS MAP SIGNED IN RED INK AND EMBOSSED WITH THE SEAL OF AN OFFICER OF C.T. MALE ASSOCIATES OR A DESIGNATED REPRESENTATIVE SHALL BE CONSIDERED TO BE A VALID TRUE COPY.

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STARBUCKS
COFFEE SHOP

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SYRACUSE, NEW YORK

REDEV CNY
CONSTRUCTION CORP.

PROJECT STATUS
SITE PLAN REVIEW

PROJECT
NORTH

REVISIONS

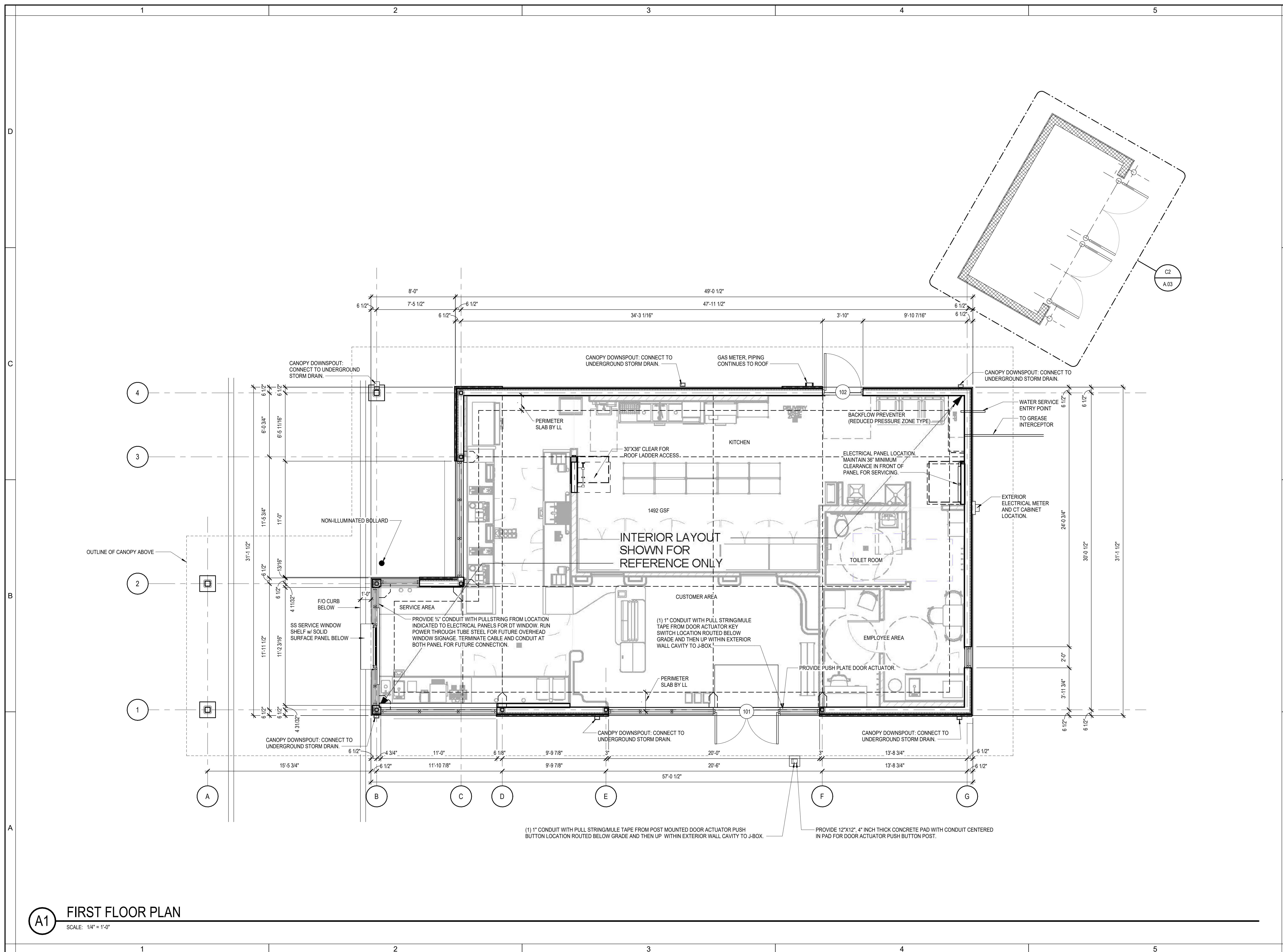
PROJECT NUM
223115.00

DATE
12/06/2023

SHEET TITLE

FLOOR PLANS

A.00



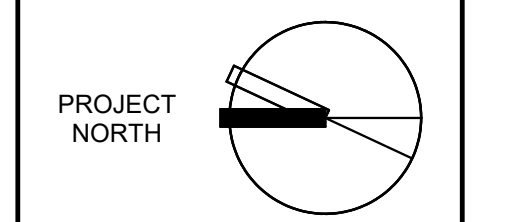
A1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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PROJECT STATUS
SITE PLAN REVIEW



REVISIONS

PROJECT NUM
223115.00

DATE
12/06/2023

SHEET TITLE

EXTERIOR
ELEVATIONS



C2 ELEVATION-WEST
SCALE: 1/4" = 1'-0"



A2 ELEVATION-NORTH
SCALE: 1/4" = 1'-0"



EXP DATE: MAY 31, 2025

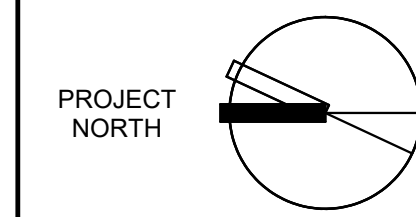
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SITE PLAN REVIEW



REVISIONS

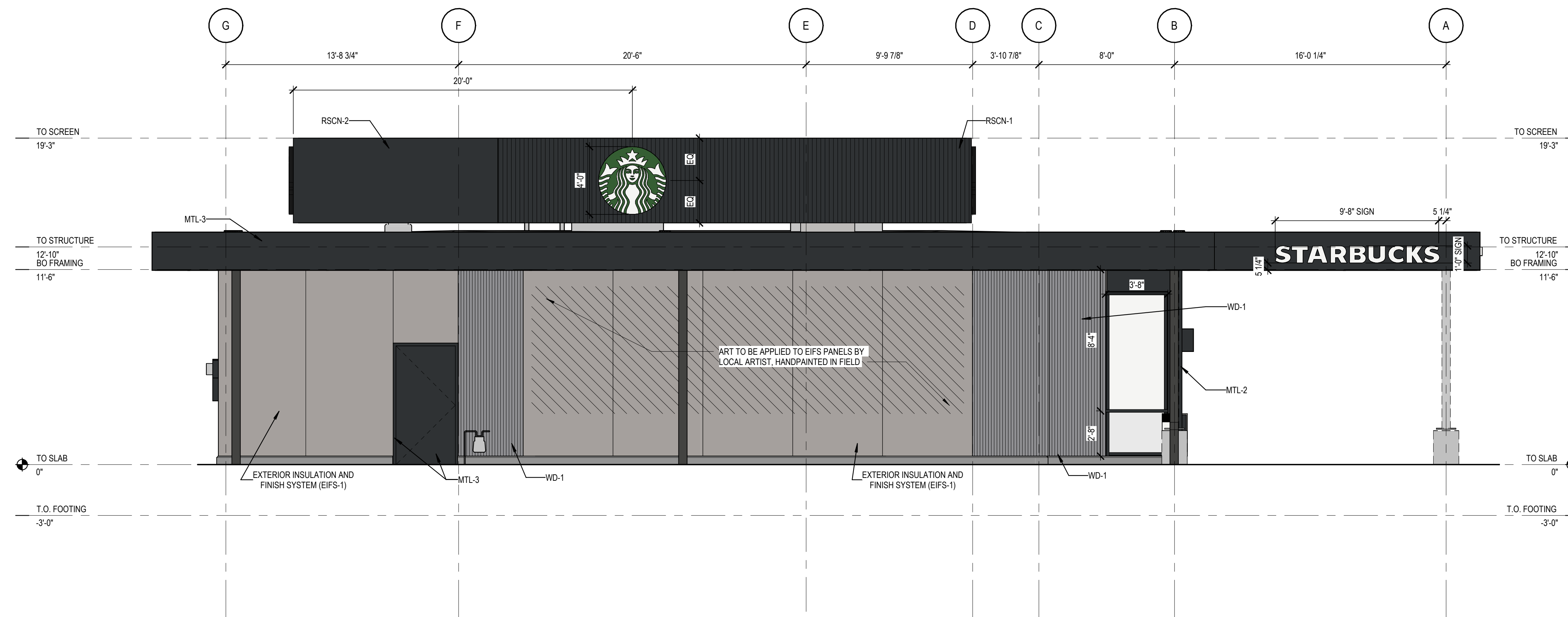
NO.	DATE	DESCRIPTION

PROJECT NUM
223115.00

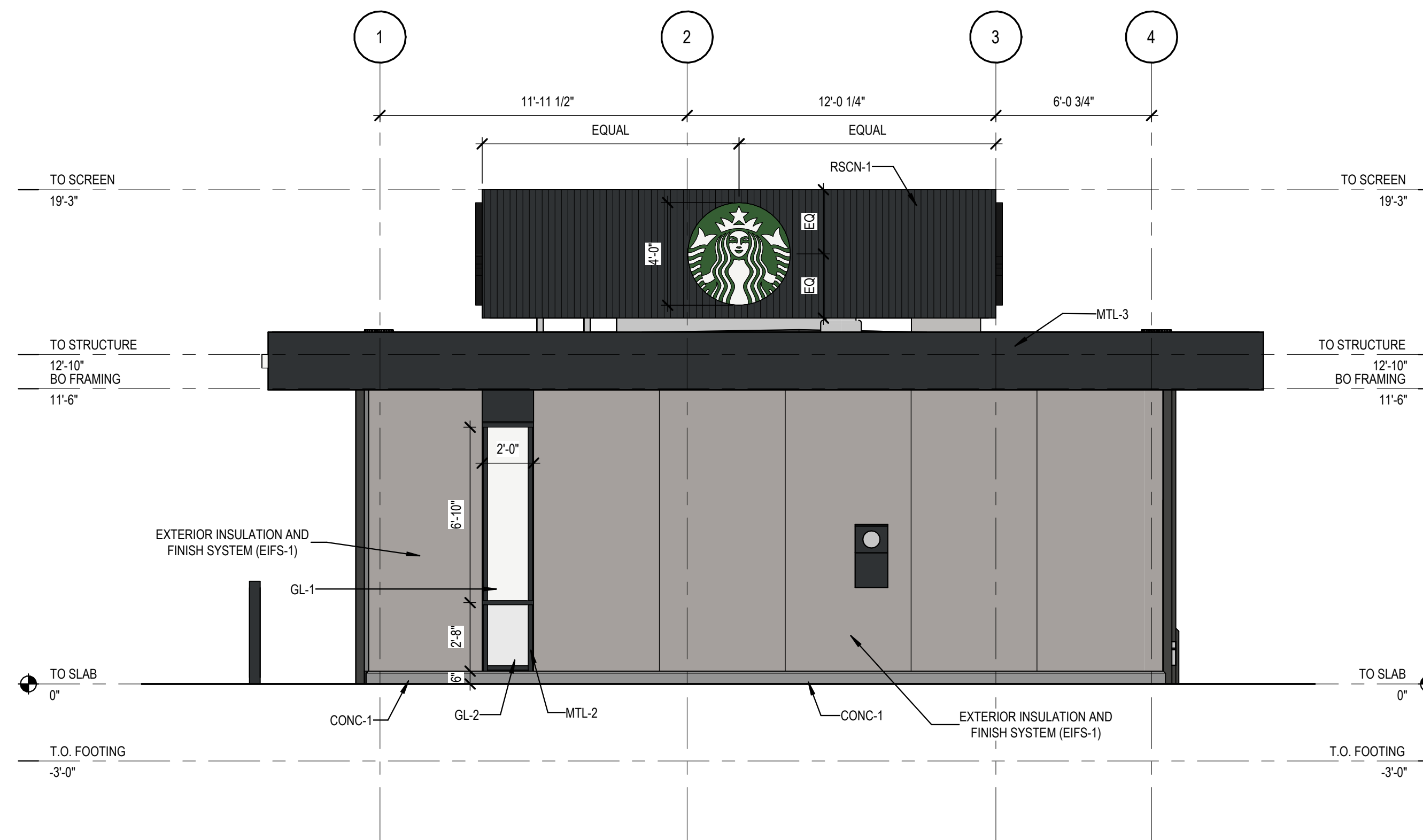
DATE
12/06/2023

SHEET TITLE

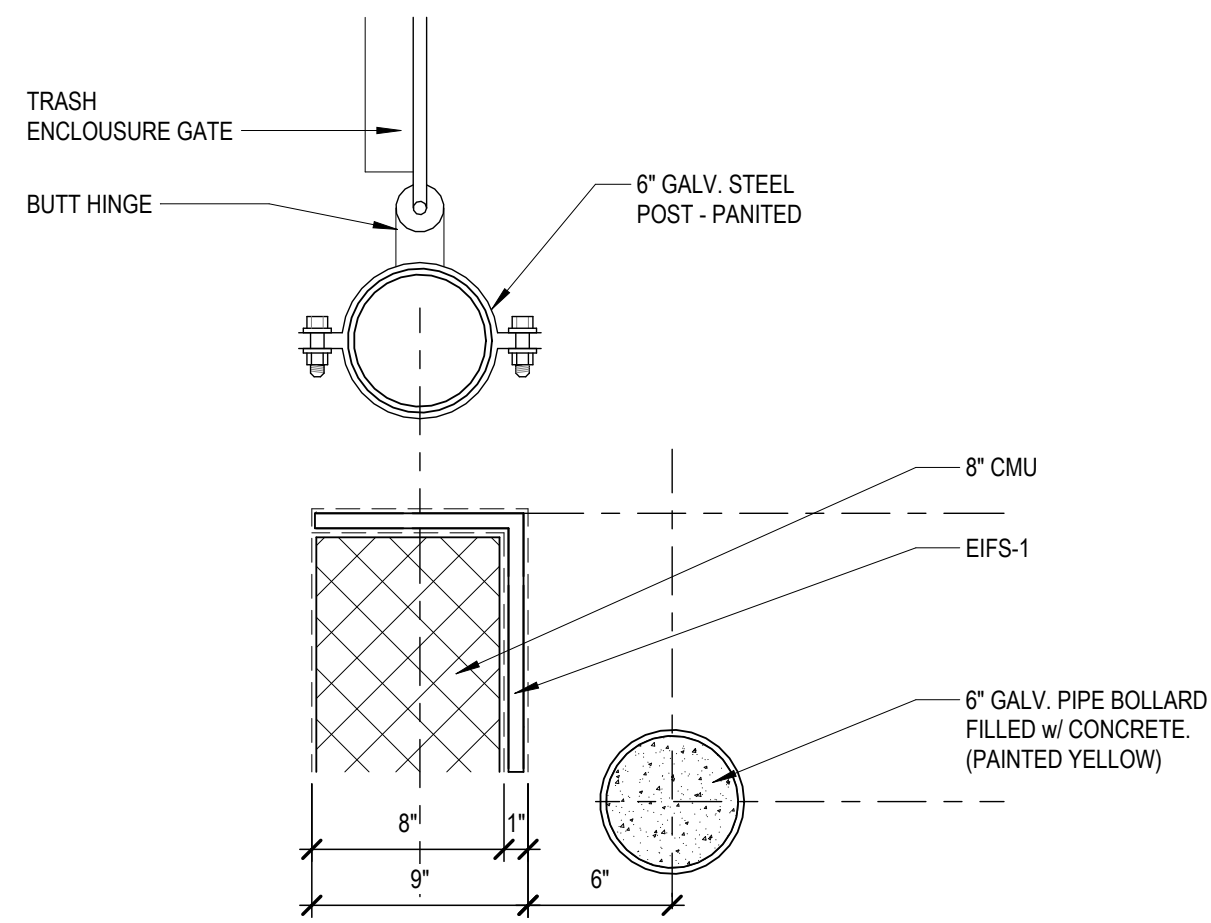
EXTERIOR
ELEVATIONS



C2 ELEVATION-EAST
SCALE: 1/4" = 1'-0"

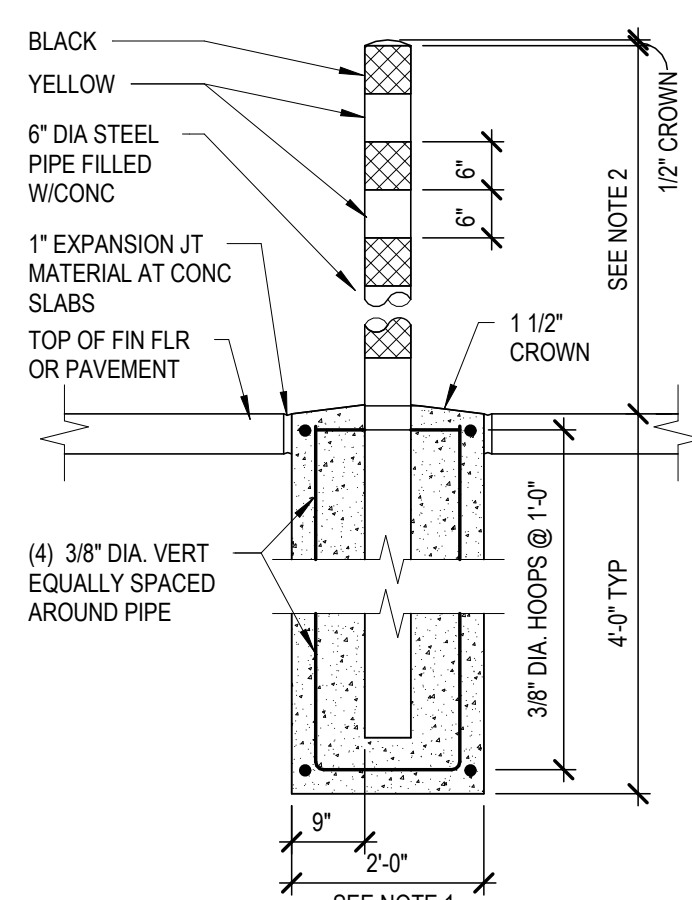


A2 ELEVATION-SOUTH
SCALE: 1/4" = 1'-0"



C1 PLAN DTL - GATE HINGE

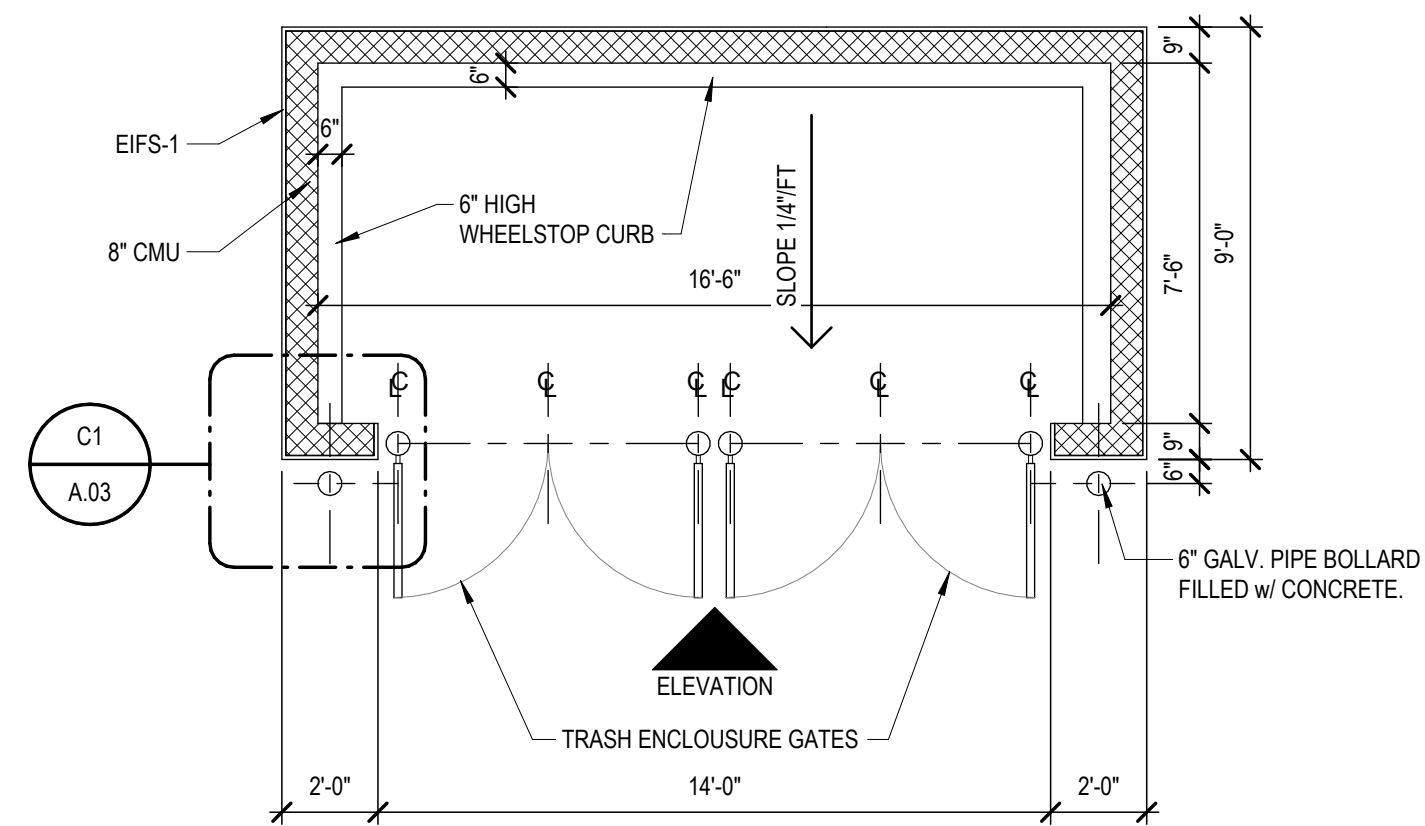
SCALE: 1 1/2" = 1'-0"



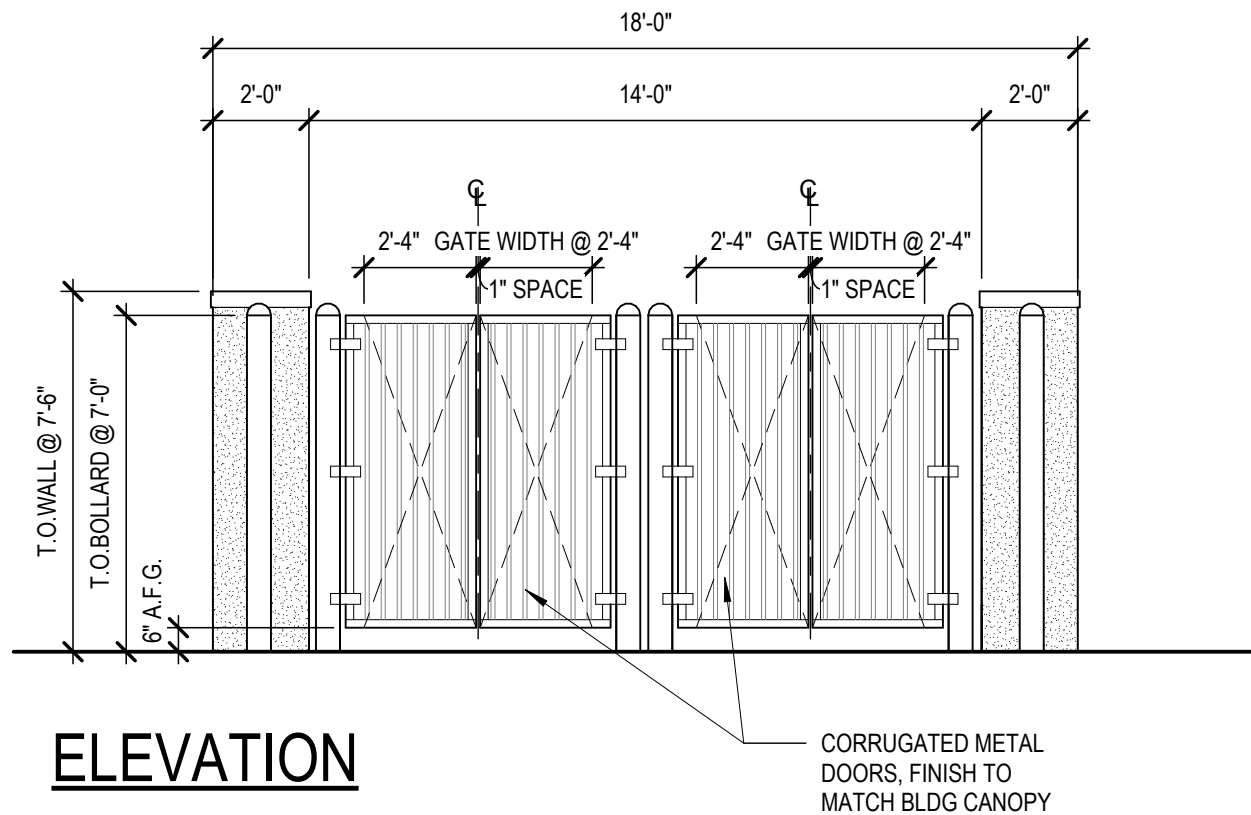
NOTE:
ALTERNATE STRIPES FULL HEIGHT OF BOLLARD

B1 TYP BOLLARD DETAIL

SCALE: 1 1/2" = 1'-0"



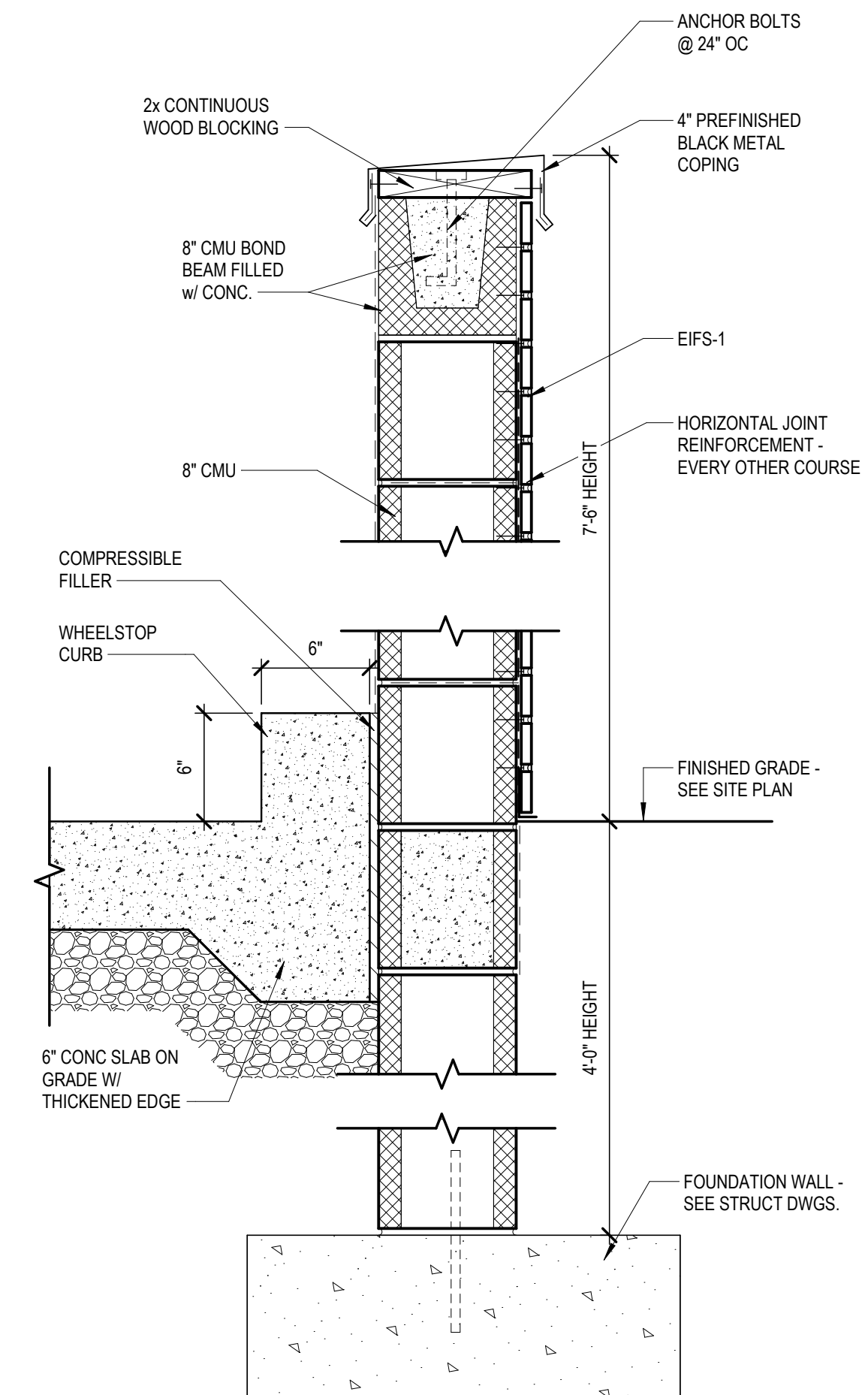
PLAN



ELEVATION

C2 PLAN & ELEV DTL - TRASH ENCLOSURE

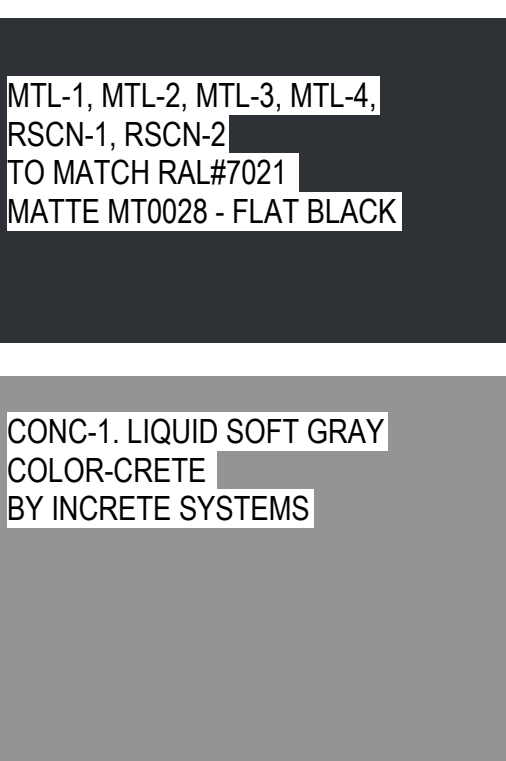
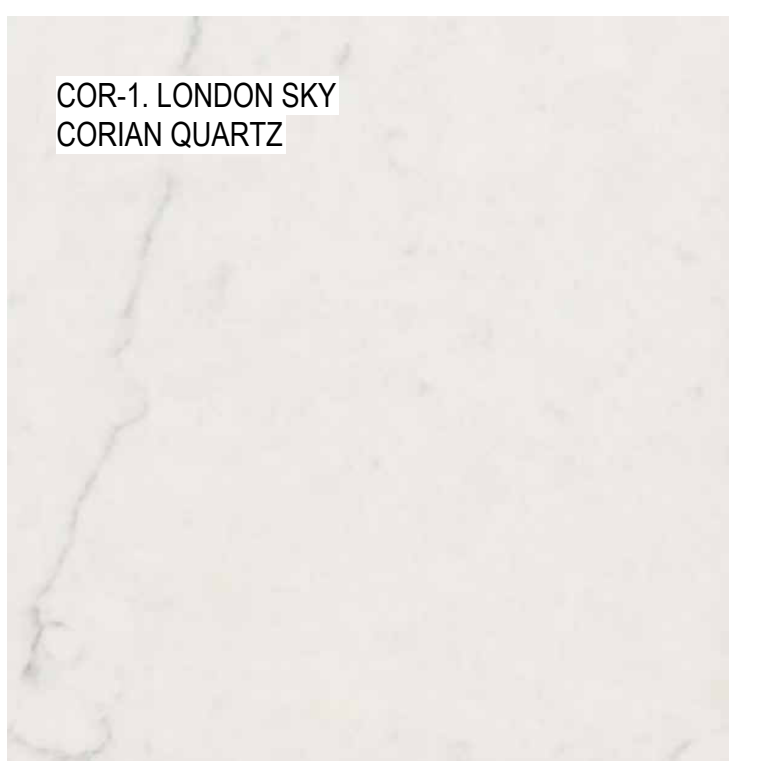
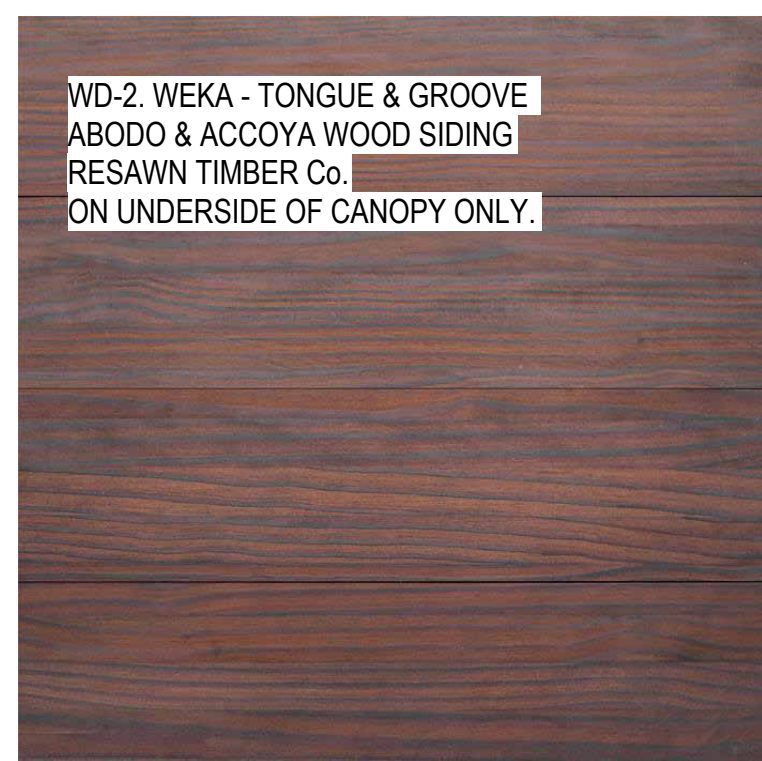
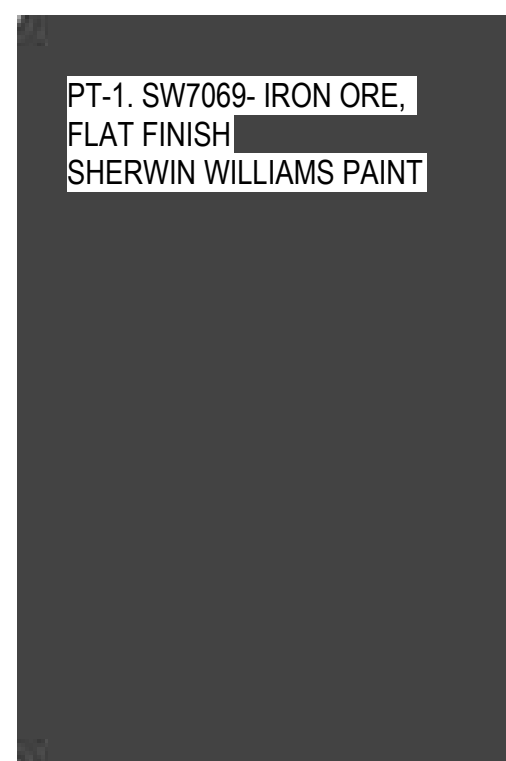
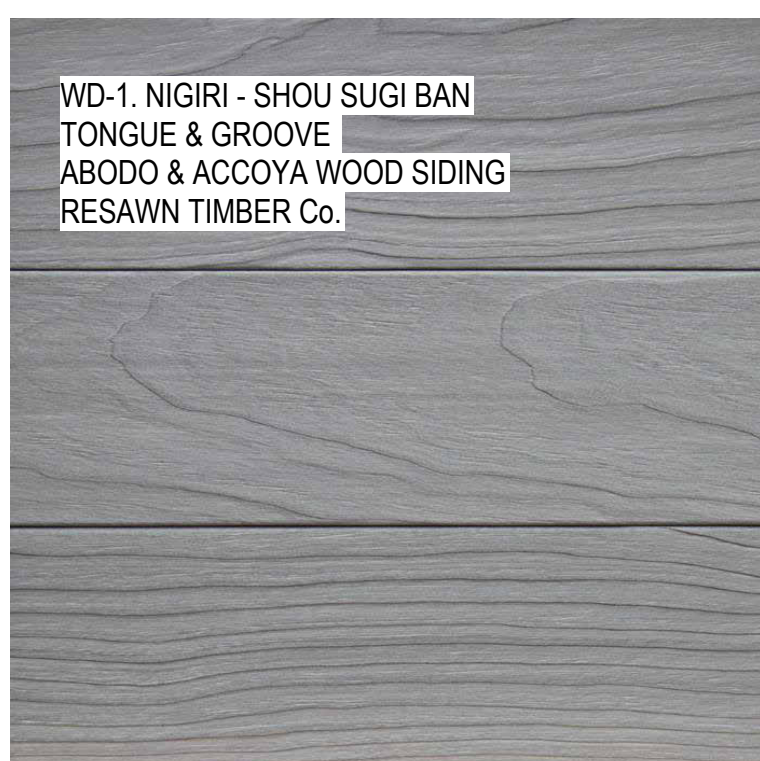
SCALE: 1/4" = 1'-0"



B4 SECT DTL - TRASH ENCLOSURE

SCALE: 1 1/2" = 1'-0"

MATERIAL	FINISH	COLOR AND FINISH	PRODUCT	COMMENTS
FINISHED CONCRETE	CONC-1	LIQUID SOFT GRAY	COLOR-CRETE BY INCRETE SYSTEMS	CAST IN PLACE.
CORIAN	COR-1	LONDON SKY	CORIAN QUARTZ	
METAL	MTL-1	PRE-FINISHED, TO MATCH RAL#7021 MATTE MT0028 - FLAT BLACK		METAL COPING, LOCALLY SOURCED
METAL	MTL-2	ANODIZED, TO MATCH RAL#7021 MATTE MT0028 - FLAT BLACK		ALUMINUM STOREFRONT SYSTEM, LOCALLY SOURCED
METAL	MTL-3	POWDERCOAT, TO MATCH RAL#7021 MATTE MT0028 - FLAT BLACK		METAL FOR CANOPY, LOCALLY SOURCED GALVALUME MINIMUM 22-GAUGE STEEL IN CONFORMANCE W/ ASTM A792 A250
METAL	MTL-4	PAINTED, TO MATCH RAL#7021 MATTE MT0028 - FLAT BLACK		METAL FOR HOLLOW METAL DOOR FRAME, LOCALLY SOURCED
EIFS-1	EIFS-1	613 OVERCAST, SAND PEBBLE FINE TEXTURE	DRYVIT	613 OVERCAST, SAND PEBBLE FINE TEXTURE
ROOF SCREEN PANEL	RSCN-1	TO MATCH RAL#7021 MATTE MT0028 - FLAT BLACK	WIDE RIBBED PANEL (VERTICAL)	CASCADE ROOFTOP SCREENS
ROOF SCREEN PANEL	RSCN-2	TO MATCH RAL#7021 MATTE MT0028 - FLAT BLACK	NARROW RIBBED PANEL (VERTICAL)	CASCADE ROOFTOP SCREENS
VERTICAL WOOD SIDING	WD-1	NIGIRI - SHOU SUGI BAN - TONGUE & GROOVE ABODO & ACCOYA WOOD SIDING	RESAWN TIMBER Co.	SEALED ON ALL 4 SIDES. SOLID +/- 3/4" THICK X +/- 5-3/8" WIDE x 6'-16" RANDOM LENGTHS
EXTERIOR WOOD CEILING	WD-2	WEKA - TONGUE & GROOVE ABODO & ACCOYA WOOD SIDING	RESAWN TIMBER Co.	BURNT ON FACE ONLY. SEALED ON ALL 4 SIDES. SOLID +/- 3/4" THICK X +/- 5-3/8" WIDE x 6'-16" RANDOM LENGTHS
PAINT	PT-1	SW7069- IRON ORE, FLAT FINISH	SHERWIN WILLIAMS PAINT	DOWNSPOUTS TO BE PAINTED TO MATCH ADJACENT BRICK FINISH
GLASS	GL-1	DOUBLE GLAZED, LOW-E, CLEAR, NON-TINTED, NON-REFLECTIVE STOREFRONT GLASS		SHADOW BOX BEYOND GLAZING
GLASS	GL-2	DOUBLE GLAZED, LOW-E, CLEAR, NON-TINTED, NON-REFLECTIVE STOREFRONT GLASS		



A2 EXTERIOR FINISHES

SCALE: NO SCALE

Project:	MaSPR-24-01
Date:	2/12/24

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: MaSPR-24-01

Date: 2/12/24

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Syracuse City Planning Commission 2/12/24

Name of Lead Agency

Date

Steven Kulick

Chairperson

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

City of Syracuse
Parcel History
 01/01/1900 - 02/08/2024
 Tax Map #: 111.-11-03.0
 Owners: 315 Development, LLC
 Zoning: MX-3

Address	Date	Transaction	Transaction Type	Status	Description
210 Hamilton St To Genesee St	02/19/14	Complaint	Fire Safety	Open	2014-03058
210 Hamilton St To Genesee St	02/19/14	Violation	2010 IFC - Section 1028.3 - Obstructions	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	2010 IFC - Section 1029.2 - Locks and latches	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	SPCC - Section 27-57 (a) (17) - Improper Extens. Cord Use	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	SPCC - Section 27-57 (a) (2) - Electrical Wiring and Equipment	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	SPCC - Section 27-57 (a) (7) - Wiring/Equip. Not Secured	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	2010 IMC - Section 604.3 - Electrical system hazards	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	2010 IFC - Section 605.1 - Abatement of electrical hazards	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	2010 IMC - Section 605.1 - Installation	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	2010 IFC - Section 605.3 - Working space and clearance	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	2010 IFC - Section 605.5 - Extension cords	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	2010 IFC - Section 605.6 - Unapproved conditions	Open	
210 Hamilton St To Genesee St	02/19/14	Violation	2010 IMC - Section 702.3 - Locked doors	Open	
210 Hamilton St To Genesee St	06/12/18	Complaint	Cert of Use - Restaurant	x Business Closed	CU2014-0267 Niki's Quick Cup

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
210 Hamilton St To Genesee St	03/25/22	Complaint	Cert of Use - Food Store	x Denied -	CU2022-0014 Hollywood Snack Shop
210 Hamilton St To Genesee St	04/14/22	Violation	2020 PMCNYS - Section 304.6 - Exterior Walls	Open	
210 Hamilton St To Genesee St	04/14/22	Violation	2020 PMCNYS - Section 304.2 - Protective Treatment	Open	
210 Hamilton St To Genesee St	04/14/22	Violation	2020 PMCNYS - Section 304.3 - Premises Identification	Open	
210 Hamilton St To Genesee St	04/14/22	Violation	2020 FCNYS - 906.2 - General Requirements	Open	
210 Hamilton St To Genesee St	04/14/22	Violation	2020 PMCNYS- Section 705.1 - Carbon monoxide alarms and detectors	Open	
210 Hamilton St To Genesee St	04/14/22	Violation	2020 Property Maintenance Code of NYS Part 105.2	Open	
210 Hamilton St To Genesee St	04/14/22	Violation	2020 PMCNYS - Section 302.3 - Sidewalks and Driveways	Open	
210 Hamilton St To Genesee St	04/14/22	Violation	2020 Property Maintenance Code of NYS Part 105.2	Open	
210 Hamilton St To Genesee St	07/24/23	Violation	SPCC - Section 27-116 (E) - Vacant Property Registry	Open	
210 Hamilton St To Genesee St	07/24/23	Violation	2020 PMCNYS - Section 304.6 - Exterior Walls	Open	
210 Hamilton St To Genesee St	07/24/23	Violation	SPCC - Section 27-73 (b) - Graffiti	Open	
210 Hamilton St To Genesee St	07/24/23	Violation	2020 PMCNYS - Section 304.2 - Protective Treatment	Open	

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
210 Hamilton St To Genesee St	07/24/23	Violation	SGOC - Section 54-5(A) - Lead Abatement and Control Deteriorated Paint Violation - Exterior Non-Residential	Open	
210 Hamilton St To Genesee St	07/24/23	Violation	2020 PMCNYS - Section 304.13 - Window, skylight, and door frames	Open	
210 Hamilton St To Genesee St	07/24/23	Violation	2020 PMCNYS - Section 304.8 - Decorative features	Open	
210 Hamilton St To Genesee St	07/24/23	Complaint	Vacant House	Referred to BAA	V2023-0930 Failure to apply for vacant property registry/ exterior violations Parcel has three buildings all of which are vacant
210 Hamilton St To Genesee St	10/05/23	Permit Application	Site Work	Holding For	49995 Site Work
210 Hamilton St To Genesee St	10/25/23	Complaint	Suppression-not sprinkler	Open	2023-07428 Removed ANSUL without permission
210 Hamilton St To Genesee St	10/25/23	Violation	Section 901.8 - Removal of or tampering with equipment	Open	
210 Hamilton St To Genesee St	12/11/23	Complaint	Property Maintenance- Ext	Open	2023-08286 Graffiti
210 Hamilton St To Genesee St	12/11/23	Violation	SPCC - Section 27-73 (b) - Graffiti	Open	



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: 315 Development LLC
 From: Cristian Toellner, Zoning Planner
 Date: 2/8/2024 12:37:26 PM
 Re: Major Site Plan Review MaSPR-24-01
 210 Hamilton St To Genesee St, Syracuse, 13204

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	01/03/2024	Vinny Esposito	SWPPP must be submitted and approved by the City Engineer. Sewer laterals must be constructed to the main. Street cut permit required.
DPW - Traffic Control	Conditionally Approved	01/03/2024	Charles Gafrancesco	1.3.23 Conditionally approved.
DPW - Transportation Planner	Internal Review Complete	01/16/2024	Neil Milcarek-Burke	2/1/24 previous comments not addressed 1/16/24 As previously relayed to the applicant, the site layout is not preferred as the drive-thru isle separates the structure from Genesee Street West streetscape. This configuration does not produce a pedestrian friendly streetscape, instead providing a suburban style development in an area designated "Urban Core" by the City's Comprehensive Plan or under the similar MX-3 Zoning designation, both of which focus on buildings that meet the streetscape with storefront/pedestrian friendly designs. Additional ADA compliant pedestrian connection to the Genesee St W sidewalk required. Sidewalks to conform to NYSDOT Type3 openings at driveway entrance, sidewalk shall not dip or require transition. Two curb-cuts represents an atypical layout, typical application is one curb-cut per parcel for a total of 24' max width of curb-cut. As proposed, the site plan is in excess of these dimensions.

Hamilton Street trees will require guidance from City Arborist so as not to impeded future sidewalk installations.

Engineering - Design & Construction	Conditionally Approved	01/12/2024	Mirza Malkoc	<p>****02-05-2024****</p> <ul style="list-style-type: none"> • No objection to the project. • This is just a reminder that the Stormwater Agreements shall be executed and filed at the County’s Clerk Office before the site work permit is issued. <p>****01-12-2024****</p> <ul style="list-style-type: none"> • Stormwater Agreements shall be executed and filed at the County’s Clerk Office before the site work permit is issued. • 1.5” reveal header curb shall be installed across both proposed driveway entrances along North Lowell Street.
Engineering - Mapping	On Hold	01/04/2024	Ray Wills	<p>***1/9/2024***</p> <p>After a Teams Meeting with the designer, they will be submitting a revised drawing with changes required to preserve the City ROW marker.</p> <p>***1/4/2024***</p> <p>In general no objection to the proposed work, with the exception of:</p> <p>On the NE corner of the intersection of Hamilton St & Lowell, there is a City of Syracuse ROW marker that not shown on the drawings however it abutts the existing building, this marker is protected by law and not to be disturbed, the demolition and proposed work in the area would have a direct impact on this marker, which cannot be permitted. Please redesign, relocating the curbing and entrance road to the North to maintain a distance of 5' from this protected marker.</p> <p>Placing on hold to allow time for updated drawings.</p>
Fire Prevention Bureau	Conditionally Approved	01/09/2024	Elton Davis	<p>1. A fire access plan sheet shall be submitted clearly documenting:</p> <p>a. The locations and dimensions of all required fire apparatus access roadways (Fire Code of New York State §503) and all required aerial fire apparatus access roadways (FCNYS §D105). Widths and distances from the access roadway to all portions of exterior walls shall be documented.</p> <p>b. Locations of all fire hydrants. Distances from each building to the nearest hydrant shall be shown (FCNYS §507.5.1). Any buildings that will require standpipe systems shall have a hydrant located within 100 feet of the Fire Department Connection serving the system (FCNYS §507.5.1.1).</p> <p>Construction, alteration, or demolition, including underground buildings shall adhere to applicable sections of Chapter 33 of the 2020 FCNYS. Items not specifically addressed in Chapter 33 shall comply with NFPA 241.</p>
Parks - Forestry	Approved	02/02/2024	Jeff Romano	<p>Forestry requires the following; Swap out the ginkgo trees for a native species, plant in groups of 3. Place additional trees (as shown in graphic) to match the planting plan along W Genesee and N. Lowell Ave (total of 4). The amount of asphalt area of parking seems excessive; is it possible to remove the bay of 7 parking spaces to expand the 'island' and plant additional trees?</p> <p>UPDATED - 2/2/2024</p> <p>Comments on updated Site Plan;</p> <p>Forestry requires to modify the single species planting along W Genesee, Hamilton and N. Lowell. Place tree species in groupings of two or three that complement species characteristics. Swap out Maple species for</p>

other, less used tree species. Feel free to contact City Forestry Division: Jeff Romano for additional information - 315-551-7633. Place additional trees along N. Lowell (currently showing 2 trees)
Revise Plant Schedule to reflect current / updated species selection.
