

**SITE LAYOUT PLAN BASE BID**  
1" = 20' 0"



**DRAWING NOTES (X):**

1. CONTRACT LIMIT LINE. CONTINUOUSLY MAINTAIN THE WORK AREA IN A CLEAN AND SAFE CONDITION. TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN PROTECTED ACCESS FOR OWNER, ITS EMPLOYEES, AND PUBLIC USING FACILITIES AS WORK PROCEEDS. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, WARNING SIGNS, AND OTHER TEMPORARY PROTECTIVE MEASURES THROUGHOUT THE WORK.
2. ASPHALT PAVEMENT SEAL.
3. 2" THICK MILL AND OVERLAY EXISTING ASPHALT PAVEMENT. MATCH EXISTING GRADING AND DRAINAGE PATTERNS.
4. STANDARD-DUTY ASPHALT PAVEMENT.
5. GRANITE CURB.
6. CONCRETE SIDEWALK.
7. CONCRETE PAVEMENT.
8. CONCRETE DUMPSYTER PAD.
9. CONCRETE FLARE CURB RAMP AND DETECTABLE WARNING SURFACE.
10. CONCRETE PARALLEL CURB RAMP AND DETECTABLE WARNING SURFACE.
11. BOLLARD.
12. BICYCLE RACK WITH CAPACITY OF 2 BICYCLES (TYPICAL OF 3).
  - 12.a. PROVIDE RAINBLER WIDE BIKE RACK BY HUNTCO SITE FURNISHINGS OR APPROVED EQUIVALENT.
  - 12.b. PROVIDE BIKE RACK WITH ROUND PROFILE WITH BLACK POWDER COAT FINISH.
  - 12.c. SURFACE MOUNT BIKE RACK WITH FLANGE MOUNT. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND WRITTEN INSTRUCTIONS FOR INSTALLATION.
13. PRECAST CONCRETE WHEEL STOP (TYPICAL OF 10).
14. ADA PARKING SPACE, SIGN, AND PAVEMENT MARKINGS.
15. 4" WIDE YELLOW REFLECTORIZED PAINTED PAVEMENT STRIPING. TYPICAL FOR ALL PAVEMENT STRIPING.
16. 12" WIDE WHITE REFLECTORIZED PAINTED CROSSWALK STRIPING. PROVIDE AS DETAILED PER NYSDOT 685-01, TYPICAL CROSSWALK DETAIL.
17. STAINLESS STEEL GUARDRAIL, NATURAL FINISH.
18. 8'-0" HIGH FENCE SCREENING FOR DUMPSYTER.
  - 18.a. PROVIDE PALMSHIELD MERCURY ECONOMIC SOLID SCREENING TO THE DIMENSIONS SHOWN.
  - 18.b. PROVIDE SCREENING WITH BLACK ALUMINUM POST, MAXIMUM 6'-0" SPACING AND DARK GRAY COMPOSITE PLANK, 1.5" WIDE.
  - 18.c. REFER TO STRUCTURAL DRAWINGS FOR TYPICAL FOUNDATION DETAILS.
  - 18.d. SUBMIT SHOP DRAWINGS OF SCREENING AND FOUNDATION DETAILS TO ARCHITECT FOR APPROVAL.
19. 6'-0" HIGH SINGLE DUMPSYTER ENCLOSURE WITH 12'-0" WIDE DOUBLE GATE PER DIMENSIONS INDICATED ON SITE LAYOUT PLAN.
  - 19.a. PROVIDE PALMSHIELD MERCURY ECONOMIC SOLID SCREENING AND MAXIMUM INDUSTRIAL SOLID SWING GATE TO THE DIMENSIONS SHOWN.
  - 19.b. PROVIDE SCREENING AND GATE WITH BLACK ALUMINUM POST, MAXIMUM 6'-0" SPACING AND DARK GRAY COMPOSITE PLANK, 1.5" WIDE.
  - 19.c. REFER TO STRUCTURAL DRAWINGS FOR TYPICAL FOUNDATION DETAILS.
  - 19.d. SUBMIT SHOP DRAWINGS OF ENCLOSURE, GATE, AND FOUNDATION DETAILS TO ARCHITECT FOR APPROVAL.
20. 5'-0" HIGH, BLACK DECORATIVE ALUMINUM FENCE (APPROXIMATELY 477 LF), V.I.F. AND MATCH EXISTING FENCE HEIGHT AND ALIGNMENT.
  - 20.a. PROVIDE SD-42 IRONSTEELES SERIES SIDE-DOOR OPENING LITTER RECEPTACLE BY VICTORY STANLEY INC. OR APPROVED EQUIVALENT.
  - 20.b. PROVIDE BLACK TRASH RECEPTACLE WITH SPHERICAL, DOME LID.
  - 20.c. SURFACE MOUNT TRASH RECEPTACLE AT OWNER-DESIGNATED LOCATION. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND WRITTEN INSTRUCTIONS FOR INSTALLATION.
  - 20.d. SUBMIT SHOP DRAWINGS AND CATALOG CUTS TO ARCHITECT FOR APPROVAL.
21. FIELD PREPARE, PRIME, AND PAINT WITH BLACK FINISH EXISTING 4" WROUGHT IRON FENCE AT SITE PERIMETER (APPROXIMATELY 800 LF).
22. LAWN / TURF RESTORATION WITH 4" OF TOPSOIL, SEED, AND FIBER MULCH. SPREAD TOPSOIL USING EQUIPMENT HAVING "TURF-TYPE" OR "FLORATION-TYPE" TIRES TO MINIMIZE SOIL COMPACTION.
23. OUTLINE OF PROPOSED BUILDING CANOPY ABOVE. REFER TO ARCHITECTURAL DRAWINGS.
24. COLUMNS FOR BUILDING CANOPY. REFER TO STRUCTURAL DRAWINGS.
25. CONCRETE PAD FOR WATER HEATER EQUIPMENT. REFER TO STRUCTURAL DRAWINGS.
26. PROVIDE TYPICAL EXPANSION JOINT DETAIL WHERE CONCRETE PAVEMENT / SIDEWALK ABUTS EXISTING STRUCTURES OR NEW STRUCTURE CONSTRUCTION.
27. PROVIDE TYPICAL EXPANSION JOINT DETAIL WHERE FLAGPOLE AND / OR LIGHT POLE ARE INTEGRAL WITH CONCRETE SIDEWALK RECONSTRUCTION.
28. PROPOSED LIGHT POLE WORK. REFER TO ELECTRICAL DRAWINGS.
29. PARKING SPACES DESIGNATED FOR SNOW STORAGE (11 SPACES TOTAL).
30. PROVIDE TYPICAL SITE SIGNAGE AND POST PER DETAILS 1 AND S / C-503.
31. PROPOSED TRANSFORMER AND PAD. REFER TO ELECTRICAL DRAWINGS.
32. REPAIR OR REPLACE EXISTING POST TO RESTORE EXISTING FENCE RAIL AND MATCH EXISTING CONFIGURATION.

SEE DRAWING C001 FOR GENERAL NOTES, SYMBOL KEY AND EROSION & SEDIMENT CONTROL NOTES.  
SEE DRAWING C502 / C503 FOR TYPICAL DETAILS.

**ZONING REQUIREMENTS**

ZONING  
RESIDENTIAL DISTRICT, CLASS B

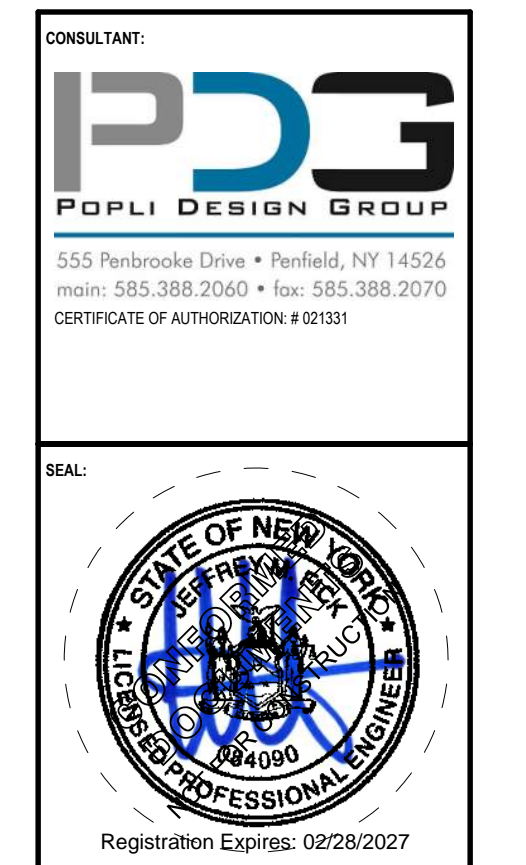
EXISTING LOT INFORMATION	TAX PARCEL	PARCEL SIZE	REQUIRED	EXISTING	PROPOSED
ADDRESS N/A 300 & 302 BURT STREET	94-17-01-0	361,329 S.F. (8.295 AC.) 108,686 S.F. (2.495 AC.)			
<b>MINIMUM YARD REQUIREMENTS</b>					
FRONT YARD (BURT ST.)			10 FT.	28.74 FT.	28.74 FT.
FRONT YARD (OAKWOOD AVE.)			10 FT.	52.83 FT.	52.83 FT.
SIDE YARD (S. STATE ST.)			24 FT. (4 FT. + 2 FT. x 10 STY.)	99.23 FT.	99.23 FT.
SIDE YARD (OAKWOOD AVE.)			24 FT. (4 FT. + 2 FT. x 10 STY.)	77.00 FT.	77.00 FT.
REAR YARD			40 FT. (20 FT. + 2 FT. x 10 STY.)	N/A	N/A
<b>LOT COVERAGE</b>					
STRUCTURAL			40% MAX.	19% (20,708 S.F.)	19% (20,708 S.F.)
PARKING			40% MAX.	37% (38,801 S.F.)	37% (38,801 S.F.)
<b>LOT WIDTH</b>			50 FT. MIN.	406.59 FT.	406.59 FT.
<b>DENSITY REQUIREMENT</b>					
MULTIPLE FAMILY (APARTMENTS)			1,000 S.F. / UNIT MAX.	584 S.F. / UNIT (186 UNITS)	569 S.F. / UNIT (191 UNITS)
<b>HEIGHT LIMITATIONS</b>			N/A	12 STORIES	12 STORIES
<b>OFF-STREET PARKING REQUIREMENTS</b>					
STALL DIMENSIONS			8.59 FT. x 18.00 FT.	9.00 FT. x 18.00 FT.	9.00 FT. x 18.00 FT.
REQUIRED SPACES			1 SPACE PER UNIT	0.59 SPACES / UNIT (114 SPACES / 191 UNITS)	0.59 SPACES / UNIT (112 SPACES / 191 UNITS)

ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE.  
BEFORE YOU DIG, DRILL, OR BLAST, CALL UDIG NEW YORK AT  
1-800-962-7962

**NOT FOR CONSTRUCTION**



ASHLEY MCGRAW  
125 EAST JEFFERSON STREET  
SYRACUSE, NEW YORK 13202



OWNER:  
**ALMUS OLVER TOWER, LP**

**ALMUS OLVER TOWER, LP**  
  
**RENOVATIONS to the ALMUS OLVER TOWERS**  
  
 300 BURT STREET, SYRACUSE, NEW YORK 13202

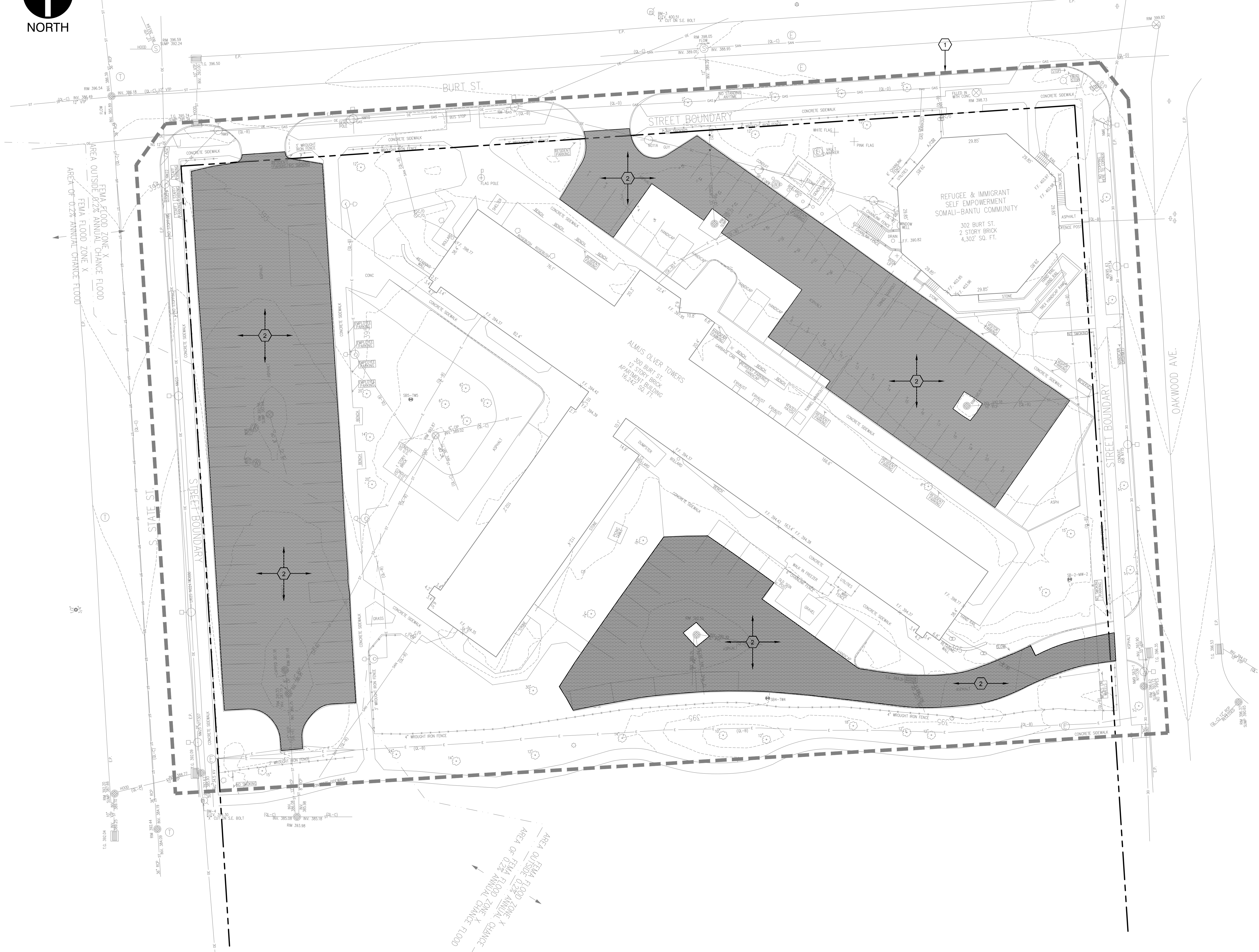
REV. NO. 3  
REV. DATE 03.08.24  
REV. DESCRIPTION Addendum No. 03

DATE ISSUED: **SEPTEMBER 23, 2024**

**SITE LAYOUT PLAN BASE BID**

**C121**

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SITE LAYOUT PLAN ALTERNATE 1  
1" = 20.0'



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- DRAWING NOTES**
1. CONTRACT LIMIT LINE. CONTINUOUSLY MAINTAIN THE WORK AREA IN A CLEAN AND SAFE CONDITION. TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN PROTECTED ACCESS FOR OWNER, ITS EMPLOYEES, AND PUBLIC USING FACILITIES AS WORK PROCEEDS. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, WARNING SIGNS, AND OTHER TEMPORARY PROTECTIVE MEASURES THROUGHOUT THE WORK.
  2. 2" THICK MILL AND OVERLAY EXISTING ASPHALT PAVEMENT. MATCH EXISTING GRADING AND DRAINAGE PATTERNS.
  3. REFER TO DRAWING C-121 FOR BASE SCOPE OF WORK.
- SEE DRAWING C501 FOR GENERAL NOTES, SYMBOL KEY AND EROSION & SEDIMENT CONTROL NOTES.  
SEE DRAWING C502 / C503 FOR TYPICAL DETAILS.



ASHLEY MCGRAW

125 EAST JEFFERSON STREET  
SYRACUSE, NEW YORK 13202

CONSULTANT:

**POPLI DESIGN GROUP**  
555 Penbrooke Drive • Penfield, NY 14526  
Phone: 585.388.2050 • Fax: 585.388.2070  
CERTIFICATE OF AUTHORIZATION # 02121

REAL:

Registration Expires: 02/28/2027

OWNER:  
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP

**RENOVATIONS to the ALMUS OLVER TOWERS**

300 BURT STREET, SYRACUSE, NEW YORK 13202

NYSP PROJECT NO.  
AW JOB NO. 21116

REV. NO.	REV. DATE	REV. DESCRIPTION

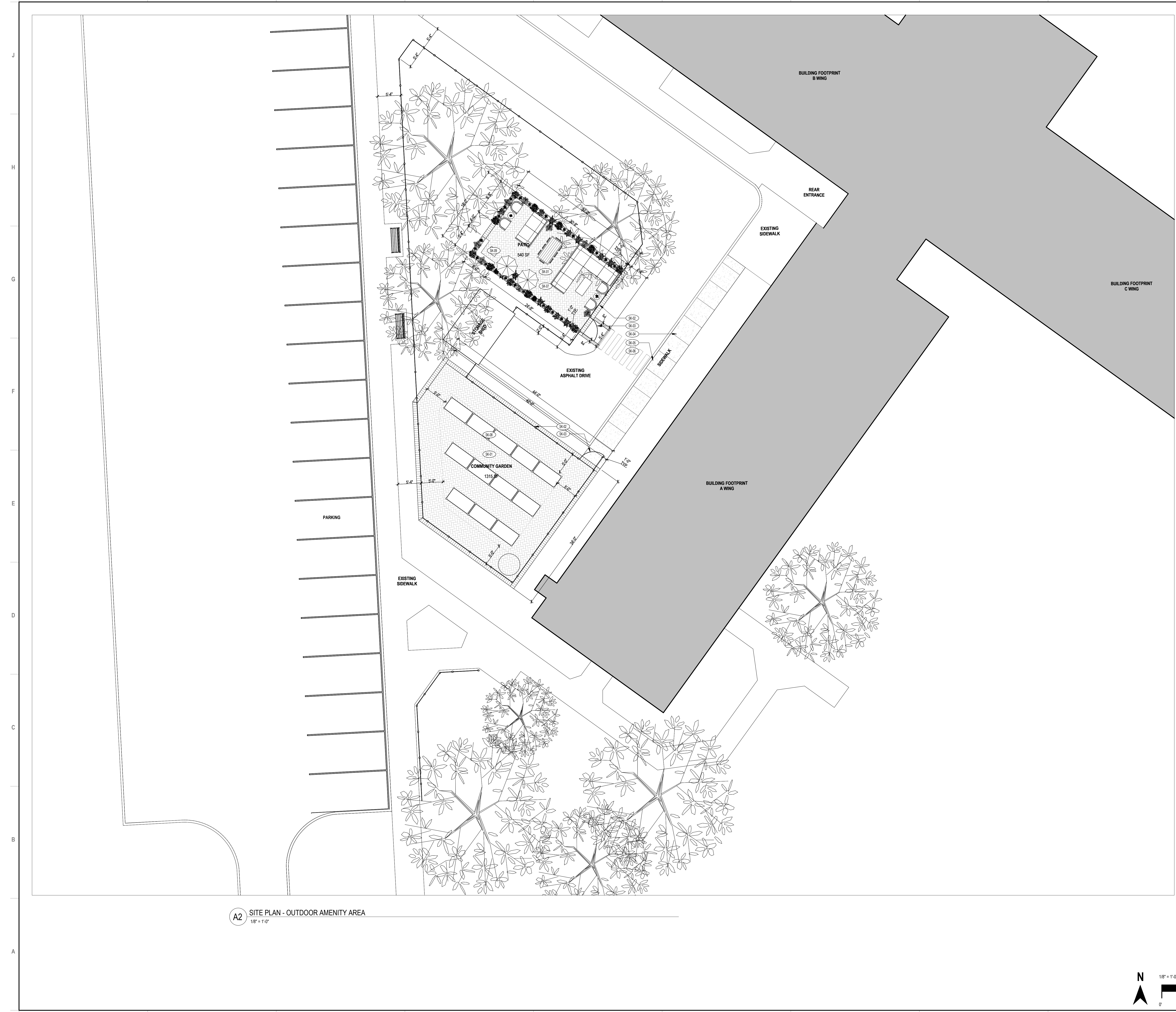
DATE ISSUED:  
SEPTEMBER 23, 2024

SITE LAYOUT PLAN  
ALTERNATE 1

**C122**

**NOT FOR CONSTRUCTION**

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**A2** SITE PLAN - OUTDOOR AMENITY AREA  
1/8" = 1'-0"

**KEYNOTES**

ENLARGED STAIR PLANS & DETAILS  
NOTE: NOT ALL KEYNOTES MAY BE REFERENCED.

NO.	DESCRIPTION
SK-01	REINFORCED STAMPED CONCRETE, SLAB-ON-GRADE, & ASSOCIATED SUBBASE. EXACT COLOR FINISH & PATTERN TO BE SELECTED BY ARCHITECT.
SK-02	DECORATIVE ALUMINUM FENCING & ASSOCIATED CONCRETE PIERS/POSTINGS. TYPICAL.
SK-03	4'-0" WIDE ALUMINUM SWING GATE TO MATCH FENCING.
SK-04	CONCRETE SIDEWALK & ASSOCIATED GRANITE CONCRETE CURBING.
SK-05	CONCRETE FLARE CURB RAMP AND DETECTABLE WARNING SURFACE.
SK-06	12" WIDE WHITE REFLECTORIZED PAINTED CROSSWALK STRIPING. PROVIDE AS DETAILED PER NYSDOT 88-01, TYPICAL. CROSSWALK DETAIL.
SK-07	OUTDOOR FURNITURE, TYPICAL. PROVIDED BY OWNER.
SK-08	MODULAR RAISED GARDEN BED, TYPICAL. PROVIDED BY OWNER.
SK-09	MODULAR RAISED GARDEN BED WALL & INTEGRAL BENCH SEATING. PROVIDED BY OWNER.



**EXAMPLE - PLANTER BOX**  
<https://www.renovation.com/projects/landscape-outdoor-planter-boxes>  
Item: 100001118182 | Product Name: Outdoor Planter Box - Wood | Material: Cedar | Size: 48" x 24" x 12" | Color: Natural | Finish: Clear | Weight: 15 lbs | Dimensions: 48" x 24" x 12" | SKU: 100001118182 | Source: 1



**EXAMPLE - PLANTER BOX SURROUND**  
<https://www.weber.com/Products/Outdoor-Planter-Box-Wood>  
Item: 100001118182 | Product Name: Outdoor Planter Box - Wood | Material: Cedar | Size: 48" x 24" x 12" | Color: Natural | Finish: Clear | Weight: 15 lbs | Dimensions: 48" x 24" x 12" | SKU: 100001118182 | Source: 1



**EXAMPLE - INTEGRAL PLANTER WITH BENCH**  
<https://www.woodbox.co/allarge-l-shaped-bed-with-seating>



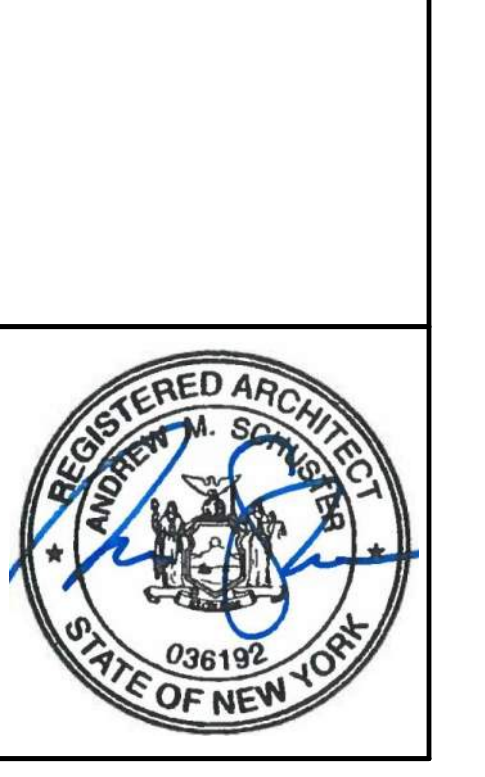
**EXAMPLE - MOBILE PLANTER**  
<https://accessibilitygarden.com/products/rolling-table-outdoor-garden/>



**EXAMPLE - WHEELCHAIR-ACCESSIBLE PLANTER**  
<https://accessibilitygarden.com/products/complere-forward-facing-wheelchair-garden/>



ASHLEY MCGRAW  
125 EAST JEFFERSON STREET  
SYRACUSE, NEW YORK 13202



OWNER:  
ALMUS OLVER TOWER, LP

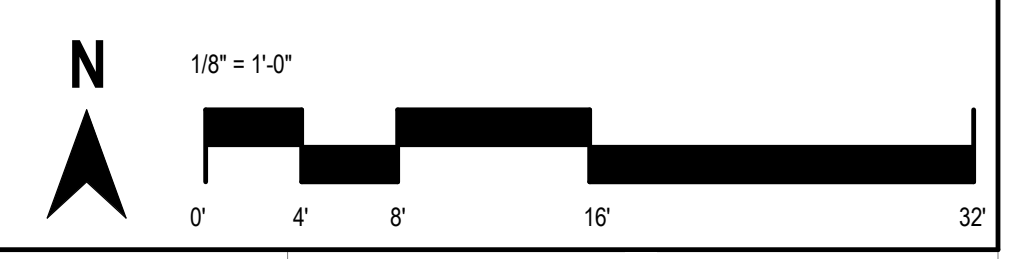
ALMUS OLVER TOWER, LP  
**RENOVATIONS to the ALMUS OLVER TOWERS**  
300 BURT STREET, SYRACUSE, NEW YORK 13202

NYS HPD PROJECT NO. \_\_\_\_\_  
AIR JOB NO. 21116


REV. NO.	REV. DATE	REV. DESCRIPTION

DATE ISSUED: SEPTEMBER 23, 2024  
**OUTDOOR AMENITY AREA - ADD ALTERNATE**

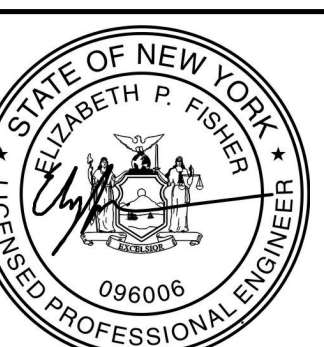
**A020**  
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CONSULTANT:



**FIS**  
FS ENGINEERING, DPC  
721 E. Genesee Street  
Syracuse, NY 13202  
Tel: 315-471-4000  
Fax: 315-471-4044  
PWR2008



VALID THRU: 01/31/2027  
FS CERT. NO. 0019842  
FS EXP. 01/31/2025

ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP  
**RENOVATIONS to the ALMUS OLVER TOWERS**  
300 BURT STREET, SYRACUSE, NEW YORK 13202

NYSP PROJECT NO.  
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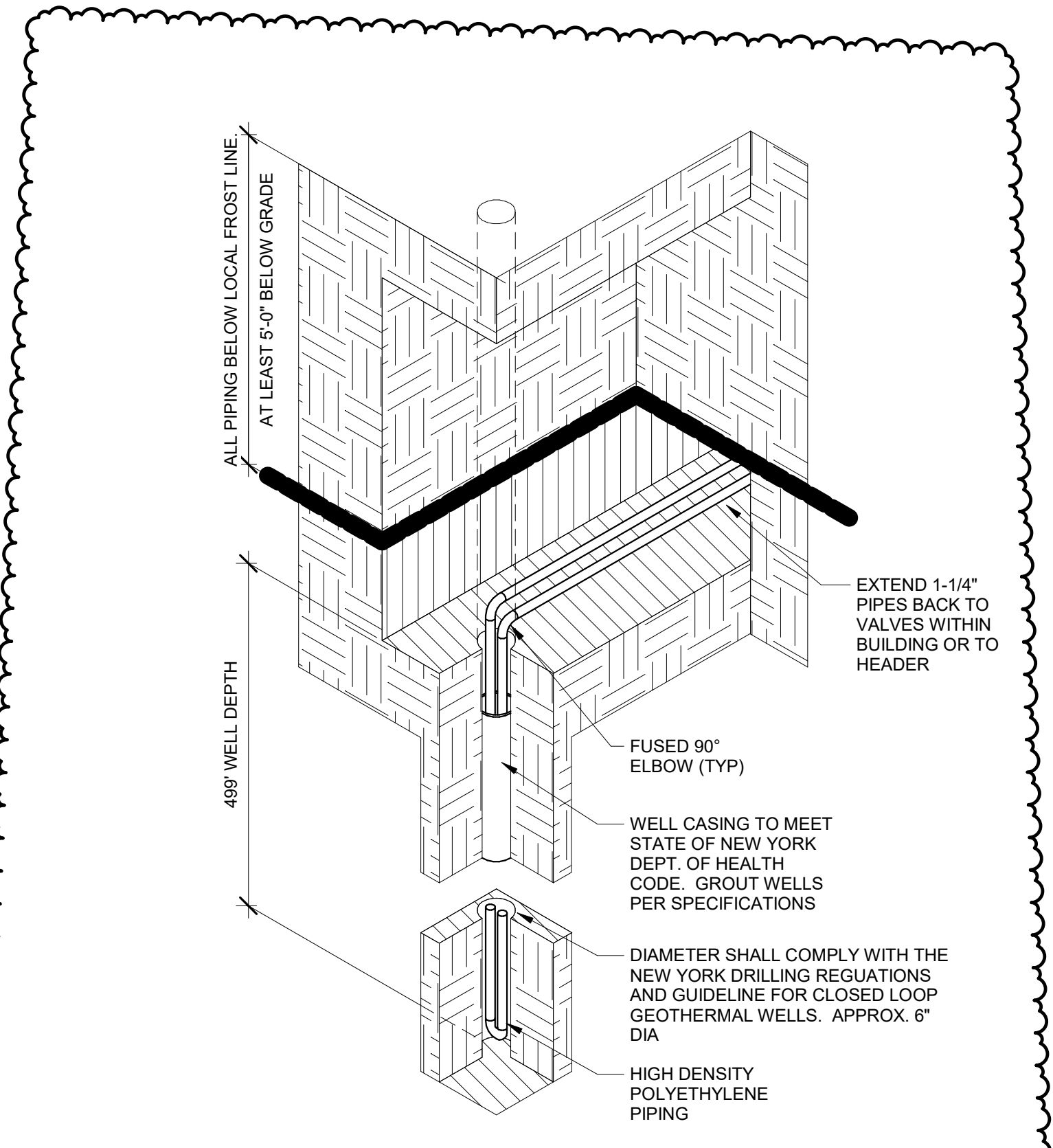
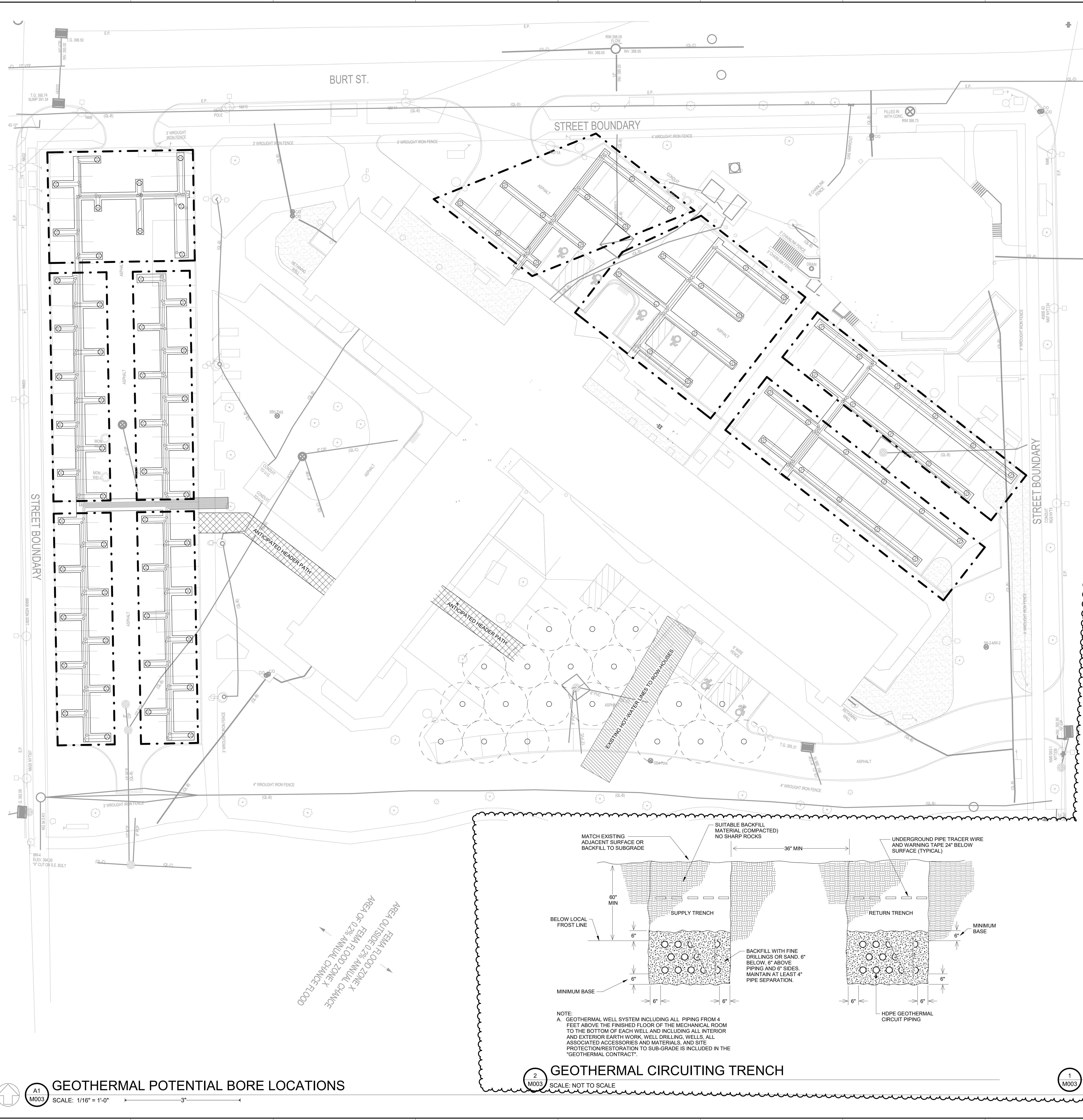
REV. NO.	DATE	REV. DESCRIPTION
5	09.23.24	CONFORMED DOCUMENTS

DATE ISSUED: **SEPTEMBER 23, 2024**

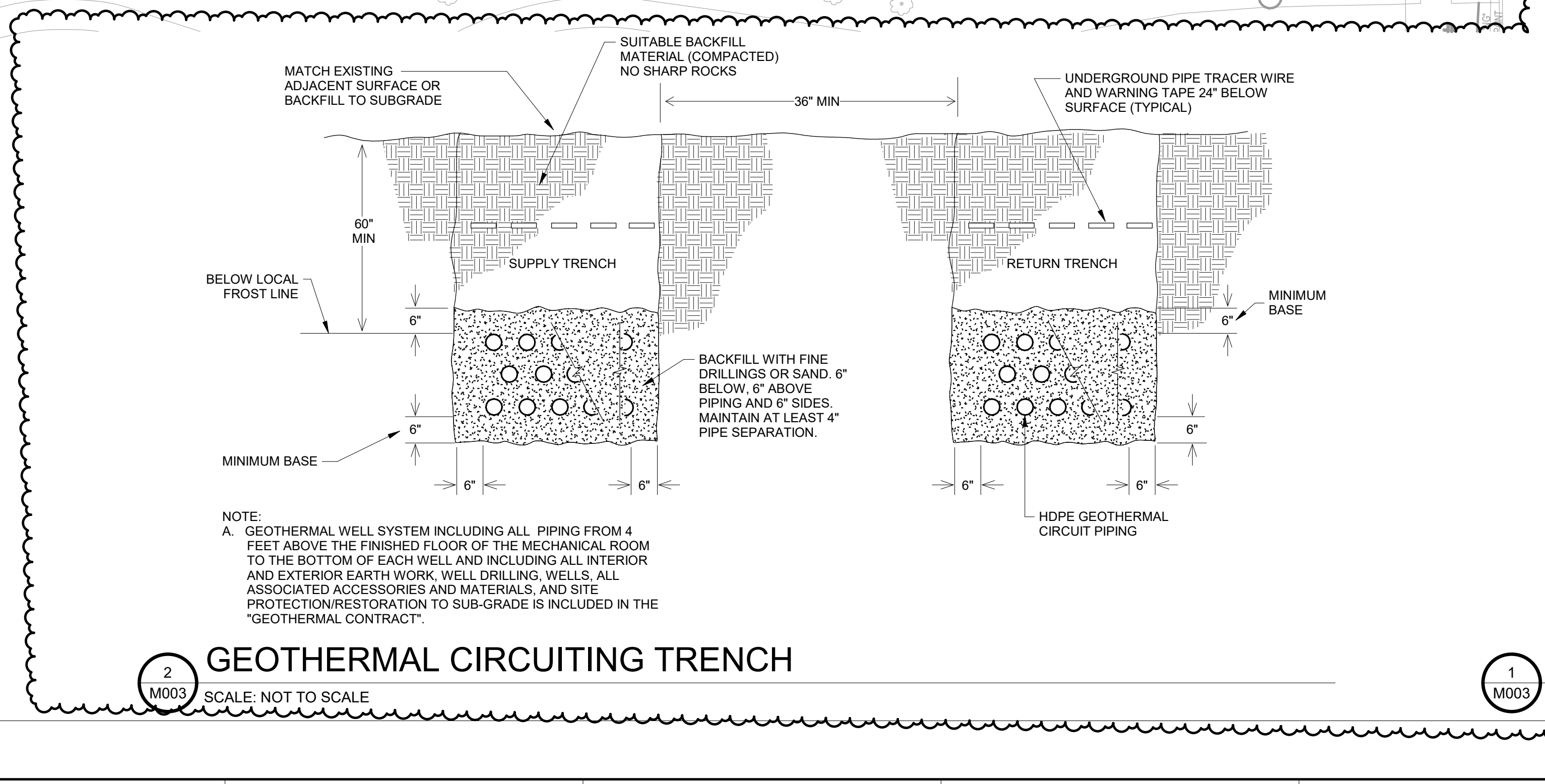
**GEOTHERMAL SITE PLAN**

**M003**

GEOTHERMAL INFORMATION		
GEOTHERMAL WELLS	NUMBER OF WELLS	100
	WELL DEPTH	500 FT
	NUMBER OF WELL CIRCUITS	10
	NUMBER OF WELLS PER CIRCUIT	10
FLUID INFORMATION		
	FLUID	25% P.G.
	FLOW (GPM)	683
WELL FIELD PRESSURE DROP TO BUILDING		40 FT-HD
COOLING EWT/LWT (°F)		71.5 / 80.0
HEATING EWT/LWT (°F)		47.9 / 42.9



**NOTE:**  
1. 499' DEEP GEOTHERMAL WELL WITH STEEL CASING FOR THE FIRST 340' OF DEPTH. COORDINATE WITH ALL EXISTING AND NEW UTILITIES.  
2. GEOTHERMAL WELLS SHALL BE NO LESS THAN 10' FROM PROPERTY LINES.



**NOTE:**  
A. GEOTHERMAL WELL SYSTEM INCLUDING ALL PIPING FROM 4 FEET ABOVE THE FINISHED FLOOR OF THE MECHANICAL ROOM TO THE BOTTOM OF EACH WELL AND INCLUDING ALL INTERIOR AND EXTERIOR EARTH WORK, WELL DRILLING, WELLS, ALL ASSOCIATED ACCESSORIES AND MATERIALS, AND SITE PROTECTION/RESTORATION TO SUB-GRADE IS INCLUDED IN THE "GEOTHERMAL CONTRACT".

**NOTE:**  
A. GEOTHERMAL WELL SYSTEM INCLUDING ALL PIPING FROM 4 FEET ABOVE THE FINISHED FLOOR OF THE MECHANICAL ROOM TO THE BOTTOM OF EACH WELL AND INCLUDING ALL INTERIOR AND EXTERIOR EARTH WORK, WELL DRILLING, WELLS, ALL ASSOCIATED ACCESSORIES AND MATERIALS, AND SITE PROTECTION/RESTORATION TO SUB-GRADE IS INCLUDED IN THE "GEOTHERMAL CONTRACT".

Vertical scale bars and grid labels:

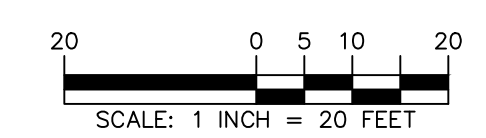
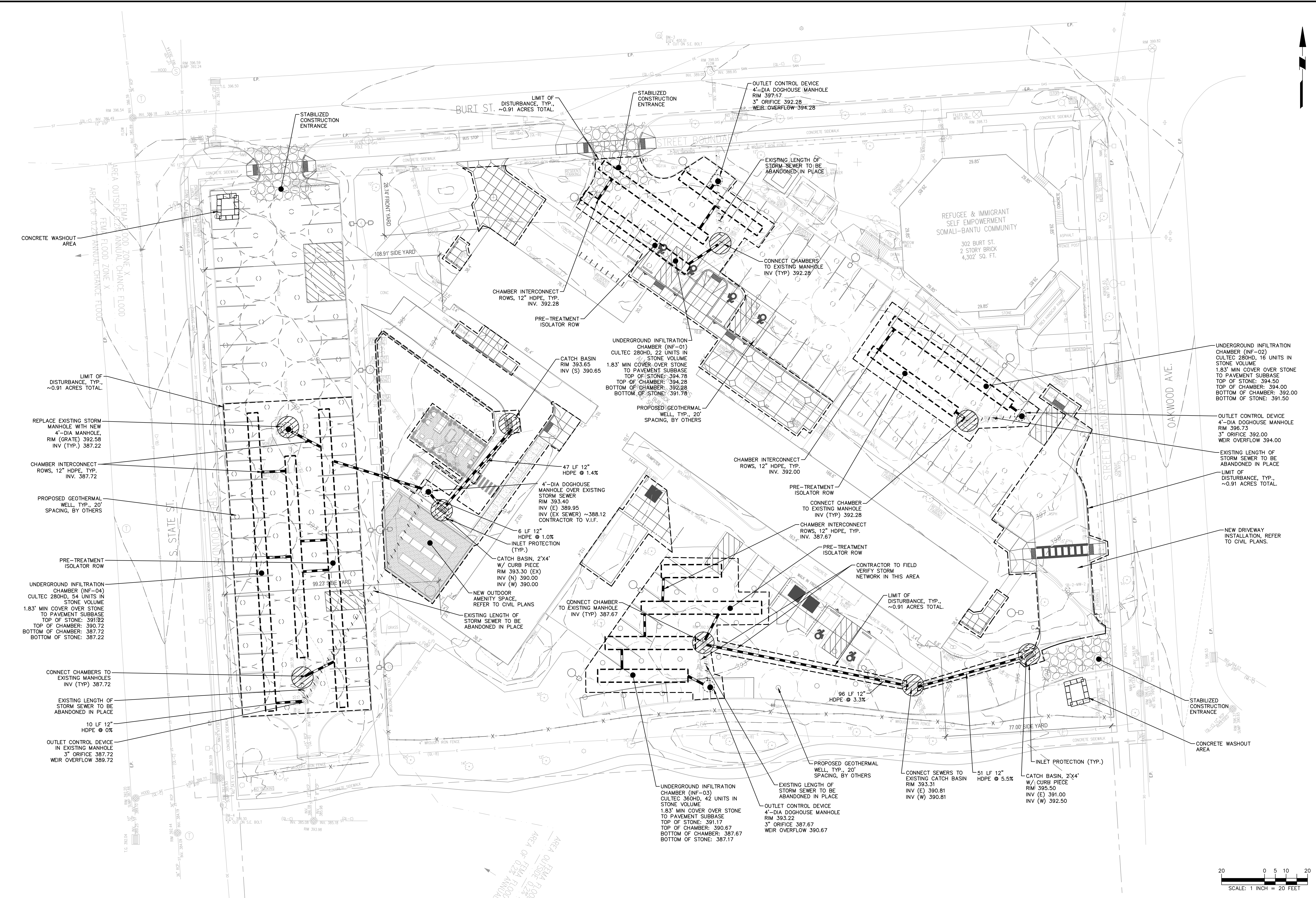
- Grid labels: J, H, G, F, E, D, C, B, A
- Column labels: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10
- Scale 1: 1/16" = 1'-0" (feet)
- Scale 2: 1/4" = 1'-0" (feet)
- Scale 3: 3/8" = 1'-0" (feet)
- Scale 4: 1/2" = 1'-0" (feet)
- Scale 5: 3/4" = 1'-0" (feet)
- Scale 6: 1" = 1'-0" (feet)
- Scale 7: 1 1/4" = 1'-0" (feet)
- Scale 8: 1 1/2" = 1'-0" (feet)
- Scale 9: 1 3/4" = 1'-0" (feet)
- Scale 10: 2" = 1'-0" (feet)
- Scale 11: 2 1/4" = 1'-0" (feet)
- Scale 12: 2 1/2" = 1'-0" (feet)
- Scale 13: 2 3/4" = 1'-0" (feet)
- Scale 14: 3" = 1'-0" (feet)
- Scale 15: 3 1/4" = 1'-0" (feet)
- Scale 16: 3 1/2" = 1'-0" (feet)
- Scale 17: 3 3/4" = 1'-0" (feet)
- Scale 18: 4" = 1'-0" (feet)
- Scale 19: 4 1/4" = 1'-0" (feet)
- Scale 20: 4 1/2" = 1'-0" (feet)
- Scale 21: 4 3/4" = 1'-0" (feet)
- Scale 22: 5" = 1'-0" (feet)
- Scale 23: 5 1/4" = 1'-0" (feet)
- Scale 24: 5 1/2" = 1'-0" (feet)
- Scale 25: 5 3/4" = 1'-0" (feet)
- Scale 26: 6" = 1'-0" (feet)
- Scale 27: 6 1/4" = 1'-0" (feet)
- Scale 28: 6 1/2" = 1'-0" (feet)
- Scale 29: 6 3/4" = 1'-0" (feet)
- Scale 30: 7" = 1'-0" (feet)
- Scale 31: 7 1/4" = 1'-0" (feet)
- Scale 32: 7 1/2" = 1'-0" (feet)
- Scale 33: 7 3/4" = 1'-0" (feet)
- Scale 34: 8" = 1'-0" (feet)
- Scale 35: 8 1/4" = 1'-0" (feet)
- Scale 36: 8 1/2" = 1'-0" (feet)
- Scale 37: 8 3/4" = 1'-0" (feet)
- Scale 38: 9" = 1'-0" (feet)
- Scale 39: 9 1/4" = 1'-0" (feet)
- Scale 40: 9 1/2" = 1'-0" (feet)
- Scale 41: 9 3/4" = 1'-0" (feet)
- Scale 42: 10" = 1'-0" (feet)

**A1 M003 GEOTHERMAL POTENTIAL BORE LOCATIONS**  
SCALE: 1/16" = 1'-0"

**2 M003 GEOTHERMAL CIRCUITING TRENCH**  
SCALE: NOT TO SCALE

**1 M003 GEOTHERMAL CIRCUITING SINGLE TRENCH**  
SCALE: NOT TO SCALE

Scale 1: 1/16" = 1'-0" (feet)



Date	Description	No.
12/11/24	Revised Per City Comments	1

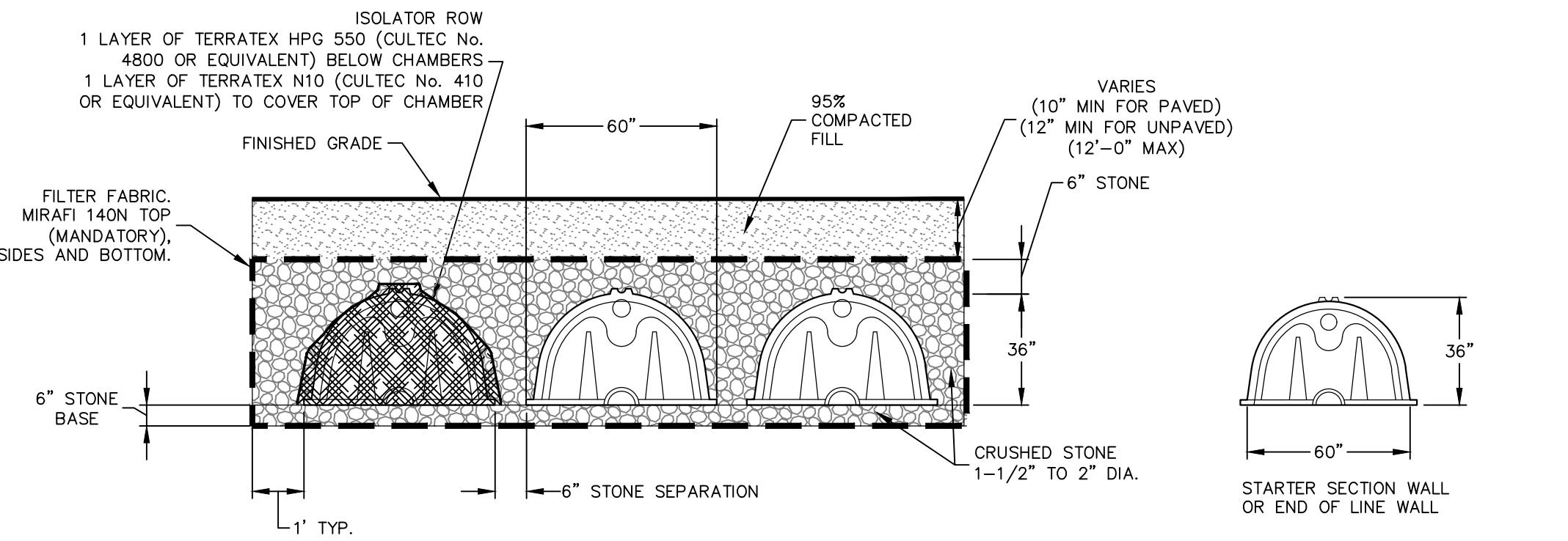
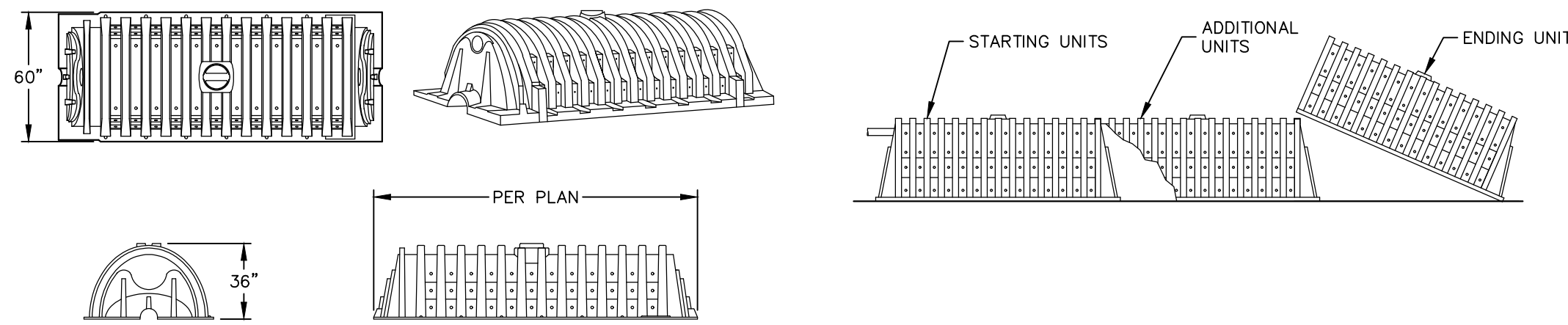
Signature: MICHAEL FINAN, PE, LEED-AP  
 PROFESSIONAL ENGINEER NY Lic. No. 081473

**LANGAN**  
 Langan Engineering, Environmental, Surveying,  
 Landscape Architecture, and Geology, D.P.C.  
 21 Penn Plaza, 360 West 31st Street, 8th Floor  
 New York, NY 10001  
 T: 212.479.5400 F: 212.479.5444 www.langan.com

Project  
**E ADAMS ST REDEVELOPMENT, SYRACUSE**  
 SYRACUSE NEW YORK  
 ONONDAGA COUNTY

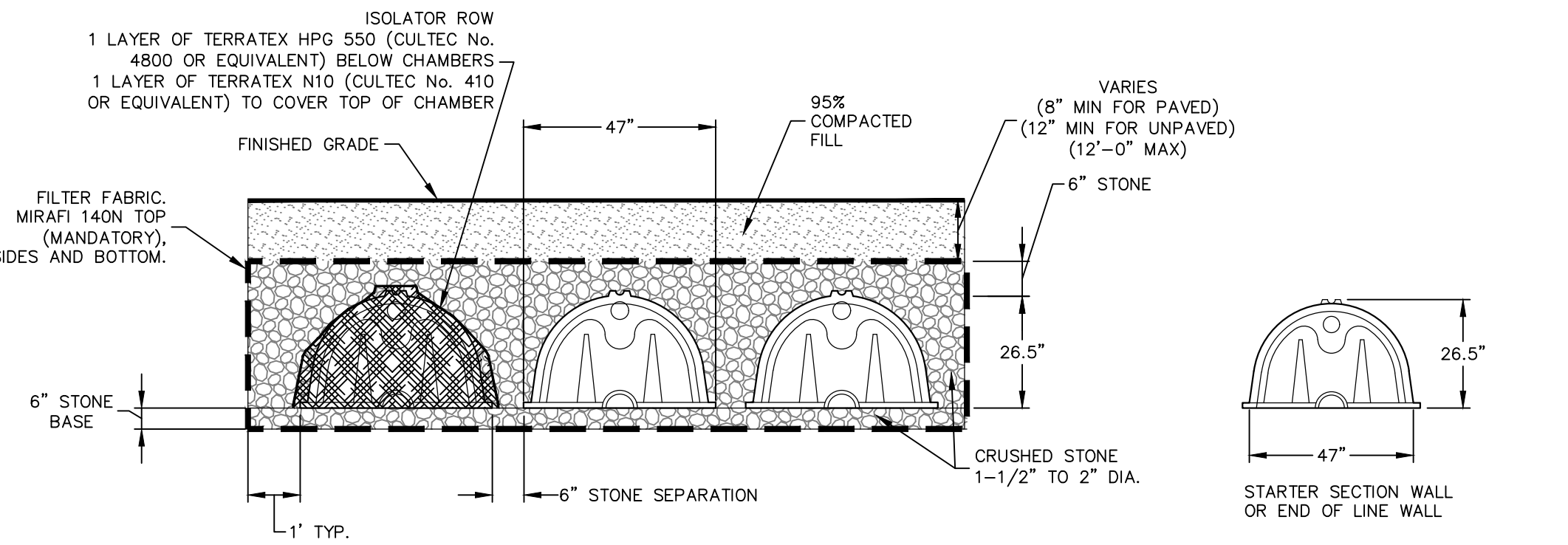
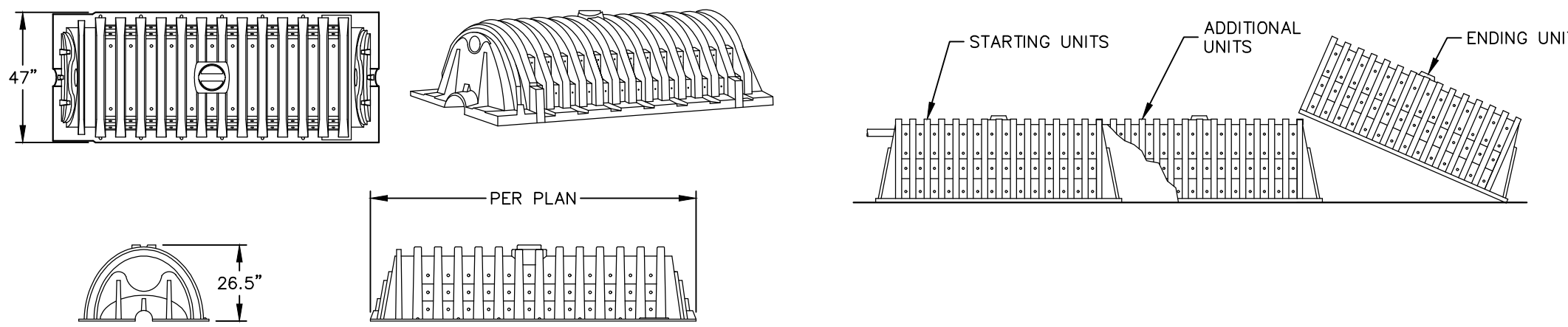
Drawing Title  
**STORMWATER MANAGEMENT PLAN**

Project No. 170784001	Drawing No. CG101
Date NOVEMBER 15, 2024	Sheet 1 of 6
Drawn By BS	
Checked By MT	



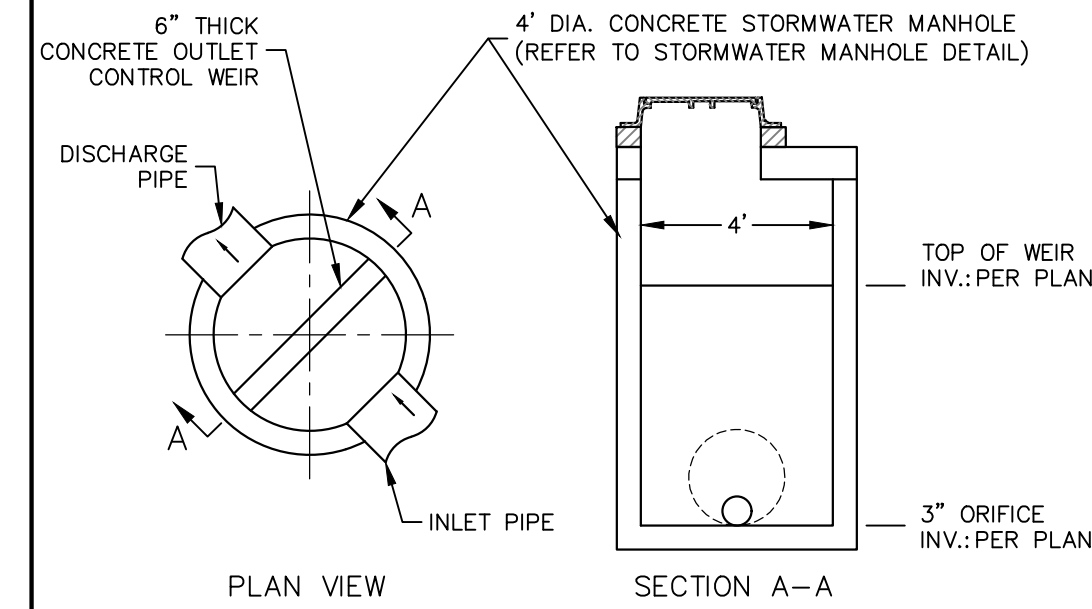
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SCALE: NTS

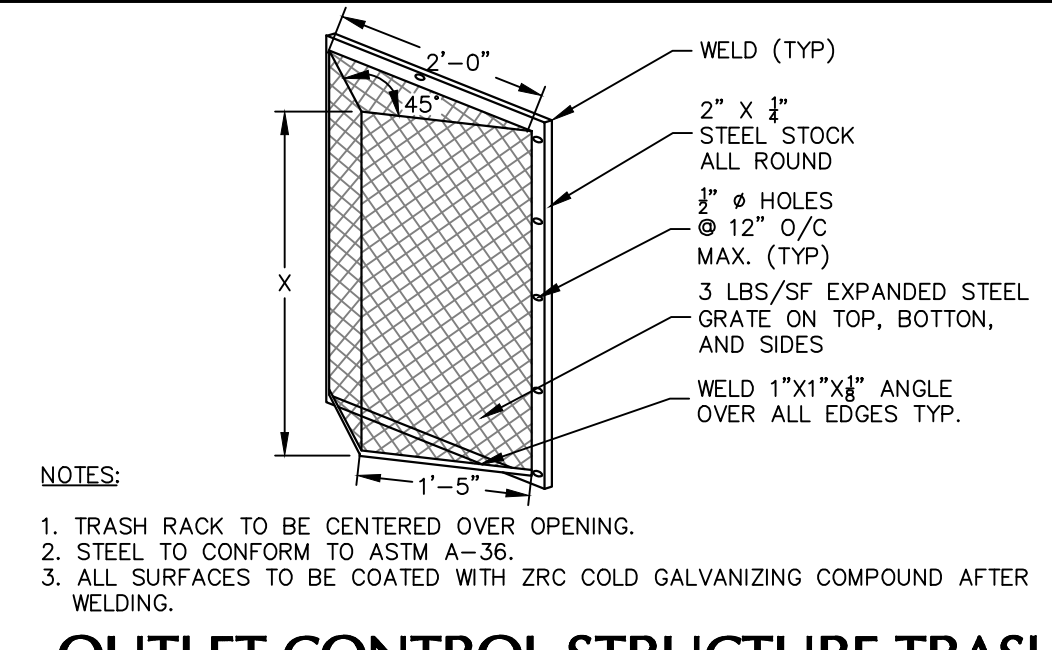


**CULTEC RECHARGER 280HD STORMWATER SYSTEM**

SCALE: NTS

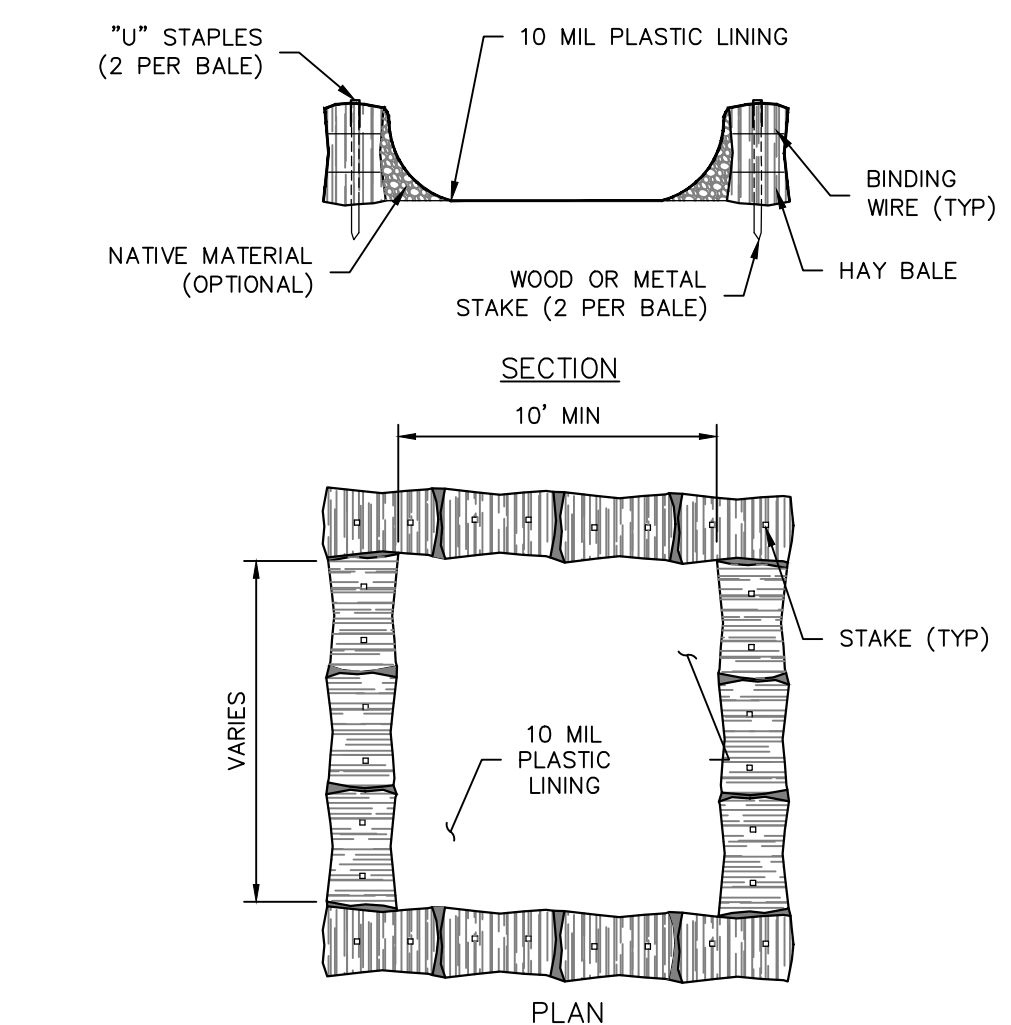


**OUTLET CONTROL STRUCTURE**



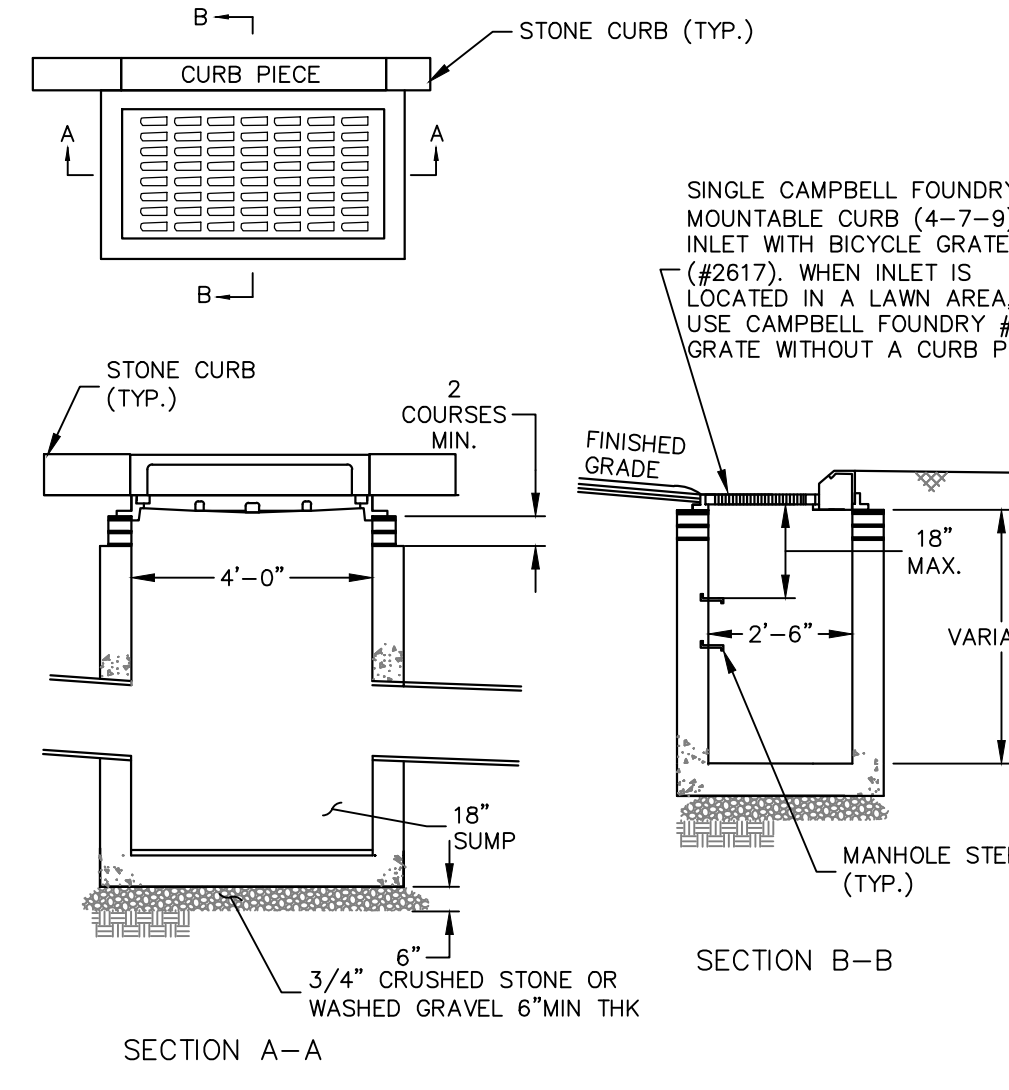
**OUTLET CONTROL STRUCTURE TRASH RACK FOR LOW FLOW ORIFICE DETAIL**

SCALE: NTS



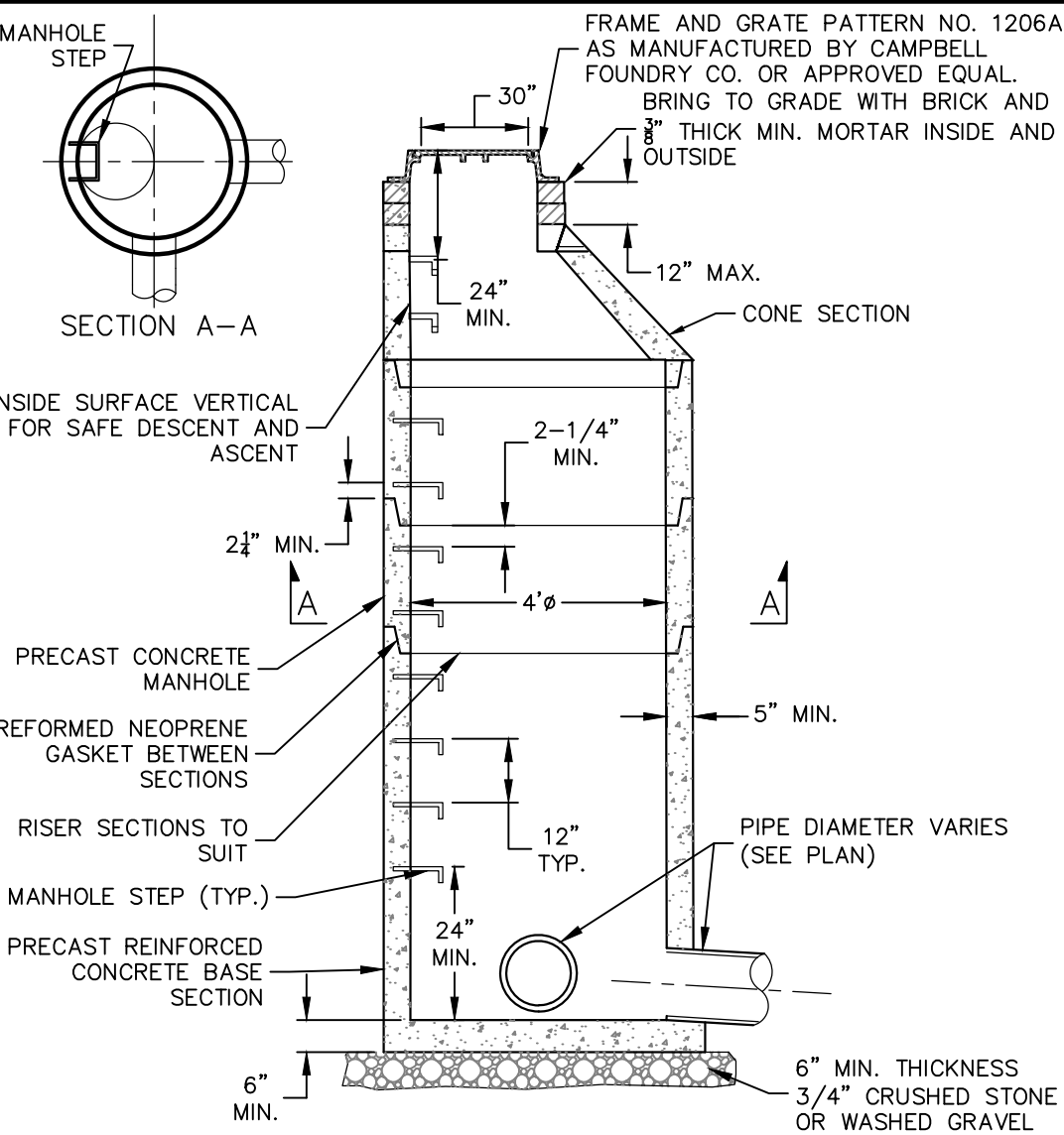
**ABOVE GROUND TEMPORARY CONCRETE WASHOUT FACILITY**

SCALE: NTS



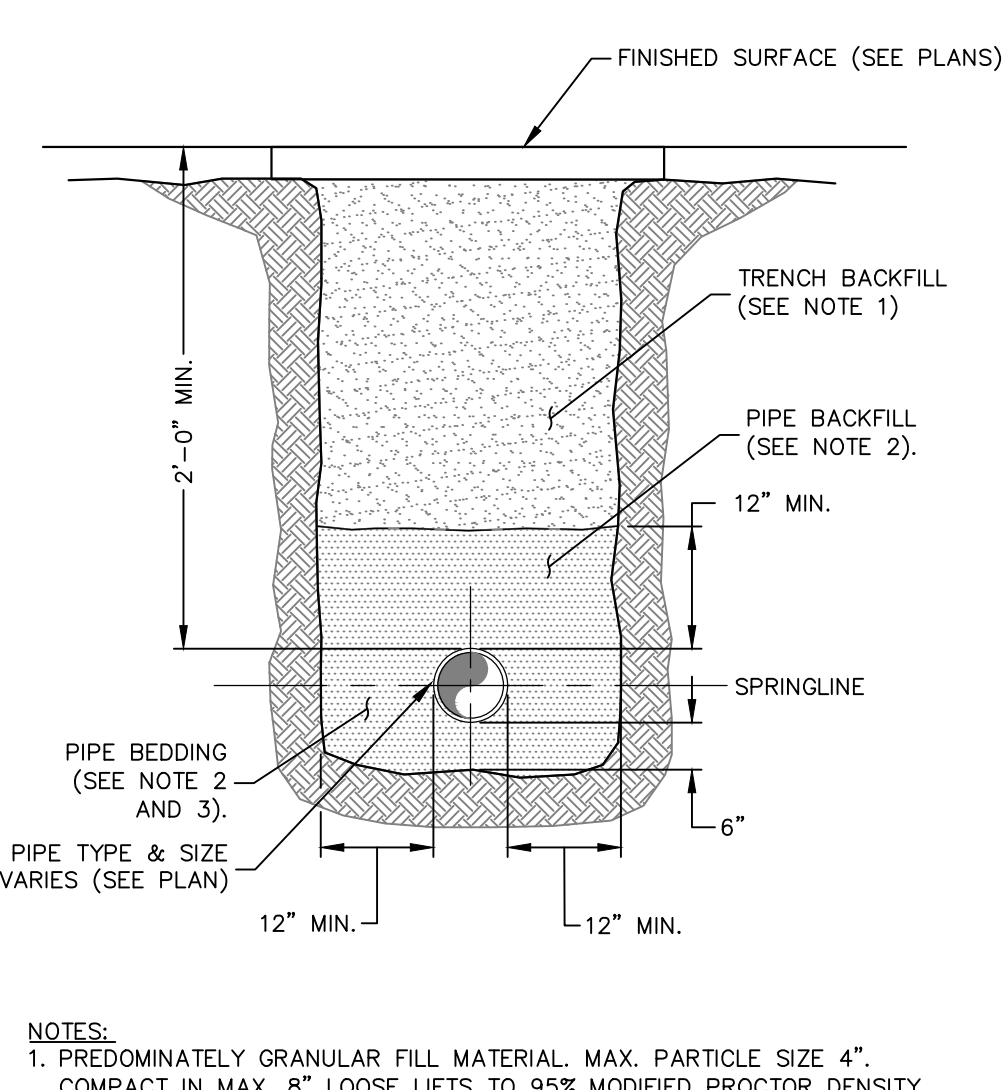
**CATCH BASIN**

SCALE: NTS



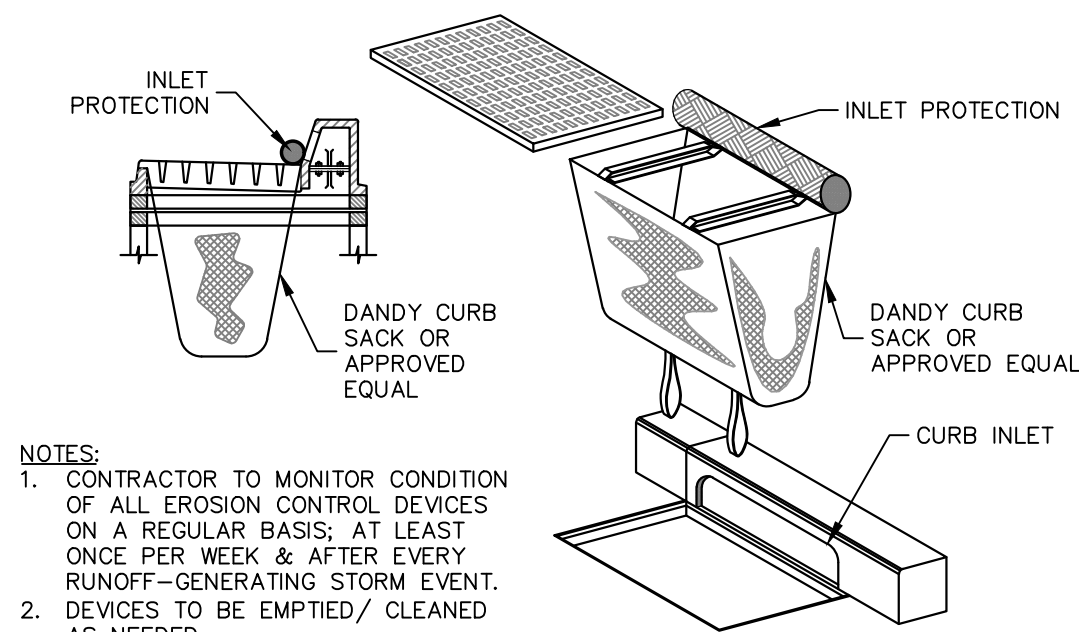
**STORMWATER MANHOLE - 4' DIA.**

SCALE: NTS



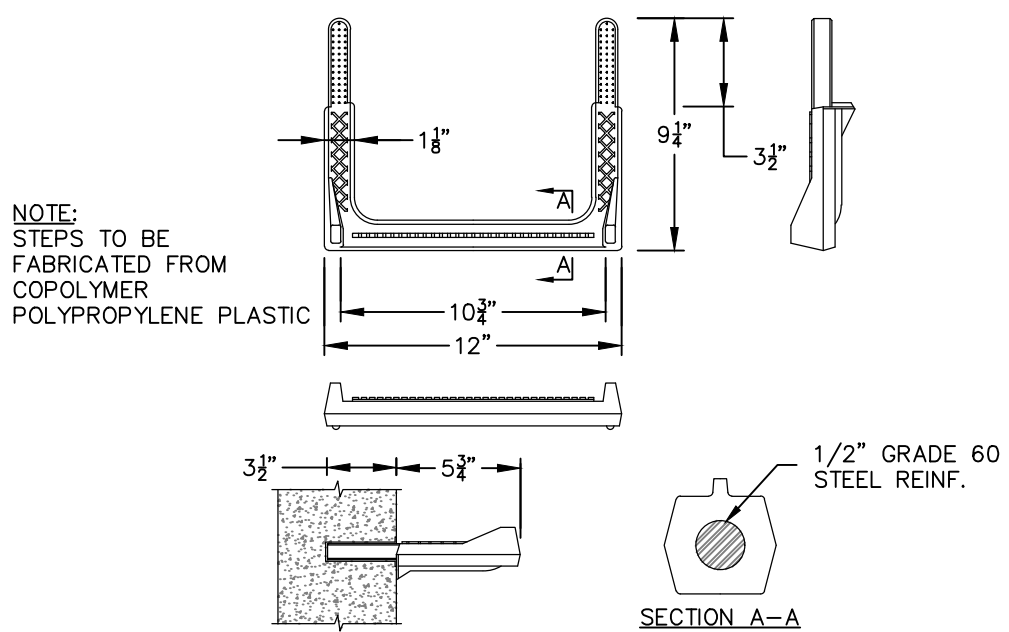
**DRAINAGE PIPE TRENCH**

SCALE: NTS



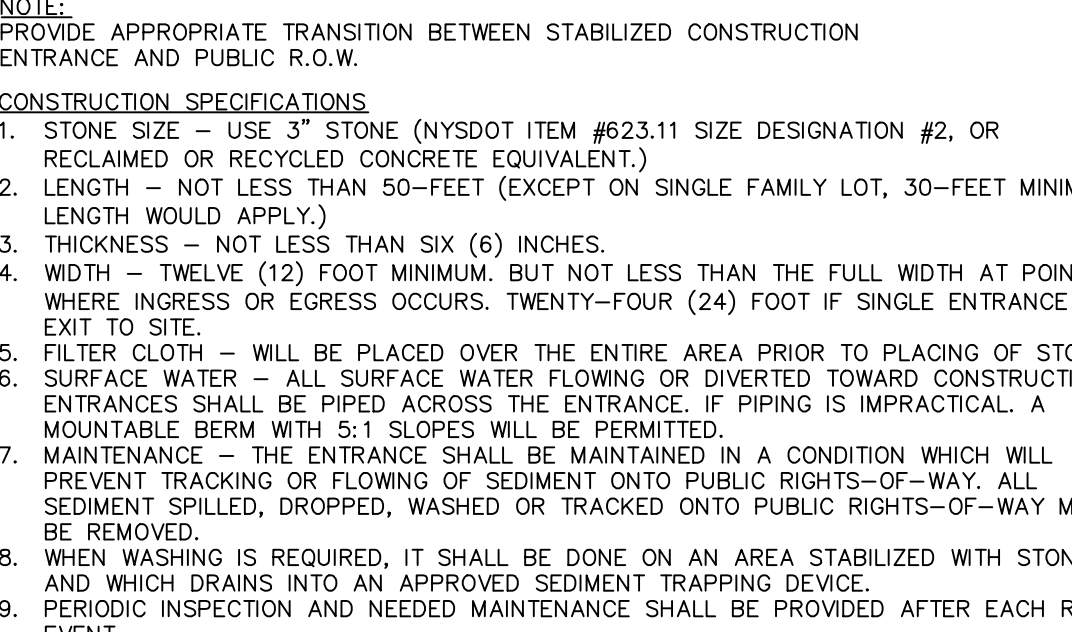
**INLET PROTECTION - DANDY SACK**

SCALE: NTS



**POLYPROPYLENE MANHOLE STEP**

SCALE: NTS



**STABILIZED CONSTR. ENTRANCE**

SCALE: NTS

**POLLUTION PREVENTION CONTROL NOTES**

- GOOD HOUSEKEEPING PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. GOOD HOUSEKEEPING MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS BY THOSE PARTIES INVOLVED WITH THE DIRECT CARE AND DEVELOPMENT OF THE SITE. THE FOLLOWING MEASURES SHOULD BE IMPLEMENTED TO CONTROL THE POSSIBLE EXPOSURE OF HARMFUL SUBSTANCES AND MATERIALS TO STORMWATER RUNOFF:
  - MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION SHALL BE STOCKPILED AWAY FROM STORM DRAINAGE, WATER BODIES AND/OR WATERCOURSES AND SURROUNDED WITH EQUIVALENT EROSION AND SEDIMENT CONTROL MEASURES. SOIL STOCKPILE LOCATIONS SHALL BE EXPOSED NO LONGER THAN 14 DAYS BEFORE SEEDING.
  - EQUIPMENT MAINTENANCE AREAS SHALL BE PROTECTED FROM STORMWATER FLOWS AND SHALL BE SUPPLIED WITH APPROPRIATE WASTE RECEPTACLES FOR SPENT CHEMICALS, SOLVENTS, OILS, GREASES, GASOLINE, AND ANY POLLUTANTS THAT MIGHT CONTAMINATE THE SURROUNDING HABITAT AND/OR WATER SUPPLY. EQUIPMENT WASH-DOWN ZONES SHALL BE LOCATED WITHIN AREAS DRAINING TO SEDIMENT CONTROL DEVICES.
  - THE USE OF DETERGENTS FOR LARGE-SCALE (I.E., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.) WASHING IS PROHIBITED.
  - MATERIAL STORAGE LOCATIONS AND FACILITIES (I.E., COVERED STORAGE AREAS, STORAGE SHEDS, ETC.) SHALL BE LOCATED ON-SITE AND SHALL BE STORED ACCORDING TO THE MANUFACTURER'S STANDARDS IN A DEDICATED STAGING AREA. CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS. RUNOFF CONTAINING SUCH MATERIALS MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
  - HAZARDOUS SPILLS SHALL BE IMMEDIATELY CONTAINED TO PREVENT SUCH POLLUTANTS FROM ENTERING THE SURROUNDING HABITAT AND/OR WATER SUPPLY. SPILL KITS SHALL BE PROVIDED ON-SITE AND SHALL BE DISPLAYED IN A PROMINENT LOCATION FOR EASE OF ACCESS AND USE. SPILLS GREATER THAN FIVE (5) GALLONS SHALL BE REPORTED TO THE NYSDEC RESPONSE UNIT AT 1-800-457-7362. IN ADDITION, A RECORD OF THE INCIDENT(S) AND/OR NOTIFICATIONS SHALL BE DOCUMENTED AND ATTACHED TO THE SWPPP.
  - PORTABLE SANITARY WASTE FACILITIES SHALL BE PROVIDED ON-SITE FOR WORKERS AND SHALL BE PROPERLY MAINTAINED.
  - DUMPSTERS AND/OR DEBRIS CONTAINERS SHALL BE LOCATED ON-SITE AND SHALL BE OF ADEQUATE SIZE TO MANAGE RESPECTIVE MATERIALS. REGULAR COLLECTION AND DISPOSAL OF WASTES SHALL OCCUR AS REQUIRED.
  - TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONSTRUCTION EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED AND DISPOSED OF. DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED AND/OR REPAIRED, SEEDED, AND MULCHED FOR FINAL STABILIZATION.
  - NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE TEMPORARY SEDIMENT BASINS UNTIL IT EVAPORATES.
  - WASTEWATER DISCHARGES FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FUR RELEASE OILS, CURING COMPOUNDS, AND OTHER CONSTRUCTION MATERIALS IS PROHIBITED.

**EROSION & SEDIMENT CONTROL NOTES:**

- REFER TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION (NYSDEC) SPDES GENERAL PERMIT IN APPENDIX A OF THE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL REQUIREMENTS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" LATEST EDITION.
- BEFORE BEGINNING CONSTRUCTION, THE OWNER MUST SET UP A PRE-CONSTRUCTION MEETING WITH THE QUALIFIED PROFESSIONAL, QUALIFIED INSPECTOR, CONTRACTORS, AND SUBCONTRACTORS TO DISCUSS THE RESPONSIBILITIES RELATED TO THE STORMWATER POLLUTION PREVENTION PLAN IMPLEMENTATION.
- THE CONTRACTOR AND SUBCONTRACTOR MUST IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- BEFORE BEGINNING CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED IN ACCORDANCE WITH THE PLANS. SITE PREPARATION ACTIVITIES MUST BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISTURBANCE. EXISTING VEGETATION TO REMAIN MUST BE PROTECTED TO ENSURE OVER CLEARING DOES NOT OCCUR.
- PERMANENT TRAFFIC CORRIDORS MUST BE ESTABLISHED AND "ROUTES OF CONVENIENCE" MUST BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES MUST BE INSTALLED AT THE LOCATIONS SHOWN ON THE PROJECT PLANS.
- STOCKPILED TOPSOIL MUST BE ENCLOSED WITH SILT FENCE OR HAY BALES AND COVERED OR TEMPORARILY SEEDED. ALL GRASS SEED MUST CONTAIN AT LEAST 25% RAPID GERMINATING PERENNIAL RYE GRASS.
- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION MUST BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- DUST MUST BE CONTROLLED BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED.
- EROSIVE MATERIAL TEMPORARILY STOCKPILED ON SITE DURING CONSTRUCTION MUST BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND MUST BE PROPERLY PROTECTED BY A SILT FENCE BARRIER.
- EARTHWORK ACTIVITIES MUST BE CONSISTENT WITH THE PHASING PLANS. THE EARTHWORK OPERATION AREAS MUST BE STABILIZED ON AN ONGOING BASIS WITH NO AREAS THAT ARE NOT CURRENTLY UNDER CONSTRUCTION LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 14 DAYS.
- EROSION AND SEDIMENT CONTROL INSPECTIONS:
  - THE TRAINED INDIVIDUAL MUST INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS TO ENSURE PROPER PERFORMANCE. ANY SEDIMENT BUILD-UP MUST BE CLEANED AND REMOVED. ALL DAMAGES TO EROSION AND SEDIMENT CONTROLS MUST BE REPAIRED AT THE END OF THE WORK DAY.
  - THE QUALIFIED INSPECTOR MUST CONDUCT SITE INSPECTIONS EVERY 7 DAYS. ANY DEFICIENCIES NOTED IN THE REPORTS MUST BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.
  - IF SOIL DISTURBANCE ACTIVITIES ARE SUSPENDED FOR WINTER SHUTDOWN, AREAS, IF APPROVED BY THE NYSDEC OR MS4 MUNICIPALITY, THE FREQUENCY OF INSPECTIONS BY THE QUALIFIED INSPECTOR MAY BE REDUCED TO ONE INSPECTION EVERY 30 DAYS.
  - IF AUTHORIZED BY THE NYSDEC OR MS4 MUNICIPALITY TO DISTURB MORE THAN 5 ACRES AT ONE TIME, THE QUALIFIED INSPECTOR MUST CONDUCT AT LEAST 2 SITE INSPECTIONS, SEPARATED BY 2 DAYS, EVERY 7 DAYS UNTIL SUCH TIME THAT LESS THAN 5 ACRES OF SOIL REMAIN EXPOSED.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE REMOVED WHEN ALL DISTURBED AREAS HAVE UNDERGONE FINAL STABILIZATION. WHEN UPGRADE SURFACES ARE PROPERLY STABILIZED AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERATIONAL, ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE FILLED IN, TOPSOILED, SEEDED, AND MULCHED. FINAL STABILIZATION IS ACHIEVED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80% IS ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES, SUCH AS PLACEMENT OF MULCH OR GEOTEXTILE, IS COMPLETED ON ALL AREAS NOT PAVED OR COVERED BY PERMANENT STRUCTURES.

**LANGAN**

Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C.

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Project

**E ADAMS ST  
REDEVELOPMENT,  
SYRACUSE**

ONONDAGA COUNTY SYRACUSE NEW YORK

Drawing Title

**STORMWATER  
MANAGEMENT  
DETAILS**

Project No.

170784001

Date

NOVEMBER 15, 2024

Drawn By

BS

Checked By

MT

Drawing No.

**CG501**

Sheet 2 of 6

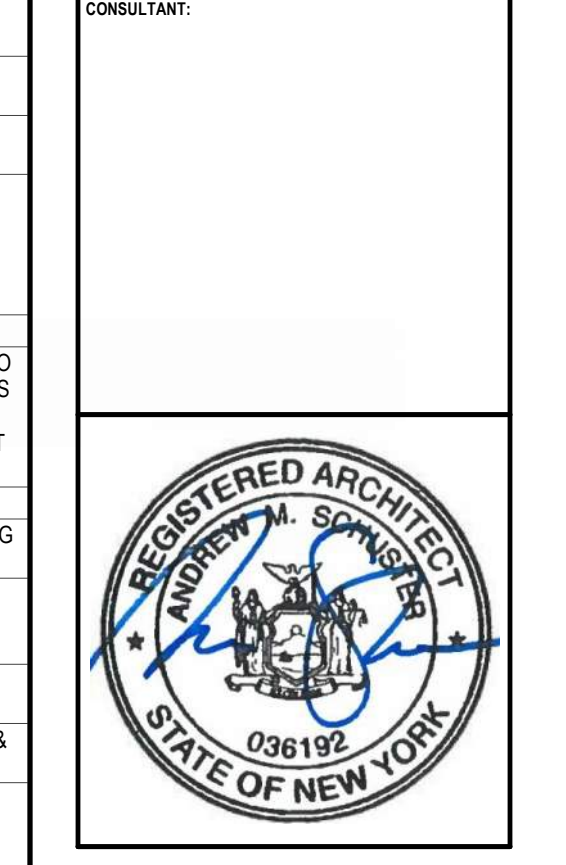
Date	Description	No.
12/11/24	Revised Per City Comments	1
Date	Description	No.
	Revisions	

Signature	Date
MICHAEL FINAN, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473	

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125 EAST JEFFERSON STREET  
 SYRACUSE, NEW YORK 13202



ALMUS OLVER TOWER, LP

RENOVATIONS to the ALMUS OLVER TOWERS  
 300 BURT STREET, SYRACUSE, NEW YORK 13202

21116

REV. NO.	DATE	REV. DESCRIPTION
1	6.28.24	Addendum No.01
3	8.09.24	HCR Revisions
5	9.23.24	HVAC

SEPTEMBER 23, 2024

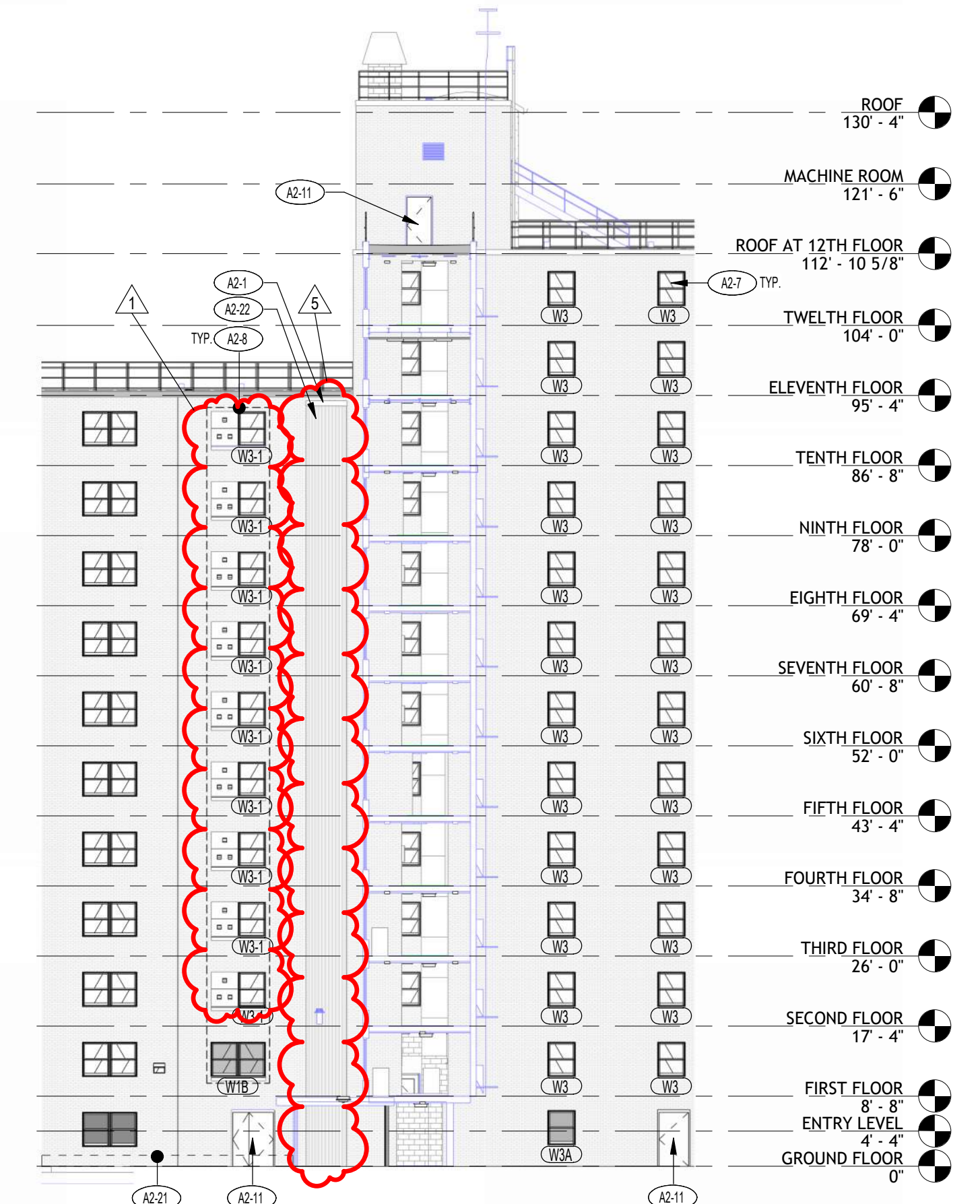
**SOUTH & WEST RENOVATION EXTERIOR ELEVATIONS**

**A200**

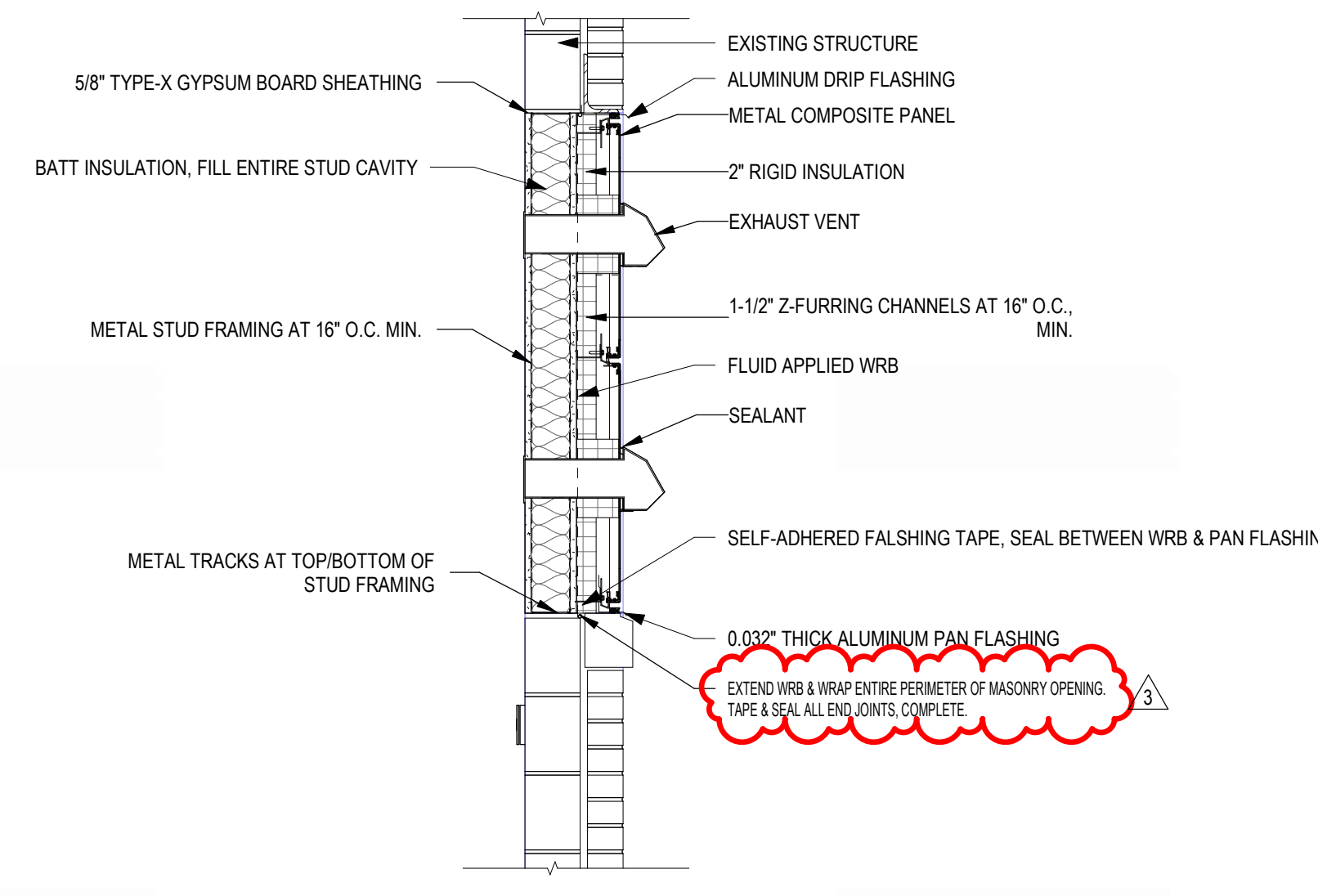
GENERAL NOTES - RENOVATION - ELEVATIONS	
NO.	DESCRIPTION
1	COORDINATE EXACT LOCATIONS FOR ALL EXTERIOR WALL PENETRATIONS & WALL-MOUNTED EQUIPMENT WITH ARCHITECT'S REFER TO EXTERIOR ELEVATIONS & ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
2	ALL WALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO, PIPING, CONDUIT, LOUVERS, COVERS, VENTS, ETC., SHALL BE SHIP PAINTED TO MATCH THE ADJACENT EXTERIOR WALL FINISH, TYPICAL.
3	REFER TO "DRY-IT-CARE" EFS REPAIR PROCEDURES D546P FOR ALL EFS REPAIRS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO THE SUBMISSION OF BIDS.
4	CONTRACTOR SHALL REPAIR/REPLACE ALL MASONRY & ASSOCIATED GROUT IMPACTED BY THE HYDRAULIC LIFT FASTENERS & ANCHORS. FILL MATERIALS SHALL MATCH ADJACENT MATERIALS. MORTAR SHALL NOT HAVE A HIGHER COMPRESSIVE STRENGTH THAN THE ASSOCIATED MASONRY UNITS.

KEYNOTES	
RENOVATION EXTERIOR ELEVATIONS	
NOTE: NOT ALL KEYNOTES MAY BE REFERENCED.	
NO.	DESCRIPTION
A2-1	PROVIDE & INSTALL ALUMINUM COPING WITH INTEGRAL DRIP EDGE, AT ALL ROOFS (ENTIRE BUILDING, L.I.N.O.)
A2-2	PREP, PRIME, & PAINT EXISTING METAL ROOF, METAL ROOFING ACCESSORIES, GUTTERS, & DOWNSPOUTS, COMPLETE.
A2-3	RE-ATTACH EXISTING ROOFTOP GUARDRAIL AND INSTALL INTERMEDIATE RAIL TO MATCH PROFILE, MATERIAL, AND FINISH. SEE DETAILS.
A2-4	PATCH EFS INSULATION WHERE EXISTING DECORATIVE EFS WAS REMOVED. PROVIDE & INSTALL NEW LAYER OF 1-1/2" EFS RIGID INSULATION AND ASSOCIATED EFS FINISH (SHOWN HATCHED) AND 1" DEEP V-GROOVES (REVEAL), TYPICAL PER MANUFACTURER'S REQUIREMENTS. MODIFY EXISTING VENTS TO ACCOMMODATE NEW EFS & ASSOCIATED INSULATION.
A2-5	PREP, PRIME, & PAINT EXISTING EFS, COMPLETE, TYPICAL.
A2-6	PROVIDE & INSTALL EXTERIOR SIGN & ASSOCIATED LIGHTING INCLUDING BUT NOT LIMITED TO SUPPORTS, HARDWARE, FASTENERS, POWER/CABLING, ETC., COMPLETE. PATCH/REPAIR EFS & ASSOCIATED INSULATION, SHEATHING, AND WATERPROOFING WHERE SIGN ATTACHES TO BUILDING FOR A WATER TIGHT SEAL. COORDINATE EXACT SIZE & LOCATION WITH ARCHITECT AND SIGN VENDOR.
A2-7	PROVIDE & INSTALL NEW WINDOW & SILL, COMPLETE. SEE WINDOW SCHEDULE & DETAILS.
A2-8	PROVIDE & INSTALL NEW WINDOW, COMPLETE. SEE WINDOW SCHEDULE & DETAILS. EXISTING PRECAST SILL TO REMAIN. INFILL EXISTING OPENING ADJACENT TO WINDOW. SEE DETAIL.
A2-9	PROVIDE & INSTALL FLEXIBLE EPOXY CONTROL JOINT SEALER/ADHESIVE WHERE THE EXISTING CONTROL JOINT SEALANT WAS REMOVED. COLOR FINISH TO MATCH ADJACENT BRICK COLOR, TYPICAL, ENTIRE BUILDING.
A2-10	PATCH MASONRY OPENING WHERE EXISTING EQUIPMENT WAS REMOVED, SEE DETAIL, TYPICAL.
A2-11	PROVIDE & INSTALL NEW INSULATING DOOR & FRAME, COMPLETE. SEE RENOVATION PLANS & DOOR SCHEDULE.
A2-12	PROVIDE & INSTALL STANDING SEAM METAL ROOFING WHERE EXISTING ROOFING WAS REMOVED, WITH INTEGRAL ROOF EDGE ACCESSORIES & FLASHING PER MANUFACTURER REQUIREMENTS.
A2-13	PROVIDE & INSTALL NEW WALL PACK WHERE EXISTING WAS REMOVED, SEE ELECTRICAL DRAWINGS.
A2-14	NEW CANOPY, SEE DETAILS AND STRUCTURAL DRAWINGS.
A2-15	PROVIDE & INSTALL NEW STOREFRONT & GLAZING SYSTEM, SEE STOREFRONT SCHEDULE.
A2-16	NEW COMPOSITE ALUMINUM PANELS AND ASSOCIATED WALL ASSEMBLY, SEE DETAILS AND STRUCTURAL DRAWINGS.
A2-17	RELOCATE EXISTING METAL BENCHES, THIS LOCATION, ANCHOR BENCHES TO THE CONCRETE WALK.
A2-19	INSTALL METAL LADDER THAT WAS SALVAGED DURING DEMOLITION, THIS LOCATION, MODIFY EXISTING GUARDRAIL AS REQUIRED TO ACCOMMODATE LADDER.
A2-20	CORE THROUGH EXISTING MASONRY WALL TO ACCOMMODATE MECHANICAL VENTILATION, SEE MEP DRAWINGS.
A2-21	CAREFULLY REMOVE ALL DETERIORATED & UNSOUND MORTAR JOINTS, CLEAN AND PREP MASONRY FOR REPOINTING. NEW MORTAR SHALL MATCH EXISTING. ASSUME APPROXIMATELY 5 SF OF MASONRY REPOINTING PER AREA, L.I.N.O.
A2-22	PROVIDE & INSTALL LIGHT GAUGE METAL STUD FRAMED PIPE CHASE WITH CORRUGATED INSULATED METAL METALS EQUAL TO "KINGSPAN, QUADCORE B DESIGN WALL R SERIES". FILL ENTIRE STUD CAVITY WITH MINERAL WOOL BATT INSULATION.



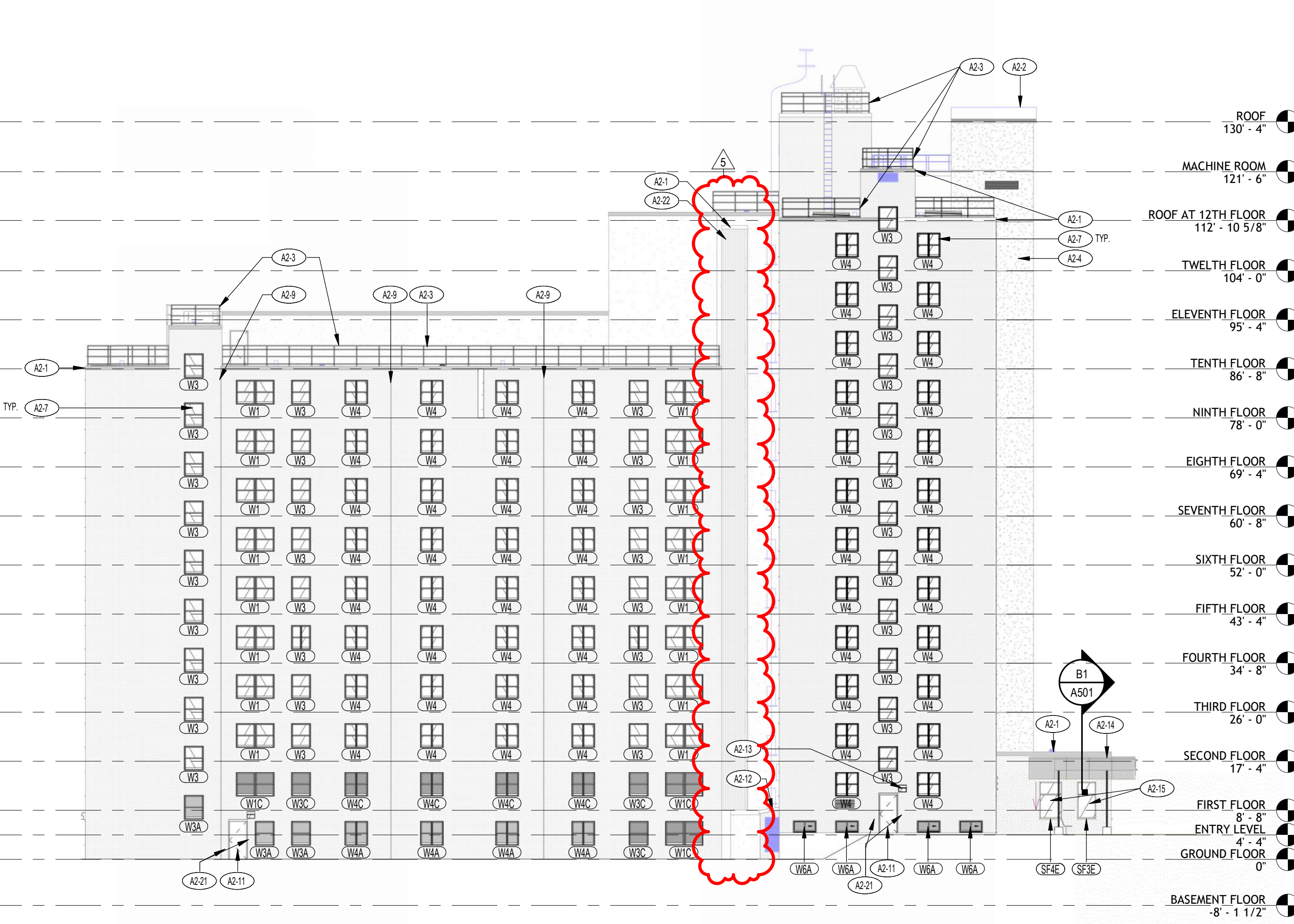
**D1 SOUTH RENOVATION EXTERIOR ELEVATION - REAR ENTRANCE**  
 1/16" = 1'-0"



**D4 TYPICAL EXTERIOR WALL INFILL DETAIL AT LAUNDRY ROOMS**  
 3/4" = 1'-0"



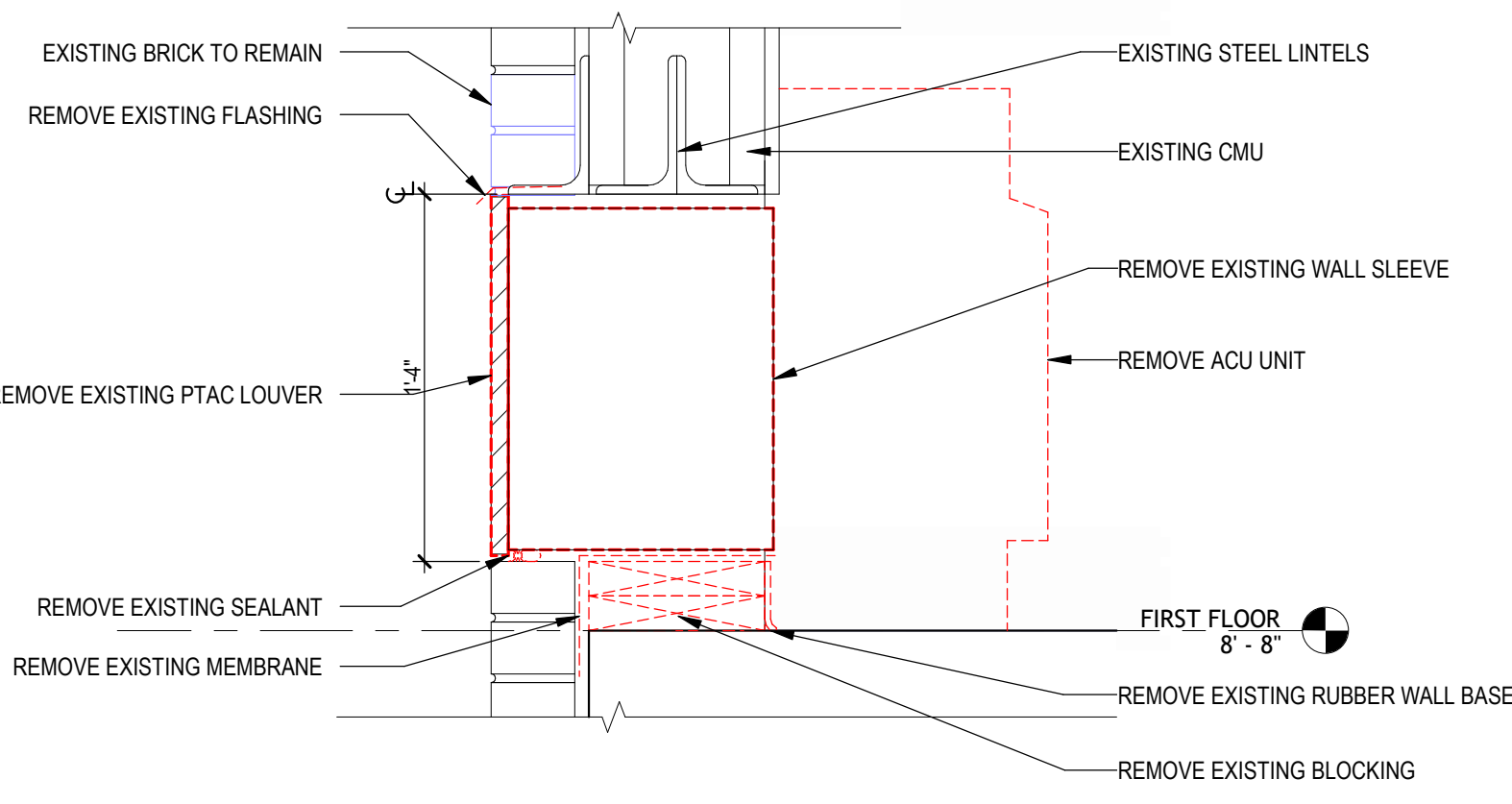
**A1 SOUTH RENOVATION EXTERIOR ELEVATION**  
 1/16" = 1'-0"



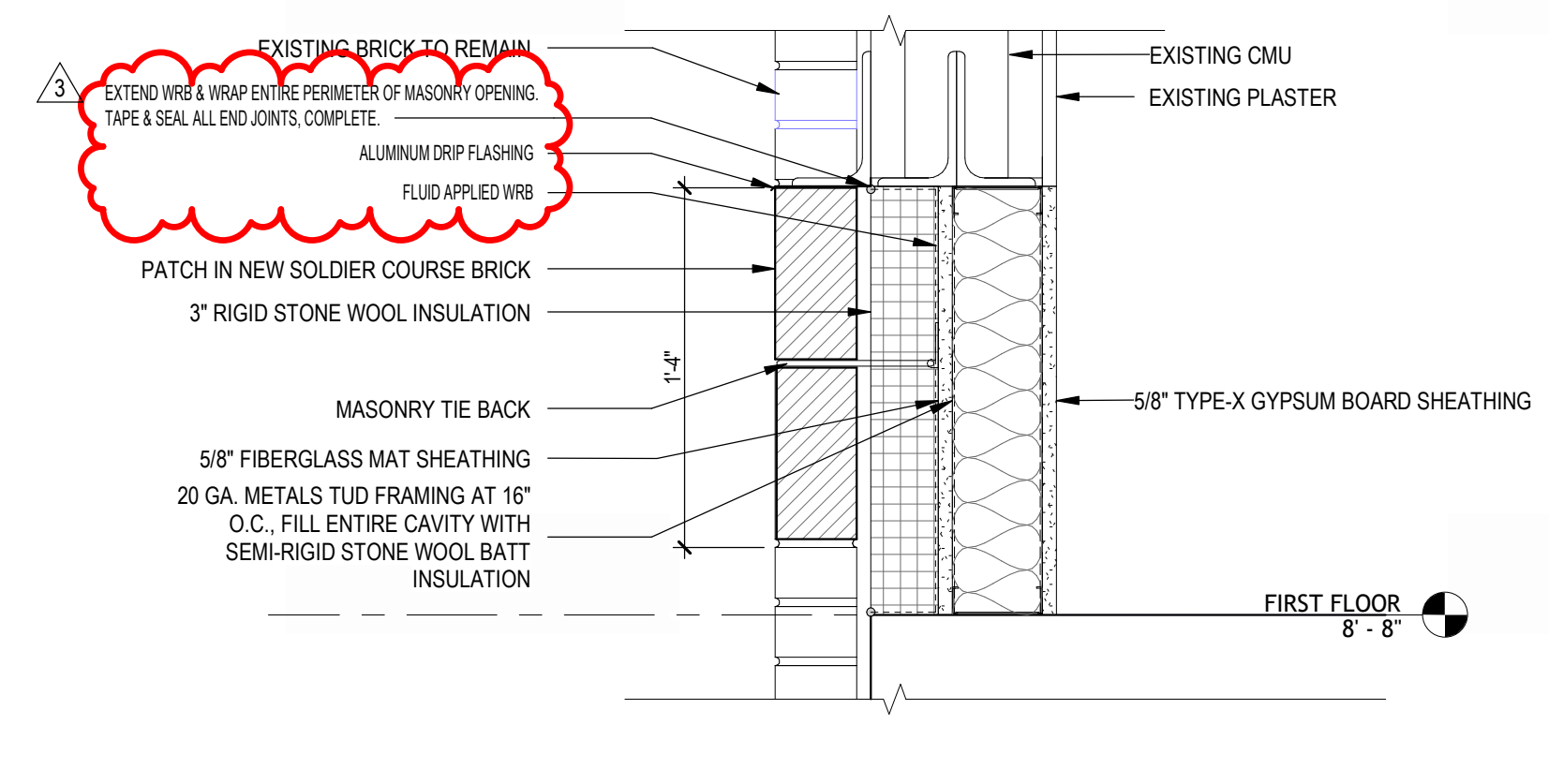
**A7 WEST RENOVATION EXTERIOR ELEVATION**  
 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"  
 SCALE: 3/4" = 1'-0"  
 SCALE: 1/4" = 1'-0"  
 SCALE: 1/8" = 1'-0"  
 SCALE: 1/16" = 1'-0"

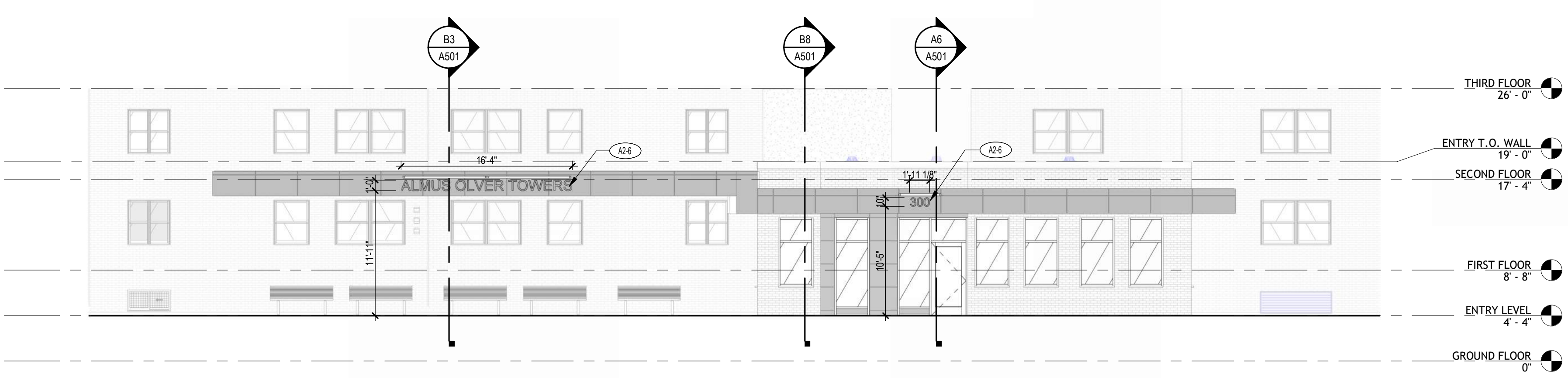
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**G1** TYPICAL PTAC DEMOLITION DETAIL  
1 1/2" = 1'-0"



**G3** TYPICAL MASONRY INFILL DETAIL  
1 1/2" = 1'-0"



**E1** EXTERIOR SIGNAGE  
1/8" = 1'-0"



**A1** NORTH RENOVATION EXTERIOR ELEVATION  
1 1/8" = 1'-0"



**F7** EAST RENOVATION EXTERIOR ELEVATION  
1 1/8" = 1'-0"

**GENERAL NOTES - RENOVATION - ELEVATIONS**

NO.	DESCRIPTION
1	COORDINATE EXACT LOCATIONS FOR ALL EXTERIOR WALL PENETRATIONS & WALL-MOUNTED EQUIPMENT WITH ARCHITECT REFER TO EXTERIOR ELEVATIONS & ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
2	ALL WALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO, PIPING, CONDUIT, LOUVERS, COVERS, VENTS, ETC., SHALL BE SHOP PAINTED TO MATCH THE ADJACENT EXTERIOR WALL FINISH, TYPICAL.
3	REFER TO "DRY-IT-CARE" EFS REPAIR PROCEDURES D548P FOR ALL EFS REPAIRS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO THE SUBMISSION OF BIDS.
4	CONTRACTOR SHALL REPAIR/REPLACE ALL MASONRY & ASSOCIATED GROUT IMPACTED BY THE HYDRAULIC LIFT FASTENERS & ANCHORS. FILL MATERIALS SHALL MATCH ADJACENT MATERIALS. MORTAR SHALL NOT HAVE A HIGHER COMPRESSIVE STRENGTH THAN THE ASSOCIATED MASONRY UNITS.

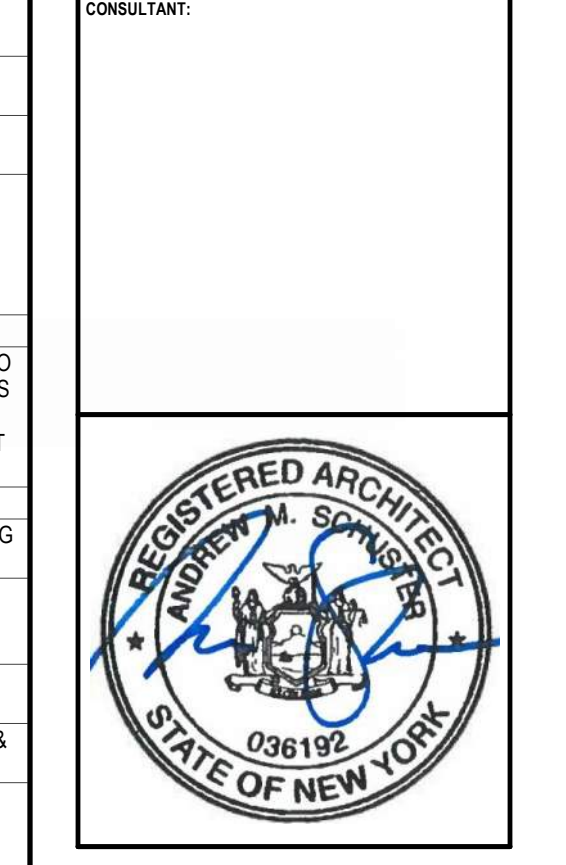
**KEYNOTES**

**RENOVATION EXTERIOR ELEVATIONS**  
NOTE: NOT ALL KEYNOTES MAY BE REFERENCED.

NO.	DESCRIPTION
A2-1	PROVIDE & INSTALL ALUMINUM COPING WITH INTEGRAL DRIP EDGE, AT ALL ROOFS (ENTIRE BUILDING, I.N.G.)
A2-2	PREP, PRIME & PAINT EXISTING METAL ROOF, METAL ROOFING ACCESSORIES, GUTTERS, & DOWNSPOUTS, COMPLETE.
A2-3	RE-ATTACH EXISTING ROOF TO GUARDRAIL AND INSTALL INTERMEDIATE RAIL TO MATCH PROFILE, MATERIAL, AND FINISH, SEE DETAILS.
A2-4	PATCH EFS INSULATION WHERE EXISTING DECORATIVE EFS WAS REMOVED. PROVIDE & INSTALL NEW LAYER OF 1-1/2" EFS RIGID INSULATION AND ASSOCIATED EFS FINISH (SHOWN HATCHED) AND 1" DEEP V-GROOVES (REVEAL), TYPICAL PER MANUFACTURER'S REQUIREMENTS. MODIFY EXISTING VENTS TO ACCOMMODATE NEW EFS & ASSOCIATED INSULATION.
A2-5	PREP, PRIME & PAINT EXISTING EFS, COMPLETE, TYPICAL.
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A2-10	PATCH MASONRY OPENING WHERE EXISTING EQUIPMENT WAS REMOVED, SEE DETAIL, TYPICAL.
A2-11	PROVIDE & INSTALL NEW INSULATING DOOR & FRAME, COMPLETE. SEE RENOVATION PLANS & DOOR SCHEDULE.
A2-12	PROVIDE & INSTALL STANDING SEAM METAL ROOFING WHERE EXISTING ROOFING WAS REMOVED, WITH INTEGRAL ROOF EDGE ACCESSORIES & FLASHING PER MANUFACTURER REQUIREMENTS.
A2-13	PROVIDE & INSTALL NEW WALL PACK WHERE EXISTING WAS REMOVED, SEE ELECTRICAL DRAWINGS.
A2-14	NEW CANOPY, SEE DETAILS AND STRUCTURAL DRAWINGS.
A2-15	PROVIDE & INSTALL NEW STOREFRONT & GLAZING SYSTEM, SEE STOREFRONT SCHEDULE.
A2-16	NEW COMPOSITE ALUMINUM PANELS AND ASSOCIATED WALL ASSEMBLY, SEE DETAILS AND STRUCTURAL DRAWINGS.
A2-17	RELOCATE EXISTING METAL BENCHES, THIS LOCATION, ANCHOR BENCHES TO THE CONCRETE WALK.
A2-19	INSTALL METAL LADDER THAT WAS SALVAGED DURING DEMOLITION, THIS LOCATION, MODIFY EXISTING GUARDRAIL AS REQUIRED TO ACCOMMODATE LADDER.
A2-20	CORE THROUGH EXISTING MASONRY WALL TO ACCOMMODATE MECHANICAL VENTILATION, SEE MEP DRAWINGS.
A2-21	CAREFULLY REMOVE ALL DETERIORATED & UNSOUND MORTAR JOINTS, CLEAN AND PREP MASONRY FOR REPOINTING, NEW MORTAR SHALL MATCH EXISTING, ASSUME APPROXIMATELY 5 SF OF MASONRY REPOINTING PER AREA, I.N.G.
A2-22	PROVIDE & INSTALL LIGHT GAUGE METAL STUD FRAMED PIPE CHASE WITH CORRUGATED INSULATED METAL METALS EQUAL TO "KINGSPAN, QUADCORE B DESIGN WALL R SERIES". FILL ENTIRE STUD CAVITY WITH MINERAL WOOL BATT INSULATION.



125 EAST JEFFERSON STREET  
SYRACUSE, NEW YORK 13202



ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP  
RENOVATIONS to the ALMUS OLVER TOWERS  
300 BURT STREET, SYRACUSE, NEW YORK 13202

REV. NO. 3  
DATE 8.09.24  
REV. DESCRIPTION HCR Revisions  
5 9.23.24 HVAC

DATE ISSUED: SEPTEMBER 23, 2024

**NORTH & EAST RENOVATION EXTERIOR ELEVATIONS**

**A201**






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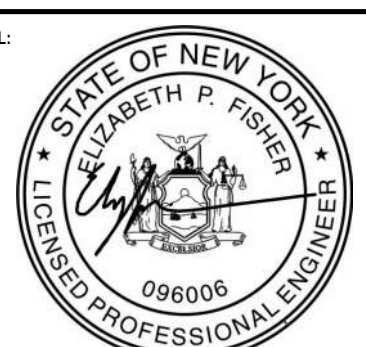
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SEAL:



STATE OF NEW YORK  
LIBERTY AND JUSTICE UNDER LAW  
ROSEBETH P. FISHER  
096005  
PROFESSIONAL ENGINEER  
VALID THRU: 01/31/2027  
FS CERT. NO. 0019842  
FS EXP. 01/31/2025

OWNER:  
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP  
**RENOVATIONS to the ALMUS OLVER TOWERS**  
300 BURT STREET, SYRACUSE, NEW YORK 13202

NYS HFA PROJECT NO. \_\_\_\_\_  
AIR JOB NO. 21116

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**OVERALL HVAC PLAN, BASEMENT**

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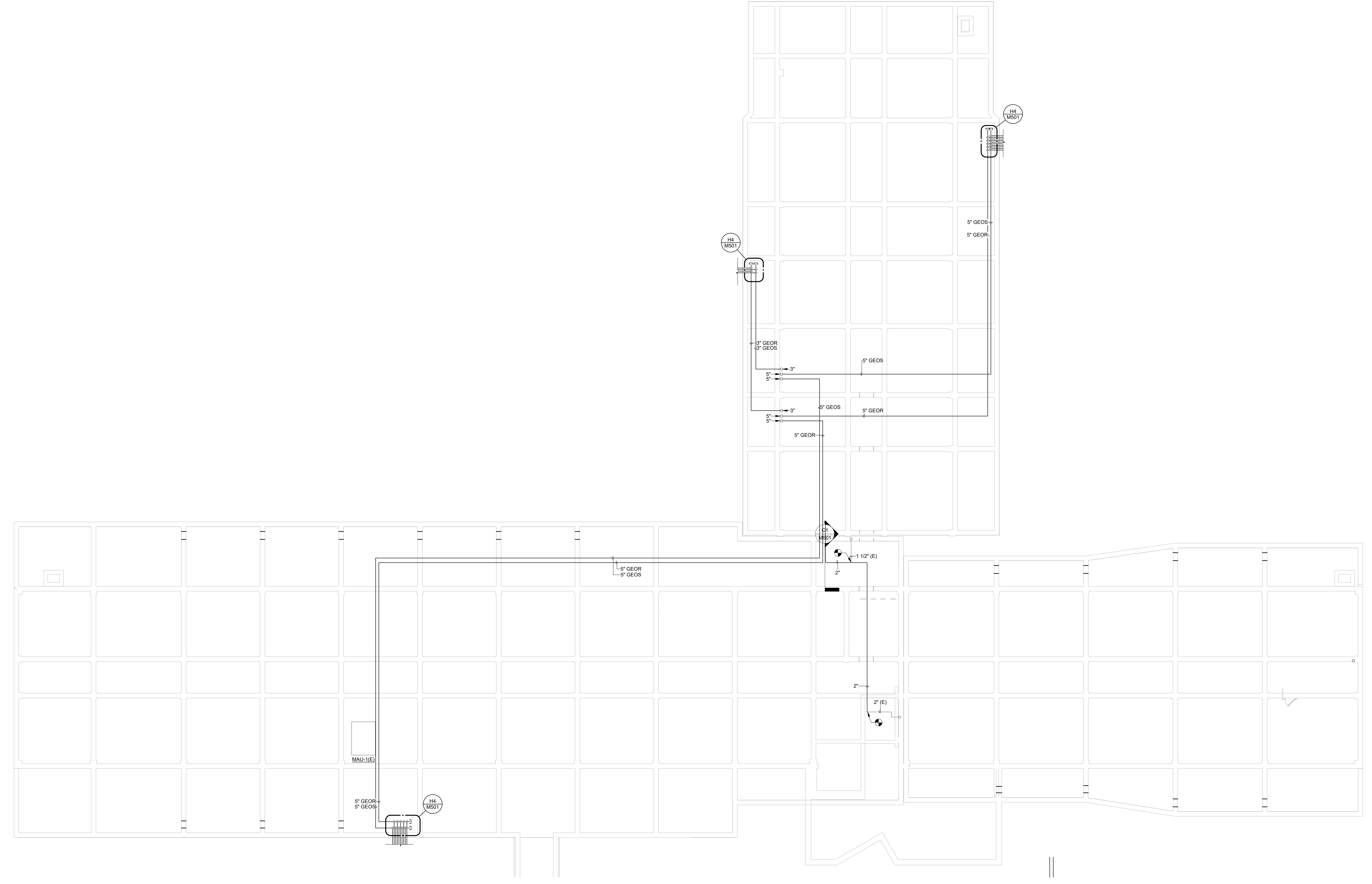
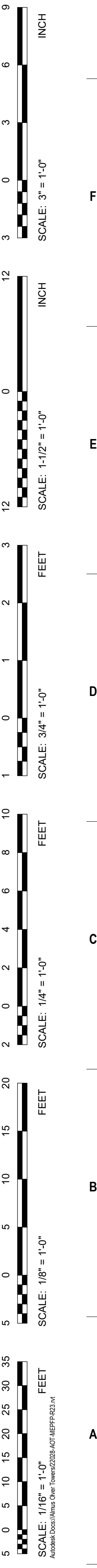
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**OVERALL HVAC PLAN, BASEMENT**

**M090**


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SEAL:



STATE OF NEW YORK  
LIBERTY  
JUDITH P. FISHER  
096005  
PROFESSIONAL ENGINEER  
VALID THRU: 01/31/2027  
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FS EXP. 01/31/2025

OWNER:  
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP

**RENOVATIONS to the ALMUS OLVER TOWERS**

300 BURT STREET, SYRACUSE, NEW YORK 13202

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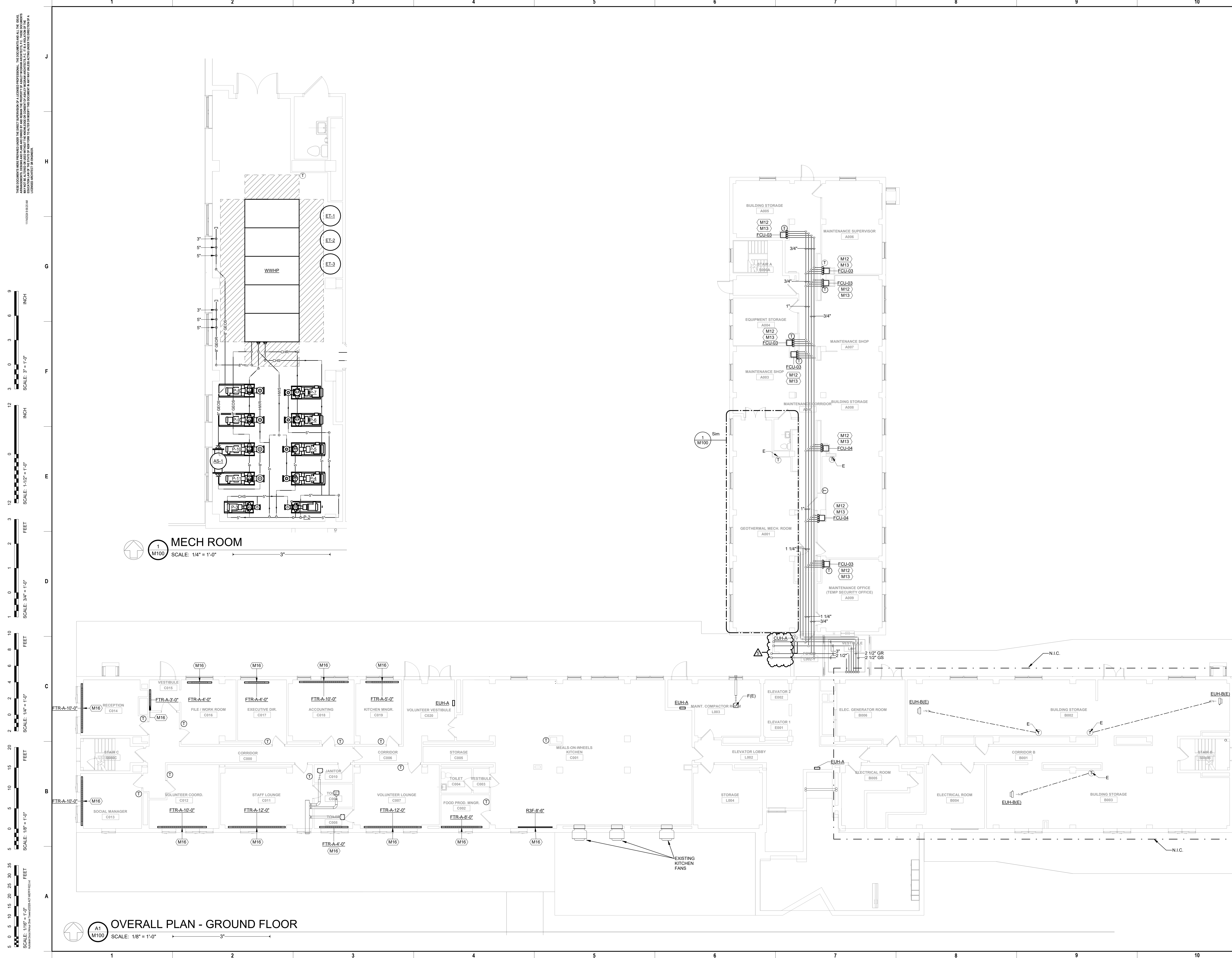
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OVERALL HVAC PLAN, GROUND FLOOR

M100

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1 2 3 4 5 6 7 8 9 10

J

H

G

F

E

D

C

B

A

1 2 3 4 5 6 7 8 9 10

9 INCH SCALE: 3\"/>

6 INCH SCALE: 1 1/2\"/>

12 INCH SCALE: 1/2\"/>

3 FEET SCALE: 3/4\"/>

6 FEET SCALE: 1/4\"/>

20 FEET SCALE: 1/8\"/>

30 FEET SCALE: 1/16\"/>

**M100** MECH ROOM  
SCALE: 1/4\"/>

**A1** OVERALL PLAN - GROUND FLOOR  
SCALE: 1/8\"/>

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 SCALE: 1/4" = 1'-0"  
 SCALE: 3/4" = 1'-0"  
 SCALE: 1-1/2" = 1'-0"  
 SCALE: 1" = 1'-0"  
 SCALE: 1/2" = 1'-0"  
 SCALE: 1/8" = 1'-0"

MECHANICAL KEYED NOTES	
M9	RACK DRYER EXHAUST DUCTS ALONG WALL AND TERMINATE EACH RUN WITH A WALL CAP AND INTEGRATED BACKDRAFT DAMPER, TYPICAL OF 3 DUCTS.
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.
M15	EXTEND NEW 6X6 EXHAUST UP TO AND CONNECT INTO EXISTING 8X9 EXHAUST RISER ON THE SECOND FLOOR.



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 LICENSE NO. 096005  
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# RENOVATIONS to the ALMUS OLVER TOWERS

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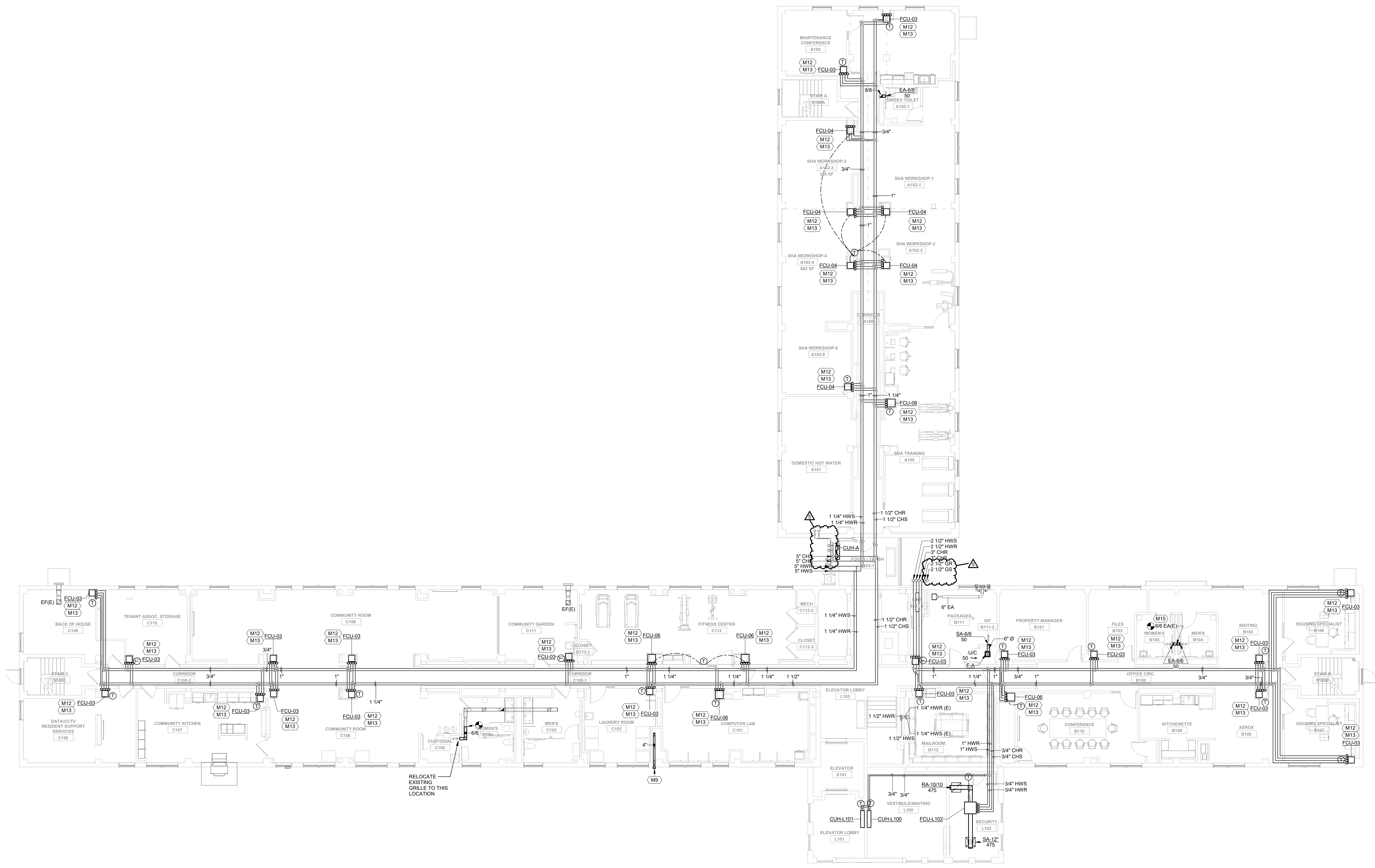
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OVERALL HVAC  
 PLAN, FIRST  
 FLOOR

M101



**A1**  
 M101  
 OVERALL PLAN - FIRST FLOOR  
 SCALE: 1/8" = 1'-0"

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MECHANICAL KEYED NOTES

M8	EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



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096005  
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ALMUS OLVER TOWER, LP  
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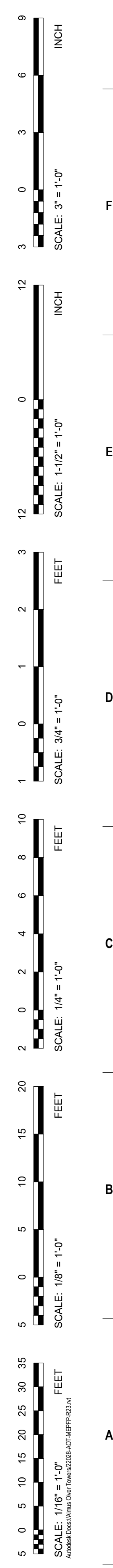
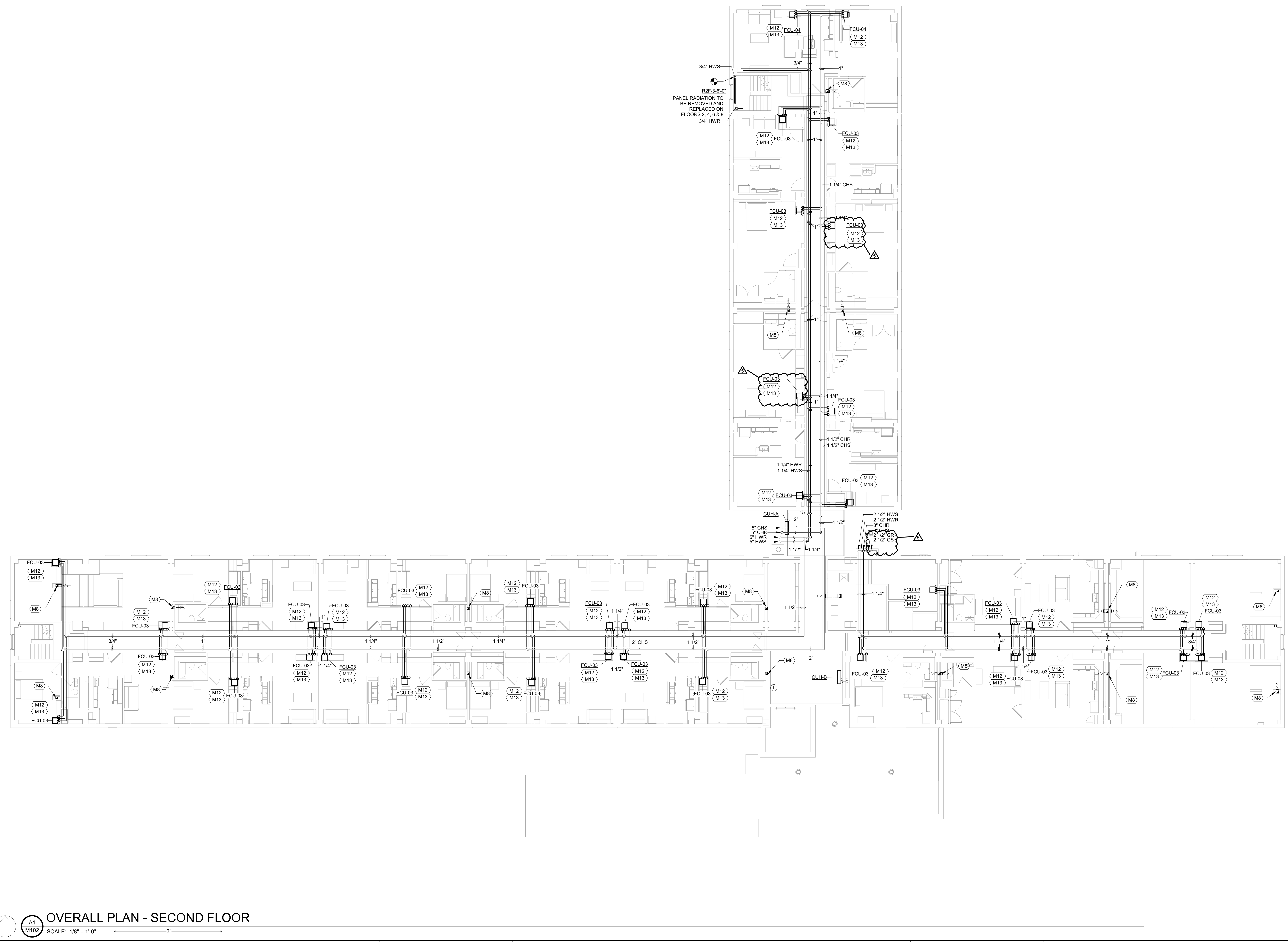
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**OVERALL HVAC PLAN, SECOND FLOOR (TYPICAL OF 2, 7, 8)**

**M102**

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**A1 OVERALL PLAN - SECOND FLOOR**  
SCALE: 1/8" = 1'-0"

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MECHANICAL KEYED NOTES

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M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



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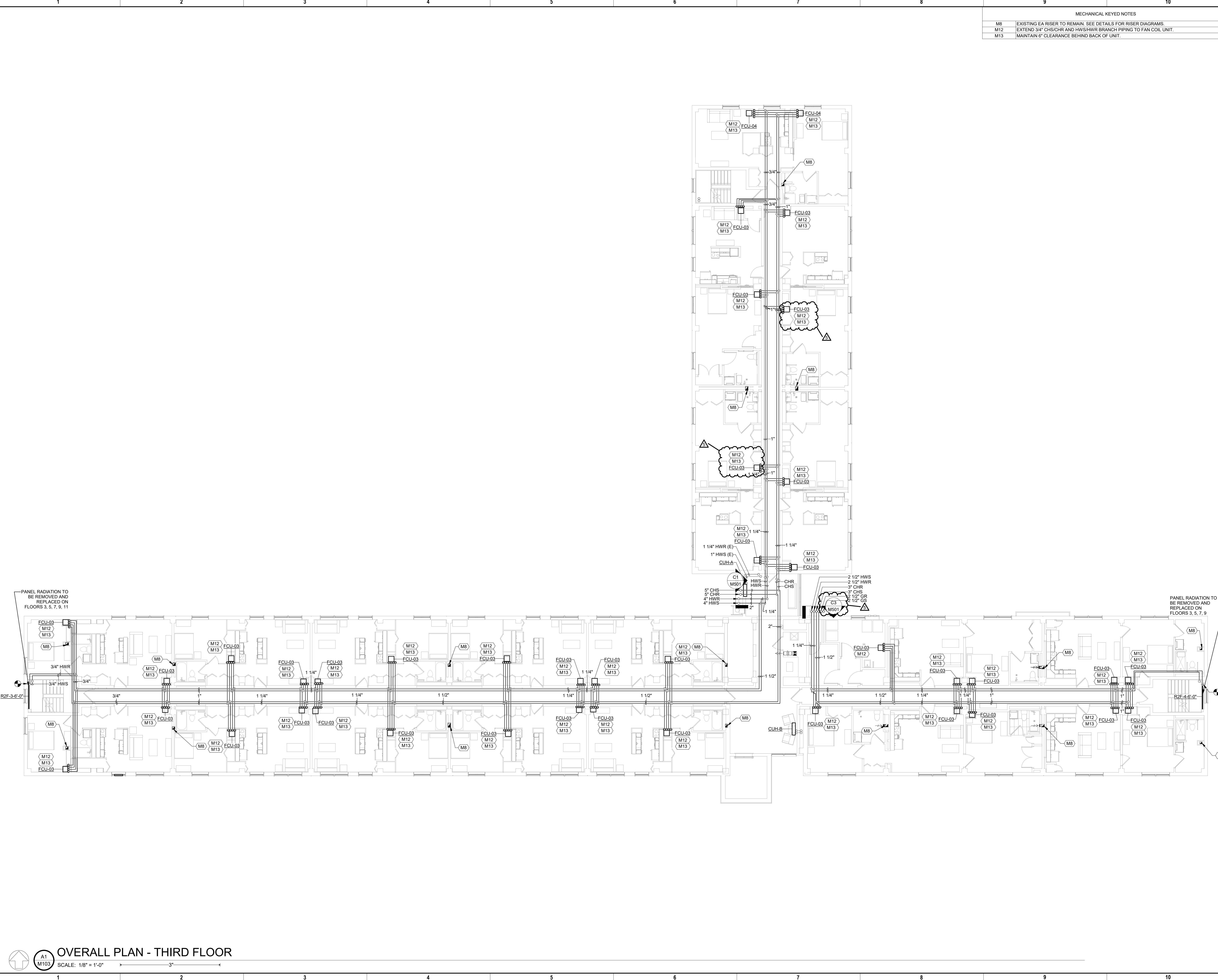
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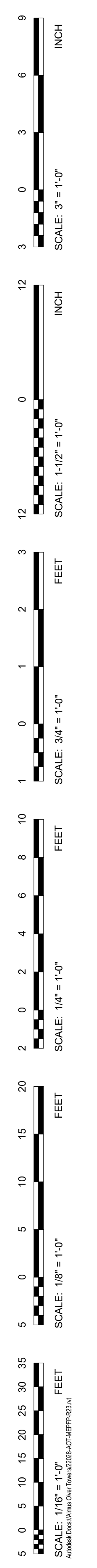
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OVERALL HVAC  
PLAN, THIRD  
FLOOR (TYP. 3, 4, 5,  
6)

**M103**



**A1 OVERALL PLAN - THIRD FLOOR**  
SCALE: 1/8" = 1'-0"



MECHANICAL KEYED NOTES		
M8	EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.	
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.	
M13	MAINTAIN 8" CLEARANCE BEHIND BACK OF UNIT.	



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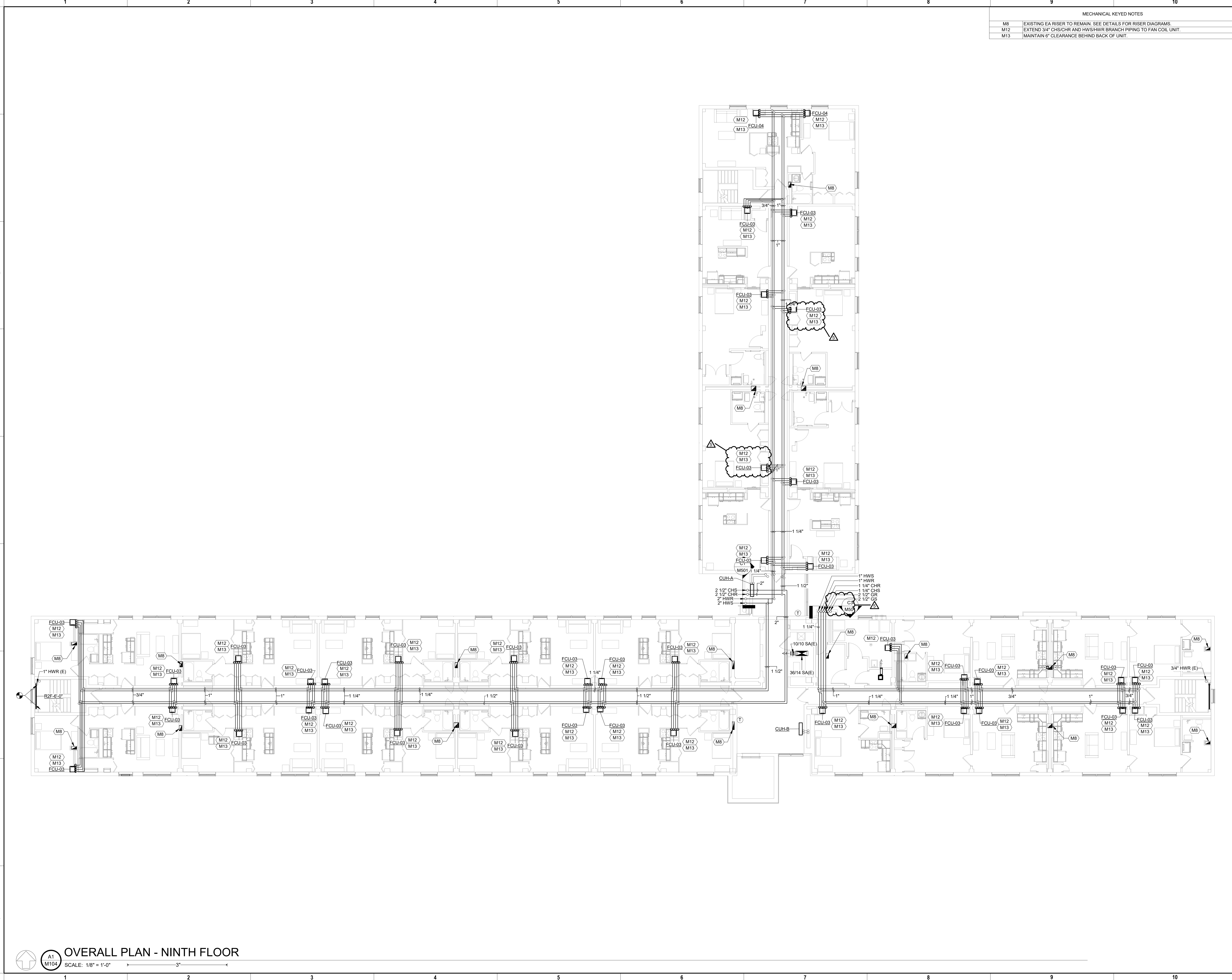
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OVERALL HVAC  
PLAN, NINTH  
FLOOR

**M104**

11/09/2023 12:56 PM  
11/09/23 12:56 PM  
SCALE: 1/8" = 1'-0"  
SCALE: 3/4" = 1'-0"  
SCALE: 1 1/2" = 1'-0"  
SCALE: 1 1/4" = 1'-0"  
SCALE: 1/4" = 1'-0"  
SCALE: 1/8" = 1'-0"  
SCALE: 1/16" = 1'-0"  
SCALE: 1/32" = 1'-0"



**OVERALL PLAN - NINTH FLOOR**  
SCALE: 1/8" = 1'-0"  
A1  
M104

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M8	EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



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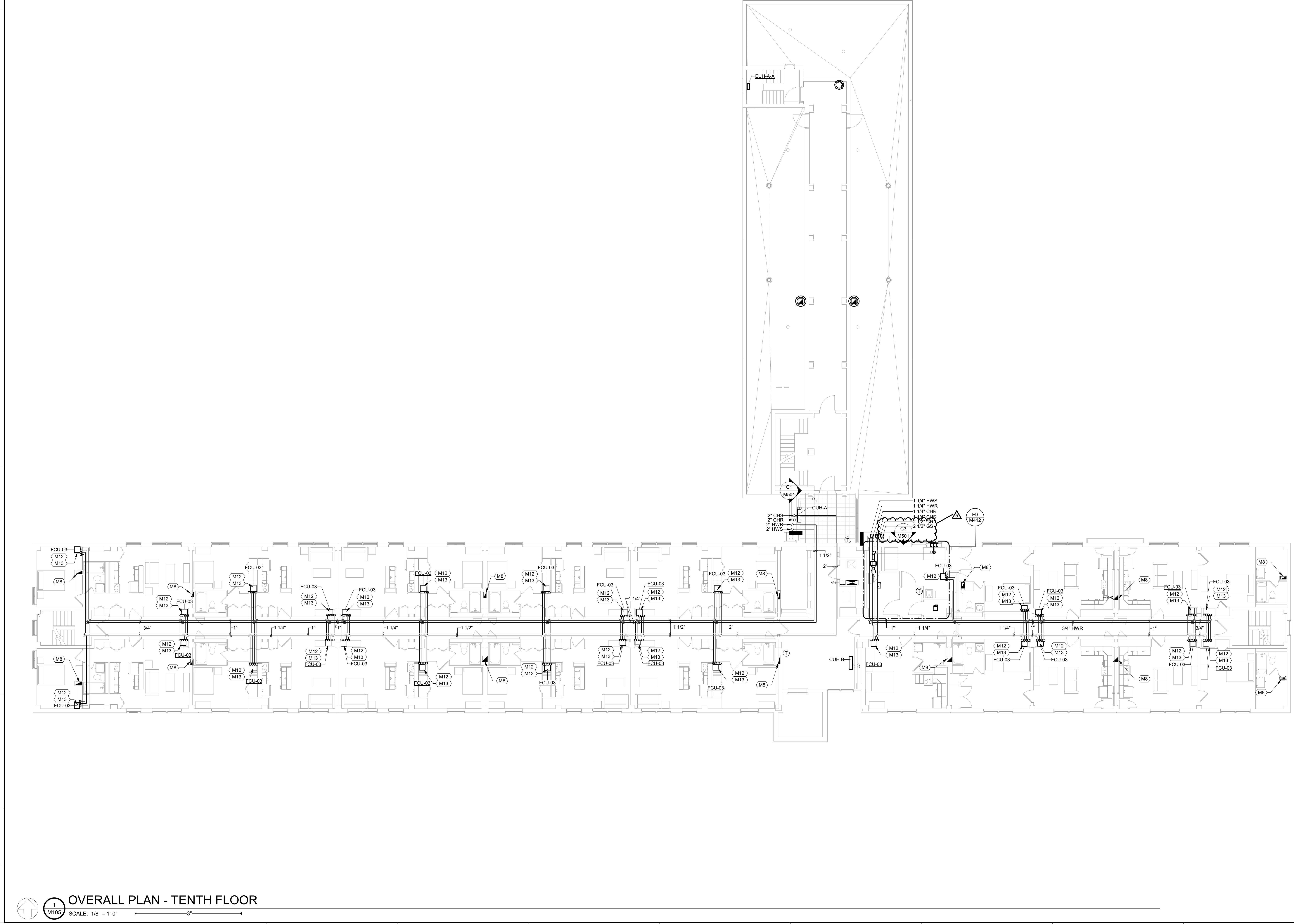
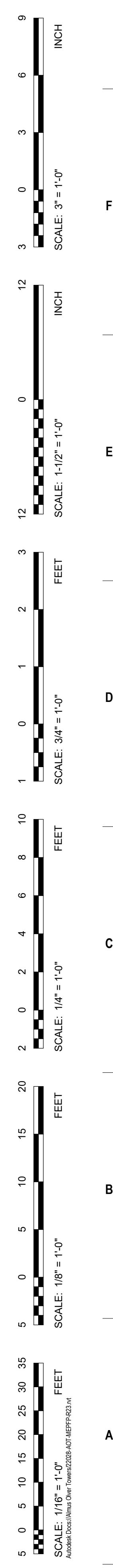
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**OVERALL HVAC PLAN, TENTH FLOOR**

**M105**

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**1 OVERALL PLAN - TENTH FLOOR**  
 SCALE: 1/8" = 1'-0" 3'-0"

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M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



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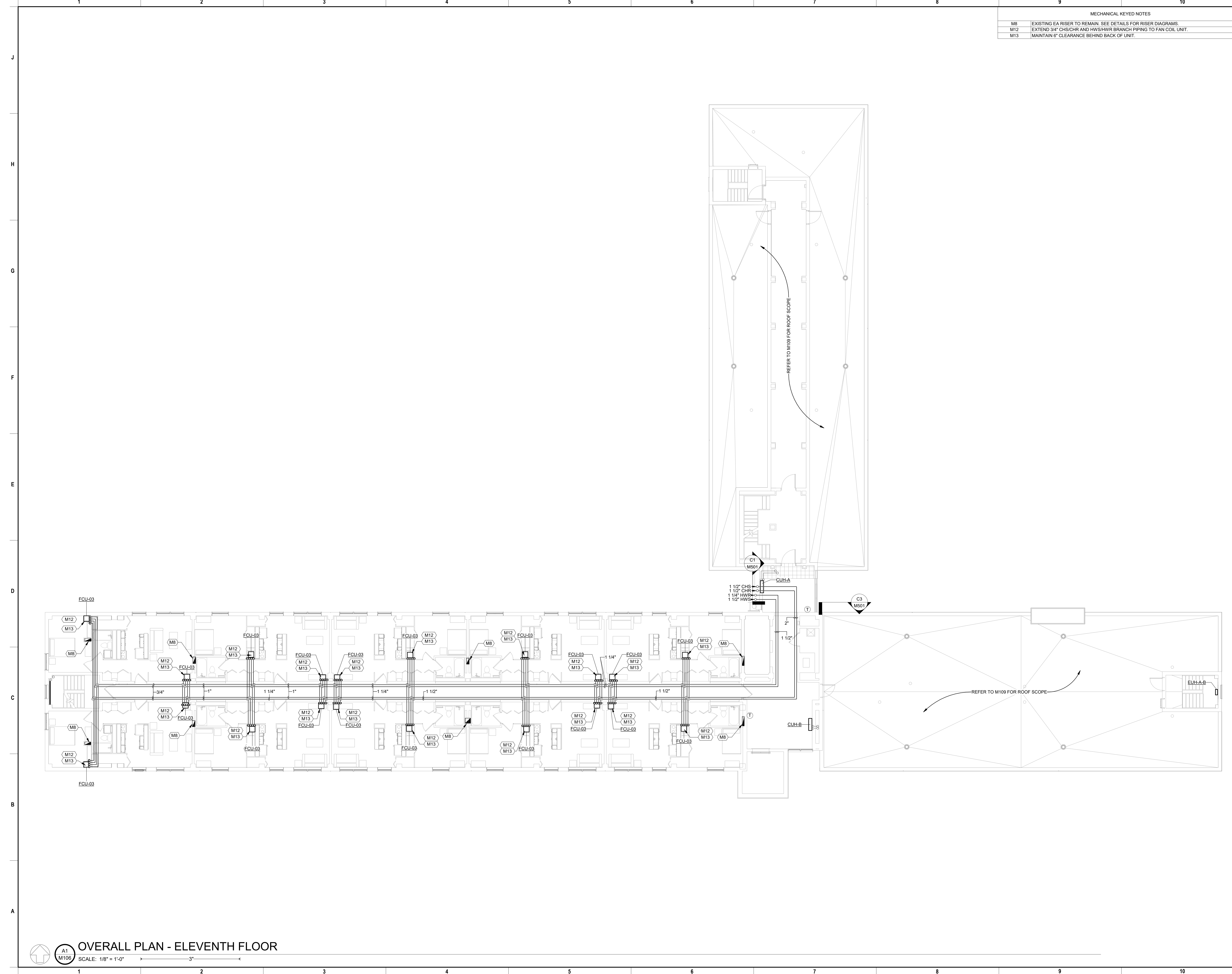
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**OVERALL HVAC PLAN, ELEVENTH FLOOR**

**M106**

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9 INCH  
 6 INCH  
 3 INCH  
 0 INCH  
 3 INCH  
 0 INCH  
 12 INCH  
 0 INCH  
 15 INCH  
 0 INCH  
 3 FEET  
 2 FEET  
 1 FEET  
 0 FEET  
 1 FEET  
 0 FEET  
 6 FEET  
 4 FEET  
 2 FEET  
 0 FEET  
 2 FEET  
 0 FEET  
 20 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 0 FEET  
 5 FEET  
 0 FEET  
 35 FEET  
 30 FEET  
 25 FEET  
 20 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 0 FEET

SCALE: 3/4" = 1'-0"  
 SCALE: 1/2" = 1'-0"  
 SCALE: 1/4" = 1'-0"  
 SCALE: 1/8" = 1'-0"  
 SCALE: 1/16" = 1'-0"  
 SCALE: 1/32" = 1'-0"  
 SCALE: 1/64" = 1'-0"

**A1 OVERALL PLAN - ELEVENTH FLOOR**  
 SCALE: 1/8" = 1'-0"



1  
2  
3  
4  
5  
6  
7  
8  
9  
10

J  
H  
G  
F  
E  
D  
C  
B  
A

9 INCH  
6  
3  
0  
SCALE: 3" = 1'-0"

12 INCH  
0  
SCALE: 1 1/2" = 1'-0"

3 FEET  
2  
1  
0  
SCALE: 3/4" = 1'-0"

10 FEET  
8  
6  
4  
2  
0  
SCALE: 1/4" = 1'-0"

20 FEET  
15  
10  
5  
0  
SCALE: 1/8" = 1'-0"

30 FEET  
25  
20  
15  
10  
5  
0  
SCALE: 1/16" = 1'-0"

MECHANICAL KEYED NOTES

M8	EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



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FS EXP. 01/31/2025

OWNER:  
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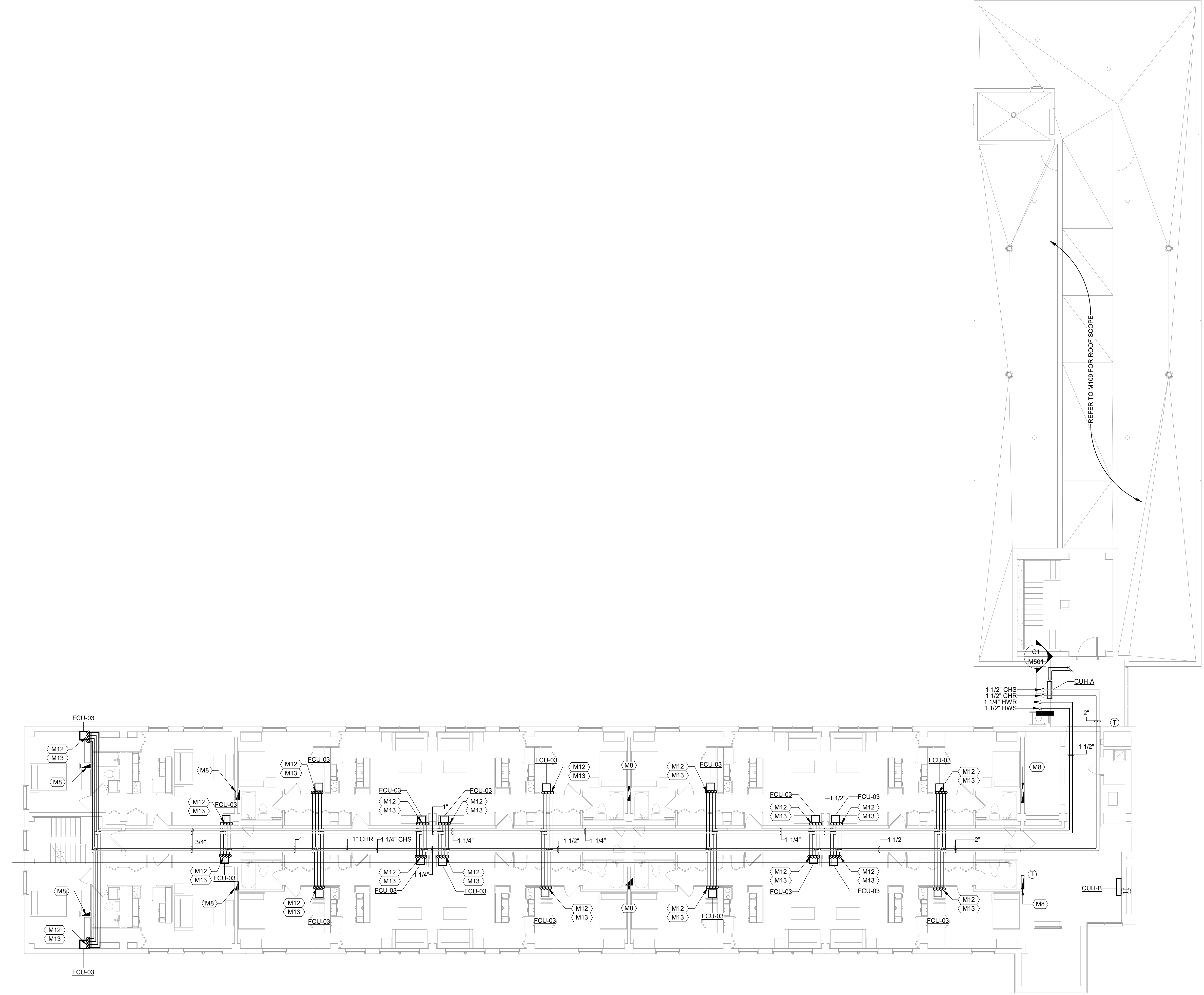
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300 BURT STREET, SYRACUSE, NEW YORK 13202

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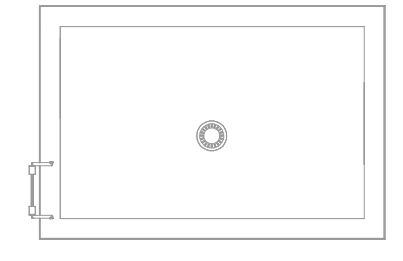
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DATE ISSUED: SEPTEMBER 23, 2024

**OVERALL HVAC PLAN, TWELFTH FLOOR**



REFER TO M109 FOR ROOF SCOPE



**A1 M107 OVERALL PLAN - TWELFTH FLOOR**  
SCALE: 1/8" = 1'-0"

**M107**

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MECHANICAL KEYED NOTES	
M2	ROOFING CONTRACTOR TO EXTEND EXISTING ROOF CURB TO MEET CODE 18" HIGH CURB. FIELD VERIFY ROOF CURB DIMENSIONS. EXTEND EXISTING DUCTWORK, TRANSITION AND CONNECT TO NEW CURB ASSEMBLY. EXTEND/MODIFY CONTROLS AS REQUIRED TO CONNECT TO NEW FAN.
M4	MODIFY/EXTEND EXISTING DUCTWORK TO CONNECT TO NEW RTU.



125 EAST JEFFERSON STREET  
SYRACUSE, NEW YORK 13202

CONSULTANT:

FS ENGINEERING, DPC  
721 E. Genesee Street  
Syracuse, NY 13202  
Tel: 315-471-4000  
Fax: 315-471-4044  
PDR2020B

SEAL:

ELIZABETH P. FISHER  
096005  
VALID THRU: 01/31/2027  
FS CERT. NO. 0019842  
FS EXP. 01/31/2025

OWNER:  
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP  
**RENOVATIONS to the ALMUS OLVER TOWERS**  
300 BURT STREET, SYRACUSE, NEW YORK 13202

1/15 IFA PROJECT NO.  
AIR JOB NO. 21116

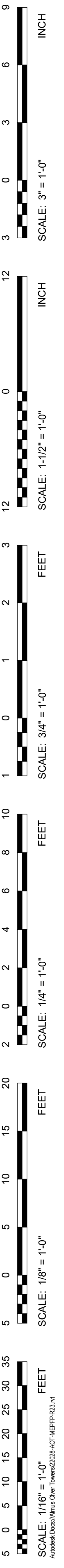
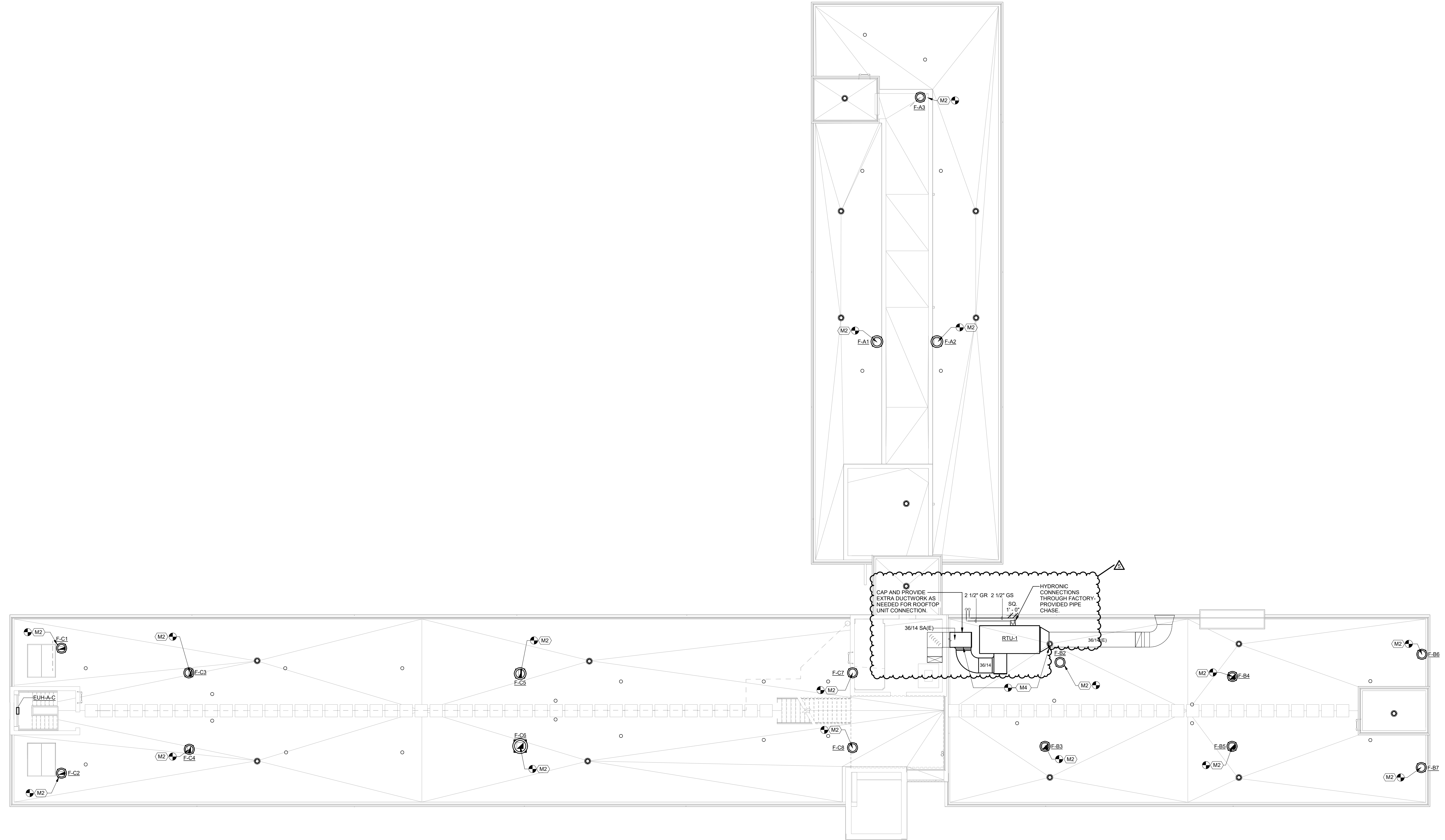
REV. NO.	DATE	REV. DESCRIPTION
3	Date 3	GEO REVISIONS
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**OVERALL HVAC PLAN, ROOF**

**M108**

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