



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>MaSPR-24-42</i>	<i>Staff Report – December 18, 2024</i>
<i>Application Type:</i>	Major Site Plan Review
<i>Project Address:</i>	300 Burt St & State S St. (Tax Map ID: 094.-17-01.1)
<i>Summary of Proposed Action:</i>	<p>The applicant is applying for a Major Site Plan Review to renovate an existing Senior Housing Apartment building. Current primary land use type multiple units: Almus Olver Tower is a 12-story high rise, originally constructed in 1963. The Project Site is bounded by Burt Street, Oakwood Avenue, and South State Street.</p> <p>Major site improvements include a new asphalt driveway for emergency vehicle access, replacement of damaged sidewalk & curbs, replacement parking lot pavement, new dumpster/equipment pads & enclosures, new outdoor patio & community garden. Exterior renovation on building elevation: Installing new windows, pipes, and roof coping.</p> <p>The applicant is proposing to install a new subsurface closed-loop geothermal well field (No visual impact at grade)</p>
<i>Owner/Applicant</i>	Syracuse Housing Authority (Owner) Almus Olver Tower, LP (Applicant)
<i>Existing Zone District:</i>	Urban Core, MX-4 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north are located within the Neighborhood Center (MX-2) Zone District. The west and east sides of the property include Low Density Residential (R2) Zone District and High Density Residential (R5) Zone District. The neighboring properties to the south are located within the Medium Density Residential (R4) Zone District.
<i>Companion Application(s)</i>	The project does not have companion applications
<i>Scope of Work:</i>	The scope of work includes: (1) Reseal the onsite pavement with new 2” thick asphalt to match existing grading and drainage pattern; 2)Renovate the existing surface parking lot from 114 parking spaces to 112 including 6 ADA parking spaces.;3) Install new concrete sidewalk, pavement, dumpster pad, flare & parallel curb ramp.;4) Repair the existing post to restore the existing fence rail and match the existing configuration along the driveway.: 5) designate a snow storage area among the parking spaces.; 6) construct a community garden(1,315 SF) containing 12 modular raised green beds. The proposed garden will be located on the west side of the apartment building “A-wing”. ; 7) Install a 540 SF patio with mobile & wheelchair-accessible planters and outdoor furniture. 8) Provide fencing and screening for the on-site dumpster, community garden, and patio.; 9) Exterior renovation includes but is not limited to windows, pipes, and roof coping on the north, south, east and west building elevation.; and 10) Install a new geothermal well system beneath the existing parking areas that are situated at the west and northeast of the apartment building.
<i>Staff Analysis:</i>	<p><u>Factors:</u></p> <ul style="list-style-type: none"> - The major installation – Subsurface Closed-Loop Geothermal Well Field will level up the power generating system in the existing building by utilizing geothermal power. Through the 499-foot-deep geothermal well and piping, the heated fluid can be transported to a surface turbine which will convert the heat to electric power. - The Closed-Loop Geothermal Well has two outstanding features: (1) easily

accessing high-temperature geothermal resources in hot, dry rock regions unsuitable for conventional hydrothermal technology.;2) revitalizing unproductive wells to generate power without requiring new drilling. This system uses a sealed tube to circulate a working fluid that efficiently collects heat while preventing fluid leakage into the earth. The design is environmentally friendly and sustainable for high-density residential development in terms of the large demand of energy usage.

- The geothermal well will be constructed to align with the existing adjacent surface or backfilled to subgrade. All piping will be installed below the local frost line and at least 5 feet beneath the grade, ensuring no visual impact on the grade or the character of the existing neighborhood.
- The overall renovation aims to reduce daily energy usage through the implementation of a new all-electric, high-efficiency heat pump-driven domestic water system, a high-efficiency ground-source heat pump system for heating and cooling, a roofing membrane with associated insulation, and new insulated metal panels. Compared to the current energy facility, the proposed renovations are projected to achieve a 20% reduction in energy consumption, meeting state-mandated efficiency standards.
- The addition of a community garden and open patio enhances the living experience for senior residents by providing a shared planting area and space for outdoor entertainment. Wheelchair-accessible planters and the wide openings of these amenities enable residents with special needs to participate in gardening and social activities.
- The proposed restoration of the sidewalk and concrete curbs at the two main entrances will improve pedestrian safety and enhance the walking experience, particularly by addressing potential hazards at the curb cut areas.
- The subject apartment building currently serves as senior housing, which fulfills the intent of the affordable housing provision. As a result, the project is not subject to the mixed-income development standards that require an additional 12% affordable units based on the total unit count.
- The proposal aligns with the Syracuse Comprehensive Plan 2024 by rehabilitating and utilizing a green energy system rather than constructing new fuel generators. This approach enhances residents' living standards while minimizing environmental impact. Additionally, the proposed bike lanes are separated from public streets, reducing potential conflicts with vehicles and promoting safer biking infrastructure.
- The reduction of impervious cover involves strategies to minimize the area occupied by rooftops, parking lots, roadways, sidewalks, and other unnatural surfaces. This approach enhances the soil's capacity to efficiently absorb rainwater.
- According to the SWPPP, the existing underground stormwater detention system is sufficient to mitigate the impacts of stormwater discharge from the construction activities.
- There are no aquatic resources present on or directly adjacent to the project site. Aquifer mapping was reviewed to assess whether the site is located over a sole source, primary, or principal aquifer. Based on the Environmental Protection Agency's "Sole Source Aquifers" map, the site is not situated over a sole source aquifer. Similarly, according to the New York State Department of Environmental Conservation's map of "Primary and Principal Aquifers in New York State," the

	<p>site is not located over a primary or principal aquifer.</p> <ul style="list-style-type: none"> - The project site is located approximately 0.1 miles from two remediation sites. According to the DEC's Environmental Site Remediation Database, one remediation site (ID: C734140) is undergoing active remediation, while the other site (ID: E734086) has completed remediation. The proposed site work will not involve any disturbance of these remediation sites. <p><u>Recommended conditions:</u></p> <ul style="list-style-type: none"> • The applicant shall comply with the general conditions for approval on Site Plan Review application. (See the attached sheet “General Conditions for Site Plan Review, Special Use Permit and Project Plan Review Approval). • In addition to the General Conditions, Staff recommends of the following specific conditions: <ol style="list-style-type: none"> 1. Driveway openings to meet nysdot type 3 spec, sidewalk shall not dip, require transition, or detectable warning strip, apron to make up any grade. 2. Property Owner shall work with City Forestry and implement specific recommendations prior to site work permit being issued. 3. The property owner shall report to Syracuse Office of Zoning Administration if any changes have been proposed to project plans. New zoning applications may be required for changes.
<p><i>Zoning Procedural History:</i></p>	<p>MiSPR-24-48 07/02/2024 Approved: Minor Site Plan Review, Modify approved MiSP-23-17.</p> <p>MiSPR-23-17 12/19/2023 Approved: Minor Site Plan Review, adding seven (7) new dwelling units to the existing apartment.</p> <p>MiSPR-23-12 12/19/2023 Approved: Minor Site Plan Review, Site features improvements.</p> <p>R-23-68 10/30/2023 Approved: Resubdivision to separate one lot into three new lots.</p>
<p><i>Summary of Zoning History:</i></p>	<p>Almus Olver Tower (AOT) is a 12-story high-rise originally constructed in 1963 for the purpose of senior housing apartments.</p> <p>In October 2023, through the resubdivision R-23-68, the parcel containing the senior apartment was subdivided from the original parcel at 313 E Raynor Ave. and officially designated as 300 Burt St by the Onondaga County Planning Department.</p> <p>Upon the approval of MiSPR-23-12, AOT initiated site feature upgrades, including enhancements to sidewalks and pavement, installation of dumpster pads and fencing for the dumpster enclosure, and the creation of a new driving entrance.</p> <p>Following the approval of MiSPR-23-17, AOT was authorized to convert non-residential spaces into seven (7) additional dwelling units, increasing the total number of units to 191. Other construction activities included exterior remediation and the addition of an egress stair and exit passageway to meet building code requirements.</p> <p>The most recent renovation, approved under MiSPR-24-46, involved updates to the first-floor layout. These changes included converting the existing chapel into a fitness room and adding a conference room, office, and kitchenette.</p>
<p><i>Code Enforcement History:</i></p>	<p>See attached code enforcement history.</p>
<p><i>Summary of Changes:</i></p>	<p>This is not a continued application.</p>

Property Characteristics:	<p><u>Existing property characteristics</u></p> <p>300 Burt Street is an irregularly shaped parcel with a lot size of 2.290 Acres (99,767 SF). The property has three street frontages with 232.2 FT of northern street frontage along Burt St. and 276 FT of western frontage along South State St., and 133.01 FT of eastern street frontage along Oakwood Ave. The southern rear property line borders 407.23 FT along the property line of 516 Burt St. The property is improved by a 12-story masonry building, concrete wall and asphalt pavement located at the back of the property.</p> <p>There will be no changes to the property line.</p> <p>The existing building is 16,242 SF covering 16.2% of the lot size; the proposed renovated parking surface area is 39,820 SF covering 39.9%</p>
SEQR Determination:	Pursuant to the 6 NYCRR §617.4(c)(14), the proposal is a Type II Action
Onondaga County Planning Board Referral:	Pursuant to GML §239-1, m and n, the proposal does not meet the review criteria of the Onondaga County Planning Board with no concerns.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review application
- Short Environmental Assessment Form Part 1
- Topographic Survey: Syracuse Housing Authority, Tax Parcel 94.-17-01.0, Address 313 Raynor Avenue East & Oakwood Avenue; Drawn by B. Stratton; Checked by Timothy T Odell, PLS, NYS Licensed Land Surveyor; dated: 06/26/2023; Scale 1"=40'.
- Site Layout Plan (Sheet CI21): Almus Olver Tower, LP, Renovations to the Almus Olver Towers, 300 Burt Street, Syracuse, New York 13202; Prepared by Ashley McGraw, Approved by Andrew Schuster, Registered Architect; Dated: September 23, 2024; Scale 1"=20'.
- Site Layout Plan Alternate 1 (Sheet CI22): Almus Olver Tower, LP, Renovations to the Almus Olver Towers, 300 Burt Street, Syracuse, New York 13202; Prepared by Ashley McGraw, Approved by Andrew Schuster, Registered Architect; Dated: September 23, 2024; Scale 1"=20'.
- Outdoor Amenity Area Add Alternate (Sheet A020): Almus Olver Tower, LP, Renovations to the Almus Olver Towers, 300 Burt Street, Syracuse, New York 13202; Prepared by Ashley McGraw, Approved by Andrew Schuster, Registered Architect; Dated: September 23, 2024; Scale 1"=20'.
- Exterior Elevations (Sheet A200, A201): Almus Olver Tower, LP, Renovations to the Almus Olver Towers, 300 Burt Street, Syracuse, New York 13202; Prepared by Ashley McGraw, Approved by Andrew Schuster, Registered Architect; Dated: September 23, 2024; Scale 1"=20'.
- Geothermal Site Plan (Sheet M003): Almus Olver Tower, LP, Renovations to the Almus Olver Towers, 300 Burt Street, Syracuse, New York 13202; Prepared by Ashley McGraw, Approved by Andrew Schuster, Registered Architect; Dated: September 23, 2024; Scale As noted.
- Overall HAVC Plan, Basement (Sheet M090, M100-108): Almus Olver Tower, LP, Renovations to the Almus Olver Towers, 300 Burt Street, Syracuse, New York 13202; Prepared by Ashley McGraw, Approved by Andrew Schuster, Registered Architect; Dated: September 23, 2024; Scale 1"=20'.

Attachments:

- Major Site Plan Review Application
- Full Environmental Assessment Form Part 2 & Part 3

MaSPR-24-42

- Code Enforcement History
- IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property. The subject parcel 300 Burt St. has been divided from old parcel per approved resubdivision R-23-68
Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.
Image Source: Onondaga County Parcel Viewer GIS, <https://spatial.vhb.com/onondaga/>



Site Plan Review Application

Office of Zoning Administration
 300 S State St, Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syrgov.net

Summary of Site Plan Review Procedure

The Site Plan Review procedure is summarized below. For complete details, see Sections 7.3 and 7.4.A of the Zoning Ordinance.

1	Pre-Application Conference	<i>Option for minor; required for major site plan</i>	
2	Application Submittal and Processing	<i>Submit to Office of Zoning Administration</i>	Submittal and Internal Review
3	Staff Review and Action	<i>Review by Office of Zoning Administration for minor and major; decision by Office of Zoning Administration for minor site plan</i>	
4	Scheduling and Notice of Public Hearings	<i>Optional for minor; required for major site plan</i>	Hearings and Decision-Making
5	Review and Decision	<i>Does not apply for minor; review and decision by City Planning Commission for major</i>	
6	Post-Decision Actions and Limitations	<i>Site plan expires after one year (unless extended)</i>	

1. Pre-Application Conference

- Opportunity for the applicant to meet with Zoning staff to review applicable submittal requirements, identify applicable procedures, and identify any issues associated with the proposed development

2. Application Submittal and Processing

- Submit to Office of Zoning Administration along with applicable fees

3. Staff Review and Action

- Applications are not considered complete until all required submittals are received
- Includes evaluation of the application under the State Environmental Quality Review Act (SEQR)
- Staff renders a decision for minor site plan review

4. Scheduling and Notice of Public Hearings

- Not applicable for minor site plan
- The major site plan application shall be scheduled for a public hearing before the City Planning Commission

5. Review and Decision

- For major site plans, the City Planning Commission shall hold a public hearing within 62 days of the determination that the application is complete

6. Post-Decision Actions and Limitations

- The Office of Zoning Administration shall mail a copy of the decision to the applicant
- Site plan approval shall expire if the authorized use or construction has not obtained all necessary permits within one year of approval, or an extension is granted



For Office Use Only	
Zone District:	_____
Application Number:	_____ - _____ - _____
Date:	_____

Office of Zoning Administration
 300 S State St, Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syrgov.net

Site Plan Review Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name:	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records):	
Tax Map ID#:	Lot size (sq. ft.):
Current use of property:	Proposed:
Current number of dwelling units (if applicable):	Proposed:
Current number of affordable dwelling units (if applicable):	Proposed:
Current onsite parking (if applicable):	Proposed:
Zone District (base and any overlay) of property:	
Companion zoning applications (if applicable, list any related zoning applications):	
Type of Site Plan: <input type="checkbox"/> Major <input type="checkbox"/> Minor	
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input type="checkbox"/> Site changes	
Detailed description of the project (required):	



Site Plan Review Application

Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syrgov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

Print owner's name:

Signature: 

Date: 11.21.24

Mailing address:

Phone:

Email:

Print authorized agent's name:

Date:

Signature:

Mailing address:

Phone:

Email:

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. **If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney.** Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- APPLICATION** – filled out completely, dated, and signed by property owner as instructed
- STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR)** – Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
- PHOTOGRAPHS (COLOR) of the PROJECT SITE** – keyed to a property survey or site plan
- PHOTOGRAPHS (COLOR) of the STREETScape** – including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
- APPLICATION FEE** – \$0

*Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, **separate site plan review applications must be submitted for each project site.** Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation.*

- AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
- SITE PLAN(S)** illustrating site alterations and post project conditions that are/will be different from the as built property survey including:



Site Plan Review Application

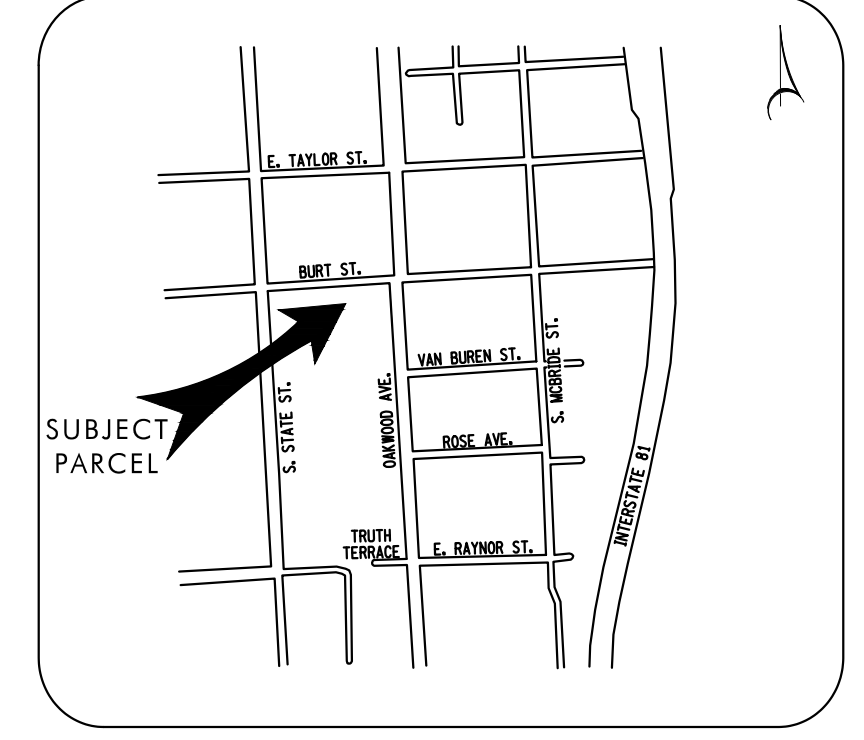
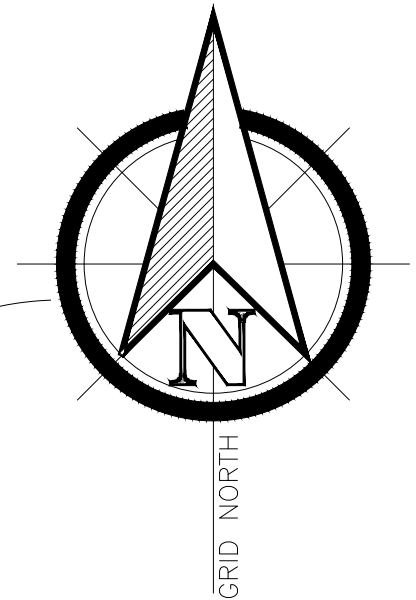
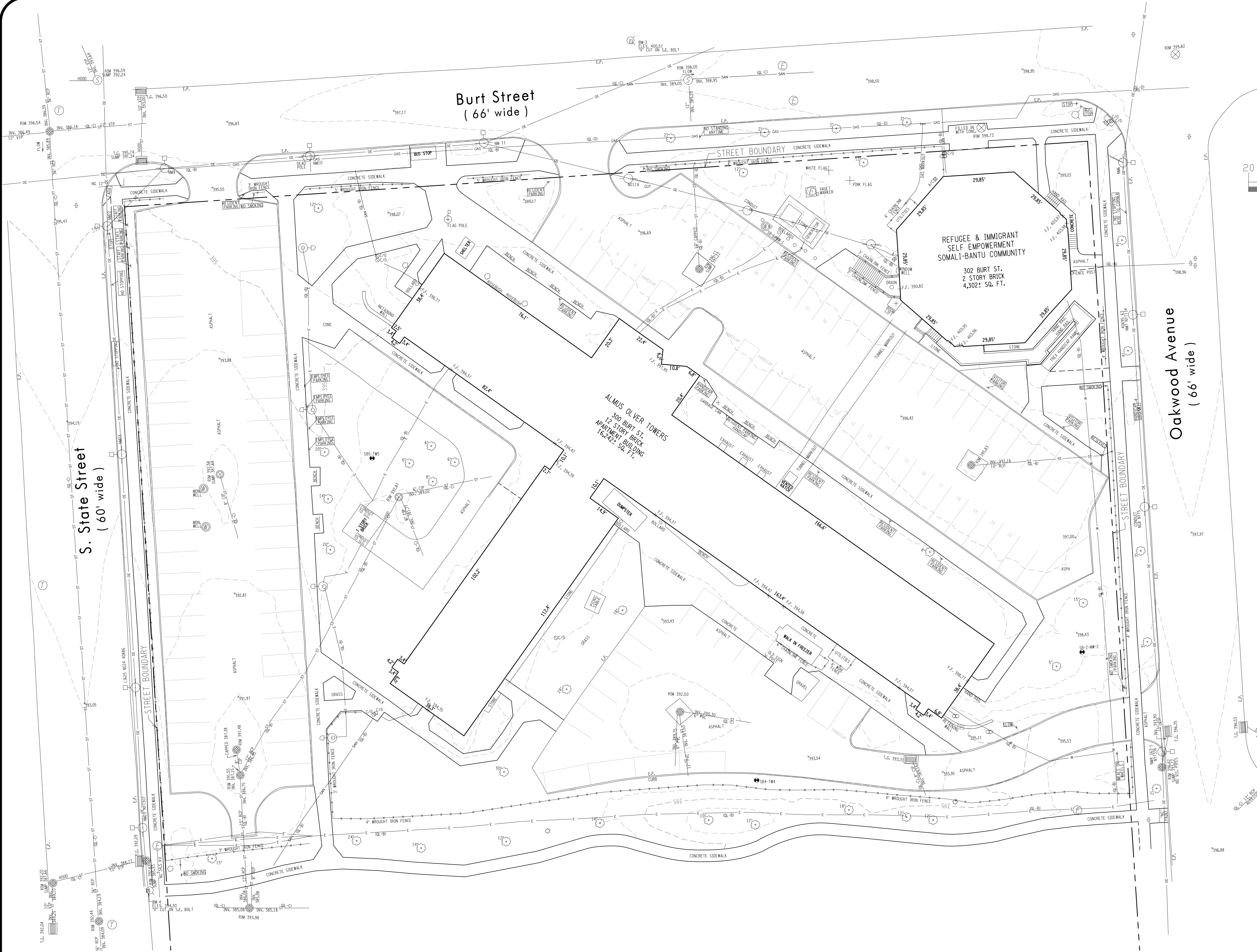
Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syrgov.net

- Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
- Demolitions and post demolition conditions
- Structures
- Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage
- Loading dock and delivery areas
- Dumpsters and/or trash receptacles
- Landscaping including type, height, and number of plantings
- Screening including parking, dumpsters, and site
- Fencing including type and height
- Lighting including structure heights and luminaries wattage
- Ground signs
- Street rights-of-way conditions, existing and proposed, including curb cuts, driveways, sidewalks, and plantings
- Encroachments, existing or proposed, into the City rights-of-way including stairs, signs, and awning

- FLOOR PLANS (when required for review)** for new construction, additions, and change of zoning use/building occupancies with square footages and all applicable layouts (e.g., customer areas, kitchens, bathrooms, bedrooms, etc.) clearly labeled for land uses
- EXTERIOR BUILDING ELEVATIONS AND SPECIFICATIONS (when required for review)** with all dimensions, materials, and colors clearly illustrated and noted (Schematics or color renderings can be submitted in addition to elevation drawings, if available)
- EXTERIOR SIGNAGE DRAWINGS (when required for review)** showing all of the following:
 - Size
 - Type
 - Location (photos may be used to show location. Exact placement must be included for ground signs – measurements from structure to sign location and distance from sign to property line (not sidewalk). For wall signs, the distance from the top of the sign to roofline, from ground to bottom of the sign, and measurement from the side of the building to the side of the sign must be shown)

All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):

Size:	Type:	Location:
Size:	Type:	Location:



Vicinity Map

General Notes:

- (1) This is not a boundary survey.
- (2) This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain title insurance for any subsequent or future grantees.
- (3) Easements or servitudes affecting this property are not shown on this plan.
- (4) Units shown hereon are U.S. Survey Feet.
- (5) Vertical datum is referenced to NAVD88 (Geoid 18), Established by New York State CORS Real Time Network. Horizontal datum is referenced to NAD83(2011) - NYSPCS, Central.
- (6) Elevations from any benchmark should always be confirmed against another benchmark to confirm monument has not moved or been disturbed.
- (7) Contour interval is 1'
- (8) Subsurface utilities shown hereon are represented at Quality Level C (QL-C) and Quality Level B (QL-B) as defined by the American Society of Civil Engineers (ASCE) standard guidelines for the collection and depiction of existing subsurface utility data. The subsurface utilities were compiled from visible evidence and utility designation/markout. Ravi Engineering & Land Surveying, P.C. performed the utility markout on 4/24/2023. The surveyor makes no guarantee the subsurface utilities shown hereon comprise all such utilities in the survey area, either in service or abandoned. The surveyor further does not warrant or certify that the subsurface utilities are in the exact location as depicted.
- (9) The contractor shall determine the exact location of all underground utilities before starting work and shall be responsible for all damage resulting from this work. Before commencing work, contact UDIG-NY at 1-800-962-7962 and provide 72 hours notice.

Legend:

	CATCH BASIN		UTILITY POLE WITH LIGHT
	ROUND DRAINAGE STRUCTURE		LIGHT POLE
	DRAINAGE MANHOLE		UTILITY POLE
	SANITARY SEWER MANHOLE		CORE SAMPLE HOLE
	SEWER CLEANOUT		DECIDUOUS TREE
	TELEPHONE MANHOLE		FLAG POLE
	ELECTRIC STRUCTURE		SIGN
	GAS METER		ASPH. ASPHALT PAVEMENT
	UNKNOWN VALVE		E.P. EDGE OF PAVEMENT
	WATER VALVE		F.F. FINISHED FLOOR ELEVATION
	FIRE HYD.		T.G. TOP OF GRATE ELEVATION
	BOLLARD		I.N.V. INVERT ELEVATION
			C.I.P. CAST IRON PIPE
			R.C.P. REINFORCED CONCRETE PIPE
			SQ. FT. SQUARE FEET
			(QL-B) QUALITY LEVEL B (UTILITY DESIGNATION)
			(QL-C) QUALITY LEVEL C
	SAN. SANITARY SEWER		
	ST. STORM SEWER		
	E. UNDERGROUND ELECTRIC		
	O.E. OVERHEAD ELECTRIC		
	FENCE		

PREPARED BY:

 POPLI DESIGN GROUP
 555 Penbrooke Drive - Perfield, NY 14526
 main: 585.388.2060 - fax: 585.388.2070

REVISIONS:	DATE:
1	
2	
3	
4	
5	

DRAWN BY:	B. STRATTON
CHECKED BY:	T. ODELL
SCALE:	1" = 40'
POG PROJECT NO.:	SU18014.04

SURVEY PREPARED UNDER THE DIRECTION OF:

 TIMOTHY T. ODELL, PLS
 LICENSE NO. 50995
 FOR: POPLI DESIGN GROUP
 06/26/2023
 DATE

PROJECT TITLE:
TOPOGRAPHIC SURVEY
 Syracuse Housing Authority
 (reputed owner)
 Tax Parcel 94.-17-01.0
 Address: 313 Raynor Avenue East & Oakwood Avenue
 City of Syracuse, County of Onondaga, State of New York

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PHOTO #01



PHOTO #02



PHOTO #03



PHOTO #04



PHOTO #05

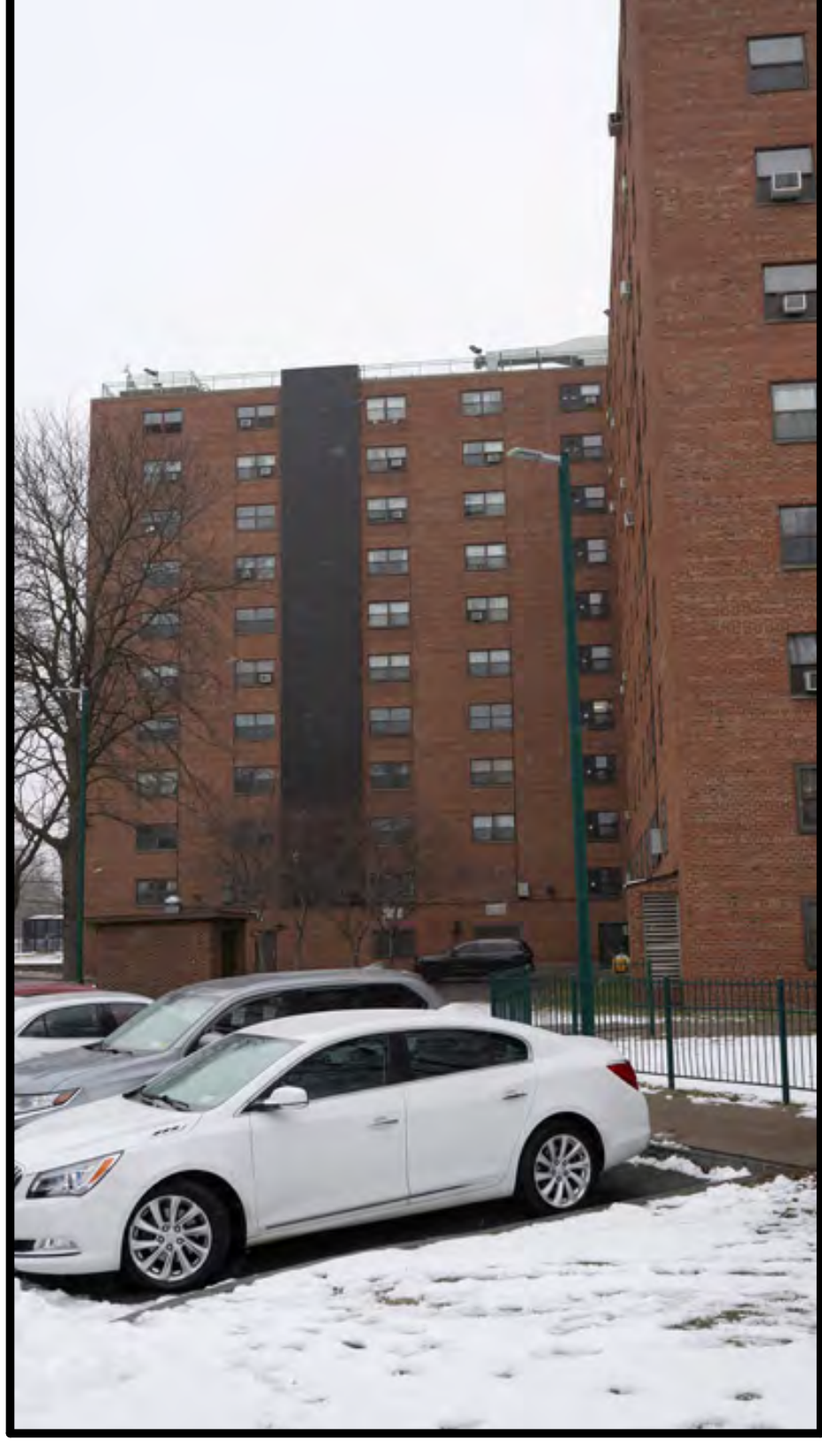


PHOTO #06



PHOTO #07



PHOTO #08



PHOTO #09



ASHLEY MCGRAW

125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202

CONSULTANT:

SEAL:

SYTHIA / P/2023/05/23
ASHLEY MCGRAW ARCHITECTS, P.C.

NOT FOR CONSTRUCTION

OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP

RENOVATIONS to the ALMUS OLVER TOWERS

300 BURT STREET, SYRACUSE, NEW YORK 13202

NYS IFA PROJECT NO.

AK JOB NO. 21116

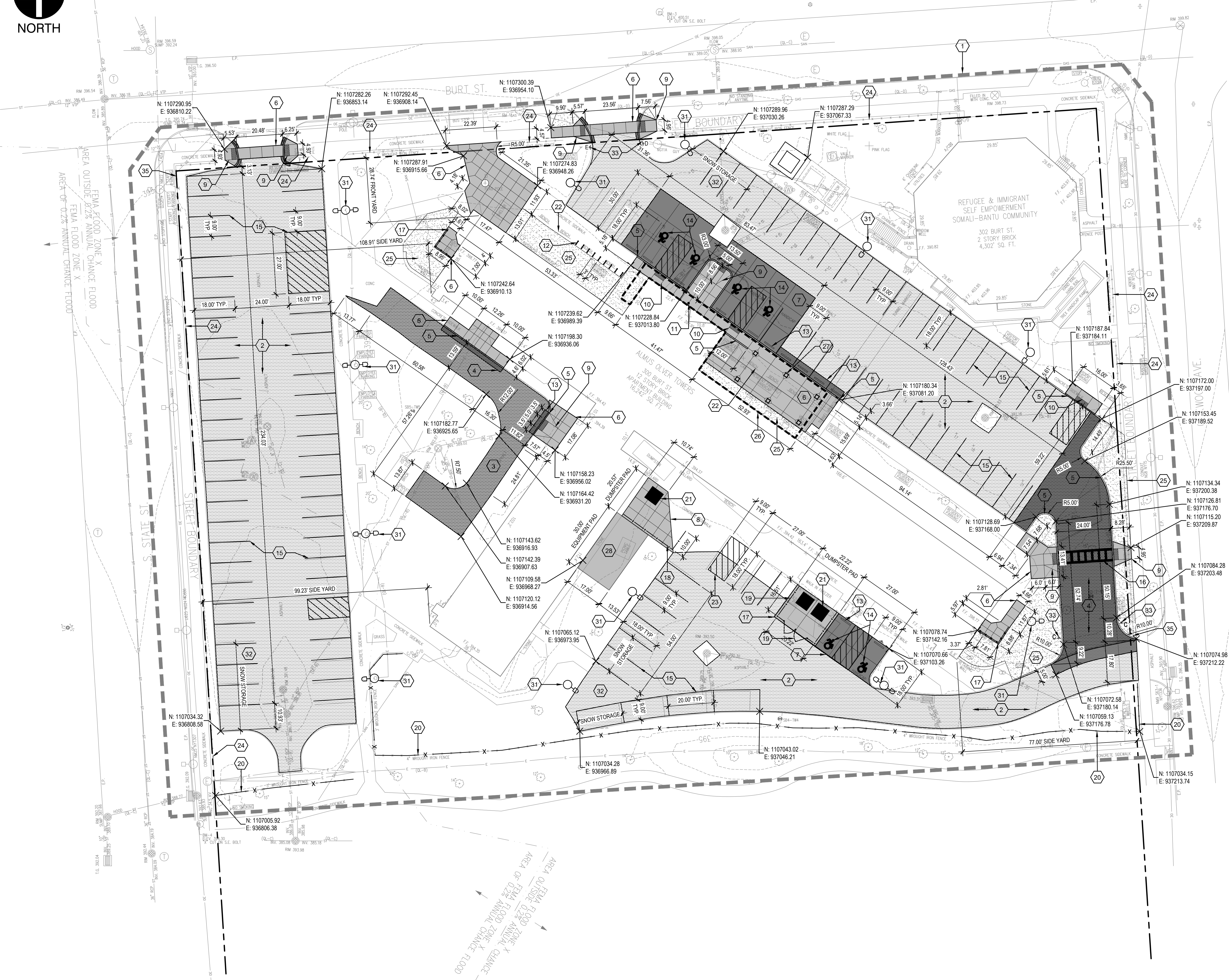
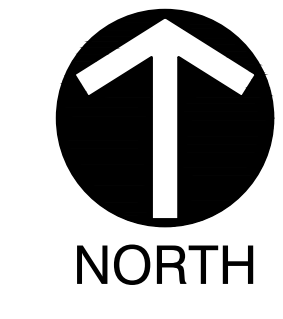
REV. NO.	REV. DATE	REV. DESCRIPTION

DATE ISSUED: MAY 26, 2023

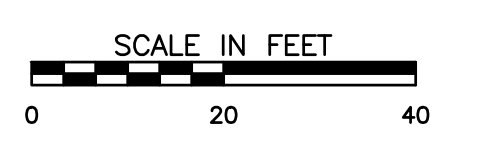
SITE PHOTOS

C122

NOT FOR CONSTRUCTION



SITE LAYOUT PLAN BASE BID
1" = 20'0"



DRAWING NOTES

- CONTRACT LIMIT LINE. CONTINUOUSLY MAINTAIN THE WORK AREA IN A CLEAN AND SAFE CONDITION. TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN PROTECTED ACCESS FOR OWNER, ITS EMPLOYEES, AND PUBLIC USING FACILITIES AS WORK PROCEEDS. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, WARNING SIGNS, AND OTHER TEMPORARY PROTECTIVE MEASURES THROUGHOUT THE WORK.
- ASPHALT PAVEMENT SEAL.
- 2" THICK MILL AND OVERLAY EXISTING ASPHALT PAVEMENT. MATCH EXISTING GRADING AND DRAINAGE PATTERNS.
- STANDARD-DUTY ASPHALT PAVEMENT.
- GRANITE CURB.
- CONCRETE SIDEWALK.
- CONCRETE PAVEMENT.
- CONCRETE DUMPSITER PAD.
- CONCRETE FLARE CURB RAMP AND DETECTABLE WARNING SURFACE.
- CONCRETE PARALLEL CURB RAMP AND DETECTABLE WARNING SURFACE.
- BOLLARD.
- BICYCLE RACK WITH CAPACITY OF 2 BICYCLES (TYPICAL OF 3).
 - PROVIDE RAILER-WIDE BIKE RACK BY HUNTCO SITE FURNISHINGS OR APPROVED EQUIVALENT.
 - PROVIDE BIKE RACK WITH ROUND PROFILE WITH BLACK POWDER COAT FINISH.
 - SURFACE MOUNT BIKE RACK WITH FLANGE MOUNT. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND WRITTEN INSTRUCTIONS FOR INSTALLATION.
- SUBMIT SHOP DRAWINGS AND CATALOG CUTS TO ARCHITECT FOR APPROVAL.
- PRECAST CONCRETE WHEEL STOP (TYPICAL OF 10).
- ADA PARKING SPACE, SIGN, AND PAVEMENT MARKINGS.
- 4" WIDE YELLOW REFLECTORIZED PAINTED PAVEMENT STRIPING. TYPICAL FOR ALL PAVEMENT STRIPING.
- 12" WIDE WHITE REFLECTORIZED PAINTED CROSSWALK STRIPING. PROVIDE AS DETAILED PER NYSDOT 685-01, TYPICAL CROSSWALK DETAIL.
- STAINLESS STEEL GUARDRAIL, NATURAL FINISH.
- 8'-0" HIGH FENCE SCREENING FOR DUMPSITER.
 - PROVIDE PALMSHIELD MERCURY ECONOMIC SOLID SCREENING TO THE DIMENSIONS SHOWN.
 - PROVIDE SCREENING WITH BLACK ALUMINUM POST, MAXIMUM 6'-0" SPACING AND DARK GRAY COMPOSITE PLANK, 1.5" WIDE.
 - REFER TO STRUCTURAL DRAWINGS FOR TYPICAL FOUNDATION DETAILS.
 - SUBMIT SHOP DRAWINGS OF SCREENING AND FOUNDATION DETAILS TO ARCHITECT FOR APPROVAL.
- 5'-0" HIGH SINGLE DUMPSITER ENCLOSURE WITH 12'-0" WIDE DOUBLE GATE PER DIMENSIONS INDICATED ON SITE LAYOUT PLAN.
 - PROVIDE PALMSHIELD MERCURY ECONOMIC SOLID SCREENING AND MAXIMUM INDUSTRIAL SOLID SWING GATE TO THE DIMENSIONS SHOWN.
 - PROVIDE SCREENING AND GATE WITH BLACK ALUMINUM POST, MAXIMUM 6'-0" SPACING AND DARK GRAY COMPOSITE PLANK, 1.5" WIDE.
 - REFER TO STRUCTURAL DRAWINGS FOR TYPICAL FOUNDATION DETAILS.
 - SUBMIT SHOP DRAWINGS OF ENCLOSURE, GATE, AND FOUNDATION DETAILS TO ARCHITECT FOR APPROVAL.
- 5'-0" HIGH BLACK DECORATIVE ALUMINUM FENCE (APPROXIMATELY 477 LF) V.I.F. AND MATCH EXISTING FENCE HEIGHT AND ALIGNMENT.
- RELOCATE EXISTING 6'-0" X 6'-0" DUMPSITERS (TYPICAL OF 3) TO OWNER-DESIGNATED LOCATION.
- REINSTALL SALVAGED BENCHES (TYPICAL OF 7) AT OWNER-DESIGNATED LOCATION.
- BLACK EXTERIOR TRASH RECEPTACLE (TYPICAL OF 2) AT CANOPY AREA.
 - PROVIDE SD-42 IRONSTEE SERIES SIDE-DOOR OPENING LITTER RECEPTACLE BY VICTORY STANLEY INC. OR APPROVED EQUIVALENT.
 - PROVIDE BLACK TRASH RECEPTACLE WITH SPHERICAL, DOME LID.
 - SURFACE MOUNT TRASH RECEPTACLE AT OWNER-DESIGNATED LOCATION. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND WRITTEN INSTRUCTIONS FOR INSTALLATION.
 - SUBMIT SHOP DRAWINGS AND CATALOG CUTS TO ARCHITECT FOR APPROVAL.
- FIELD PREPARE, PRIME, AND PAINT WITH BLACK FINISH EXISTING 4" WROUGHT IRON FENCE AT SITE PERIMETER (APPROXIMATELY 800 LF).
- LAWN / TURF RESTORATION WITH 4" OF TOPSOIL, SEED, AND FIBER MULCH. SPREAD TOPSOIL USING EQUIPMENT HAVING "TURF-TYPE" OR "FLORATION-TYPE" TIRES TO MINIMIZE SOIL COMPACTION.
- OUTLINE OF PROPOSED BUILDING CANOPY ABOVE. REFER TO ARCHITECTURAL DRAWINGS.
- COLUMNS FOR BUILDING CANOPY. REFER TO STRUCTURAL DRAWINGS.
- CONCRETE PAD FOR WATER HEATER EQUIPMENT. REFER TO STRUCTURAL DRAWINGS.
- PROVIDE TYPICAL EXPANSION JOINT DETAIL WHERE CONCRETE PAVEMENT / SIDEWALK ABUTS EXISTING STRUCTURES OR NEW STRUCTURE CONSTRUCTION.
- PROVIDE TYPICAL EXPANSION JOINT DETAIL WHERE FLAGPOLE AND / OR LIGHT POLE ARE INTEGRAL WITH CONCRETE SIDEWALK RECONSTRUCTION.
- PROPOSED LIGHT POLE WORK. REFER TO ELECTRICAL DRAWINGS.
- PARKING SPACES DESIGNATED FOR SNOW STORAGE (11 SPACES TOTAL).
- PROVIDE TYPICAL SITE SIGNAGE AND POST PER DETAILS 1 AND 5 / C-503.
- PROPOSED TRANSFORMER AND PAD. REFER TO ELECTRICAL DRAWINGS.
- REPAIR OR REPLACE EXISTING POST TO RESTORE EXISTING FENCE RAIL AND MATCH EXISTING CONFIGURATION.

SEE DRAWING C001 FOR GENERAL NOTES, SYMBOL KEY AND EROSION & SEDIMENT CONTROL NOTES.
SEE DRAWING C502 / C503 FOR TYPICAL DETAILS.

ZONING REQUIREMENTS

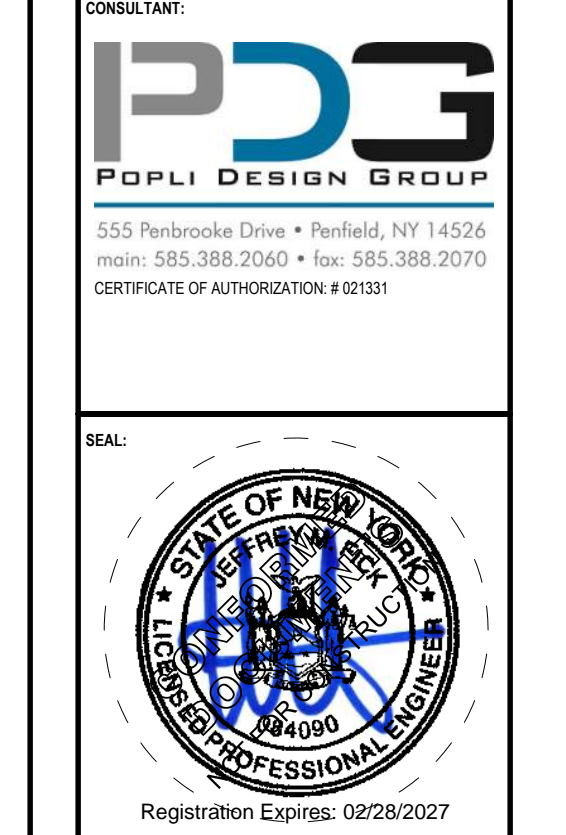
REQUIRED	EXISTING	PROPOSED
ZONING RESIDENTIAL DISTRICT, CLASS B		
EXISTING LOT INFORMATION		
ADDRESS	TAX PARCEL	PARCEL SIZE
N/A	94-17-01-0	361,329 S.F. (8.295 AC.)
		108,686 S.F. (2.495 AC.)
MINIMUM YARD REQUIREMENTS		
FRONT YARD (BURT ST.)	10 FT.	28.74 FT.
FRONT YARD (OAKWOOD AVE.)	10 FT.	52.83 FT.
SIDE YARD (S. STATE ST.)	24 FT. (4 FT. + 2 FT. X 10 STY.)	99.23 FT.
SIDE YARD (OAKWOOD AVE.)	24 FT. (4 FT. + 2 FT. X 10 STY.)	77.00 FT.
REAR YARD	40 FT. (20 FT. + 2 FT. X 10 STY.)	N/A
LOT COVERAGE		
STRUCTURAL	40% MAX.	19% (20,708 S.F.)
PARKING	40% MAX.	37% (38,801 S.F.)
LOT WIDTH	50 FT. MIN.	406.59 FT.
DENSITY REQUIREMENT		
MULTIPLE FAMILY (APARTMENTS)	1,000 S.F. / UNIT MAX.	584 S.F. / UNIT (186 UNITS)
		569 S.F. / UNIT (191 UNITS)
HEIGHT LIMITATIONS		
	N/A	12 STORIES
OFF-STREET PARKING REQUIREMENTS		
STALL DIMENSIONS	8.59 FT. x 18.00 FT.	9.00 FT. x 18.00 FT.
REQUIRED SPACES	1 SPACE PER UNIT	0.59 SPACE / UNIT (114 SPACES / 191 UNITS)
		0.59 SPACE / UNIT (112 SPACES / 191 UNITS)

ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE.
BEFORE YOU DIG, DRILL, OR BLAST, CALL UDIG NEW YORK AT
1-800-962-7962

NOT FOR CONSTRUCTION



125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202



OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

NYSP HFA PROJECT NO.
AN JOB NO. 21116

REV. NO.	REV. DATE	REV. DESCRIPTION
3	03.08.24	Addendum No. 03

DATE ISSUED:
SEPTEMBER 23, 2024

**SITE LAYOUT PLAN
BASE BID**

C121

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20230918 04:48 AM

Ashley McGraw Architects, Inc.

- DRAWING NOTES** ☒:
1. CONTRACT LIMIT LINE. CONTINUOUSLY MAINTAIN THE WORK AREA IN A CLEAN AND SAFE CONDITION. TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN PROTECTED ACCESS FOR OWNER, ITS EMPLOYEES, AND PUBLIC USING FACILITIES AS WORK PROCEEDS. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, WARNING SIGNS, AND OTHER TEMPORARY PROTECTIVE MEASURES THROUGHOUT THE WORK.
 2. 2" THICK MILL AND OVERLAY EXISTING ASPHALT PAVEMENT. MATCH EXISTING GRADING AND DRAINAGE PATTERNS.
 3. REFER TO DRAWING C-121 FOR BASE SCOPE OF WORK.
- SEE DRAWING C501 FOR GENERAL NOTES, SYMBOL KEY AND EROSION & SEDIMENT CONTROL NOTES.
SEE DRAWING C502 / C503 FOR TYPICAL DETAILS.



125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202

CONSULTANT:

POPLI DESIGN GROUP
555 Penbrooke Drive • Penfield, NY 14526
Phone: 585.388.2050 • Fax: 585.388.2070
CERTIFICATE OF AUTHORIZATION # 02131

REAL:

Registration Expires: 02/28/2027

OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

VIS IFA PROJECT NO.:

AW JOB NO. 21116

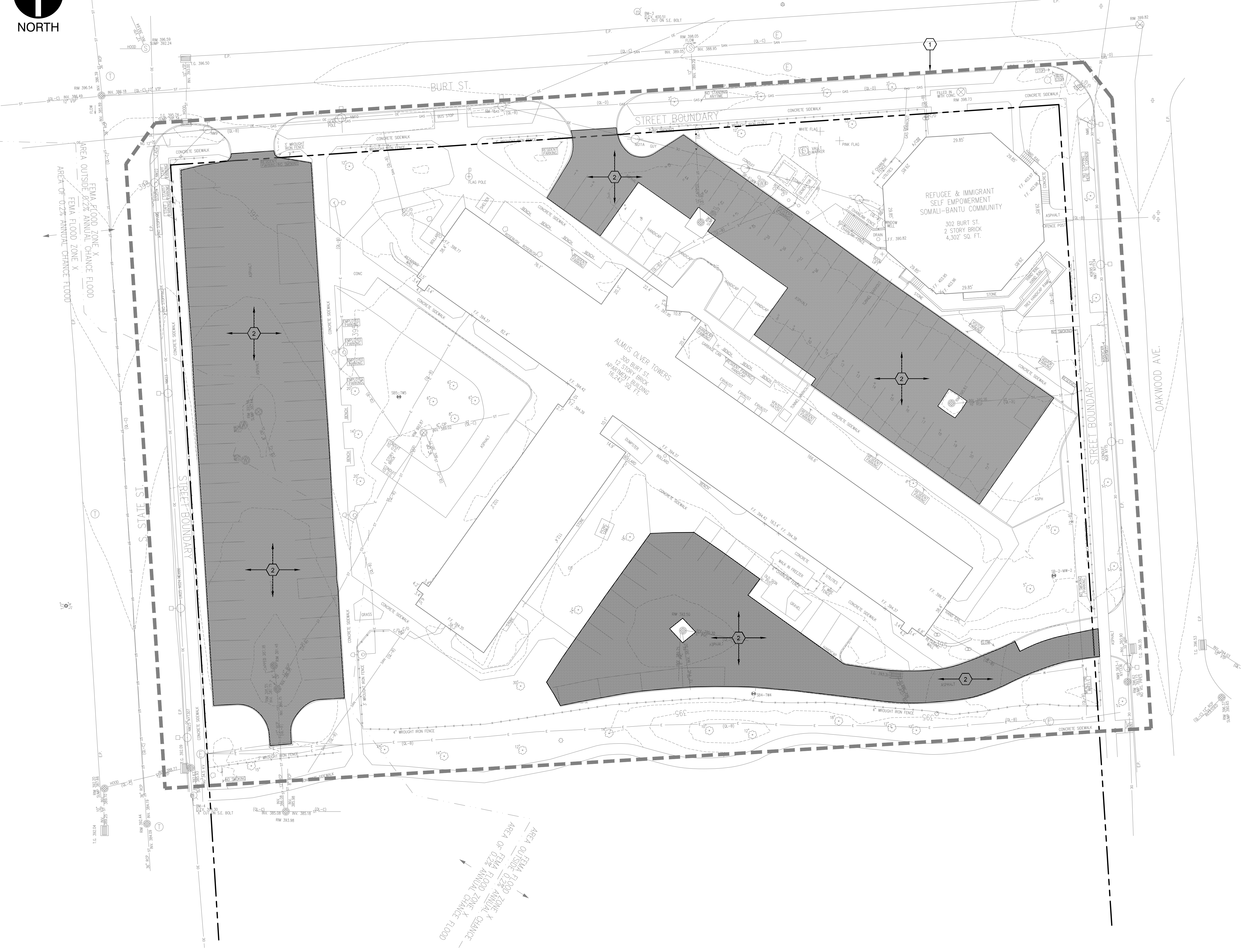
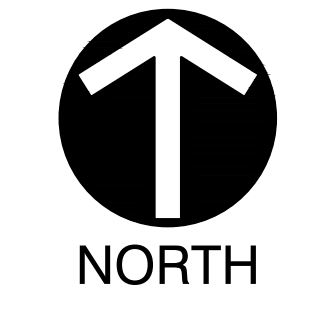
REV. NO.	REV. DATE	REV. DESCRIPTION

DATE ISSUED: SEPTEMBER 23, 2024

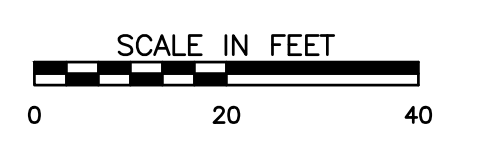
SITE LAYOUT PLAN
ALTERNATE 1

C122

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SITE LAYOUT PLAN ALTERNATE 1
1" = 20.0'

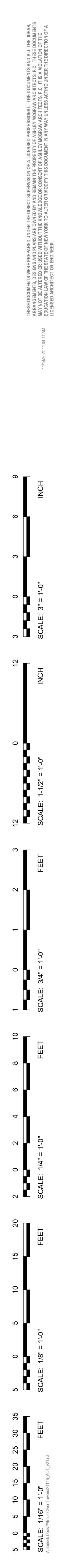


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NOT FOR CONSTRUCTION



A2 SITE PLAN - OUTDOOR AMENITY AREA
1/8" = 1'-0"



KEYNOTES

ENLARGED STAIR PLANS & DETAILS
NOTE: NOT ALL KEYNOTES MAY BE REFERENCED.

NO.	DESCRIPTION
SK-01	REINFORCED STAMPED CONCRETE, SLAB ON GRADE, & ASSOCIATED SUBBASE. EXACT COLOR FINISH & PATTERN TO BE SELECTED BY ARCHITECT.
SK-02	DECORATIVE ALUMINUM FENCING & ASSOCIATED CONCRETE PIERS/FOOTINGS. TYPICAL.
SK-03	4'-0" WIDE ALUMINUM SWING GATE TO MATCH FENCING.
SK-04	CONCRETE SIDEWALK & ASSOCIATED GRANITE CONCRETE CURBING.
SK-05	CONCRETE FLARE CURB RAMP AND DETECTABLE WARNING SURFACE.
SK-06	12" WIDE WHITE REFLECTORIZED PAINTED CROSSWALK STRIPING. PROVIDE AS DETAILED PER NYSDOT 88-01, TYPICAL, CROSSWALK DETAIL.
SK-07	OUTDOOR FURNITURE, TYPICAL. PROVIDED BY OWNER.
SK-08	MODULAR RAISED GARDEN BED. TYPICAL, PROVIDED BY OWNER.
SK-09	MODULAR RAISED GARDEN BED WALL & INTEGRAL BENCH SEATING. PROVIDED BY OWNER.



EXAMPLE - PLANTER BOX
<https://www.renovation.com/projects/landscape-outdoor-planters>
Item: 94748490 Item Name: 94748490 Item Code: 94748490 Item Description: Outdoor Planter Box 30x18x10
Color: 000000 Color Name: Black Item Type: Outdoor Planters
Material: 000000 Material Name: Plastic Item Weight: 25.00 Lbs Item Dimensions: 30x18x10
SKU: 94748490 Item Availability: In Stock



EXAMPLE - PLANTER BOX SURROUND
<https://www.wayfair.com/Outdoor/Outdoor-Planters/Outdoor-Planters-Box-w/Outdoor-Planters-Box-Set/Outdoor-Planters-Box-Set-Set>
Item: 94748490 Item Name: 94748490 Item Code: 94748490 Item Description: Outdoor Planter Box 30x18x10
Color: 000000 Color Name: Black Item Type: Outdoor Planters
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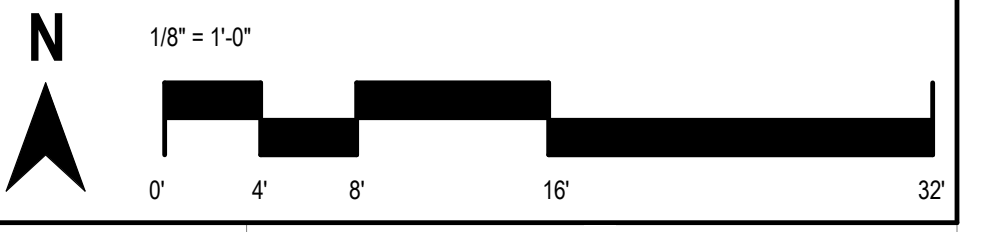
EXAMPLE - INTEGRAL PLANTER WITH BENCH
<https://www.woodbox.co.uk/Integral-planter-bed-with-bench>



EXAMPLE - MOBILE PLANTER
<https://accessibilitygarden.com/products/rolling-table-outdoor-garden/>



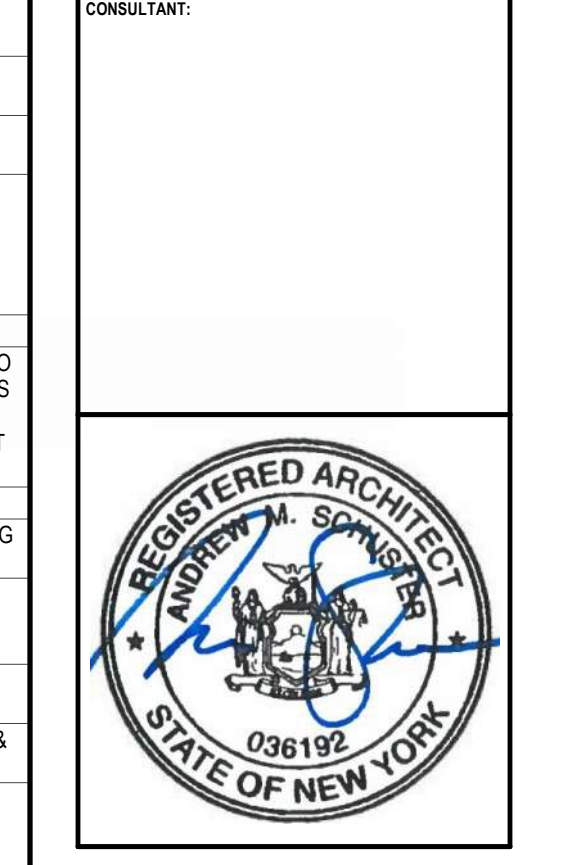
EXAMPLE - WHEELCHAIR-ACCESSIBLE PLANTER
<https://accessibilitygarden.com/products/complere-forward-facing-wheelchair-garden/>



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125 EAST JEFFERSON STREET
 SYRACUSE, NEW YORK 13202



ALMUS OLVER TOWER, LP

RENOVATIONS to the ALMUS OLVER TOWERS
 300 BURT STREET, SYRACUSE, NEW YORK 13202

PROJECT NO. 21116

REV. NO.	DATE	REV. DESCRIPTION
1	6.28.24	Addendum No.01
3	8.09.24	HCR Revisions
5	9.23.24	HVAC

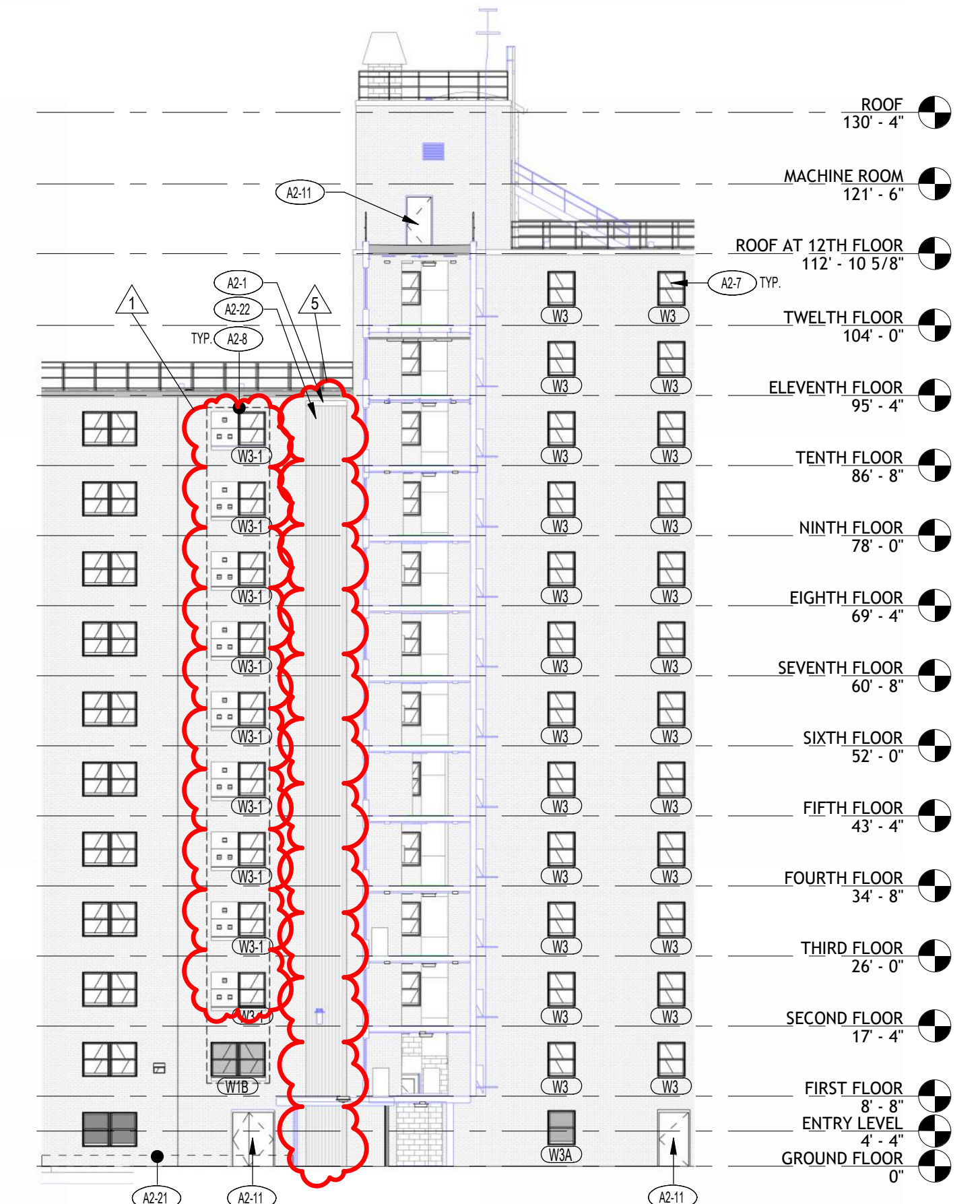
DATE ISSUED: SEPTEMBER 23, 2024

SOUTH & WEST RENOVATION EXTERIOR ELEVATIONS

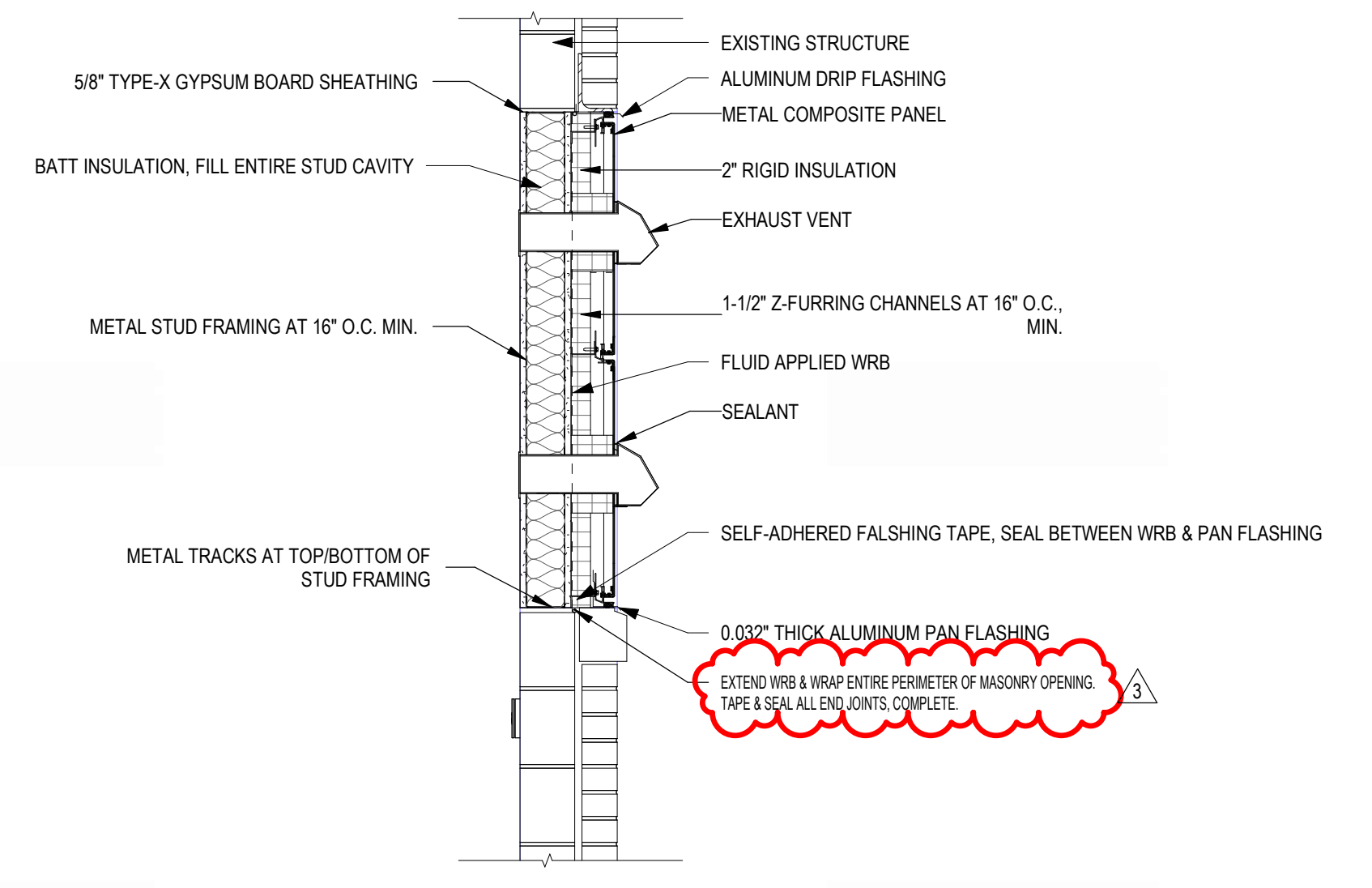
A200

GENERAL NOTES - RENOVATION - ELEVATIONS	
NO.	DESCRIPTION
1	COORDINATE EXACT LOCATIONS FOR ALL EXTERIOR WALL PENETRATIONS & WALL-MOUNTED EQUIPMENT WITH ARCHITECT REFERENCE TO EXTERIOR ELEVATIONS & ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
2	ALL WALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO, PIPING, CONDUIT, LOUVERS, COVERS, VENTS, ETC., SHALL BE SHIP PAINTED TO MATCH THE ADJACENT EXTERIOR WALL FINISH, TYPICAL.
3	REFER TO "DRYWITCARE" EFS REPAIR PROCEDURES DS4867 FOR ALL EFS REPAIRS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO THE SUBMISSION OF BIDS.
4	CONTRACTOR SHALL REPAIR/REPLACE ALL MASONRY & ASSOCIATED GROUT IMPACTED BY THE HYDRAULIC LIFT FASTENERS & ANCHORS. FILL MATERIALS SHALL MATCH ADJACENT MATERIALS. MORTAR SHALL NOT HAVE A HIGHER COMPRESSIVE STRENGTH THAN THE ASSOCIATED MASONRY UNITS.

KEYNOTES	
RENOVATION EXTERIOR ELEVATIONS	
NOTE: NOT ALL KEYNOTES MAY BE REFERENCED.	
NO.	DESCRIPTION
A2-1	PROVIDE & INSTALL ALUMINUM COPING WITH INTEGRAL DRIP EDGE, AT ALL ROOFS (ENTIRE BUILDING, L.I.N.O.)
A2-2	PREP, PRIME, & PAINT EXISTING METAL ROOF, METAL ROOFING ACCESSORIES, GUTTERS, & DOWNSPOUTS, COMPLETE.
A2-3	RE-ATTACH EXISTING ROOFTOP GUARDRAIL AND INSTALL INTERMEDIATE RAIL TO MATCH PROFILE, MATERIAL, AND FINISH, SEE DETAILS.
A2-4	PATCH EFS INSULATION WHERE EXISTING DECORATIVE EFS WAS REMOVED. PROVIDE & INSTALL NEW LAYER OF 1-1/2" EFS RIGID INSULATION AND ASSOCIATED EFS FINISH (SHOWN HATCHED) AND 1" DEEP V-GROOVES (REVEAL), TYPICAL PER MANUFACTURER'S REQUIREMENTS. MODIFY EXISTING VENTS TO ACCOMMODATE NEW EFS & ASSOCIATED INSULATION.
A2-5	PREP, PRIME, & PAINT EXISTING EFS, COMPLETE, TYPICAL.
A2-6	PROVIDE & INSTALL EXTERIOR SIGN & ASSOCIATED LIGHTING INCLUDING BUT NOT LIMITED TO SUPPORTS, HARDWARE, FASTENERS, POWER/CABLING, ETC., COMPLETE. PATCH/REPAIR EFS & ASSOCIATED INSULATION, SHEATHING, AND WATERPROOFING WHERE SIGN ATTACHES TO BUILDING FOR A WATER TIGHT SEAL. COORDINATE EXACT SIZE & LOCATION WITH ARCHITECT AND SIGN VENDOR.
A2-7	PROVIDE & INSTALL NEW WINDOW & SILL, COMPLETE. SEE WINDOW SCHEDULE & DETAILS.
A2-8	PROVIDE & INSTALL NEW WINDOW, COMPLETE. SEE WINDOW SCHEDULE & DETAILS. EXISTING PRECAST SILL TO REMAIN. INFILL EXISTING OPENING ADJACENT TO WINDOW. SEE DETAIL.
A2-9	PROVIDE & INSTALL FLEXIBLE EPOXY CONTROL JOINT SEALER/ADHESIVE WHERE THE EXISTING CONTROL JOINT SEALANT WAS REMOVED. COLOR FINISH TO MATCH ADJACENT BRICK COLOR, TYPICAL, ENTIRE BUILDING.
A2-10	PATCH MASONRY OPENING WHERE EXISTING EQUIPMENT WAS REMOVED, SEE DETAIL, TYPICAL.
A2-11	PROVIDE & INSTALL NEW INSULATING DOOR & FRAME, COMPLETE. SEE RENOVATION PLANS & DOOR SCHEDULE.
A2-12	PROVIDE & INSTALL STANDING SEAM METAL ROOFING WHERE EXISTING ROOFING WAS REMOVED, WITH INTEGRAL ROOF EDGE ACCESSORIES & FLASHING PER MANUFACTURER REQUIREMENTS.
A2-13	PROVIDE & INSTALL NEW WALL PACK WHERE EXISTING WAS REMOVED, SEE ELECTRICAL DRAWINGS.
A2-14	NEW CANOPY, SEE DETAILS AND STRUCTURAL DRAWINGS.
A2-15	PROVIDE & INSTALL NEW STOREFRONT & GLAZING SYSTEM, SEE STOREFRONT SCHEDULE.
A2-16	NEW COMPOSITE ALUMINUM PANELS AND ASSOCIATED WALL ASSEMBLY, SEE DETAILS AND STRUCTURAL DRAWINGS.
A2-17	RELOCATE EXISTING METAL BENCHES, THIS LOCATION, ANCHOR BENCHES TO THE CONCRETE WALK.
A2-19	INSTALL METAL LADDER THAT WAS SALVAGED DURING DEMOLITION, THIS LOCATION, MODIFY EXISTING GUARDRAIL AS REQUIRED TO ACCOMMODATE LADDER.
A2-20	CORE THROUGH EXISTING MASONRY WALL TO ACCOMMODATE MECHANICAL VENTILATION, SEE MEP DRAWINGS.
A2-21	CAREFULLY REMOVE ALL DETERIORATED & UNSOUND MORTAR JOINTS, CLEAN AND PREP MASONRY FOR REPOINTING. NEW MORTAR SHALL MATCH EXISTING. ASSUME APPROXIMATELY 5 SF OF MASONRY REPOINTING PER AREA, L.I.N.O.
A2-22	PROVIDE & INSTALL LIGHT GAUGE METAL STUD FRAMED PIPE CHASE WITH CORRUGATED INSULATED METAL METALS EQUAL TO "KINGSPAN, QUADCORE B DESIGN WALL R SERIES". FILL ENTIRE STUD CAVITY WITH MINERAL WOOL BATT INSULATION.



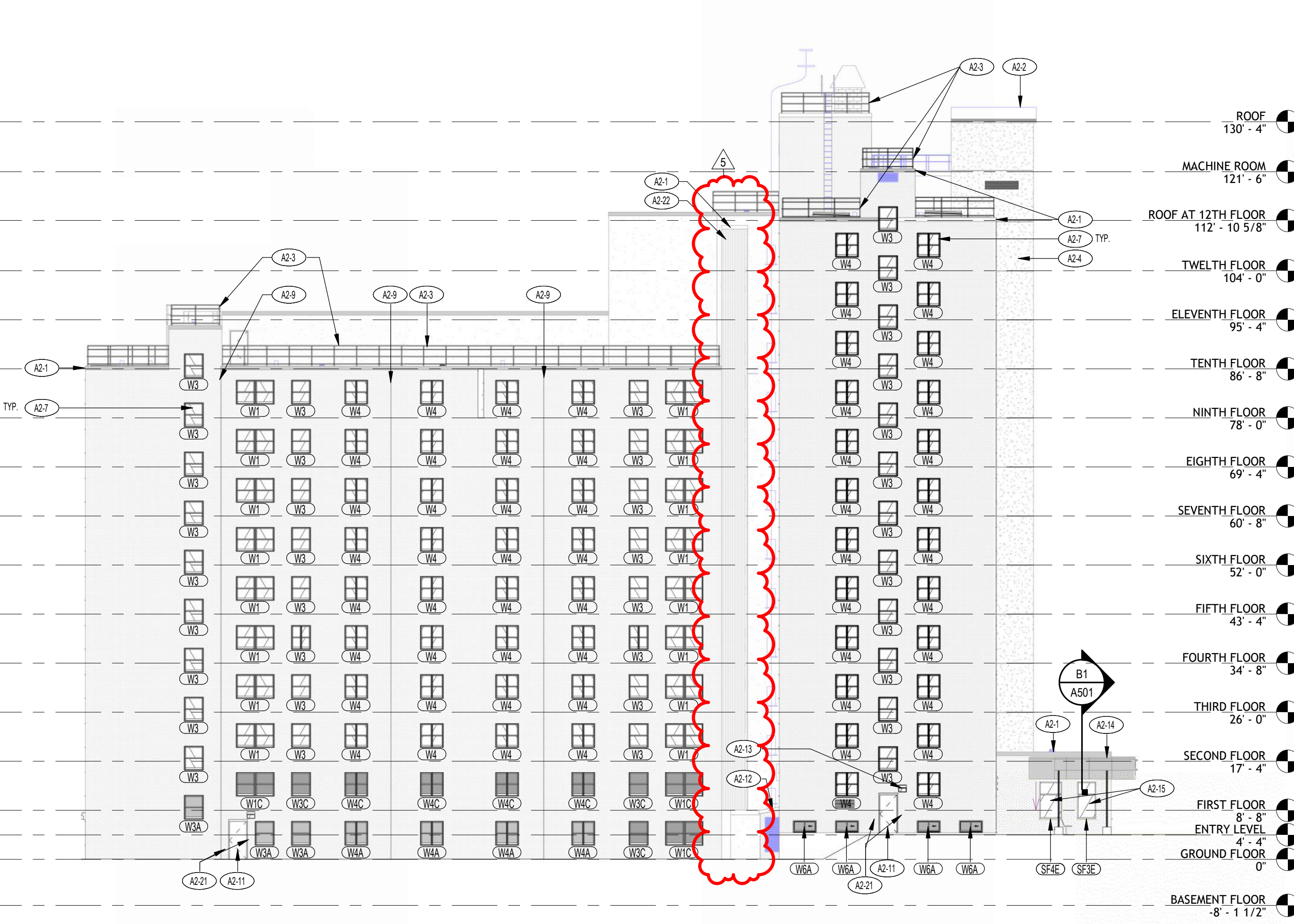
D1 SOUTH RENOVATION EXTERIOR ELEVATION - REAR ENTRANCE
 1/16" = 1'-0"



D4 TYPICAL EXTERIOR WALL INFILL DETAIL AT LAUNDRY ROOMS
 3/4" = 1'-0"



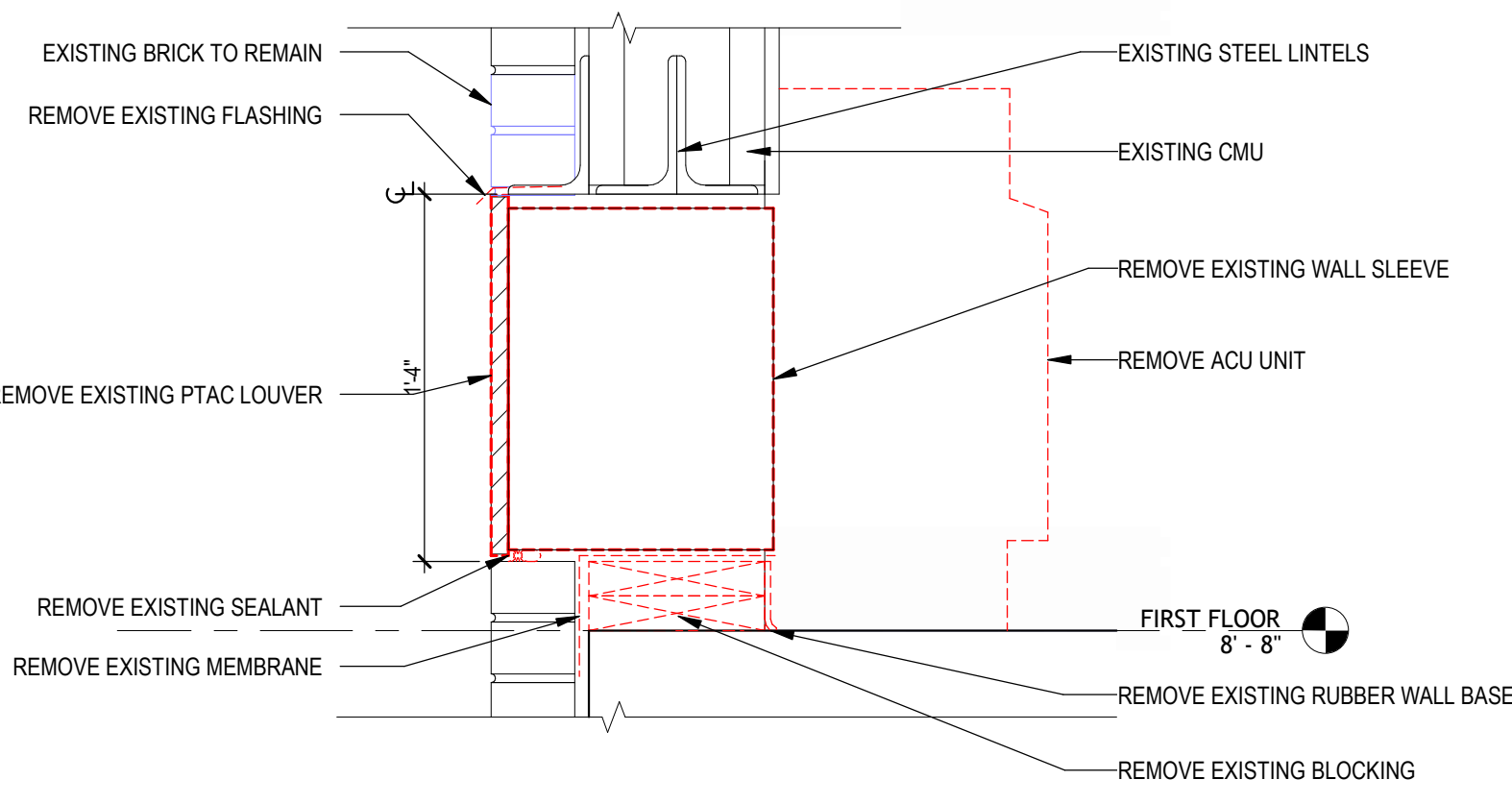
A1 SOUTH RENOVATION EXTERIOR ELEVATION
 1/16" = 1'-0"



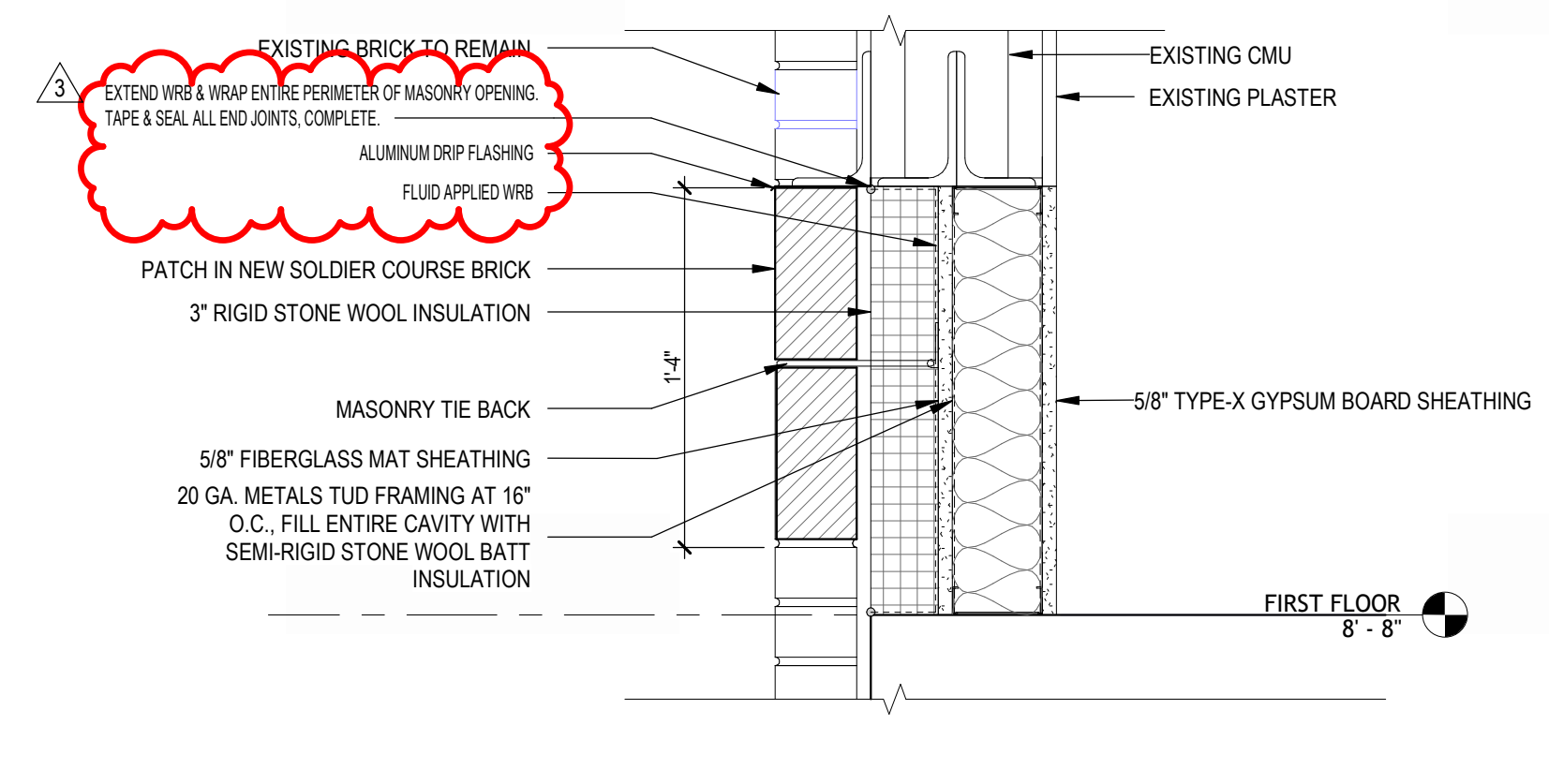
A7 WEST RENOVATION EXTERIOR ELEVATION
 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"
 SCALE: 3/4" = 1'-0"
 SCALE: 1/4" = 1'-0"
 SCALE: 1/8" = 1'-0"
 SCALE: 1/16" = 1'-0"

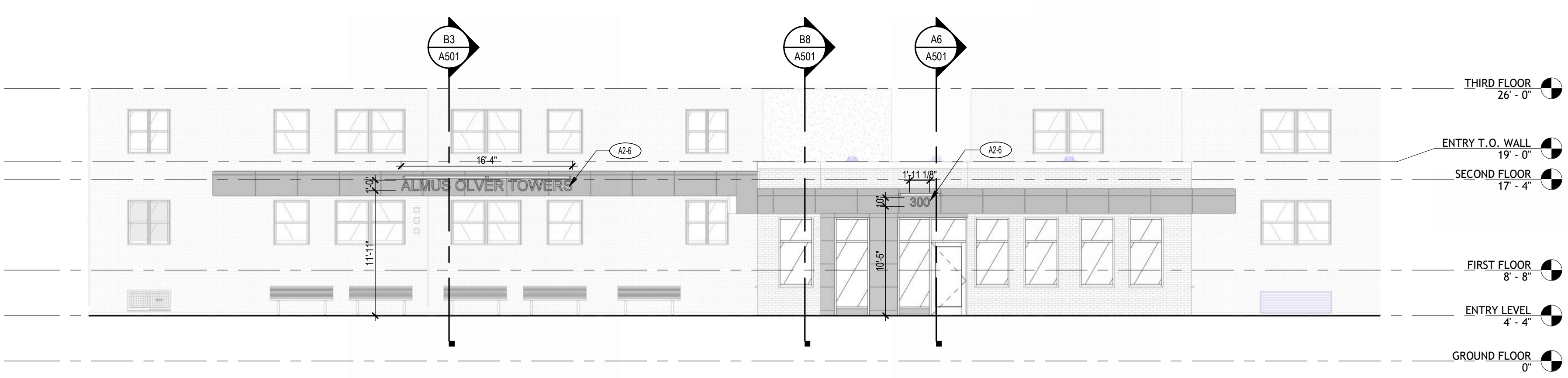
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G1 TYPICAL PTAC DEMOLITION DETAIL
1 1/2" = 1'-0"



G3 TYPICAL MASONRY INFILL DETAIL
1 1/2" = 1'-0"



E1 EXTERIOR SIGNAGE
1/8" = 1'-0"



A1 NORTH RENOVATION EXTERIOR ELEVATION
1/16" = 1'-0"



F7 EAST RENOVATION EXTERIOR ELEVATION
1/16" = 1'-0"

GENERAL NOTES - RENOVATION - ELEVATIONS

NO.	DESCRIPTION
1	COORDINATE EXACT LOCATIONS FOR ALL EXTERIOR WALL PENETRATIONS & WALL-MOUNTED EQUIPMENT WITH ARCHITECT'S REFER TO EXTERIOR ELEVATIONS & ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
2	ALL WALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO, PIPING, CONDUIT, LOUVERS, COVERS, VENTS, ETC., SHALL BE SHOP PAINTED TO MATCH THE ADJACENT EXTERIOR WALL FINISH, TYPICAL.
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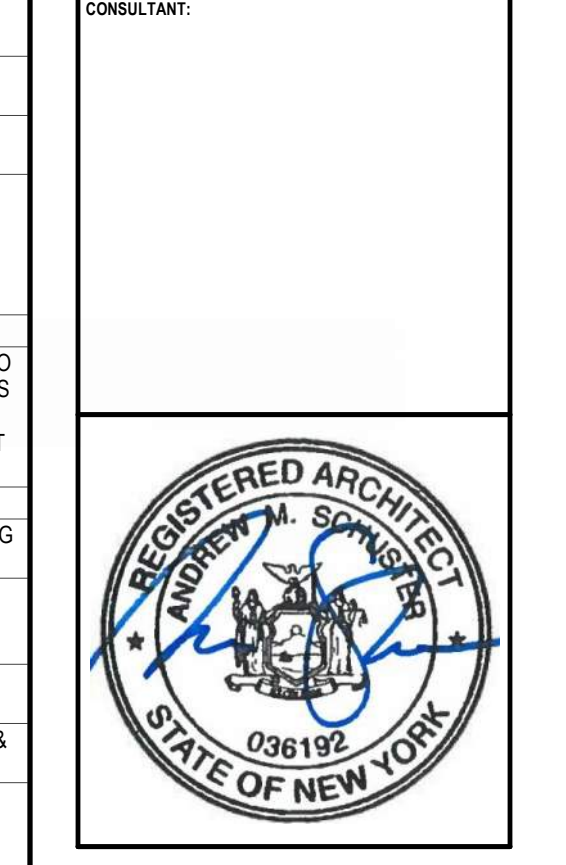
KEYNOTES

RENOVATION EXTERIOR ELEVATIONS
NOTE: NOT ALL KEYNOTES MAY BE REFERENCED.

NO.	DESCRIPTION
A2-1	PROVIDE & INSTALL ALUMINUM COPING WITH INTEGRAL DRIP EDGE, AT ALL ROOFS (ENTIRE BUILDING, U.N.O.)
A2-2	PREP, PRIME & PAINT EXISTING METAL ROOF, METAL ROOFING ACCESSORIES, GUTTERS, & DOWNSPOUTS, COMPLETE.
A2-3	RE-ATTACH EXISTING ROOF TO GUARDRAIL AND INSTALL INTERMEDIATE RAIL TO MATCH PROFILE, MATERIAL, AND FINISH, SEE DETAILS.
A2-4	PATCH EFS INSULATION WHERE EXISTING DECORATIVE EFS WAS REMOVED. PROVIDE & INSTALL NEW LAYER OF 1-1/2" EFS RIGID INSULATION AND ASSOCIATED EFS FINISH (SHOWN HATCHED) AND 1" DEEP V-GROOVES (REVEAL), TYPICAL PER MANUFACTURER'S REQUIREMENTS. MODIFY EXISTING VENTS TO ACCOMMODATE NEW EFS & ASSOCIATED INSULATION.
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A2-9	PROVIDE & INSTALL FLEXIBLE EPOXY CONTROL JOINT SEALER/ADHESIVE WHERE THE EXISTING CONTROL JOINT SEALANT WAS REMOVED. COLOR FINISH TO MATCH ADJACENT BRICK COLOR, TYPICAL, ENTIRE BUILDING.
A2-10	PATCH MASONRY OPENING WHERE EXISTING EQUIPMENT WAS REMOVED, SEE DETAIL, TYPICAL.
A2-11	PROVIDE & INSTALL NEW INSULATING DOOR & FRAME, COMPLETE. SEE RENOVATION PLANS & DOOR SCHEDULE.
A2-12	PROVIDE & INSTALL STANDING SEAM METAL ROOFING WHERE EXISTING ROOFING WAS REMOVED, WITH INTEGRAL ROOF EDGE ACCESSORIES & FLASHING PER MANUFACTURER REQUIREMENTS.
A2-13	PROVIDE & INSTALL NEW WALL PACK WHERE EXISTING WAS REMOVED, SEE ELECTRICAL DRAWINGS.
A2-14	NEW CANOPY, SEE DETAILS AND STRUCTURAL DRAWINGS.
A2-15	PROVIDE & INSTALL NEW STOREFRONT & GLAZING SYSTEM, SEE STOREFRONT SCHEDULE.
A2-16	NEW COMPOSITE ALUMINUM PANELS AND ASSOCIATED WALL ASSEMBLY, SEE DETAILS AND STRUCTURAL DRAWINGS.
A2-17	RELOCATE EXISTING METAL BENCHES, THIS LOCATION, ANCHOR BENCHES TO THE CONCRETE WALK.
A2-19	INSTALL METAL LADDER THAT WAS SALVAGED DURING DEMOLITION, THIS LOCATION, MODIFY EXISTING GUARDRAIL AS REQUIRED TO ACCOMMODATE LADDER.
A2-20	CORE THROUGH EXISTING MASONRY WALL TO ACCOMMODATE MECHANICAL VENTILATION, SEE MEP DRAWINGS.
A2-21	CAREFULLY REMOVE ALL DETERIORATED & UNSOUND MORTAR JOINTS, CLEAN AND PREP MASONRY FOR REPOINTING, NEW MORTAR SHALL MATCH EXISTING, ASSUME APPROXIMATELY 5 SF OF MASONRY REPOINTING PER AREA, U.N.O.
A2-22	PROVIDE & INSTALL LIGHT GAUGE METAL STUD FRAMED PIPE CHASE WITH CORRUGATED INSULATED METAL METALS EQUAL TO "KINGSPIRAN, QUADCORE B DESIGN WALL R SERIES", FILL ENTIRE STUD CAVITY WITH MINERAL WOOL BATT INSULATION.



125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202



ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
 300 BURT STREET, SYRACUSE, NEW YORK 13202

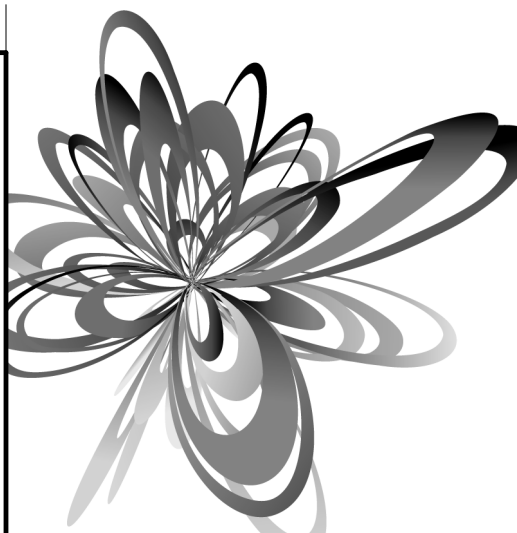
21116

REV. NO.	DATE	REV. DESCRIPTION
3	8.09.24	HCR Revisions
5	9.23.24	HVAC

SEPTEMBER 23, 2024

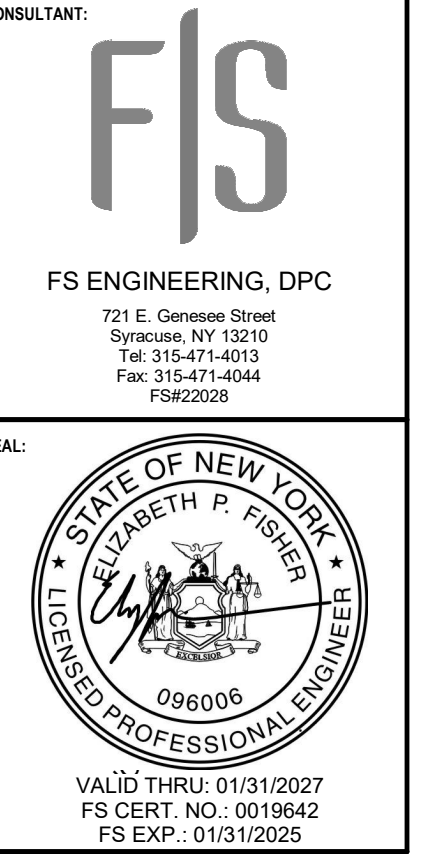
NORTH & EAST RENOVATION EXTERIOR ELEVATIONS

A201



ASHLEY MCGRAW

125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202



ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

PROJECT NO. 21116

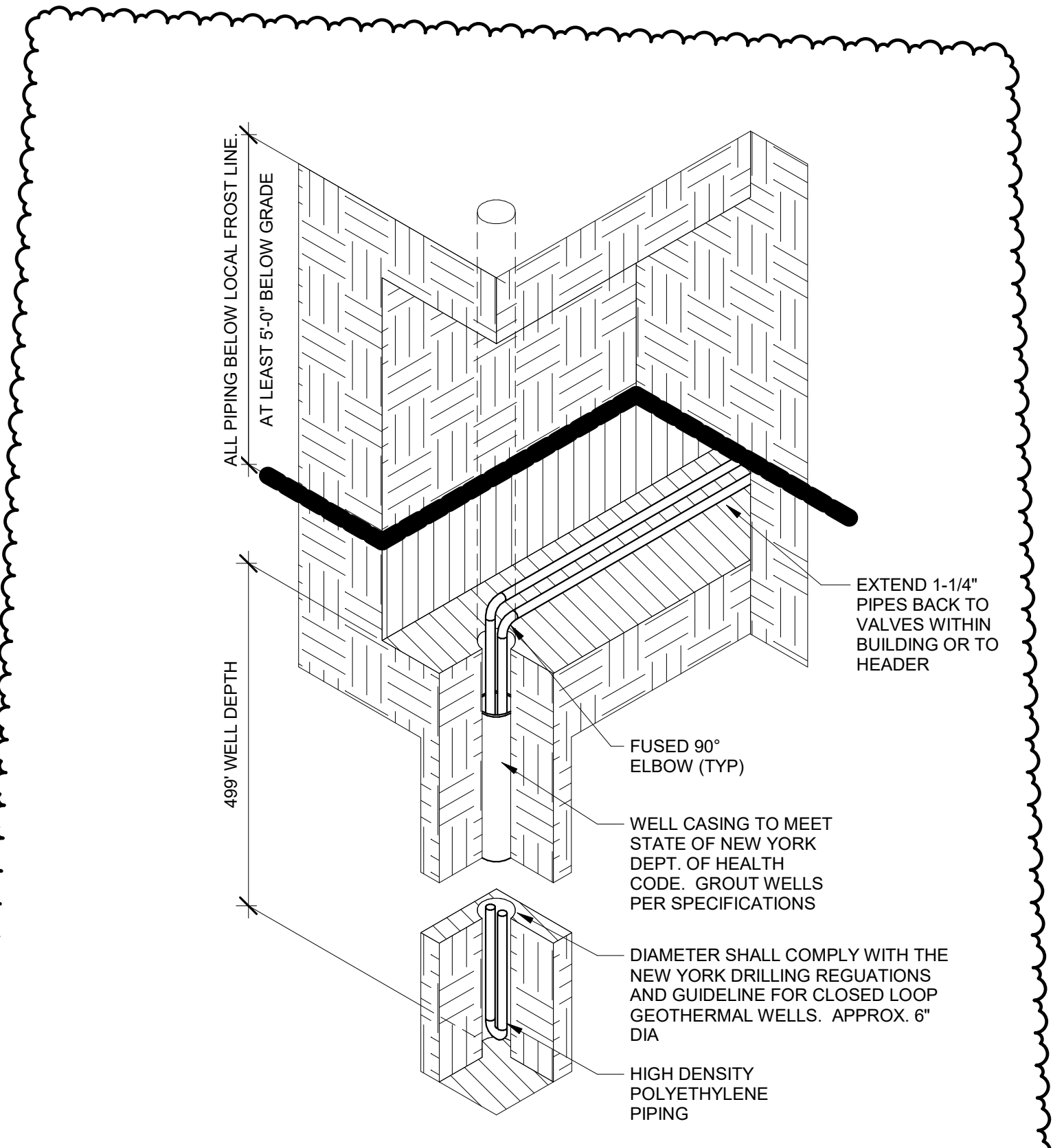
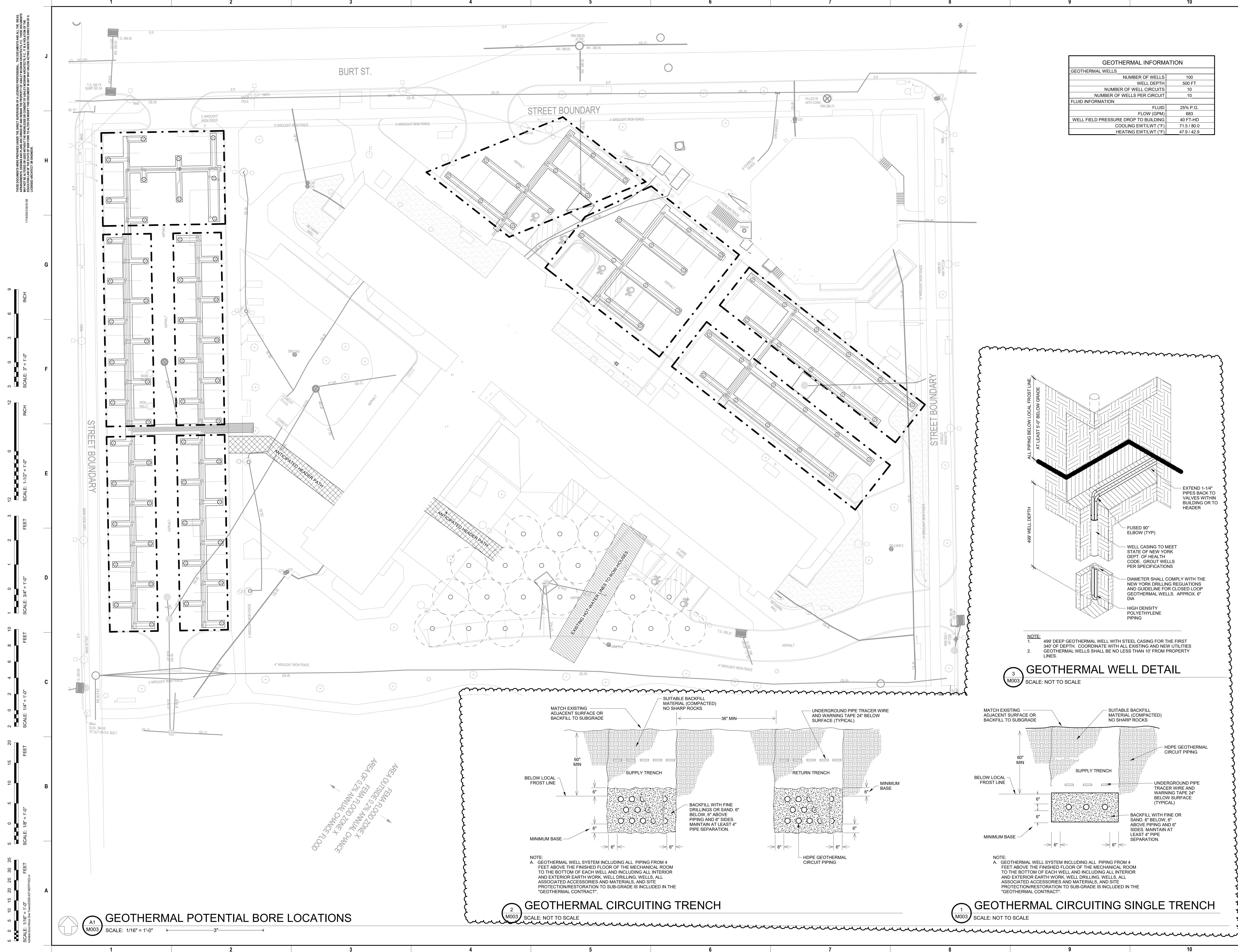
REV. NO. DATE REV. DESCRIPTION
5 09.23.24 CONFORMED DOCUMENTS

DATE ISSUED: SEPTEMBER 23, 2024

GEOTHERMAL SITE PLAN

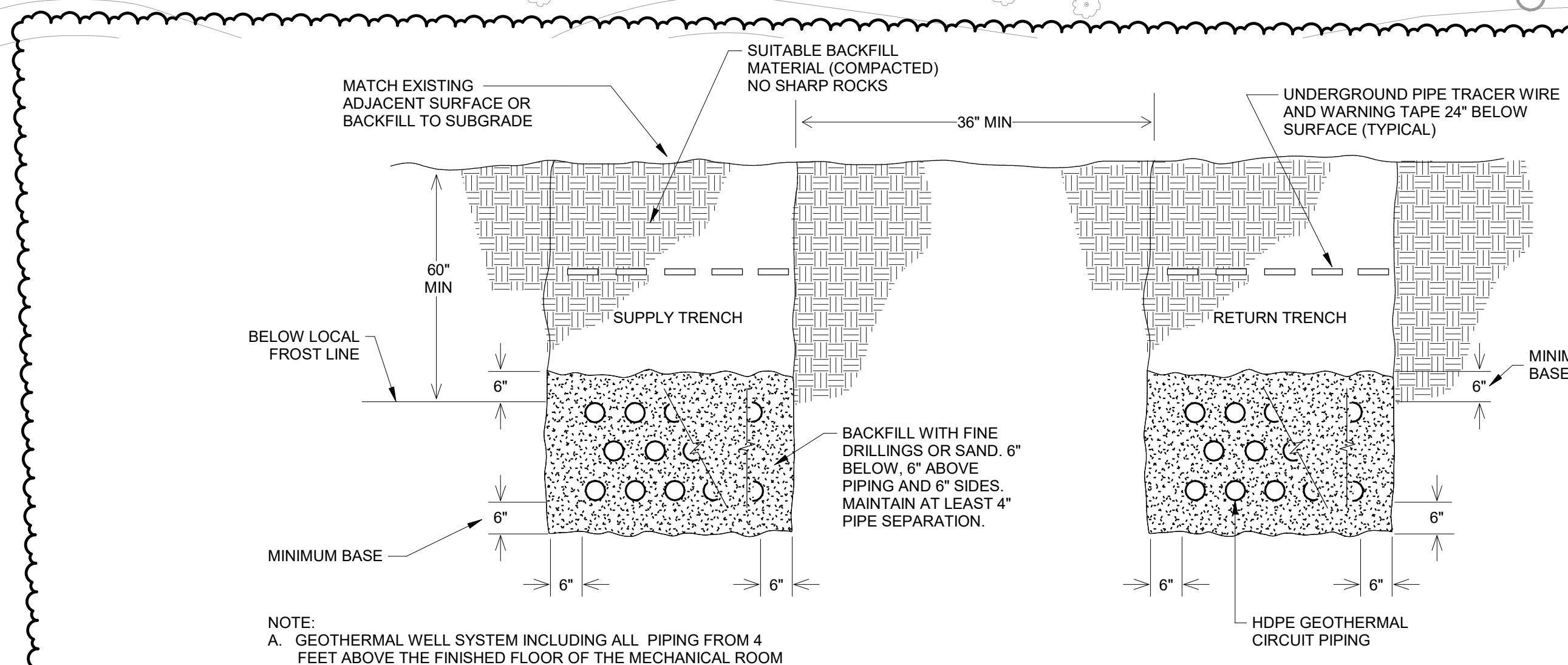
M003

GEOTHERMAL INFORMATION		
GEOTHERMAL WELLS	NUMBER OF WELLS	100
	WELL DEPTH	500 FT
	NUMBER OF WELL CIRCUITS	10
	NUMBER OF WELLS PER CIRCUIT	10
FLUID INFORMATION		
	FLUID	25% P.G.
	FLOW (GPM)	683
WELL FIELD PRESSURE DROP TO BUILDING		40 FT-HD
COOLING EWT/LWT (°F)		71.5 / 80.0
HEATING EWT/LWT (°F)		47.9 / 42.9



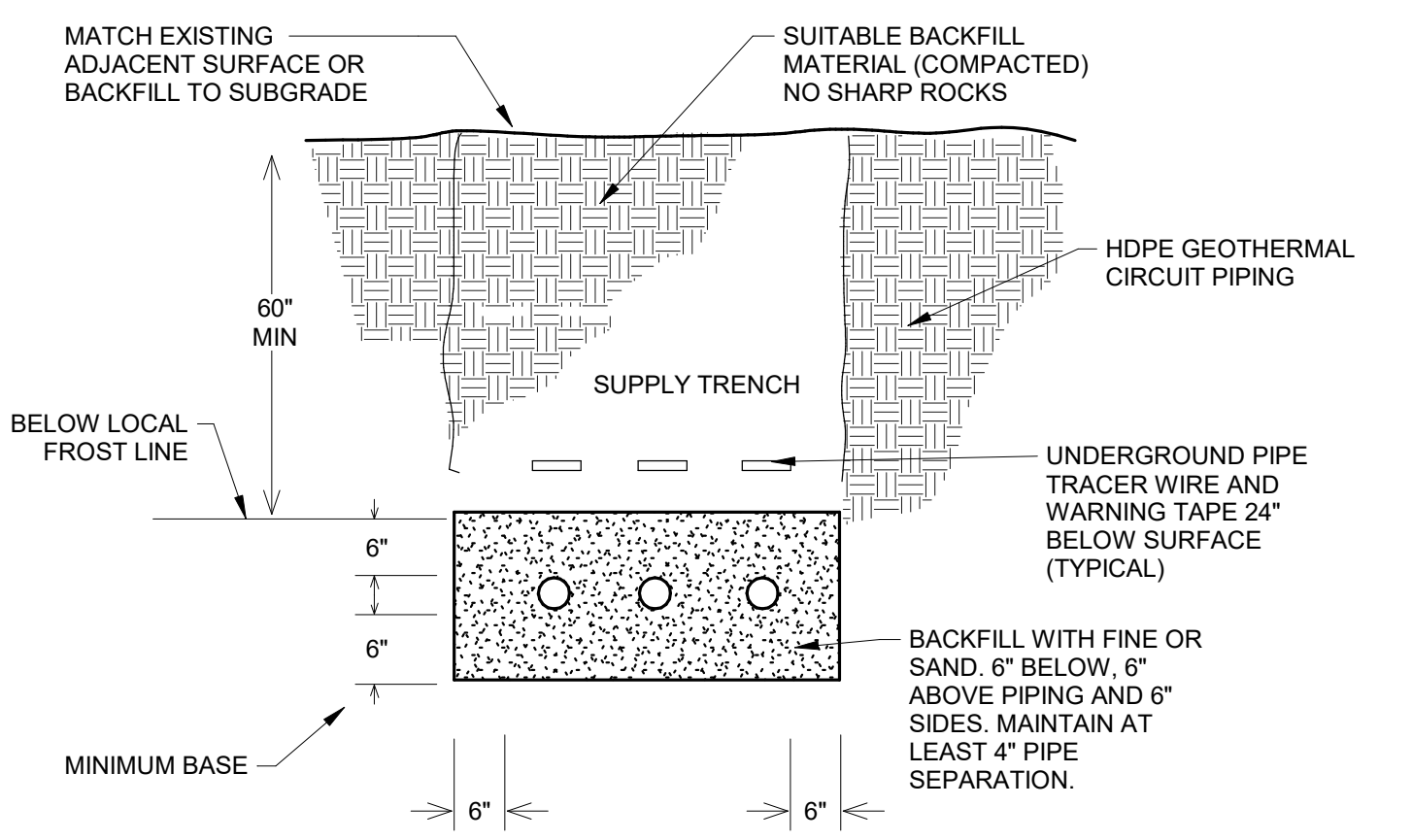
- NOTE:**
- 499' DEEP GEOTHERMAL WELL WITH STEEL CASING FOR THE FIRST 340' OF DEPTH. COORDINATE WITH ALL EXISTING AND NEW UTILITIES. GEOTHERMAL WELLS SHALL BE NO LESS THAN 10' FROM PROPERTY LINES.

3 GEOTHERMAL WELL DETAIL
SCALE: NOT TO SCALE



- NOTE:**
- A. GEOTHERMAL WELL SYSTEM INCLUDING ALL PIPING FROM 4 FEET ABOVE THE FINISHED FLOOR OF THE MECHANICAL ROOM TO THE BOTTOM OF EACH WELL AND INCLUDING ALL INTERIOR AND EXTERIOR EARTH WORK, WELL DRILLING, WELLS, ALL ASSOCIATED ACCESSORIES AND MATERIALS, AND SITE PROTECTION/RESTORATION TO SUB-GRADE IS INCLUDED IN THE 'GEOTHERMAL CONTRACT'.

2 GEOTHERMAL CIRCUITING TRENCH
SCALE: NOT TO SCALE



- NOTE:**
- A. GEOTHERMAL WELL SYSTEM INCLUDING ALL PIPING FROM 4 FEET ABOVE THE FINISHED FLOOR OF THE MECHANICAL ROOM TO THE BOTTOM OF EACH WELL AND INCLUDING ALL INTERIOR AND EXTERIOR EARTH WORK, WELL DRILLING, WELLS, ALL ASSOCIATED ACCESSORIES AND MATERIALS, AND SITE PROTECTION/RESTORATION TO SUB-GRADE IS INCLUDED IN THE 'GEOTHERMAL CONTRACT'.

1 GEOTHERMAL CIRCUITING SINGLE TRENCH
SCALE: NOT TO SCALE




A1 GEOTHERMAL POTENTIAL BORE LOCATIONS
SCALE: 1/16" = 1'-0"



ASHLEY MCGRAW

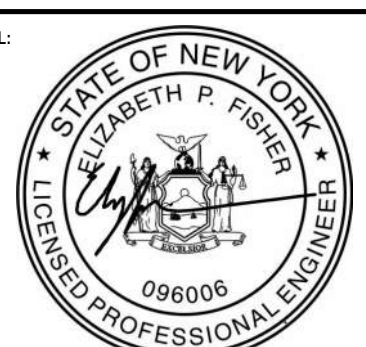
125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202

CONSULTANT:



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Fax: 315-471-4044
F0820208

SEAL:



STATE OF NEW YORK
LIBERTY AND JUSTICE UNDER LAW
ROSEBETH P. FISHER
096005
PROFESSIONAL ENGINEER
VALID THRU: 01/31/2027
FS CERT. NO. 0019842
FS EXP. 01/31/2025

OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

NYS HFA PROJECT NO.

AW JOB NO. 21116

REV. NO.	DATE	REV. DESCRIPTION
3	Date 3	GEO REVISIONS
5	09.23.24	CONFORMED DOCUMENTS

DATE ISSUED: SEPTEMBER 23, 2024

OVERALL HVAC PLAN, BASEMENT

REV. NO.	DATE	REV. DESCRIPTION
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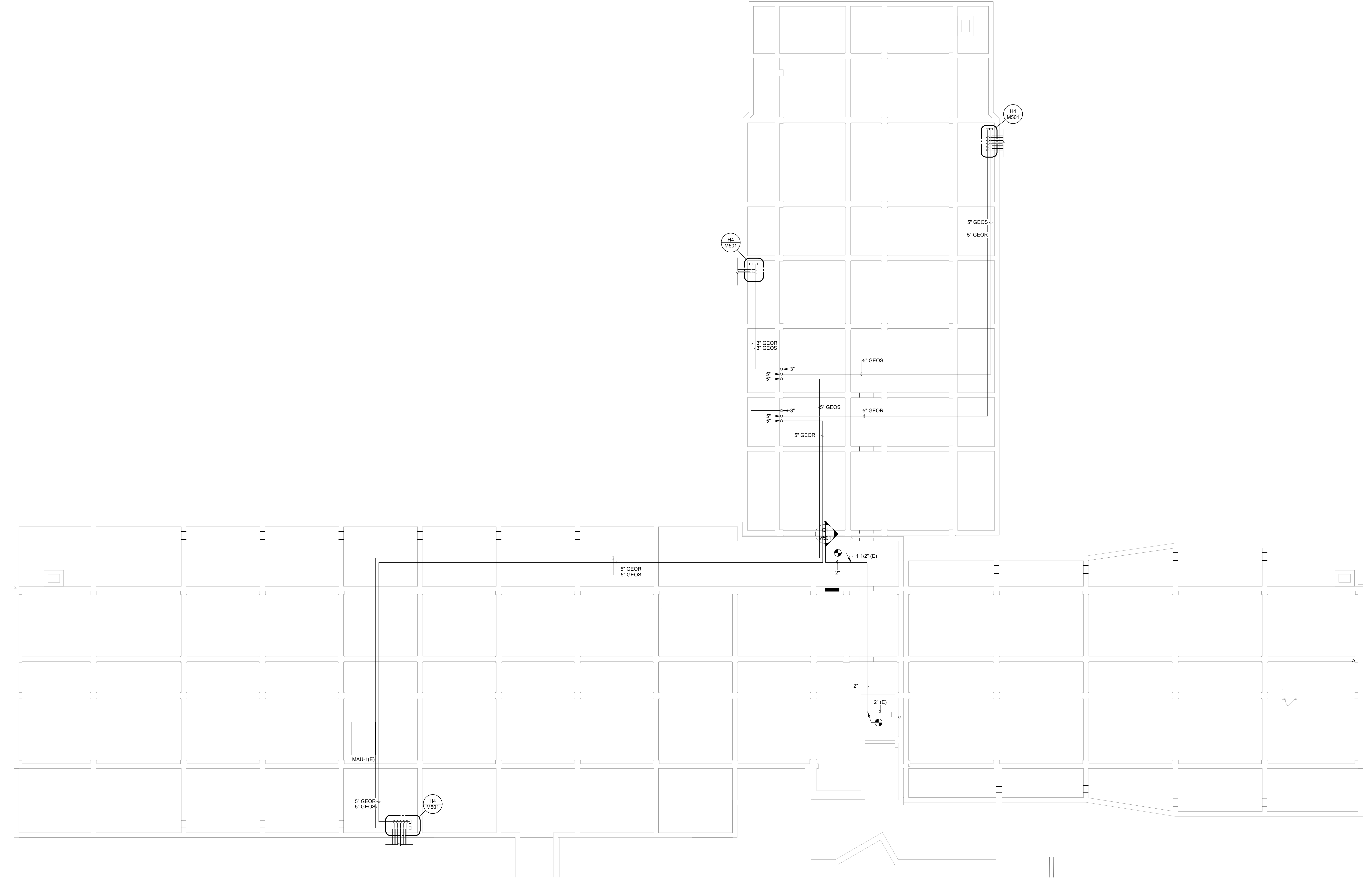
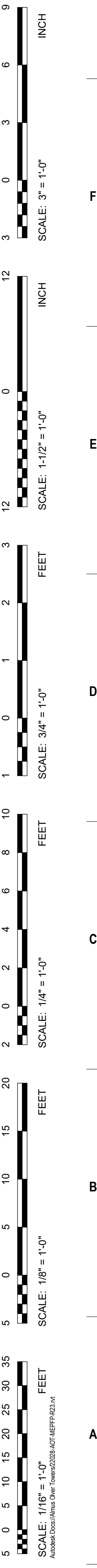
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OVERALL HVAC PLAN, BASEMENT

M090


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A1 OVERALL PLAN - BASEMENT
SCALE: 1/8" = 1'-0"

FS
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Syracuse, NY 13202
Tel: 315-471-4000
Fax: 315-471-4044
E: info@fseng.com



VALID THRU: 01/31/2027
FS CERT. NO. 0019842
FS EXP. 01/31/2025

ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

NYS WFA PROJECT NO.

AW JOB NO. **21116**

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DATE ISSUED: **SEPTEMBER 23, 2024**

OVERALL HVAC PLAN, GROUND FLOOR

M100

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9 INCH
6 INCH
3 INCH
SCALE: 3" = 1'-0"

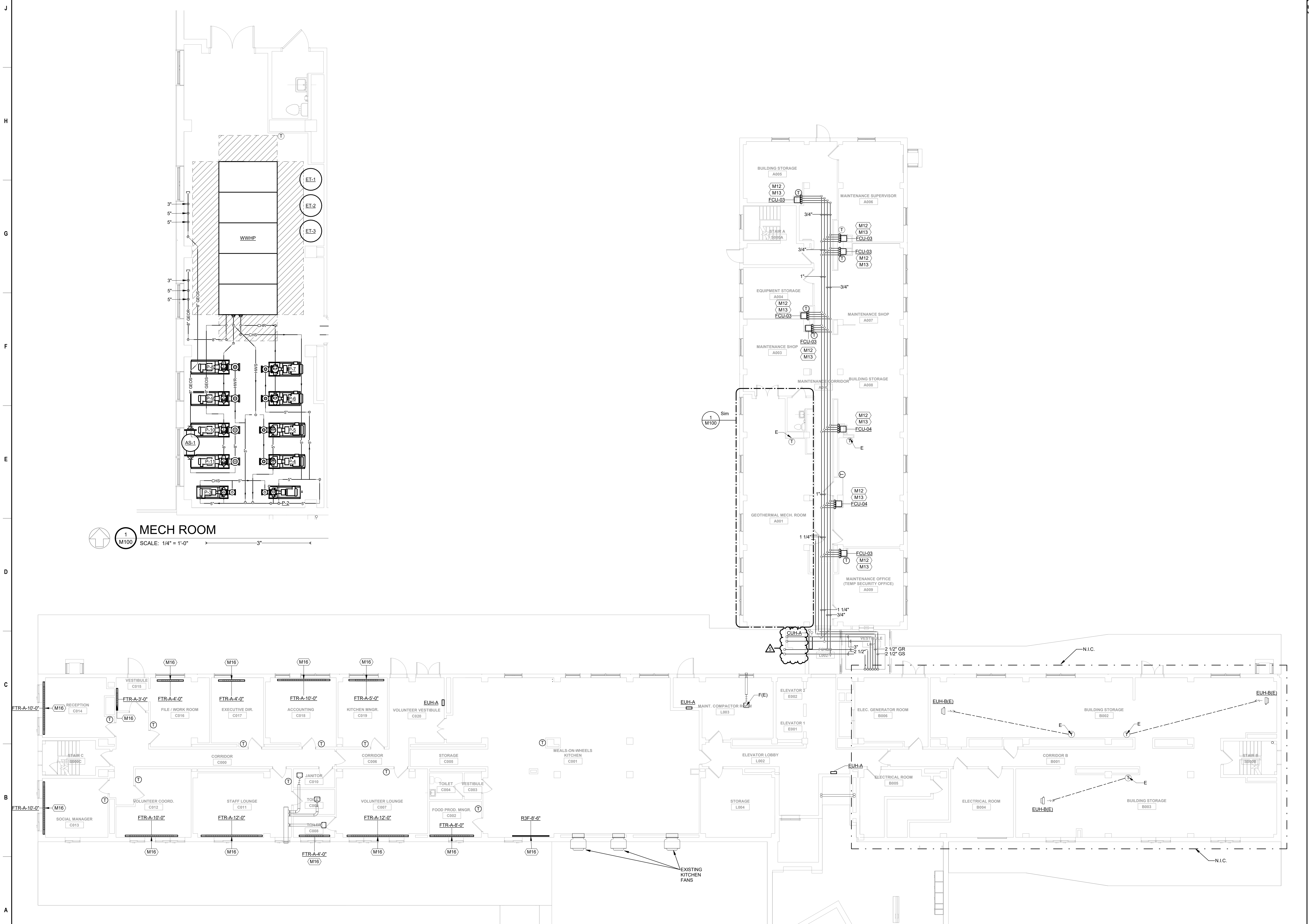
12 INCH
0 INCH
SCALE: 1 1/2" = 1'-0"

3 FEET
2 FEET
1 FEET
SCALE: 3/4" = 1'-0"

10 FEET
8 FEET
6 FEET
4 FEET
2 FEET
SCALE: 1/4" = 1'-0"

20 FEET
15 FEET
10 FEET
5 FEET
SCALE: 1/8" = 1'-0"

35 FEET
30 FEET
25 FEET
20 FEET
15 FEET
10 FEET
5 FEET
SCALE: 1/16" = 1'-0"



A1 OVERALL PLAN - GROUND FLOOR
SCALE: 1/8" = 1'-0"

1 MECH ROOM
SCALE: 1/4" = 1'-0"

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MECHANICAL KEYED NOTES	
M9	RACK DRYER EXHAUST DUCTS ALONG WALL AND TERMINATE EACH RUN WITH A WALL CAP AND INTEGRATED BACKDRAFT DAMPER, TYPICAL OF 3 DUCTS)
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.
M15	EXTEND NEW 6X6 EXHAUST UP TO AND CONNECT INTO EXISTING 8X9 EXHAUST RISER ON THE SECOND FLOOR.



125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202

CONSULTANT:

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Fax: 315-471-4044
F0620208

SEAL:

ELIZABETH P. FISHER
096005
PROFESSIONAL ENGINEER
VALID THRU: 01/31/2027
FS CERT. NO.: 0019842
FS EXP.: 01/31/2025

OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

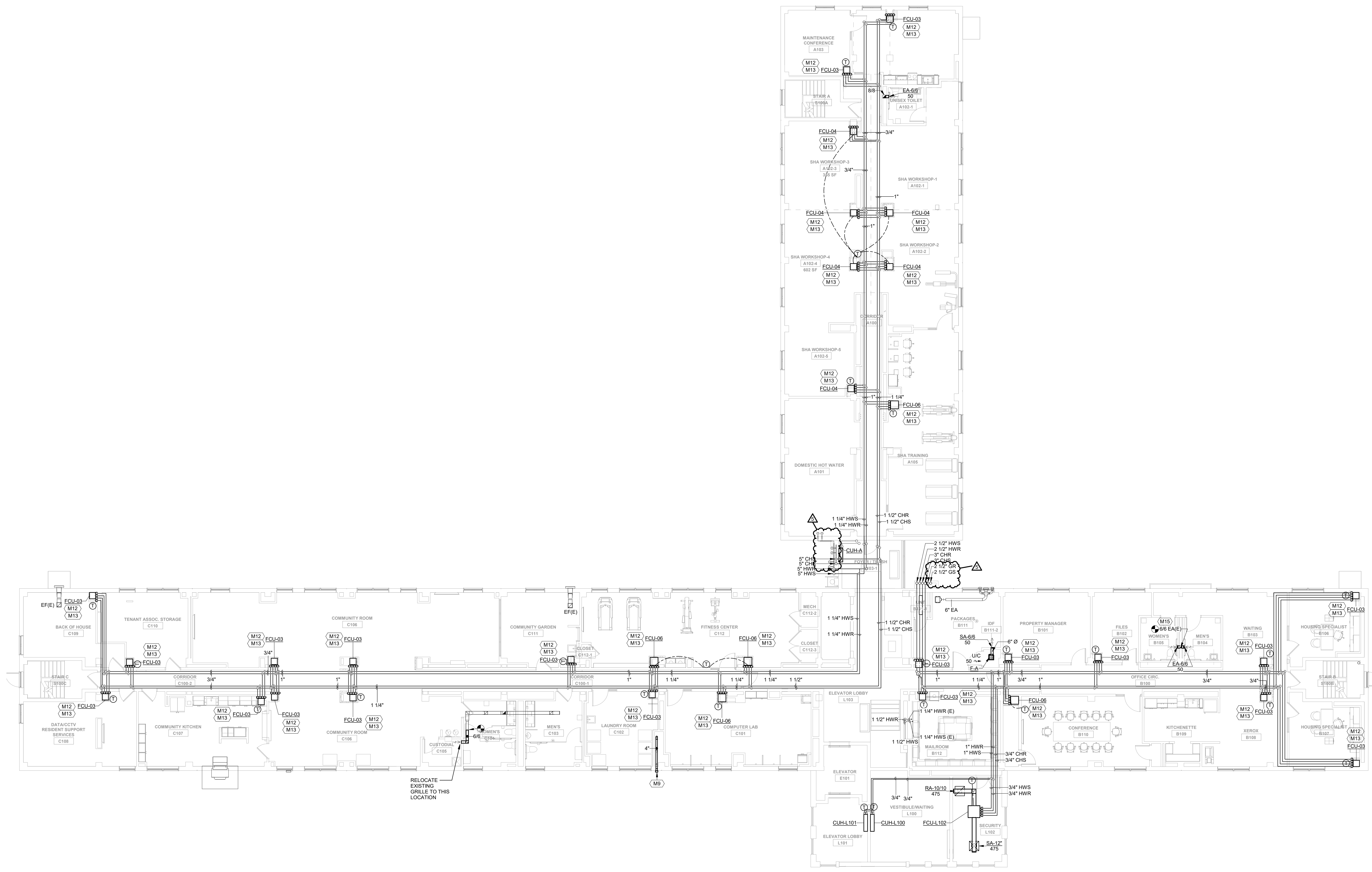
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NYS JOB NO.	21116

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3	Date 3	GEO REVISIONS
5	09.23.24	CONFORMED DOCUMENTS

DATE ISSUED:
SEPTEMBER 23, 2024

OVERALL HVAC
PLAN, FIRST
FLOOR

M101



OVERALL PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"

9 INCH
6 INCH
3 INCH
0 INCH
SCALE: 3/4" = 1'-0"

12 INCH
9 INCH
6 INCH
3 INCH
0 INCH
SCALE: 1/2" = 1'-0"

3 FEET
2 FEET
1 FEET
0 FEET
SCALE: 3/4" = 1'-0"

1 FEET
0 FEET
SCALE: 1/2" = 1'-0"

20 FEET
15 FEET
10 FEET
5 FEET
0 FEET
SCALE: 1/8" = 1'-0"

A1
M101

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MECHANICAL KEYED NOTES

- M8 EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.
- M12 EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
- M13 MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



ASHLEY MCGRAW

125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202

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STATE OF NEW YORK
SEBASTH P. FISHER
096006
LICENSED PROFESSIONAL ENGINEER

VALID THRU: 01/31/2027
FS CERT. NO.: 0019842
FS EXP.: 01/31/2025

OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

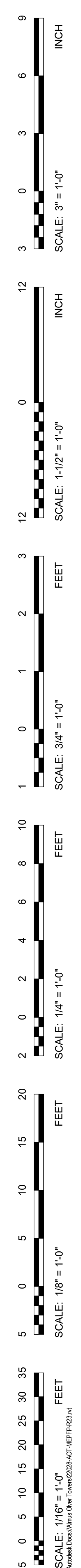
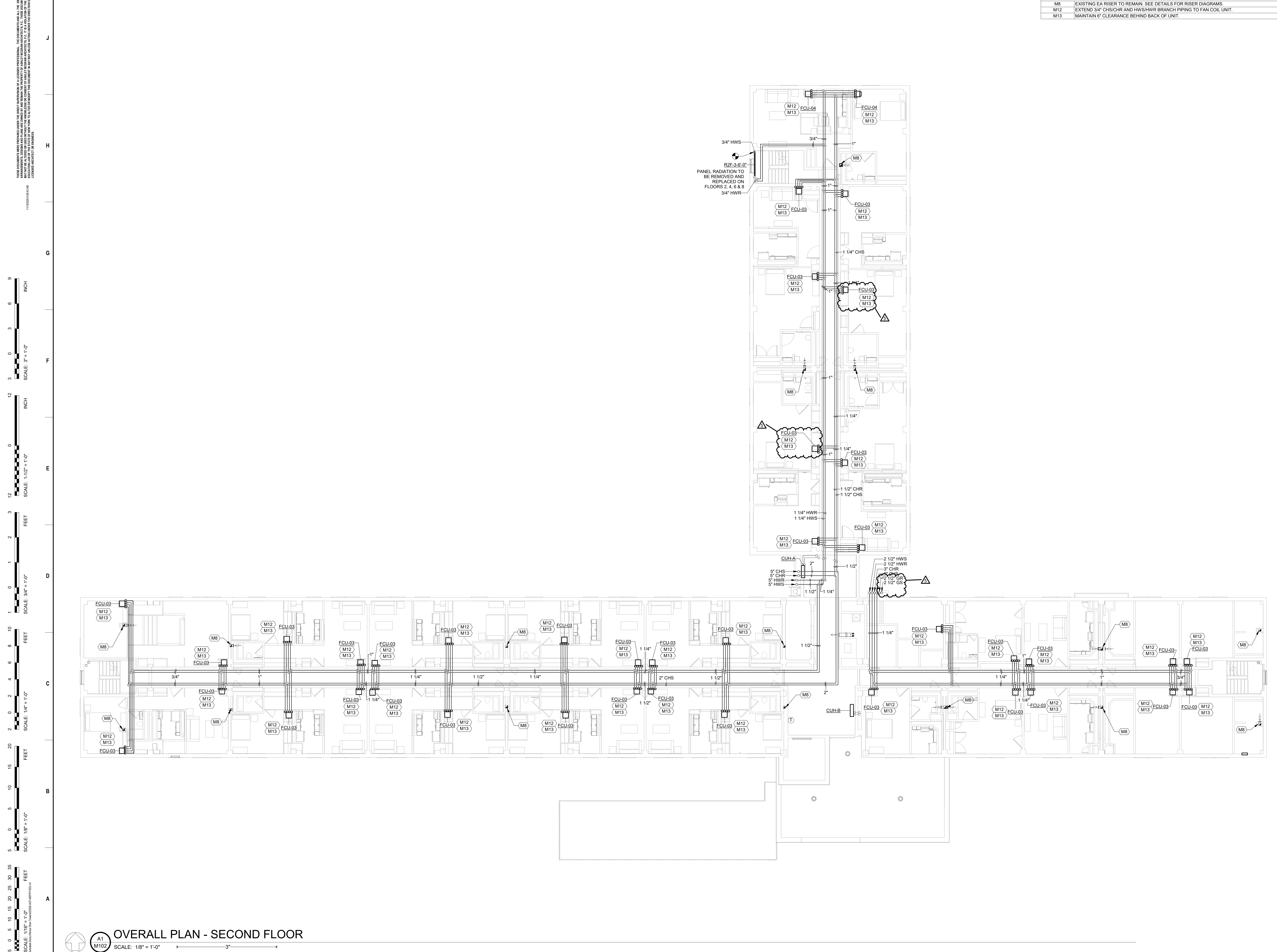
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AIR JOB NO. 21116

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OVERALL HVAC PLAN, SECOND FLOOR (TYPICAL OF 2, 7, 8)

M102



OVERALL PLAN - SECOND FLOOR
SCALE: 1/8" = 1'-0"

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MECHANICAL KEYED NOTES

M8	EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202

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Fax: 315-471-4044
F0620038

SEAL:

ELIZABETH P. FISHER
096005
VALID THRU: 01/31/2027
FS CERT. NO. 0019642
FS EXP. 01/31/2025

OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

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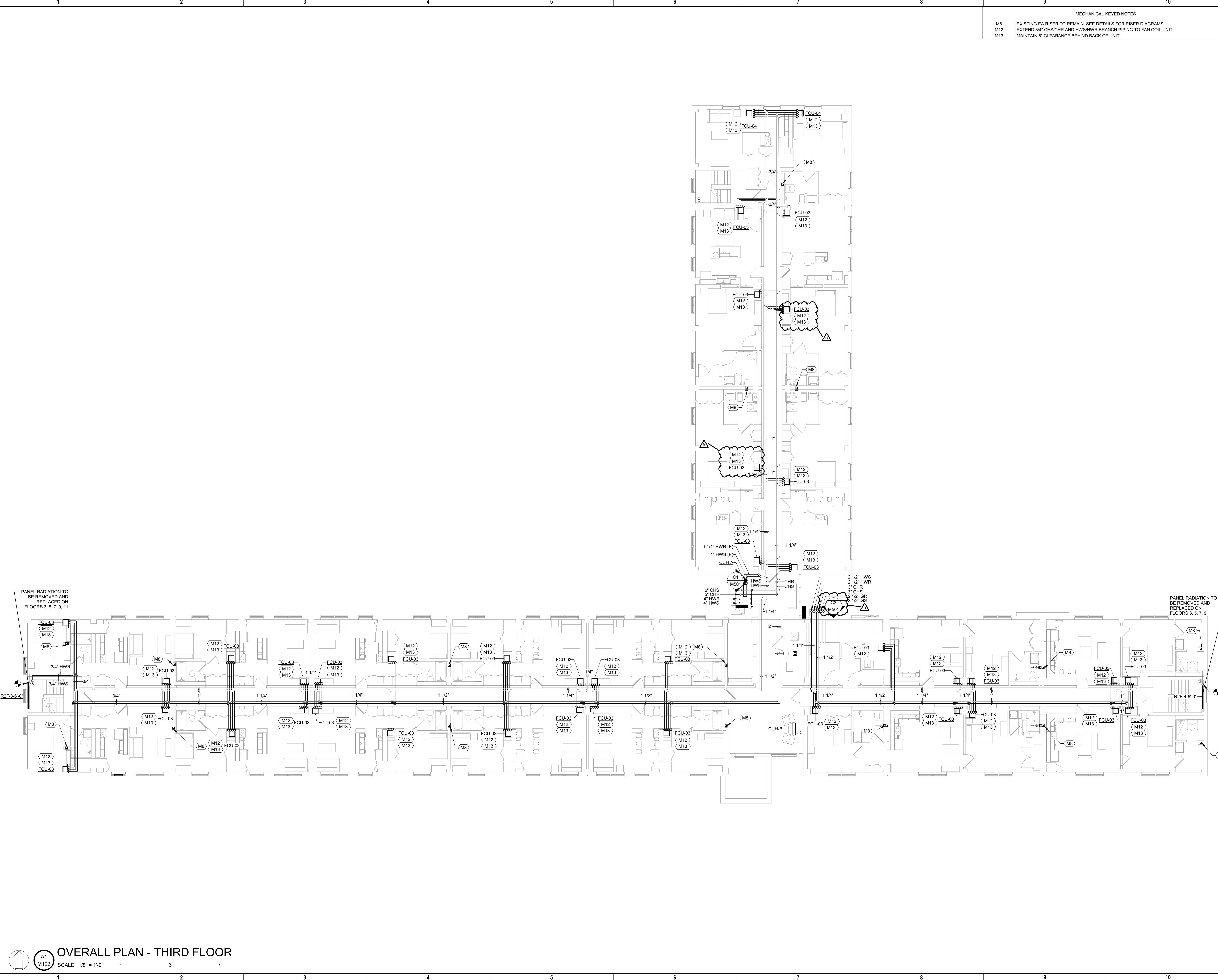
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SEPTEMBER 23, 2024

OVERALL HVAC
PLAN, THIRD
FLOOR (TYP. 3, 4, 5,
6)

M103



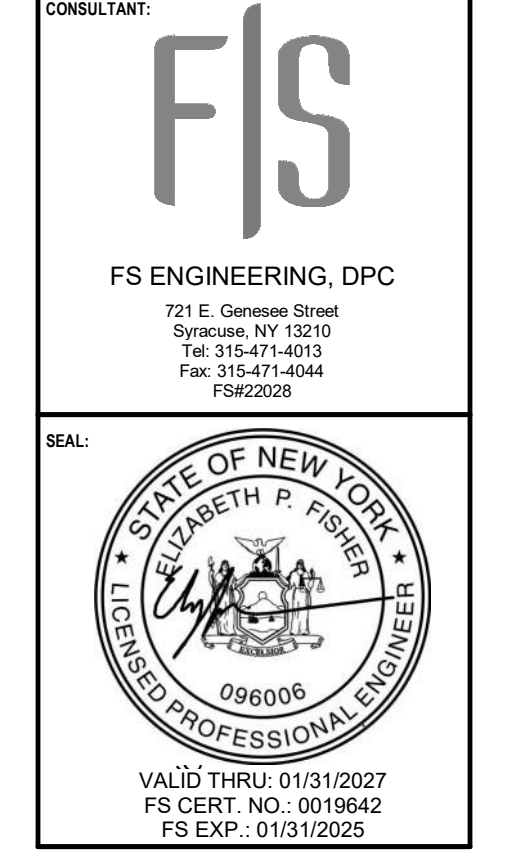
A1 OVERALL PLAN - THIRD FLOOR
SCALE: 1/8" = 1'-0"

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MECHANICAL KEYED NOTES	
M8	EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



ASHLEY MCGRAW
125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202



ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

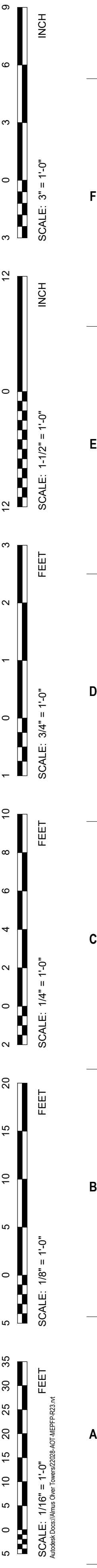
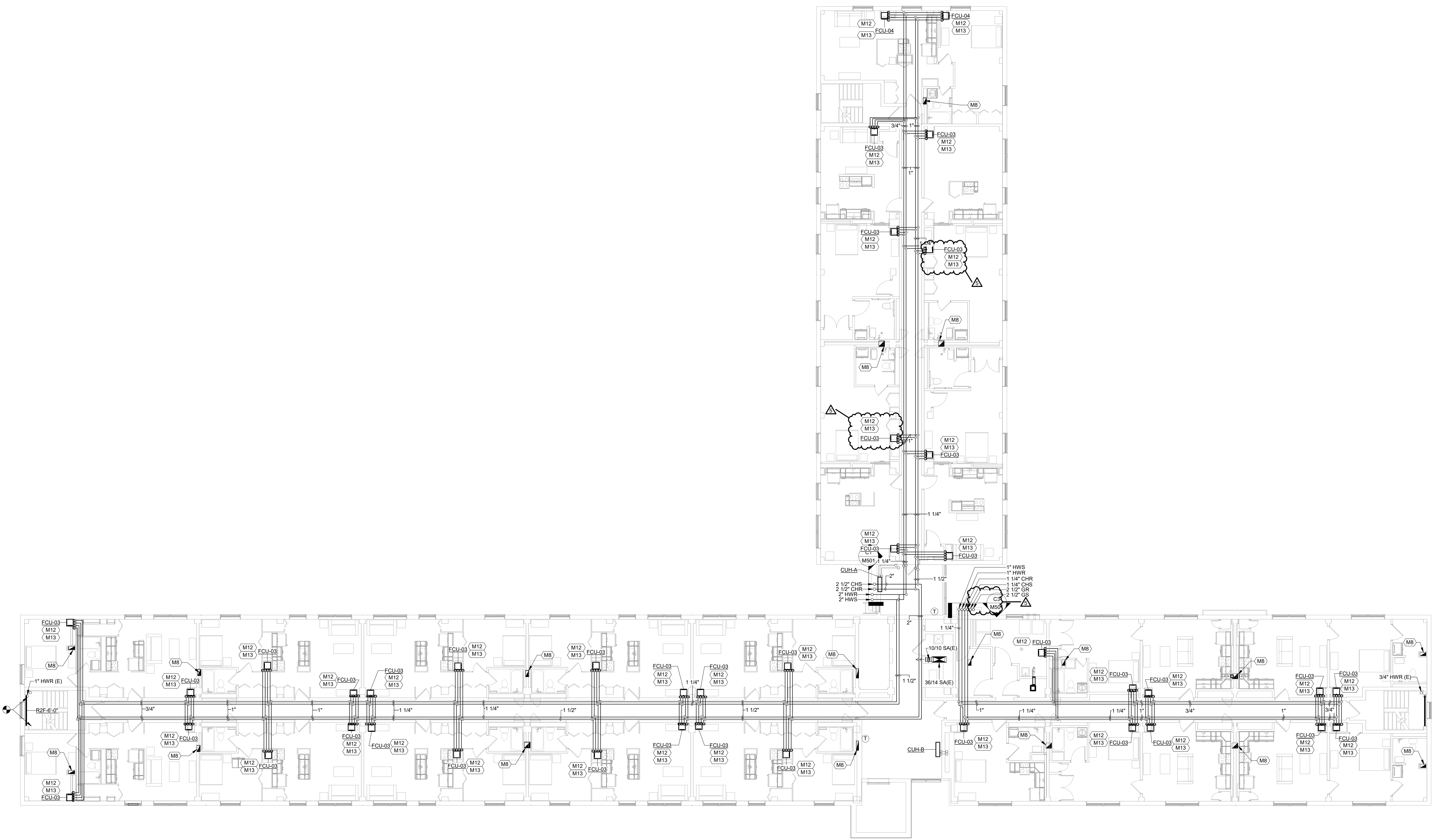
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OVERALL HVAC PLAN, NINTH FLOOR

M104



A1 OVERALL PLAN - NINTH FLOOR
SCALE: 1/8" = 1'-0"

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MECHANICAL KEYED NOTES	
M8	EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



125 EAST JEFFERSON STREET
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ELIZABETH P. FISHER
096006
PROFESSIONAL ENGINEER
VALID THRU: 01/31/2027
FS CERT. NO. 0019842
FS EXP. 01/31/2025

OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

NYS IFA PROJECT NO:
AIR JOB NO: 21116

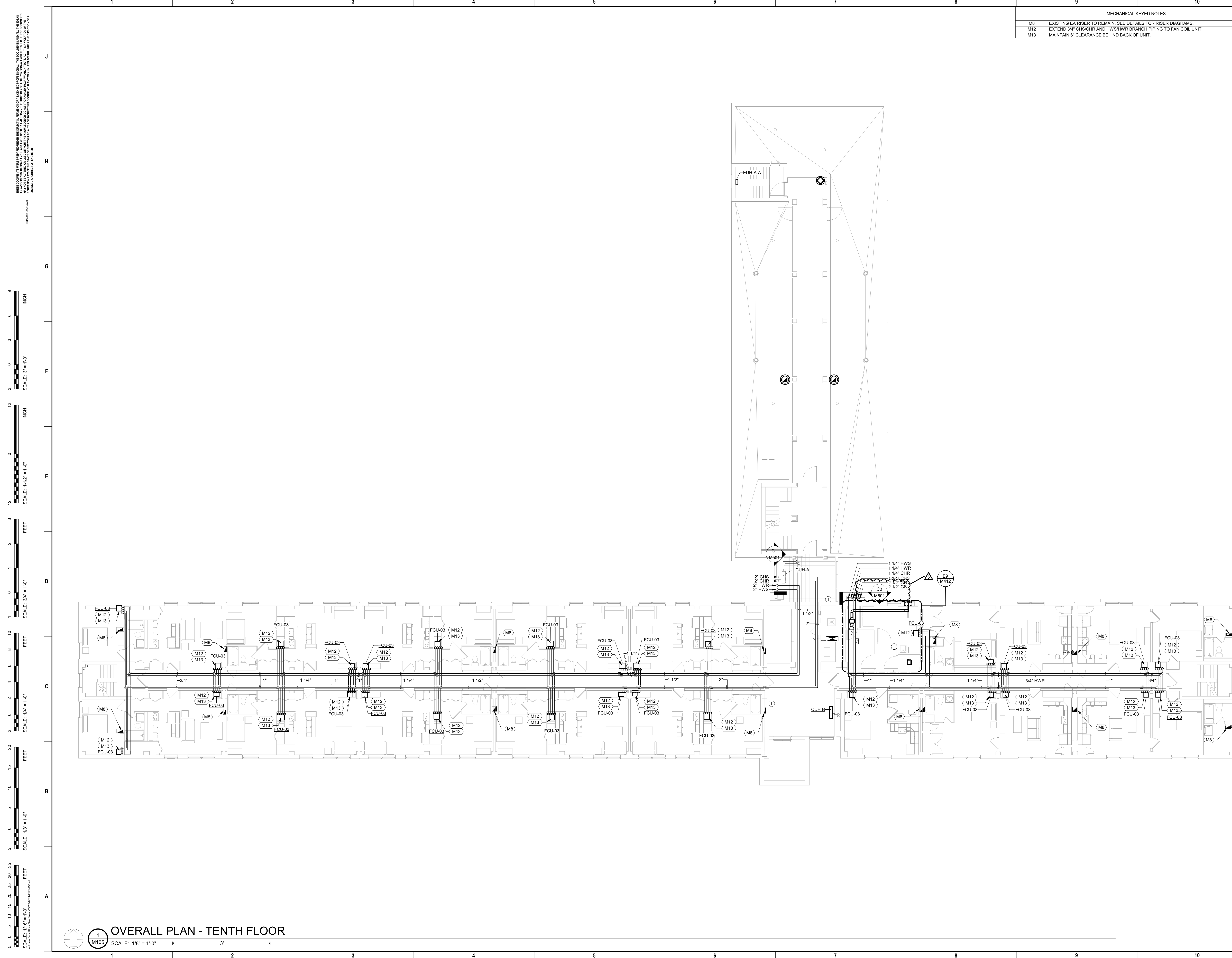
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OVERALL HVAC PLAN, TENTH FLOOR

M105

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1 OVERALL PLAN - TENTH FLOOR
SCALE: 1/8" = 1'-0"

MECHANICAL KEYED NOTES	
M8	EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.




125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202

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SEAL:



VALID THRU: 01/31/2027
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OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP

RENOVATIONS to the ALMUS OLVER TOWERS

300 BURT STREET, SYRACUSE, NEW YORK 13202

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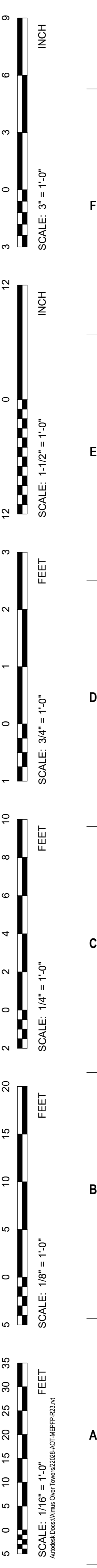
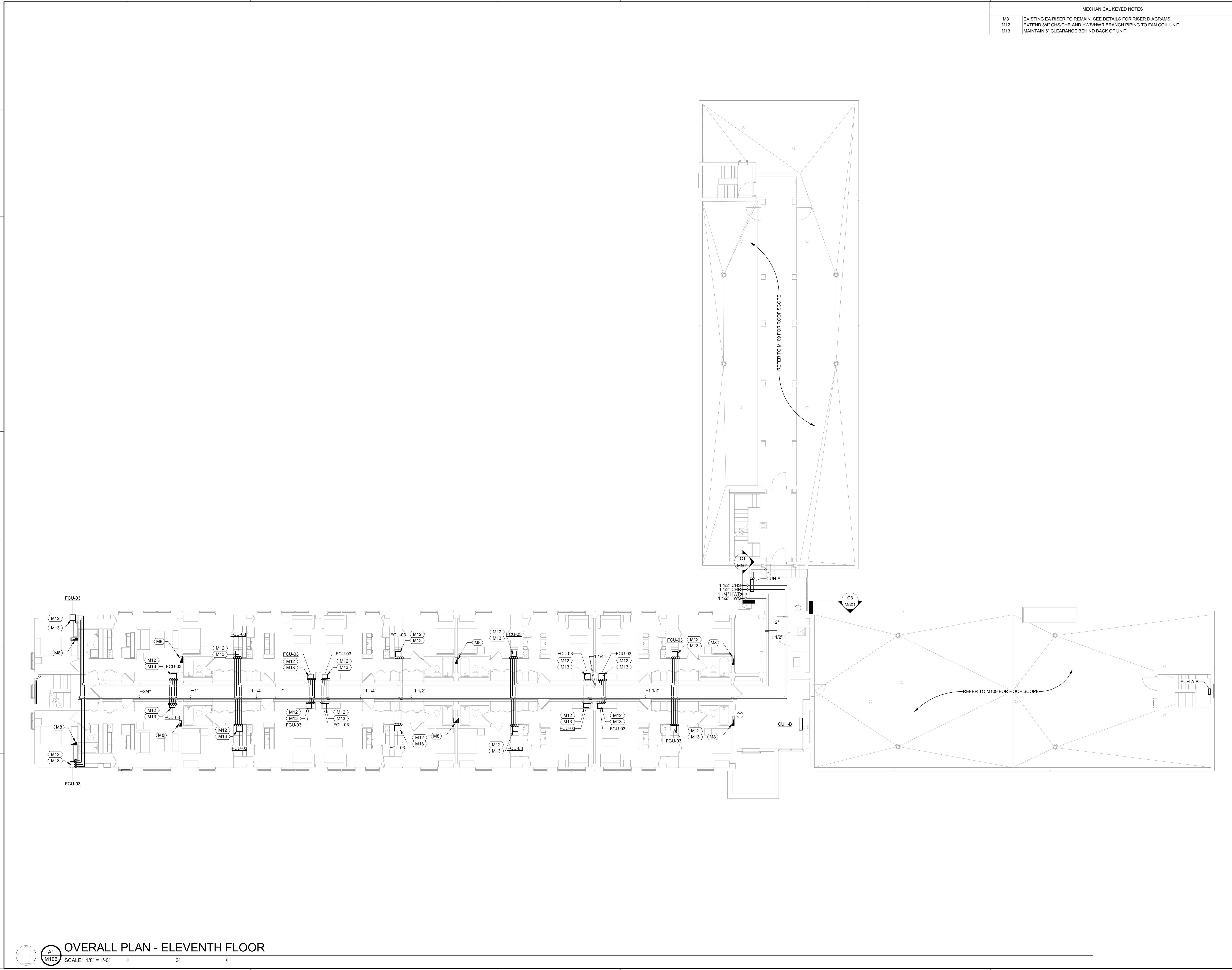
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OVERALL HVAC PLAN, ELEVENTH FLOOR

M106

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A1 OVERALL PLAN - ELEVENTH FLOOR
SCALE: 1/8" = 1'-0"

1
2
3
4
5
6
7
8
9
10

J
H
G
F
E
D
C
B
A

9 INCH
6 INCH
3 INCH
0 INCH
SCALE: 3" = 1'-0"

12 INCH
0 INCH
SCALE: 1 1/2" = 1'-0"

3 FEET
2 FEET
1 FEET
0 FEET
SCALE: 3/4" = 1'-0"

1 FEET
0 FEET
SCALE: 1/4" = 1'-0"

20 FEET
15 FEET
10 FEET
5 FEET
0 FEET
SCALE: 1/8" = 1'-0"

5 0 5 10 15 20 25 30 35 FEET
SCALE: 1/16" = 1'-0"

MECHANICAL KEYED NOTES

M8	EXISTING EA RISER TO REMAIN. SEE DETAILS FOR RISER DIAGRAMS.
M12	EXTEND 3/4" CHS/CHR AND HWS/HWR BRANCH PIPING TO FAN COIL UNIT.
M13	MAINTAIN 6" CLEARANCE BEHIND BACK OF UNIT.



125 EAST JEFFERSON STREET
SYRACUSE, NEW YORK 13202

CONSULTANT:

FS ENGINEERING, DPC
721 E. Genesee Street
Syracuse, NY 13202
Tel: 315-471-4000
Fax: 315-471-4044
F0620208

SEAL:

ELIZABETH P. FISHER
096006
PROFESSIONAL ENGINEER
VALID THRU: 01/31/2027
FS CERT. NO. 0019642
FS EXP. 01/31/2025

OWNER:
ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
RENOVATIONS to the ALMUS OLVER TOWERS
300 BURT STREET, SYRACUSE, NEW YORK 13202

115 WFA PROJECT NO.
115 WFA JOB NO. 21116

REV. NO.	REV. DATE	REV. DESCRIPTION
3	Date 3	GEO REVISIONS
5	09.23.24	CONFORMED DOCUMENTS

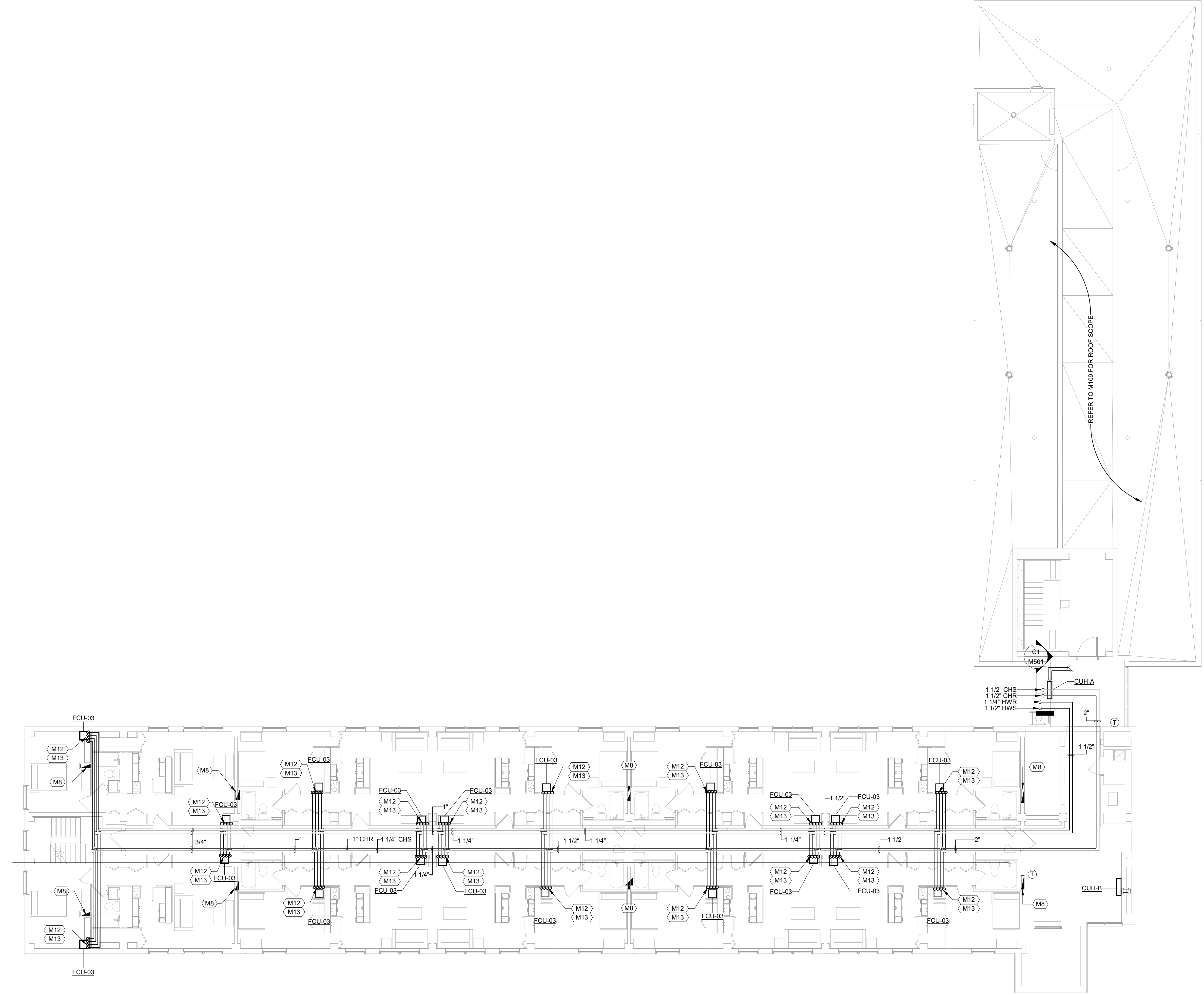
DATE ISSUED: SEPTEMBER 23, 2024

DATE ISSUED: SEPTEMBER 23, 2024

OVERALL HVAC PLAN, TWELFTH FLOOR

M107

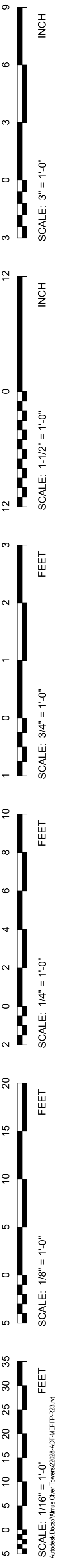
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A1 OVERALL PLAN - TWELFTH FLOOR
SCALE: 1/8" = 1'-0"

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11/16/2024 13:28 AM
 LICENSED ARCHITECT OF NEW YORK



MECHANICAL KEYED NOTES	
M2	ROOFING CONTRACTOR TO EXTEND EXISTING ROOF CURB TO MEET CODE 18" HIGH CURB. FIELD VERIFY ROOF CURB DIMENSIONS. EXTEND EXISTING DUCTWORK, TRANSITION AND CONNECT TO NEW CURB ASSEMBLY. EXTEND/MODIFY CONTROLS AS REQUIRED TO CONNECT TO NEW FAN.
M4	MODIFY/EXTEND EXISTING DUCTWORK TO CONNECT TO NEW RTU.



ASHLEY MCGRAW

125 EAST JEFFERSON STREET
 SYRACUSE, NEW YORK 13202

CONSULTANT:

FS ENGINEERING, DPC
 721 E. Genesee Street
 Syracuse, NY 13202
 Tel: 315-471-4000
 Fax: 315-471-4044
 F0620208

SEAL:

ELIZABETH P. FISHER
 096005
 VALID THRU: 01/31/2027
 FS CERT. NO. 0019842
 FS EXP. 01/31/2025

OWNER:
 ALMUS OLVER TOWER, LP

ALMUS OLVER TOWER, LP
 RENOVATIONS to the ALMUS OLVER TOWERS
 300 BURT STREET, SYRACUSE, NEW YORK 13202

1/16 PROJECT NO.
 AIR JOB NO. 21116

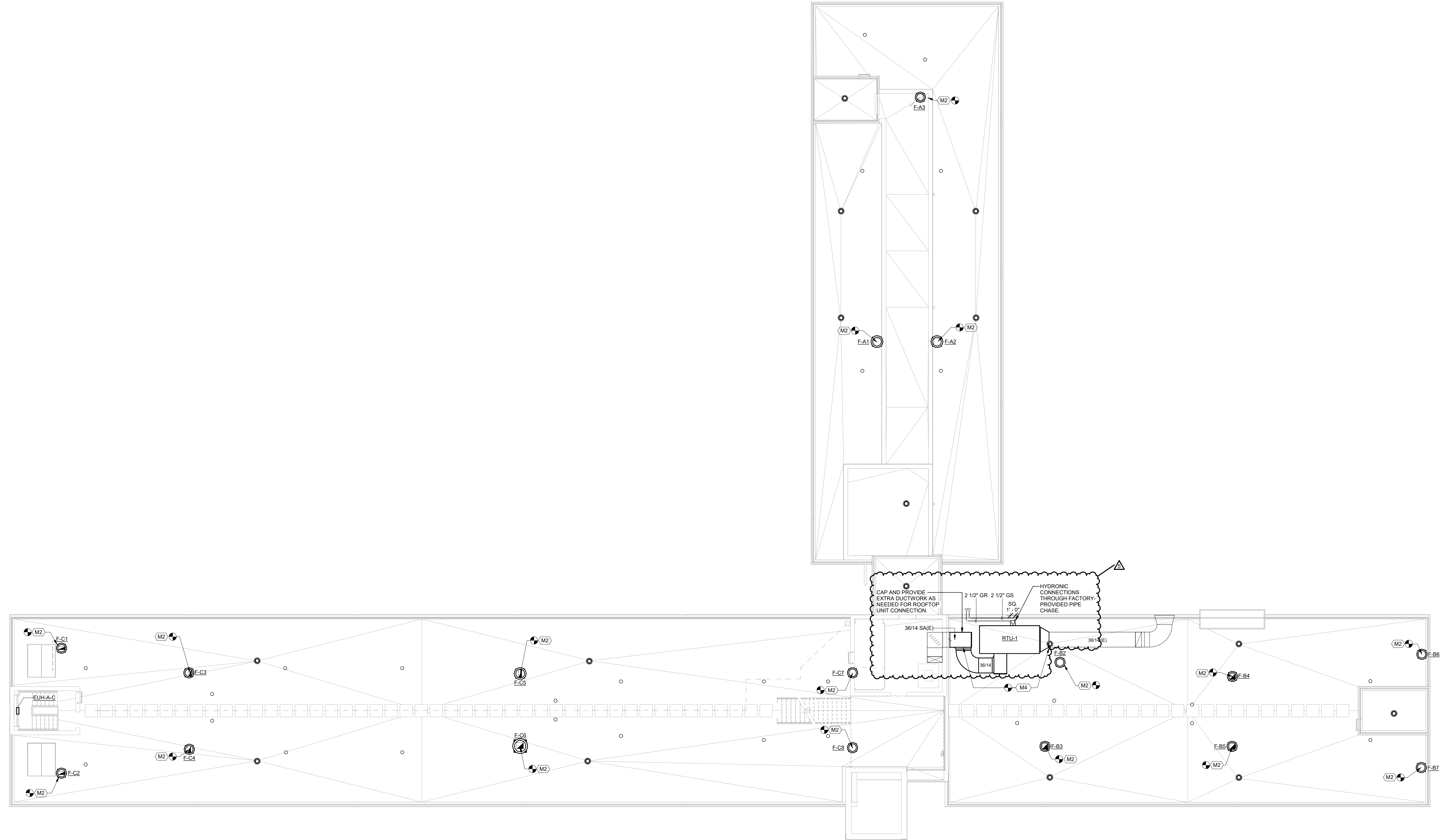
REV. NO.	DATE	REV. DESCRIPTION
3	Date 3	GEO REVISIONS
5	09.23.24	CONFORMED DOCUMENTS

DATE ISSUED:
 SEPTEMBER 23, 2024

OVERALL HVAC
 PLAN, ROOF

M108

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A1 OVERALL PLAN - ROOF
 M108 SCALE: 1/8" = 1'-0"

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.


Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Almus Olver Tower, LP			
Name of Action or Project: Renovations to the Almus Olver Towers (AOT)			
Project Location (describe, and attach a location map): 300 Burt Street, Syracuse, New York 13202			
Brief Description of Proposed Action: Almus Olver Towers is a 12-Story High-Rise, Senior Housing Apartment Building, originally constructed in 1963. The Project Site is bounded by Burt Street, Oakwood Avenue, and South State Street. With the Demolition of the Elevated I-81 Viaduct, the need to replace dated Public Housing has been identified as part of the East Adams Transformation Plan. The initial phase of this Plan includes the Rehabilitation of the Almus Olver Towers for a total of 191-Renovated Dwelling Units, reconfiguration of Amenity Areas, and Exterior Improvements. Outdoor Site Improvements include a New Asphalt Driveway for Emergency Vehicle Access, Replacement of damaged Sidewalk & Curbs, Replace Parking Lot Pavement, New Dumpster/Equipment Pads & Enclosures, New Outdoor Patio & Community Garden, and New Subsurface Closed-Loop Geothermal Well Field (No Visual Impact at Grade).			
Name of Applicant or Sponsor: Almus Olver Tower, LP		Telephone: 1.314.425.0750	
		E-Mail: allyson.carpenter@mccormackbaron.com	
Address: 100 N. Broadway Street, #100			
City/PO: St. Louis		State: MO	Zip Code: 63102
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		2.29 acres	
b. Total acreage to be physically disturbed?		0.40 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		8.295 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: Renovations to the Almus Olver Towers is targeting a 20% Reduction of Energy Use per State Mandate including: -New All-Electric, High Efficiency Heat Pump Driven Domestic Hot Water System -New All-Electric, High Efficiency Ground Source Heat Pump System for Heating/Cooling -New High Performance Windows & Doors -New Roofing Membrane & Associated Insulation -New Insulated Metal Panels and Targeted Masonry & EIFS Repairs	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
Stormwater Discharges will be directed to the Existing Stormwater Drainage Systems which consists of Catch Basins and Underground Pipes. Additionally, the Project shall provide One (1) Underground Infiltration Chamber and associated Infiltration Pretreatment Hydrodynamic Separator to accommodate the New Outdoor Amenity Area.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The Site is located approximately 0.1 Miles from Two (2) Remediation Parcels / Sites. The Proposed Action will not require disturbance in these areas. DEC Reference ID: C734140 - Remediation Ongoing, E734086 - Remediation Complete.		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: McCormack Baron Salazar/ Almus Olver Tower, LP/ Mike Suanders Date: 11/21/24		
Signature:  Title: Vice President		

Project	MaSPR-24-42
Date:	12/18/2024

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?		
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: MaSPR-24-42

Date: 12/18/2024

**Short Environmental Assessment Form
Part 3 Determination of Significance**

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse City Planning Commission	12/18/2024
Name of Lead Agency	Date
Steven Kulick	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

City of Syracuse

Parcel History

01/01/1900 - 12/13/2024

Tax Map #: 094.-17-01.1

Owners: Syr Housing Authority

Zoning:

Address	Date	Transaction	Transaction Type	Status	Description
300 Burt St & State St S	12/19/23	Permit Application	Sign	Issued	50376 wall sign for Almus Olver Towers
300 Burt St & State St S	01/17/24	Inspection	Plan Review Notification	Pass	
300 Burt St & State St S	03/26/24	Permit Application	Site Work	Issued	50632 Site Work Contractor shoule be Hueber- Breuer Construction
300 Burt St & State St S	03/26/24	Permit Application	Com. Reno/Rem/Chg Occ	Issued	50631 Building renovation - Apartments
300 Burt St & State St S	06/28/24	Project	Minor Site Plan Review	Approved	MiSPR-24-46 Modify site plan and minor details RE Sheet A101: Convert Chapel to Fitness Room at First Floor, B-Wing, Sheet, A101: Add Maintenance Conference Room, Office, & Kitchenette at First Floor, A-Wing, and sheet A200 A201 A503: Re- attached Rooftop Guardrails and add Intermediate Rail (in lieu of Welded Wire Mesh Metal Infill Panels).
300 Burt St & State St S	11/07/24	Permit	Com. Reno/Rem/Chg Occ	Open	50631 Building renovation - Apartments Expires 11/07/2025
300 Burt St & State St S	11/07/24	Permit	Site Work	Open	50632 Site Work Contractor shoule be Hueber- Breuer Construction Expires 11/07/2025
300 Burt St & State St S	11/13/24	Permit	Sign	Open	50376 wall sign for Almus Olver Towers Expires 11/13/2025
300 Burt St & State St S	11/21/24	Inspection	Inspector Notification	In Progress	
300 Burt St & State St S	11/25/24	Project	Major Site Plan Review	In Review	MaSPR-24-42 Senior Housing Apartment building, Major site improvements include New Asphalt Driveway for Emergency Vehicle Access, Replacement of damaged Sidewalk & Curbs, Replace Parking Lot Pavement, New Dumpster/Equipment Pads & Enclosures, New Outdoor Patio & Community Garden. New Subsurface Closed-Loop Geothermal Well Field (No Visual Impact at Grade). Exterior renovation on building elevatio: Installing new windows, pipes, roof coping.

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
300 Burt St & State St S	11/25/24	Inspection	Inspector Notification	<None>	



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Syr Housing Authority
From: Haohui Pan, Zoning Planner
Date: 12/13/2024 3:13:56 PM
Re: Major Site Plan Review MaSPR-24-42
300 Burt St & State St S, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	11/25/2024	Vinny Esposito	City Engineer must approve SWPPP
DPW - Transportation Planner	Conditionally Approved	12/05/2024	Neil Milcarek-Burke	No concerns with work as proposed. - Driveway openings to meet nysdot type 3 spec, sidewalk shall not dip, require transition, or detectable warning strip, apron to make up any grade.
Zoning Planner	Waiting on Board	12/13/2024	Haohui Pan	Pending on CPC 12/18/2024
Parks - Forestry	Approved	11/26/2024	Jeff Romano	Forestry requires (3) trees to be added along the Burt Street tree lawn. (2) adjacent to Bus Stop under wires species; Cornus and (1) nearer to corner of Oakwood Ave, no wires. Species; Liriodendron. Excavate soils 9x15x3' depth and provide 1.25 CY compost per site. Thoroughly blend amended soil at new tree locations and compact in 12" lifts. Plant tree(s) in center of amended soils.
Planning Commission	Pending	11/25/2024		Pending on CPC 12/18/2024
Eng. Design & Cons. - Zoning	Conditionally Approved	12/06/2024	Mirza Malkoc	<ul style="list-style-type: none"> • No objection to the proposed development. • Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf. • Stormwater Access & Maintenance Agreements shall be submitted for review. • Proposed site elevations shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W. • The Project is subject to Onondaga County's 1:1 offset. The City requires a calculation memo for review.

• This is just a reminder that all construction in the R.O.W. will require a permit and that all construction in the R.O.W. shall be installed to City standards and specifications.

Eng. Mapping - Zoning	Conditionally Approved	11/25/2024	Ray Wills	There is a City of Syracuse ROW marker buried at the SE corner of the intersection of Burt and State St. it is inside of the scope of work shown on C-121, there is to be no installation or excavation within 5' of this marker. It is located at an offset of 6' from property line. Any work inside of this buffer zone is only to be performed under the direct onsite supervision of the City Engineers Dept - Mapping Division. This marker is protected by law and not to be disturbed under any circumstances.
Fire Prevention - Zoning	Conditionally Approved	12/13/2024	Matthew Craner	<p>All work must comply with applicable sections of the NYS Uniform Code.</p> <p>All vehicle access areas must comply with appendix D of 2020 FCNYS</p> <p>No objections but several questions including, but not limited to:</p> <p>Will pavement areas above geothermal wells be capable of supporting an imposed load of 75,000 lbs per D102.1</p> <p>Will aerial access to building be hindered by construction of wells.</p> <p>What is the plan for ingress/emergency egress from building while well installation is taking place</p> <p>What is the plan for emergency responder access to front of building while well installation is taking place</p> <p>Must maintain unobstructed access to fire department connections during all phases of construction</p> <p>Any dead-end parking area longer than 150' requires an approved fire apparatus turn around area per figure D103.1 of Appendix D of 2020 FCNYS</p>
DPW Traffic Control- Zoning	Conditionally Approved	11/26/2024	Charles Gafrancesco	<p>11.26.24 Conditionally Approved.</p> <p>- Contractor shall submit MUTCD compliant work zone traffic plan during permit process if the nature of this sitework is to affect pedestrian or vehicular traffic the public ROW. WZTP showing all necessary warning signs, flaggers, detours, and or barriers necessary to protect vehicular and pedestrian traffic in ROW. Ingress and egress shall be maintained for residential and commercial properties.</p>