

Brighton Mews Storage Project

This project has been heard on CPC meeting on 8/19/2024. The CPC approved this project and made a recommendation to refer this project to the Common Council for final decision.

The Common Council reviewed and remanded the special use permit application due to the applicant's violation of a granted easement agreement between the applicant and the owner of property located at 679 E Seneca Tpke. The applicant has submitted revised plans to address the violation. The project was held again on 11/12/2024 CPC meeting due to the new concerns on disturbance in easement area.

Office of Zoning Administration invited the applicant, and the owner of property located at 679 E Seneca Tpke. to discuss solutions on the new concerns on 11/22/2024. An agreement has been achieved in the end of the discussion.

The applicant will present the updated plans for Special Use Permit application and the Major Site Plan Review Application.

The Planning Commission has deliberated on the SEQR review for this project on 8/19/2024. No new deliberation on SEQR review is needed.

The Planning Commission will deliberate on the decision for this project based on the revised plans.

SP-24-15 – Special Use Permit

MaSPR-24-28 – Major Site Plan Review



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>SP-24-15</u>	<i>Staff Report – December 2, 2024</i>
Application Type:	Special Use Permit
Project Address:	1001 Brighton Ave E (Tax Map ID: 062.-02-11.0) New address: 639 Seneca Tpke E (Tax Map ID: to be assigned)
Summary of Proposed Action:	The applicant is applying for a Special Use Permit to establish a “Mini-Storage” use on a vacant property.
Owner/Applicant	Joe Hucko, Brighton Mews, LLC. (Owner) Michael Charles, Benchmark Development (Applicant)
Existing Zone District:	Commercial, CM Zone District
Surrounding Zone Districts:	The neighboring properties to the north and west are located in the Commercial, CM Zone District, to the south in the Medium Density Residential, R4 Zone District, and to the east the property is on the boundary between the City of Syracuse and Town of Onondaga.
Companion Application(s)	MaSPR-24-28 (Major Site Plan Review): to change the use of the property into a “Mini-storage” use in the CM Zone District and construct a 3-story storage facility.
Scope of Work:	The scope of work includes: (1) removing part of the existing vegetations and grading the land for construction; (2) installing new pavement to the site; (3) constructing a 3-story, 105,000 SF storage facility; (4) constructing 25 parking spaces (includes 2 ADA parking spaces); (5) installing retaining walls and chain-link fences and implementing landscaping plans.
Summary of Changes:	<p>This project was approved by CPC on 8/19/2024 and was referred to Common Council for final decision. The Common Council remanded the special use permit application because the project plans were found to violate a granted easement agreement between the applicant and the owner of property located at 679 E Seneca Tpke. The applicant has submitted revised plans to address the violation.</p> <p>The project was reviewed by CPC again on 11/12/2024. The revised plans were still opposed by neighboring property owner due to the concern on possible erosion in easement area.</p> <p>On 11/22/2024, Office of Zoning Administration held an in-person meeting and invite the applicant and neighboring property owner to discuss the possible solutions to the disturbance in easement area. In the end of the meeting, all concerns have been addressed and the applicant and neighboring property owner has reached an agreement on the easement issue. No further concern was raised by the neighboring property owner.</p>
Staff Analysis:	Factors: <ul style="list-style-type: none"> - Per revised plans, the proposed scope of work has been moved out of the exclusive easement. - As a result of 11/22/2024 discussion, the applicant and neighboring property owner has reached an agreement. The neighboring property owner agrees to give the permission to the applicant to put pavement in the easement area and install concrete curb along the easement line to collect stormwater runoff. No further concern has been raised.

	<ul style="list-style-type: none"> - The proposed use is consistent with the purpose of CM Zone District which is to provide appropriate areas that permit the development and continued use of land for commercial and service uses characterized by frequent visits of customers and clients in high volumes. - The proposed use is close to nearby residential uses and structures and would provide storage services to nearby residences. - Per Sheet L6.1, the height of the proposed building is lower than the adjacent Greenwich Manor Apartment. - Landscape buffer will be implemented between the proposed use and nearby residential use. <p><u>Recommended conditions if approved:</u></p> <ul style="list-style-type: none"> - The applicant shall comply with the general conditions for approval on Special Use Permit application. (See the attached sheet “General Conditions for Site Plan Review, Special Use Permit and Project Plan Review Approval). - The landscaping features along the southernly property line shall be adequately maintained to buffer the facility and parking lot from the adjacent residential Zone District.
Zoning Procedural History:	<ul style="list-style-type: none"> - 06/26/2023 R-23-31 Resubdivision to divide 1 lot into 2 new lots Approved - 12/11/2023 R-23-31M1 New map submitted for Resubdivision Approved with Conditions
Summary of Zoning History:	No zoning history except for a resubdivision that divided one lot into two new lots, approved 12/11/2023.
Code Enforcement History:	See attached code enforcement history.
Property Characteristics:	The lot is irregularly shaped with 40 feet of frontage along East Seneca Turnpike, 841.46 feet of frontage along Lafayette Road, 193 feet of frontage on the easterly property line, and 560.42 feet of frontage on the northernly most property line. The total area of the lot is 2.93 acres (127,630.8 square feet), and the proposed building is 105,000 SF.
SEQR Determination:	Pursuant to the 6 NYCRR §617.2(a), the proposal is an Unlisted Action.
Onondaga County Planning Board Referral:	<p>Pursuant to GML §239-l, m and n, the proposal meets the referral criteria for Onondaga County Planning Board to review. The Onondaga County Planning Board has comments below:</p> <ol style="list-style-type: none"> 1. The applicant must ensure legal access to East Seneca Turnpike. An access easement along the private road is required to be filed with the deed and reflected on the subdivision plan. 2. Given that the applicant will be clearing trees and site may contain the federally and state endangered Indiana Bat and Northern Long-eared bat or their associated habitat, the applicant is required to consult with the US Fish and Wildlife Service and New York Natural Heritage Program to minimize the impact to the species. 3. Given loss of trees and wooded area on site, the Board encourages the applicant to increase plantings and landscaping surrounding the building area.

- Application Submittals:** The application submitted the following in support of the proposed project:
- Special use permit application
 - Short Environmental Assessment Form Part 1
 - Brighton Subdivision. Part of Farm Lot 121, City Of Syracuse, County Of Onondaga, State of New York;

SP-24-15

Licensed Land Surveyor: Paul J. Olszewski; Paul James Olszewski, P.L.S., PLLC; Dated: 05/11/2023; Scale: 1''=30'

- Site Preparation Plan (Sheets L1.1, L2.1). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Site Drainage and Utility Plan (Sheet L2.2). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Site Plan (Sheet L3.1). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Planting Plan and Erosion Control Plan (Sheets L4.1, L5.1). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Site Detail Plan (Sheet L6.1). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Proposed Floor Plan (Sheets A-101, A-102, A103). Prepared by SAA Architects; dated: 06/19/2024; Scale: 3/32''=1'
- Elevation Plan (Sheet A-201). Prepared by SAA Architects; dated: 06/06/2024; Scale: 3/32''=1'

Attachments:

- Updated project plans



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<i>MaSPR-24-28</i>	<i>Staff Report – December 2nd, 2024</i>
<i>Application Type:</i>	Major Site Plan Review
<i>Project Address:</i>	1001 Brighton Ave E (Tax Map ID: 062.-02-11.0) New address: 639 Seneca Tpke E (Tax Map ID: to be assigned)
<i>Summary of Proposed Action:</i>	The applicant is applying for a Major Site Plan Review to change the land use from a vacant property to a “Mini-Storage” land use and to construct a 3-story, 105,000 SF storage facility.
<i>Owner/Applicant</i>	Joe Hucko, Brighton Mews, LLC. (Owner) Michael Charles, Benchmark Development (Applicant)
<i>Existing Zone District:</i>	Commercial, CM Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north and west are located in the Commercial, CM Zone District, to the south in the Medium Density Residential, R4 Zone District, and to the east of the property is the boundary between the City of Syracuse and Town of Onondaga.
<i>Companion Application(s)</i>	SP-24-15 (Special Use Permit): to establish a “Mini-Storage” use in the CM Zone District.
<i>Scope of Work:</i>	The scope of work includes: (1) removing part of the existing vegetations and grading the land for construction; (2) installing new pavement to the site; (3) constructing a 3-story, 105,000 SF storage facility; (4) constructing 25 parking spaces (includes 2 ADA parking spaces); (5) installing retaining walls and chain-link fences and implementing landscaping plans.
<i>Summary of Changes:</i>	This project was approved by CPC on 8/19/2024 and the companion application SP-24-15 was referred to Common Council for final decision. The Common Council remanded the special use permit application because the project plans were found to violate a granted easement agreement between the applicant and the owner of property located at 679 E Seneca Tpke. The applicant has submitted revised plans to address the violation. The application was held at the 11/12/2024 meeting to create an opportunity for property owners involved to come to an agreement on intended site changes and impacts. On 11/22/2024, Office of Zoning Administration held an in-person meeting and invite the applicant and neighboring property owner to discuss the possible solutions to the disturbance in easement area. In the end of the meeting, all concerns have been addressed and the applicant and neighboring property owner has reached an agreement on the easement issue. No further concern was raised by the neighboring property owner.
<i>Staff Analysis:</i>	<u>Factors:</u> <ul style="list-style-type: none"> - Per revised plans, the proposed scope of work has been moved out of the easement. - As a result of 11/22/2024 discussion, the applicant and neighboring property owner has reached an agreement. The neighboring property owner agrees to give the permission to the applicant to put pavement in the easement area and install concrete curb along the easement line to collect stormwater runoff. No further concern has been raised. - The property owner has obtained an easement agreement with the neighboring

	<p>property to have the site entrance located on Lafayette Rd.</p> <ul style="list-style-type: none"> - The proposed storage facility is abutting on adjacent residential Zone District. - Landscaping buffers will be installed to reduce the visibility of the facility and parking areas to the nearby residential Zone District. - Based on the site detail plan (Sheet L6.1), the roof of storage facility will be lower than the nearby existing residential apartments. - The subject site has never been anything but a woodland and may serve as habitat for the Indiana Bat and the Northern Long Eared Bat. - The applicant has consulted with NYS DEC and U.S. Fish and Wildlife who gave the developer guidance to only remove trees that were necessary and only during the hibernation period for the bats between November 1 to March 1st. - Due to the topography of the subject property, this site has never been developed. <p><u>Recommended conditions if approved:</u></p> <ul style="list-style-type: none"> - The landscaping features along the southernly property line shall be adequately maintained to buffer the facility and parking lot from the adjacent residential Zone District. - Any tree removal must occur between November 1 and March 1st.
Zoning Procedural History:	<ul style="list-style-type: none"> - 06/26/2023 R-23-31 Resubdivision to divide 1 lot into 2 new lots Approved - 12/11/2023 R-23-31M1 New map submitted for Resubdivision Approved with Conditions
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Onondaga County Planning Board Referral:	<p>Pursuant to GML §239-1, m and n, the proposal meets the referral criteria for Onondaga County Planning Board to review. The Onondaga County Planning Board has comments below:</p> <ol style="list-style-type: none"> 1. The applicant must ensure legal access to East Seneca Turnpike. An access easement along the private road is required to be filed with the deed and reflected on the subdivision plan. 2. Given that the applicant will be clearing trees and site may contain the federally and state endangered Indiana Bat and Northern Long-eared bat or their associated habitat, the applicant is required to consult with the US Fish and Wildlife Service and New York Natural Heritage Program to minimize the impact to the species. 3. Given loss of trees and wooded area on site, the Board encourages the applicant to increase plantings and landscaping surrounding the building area.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review application
- Short Environmental Assessment Form Part 1

MaSPR-24-28

- Brighton Subdivision. Part of Farm Lot 121, City Of Syracuse, County Of Onondaga, State of New York; Licensed Land Surveyor: Paul J. Olszewski; Paul James Olszewski, P.L.S., PLLC; Dated: 05/11/2023; Scale: 1''=30'
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Attachments:

Major Site Plan Review Application

Short Environmental Assessment Form Part 2 & Part 3

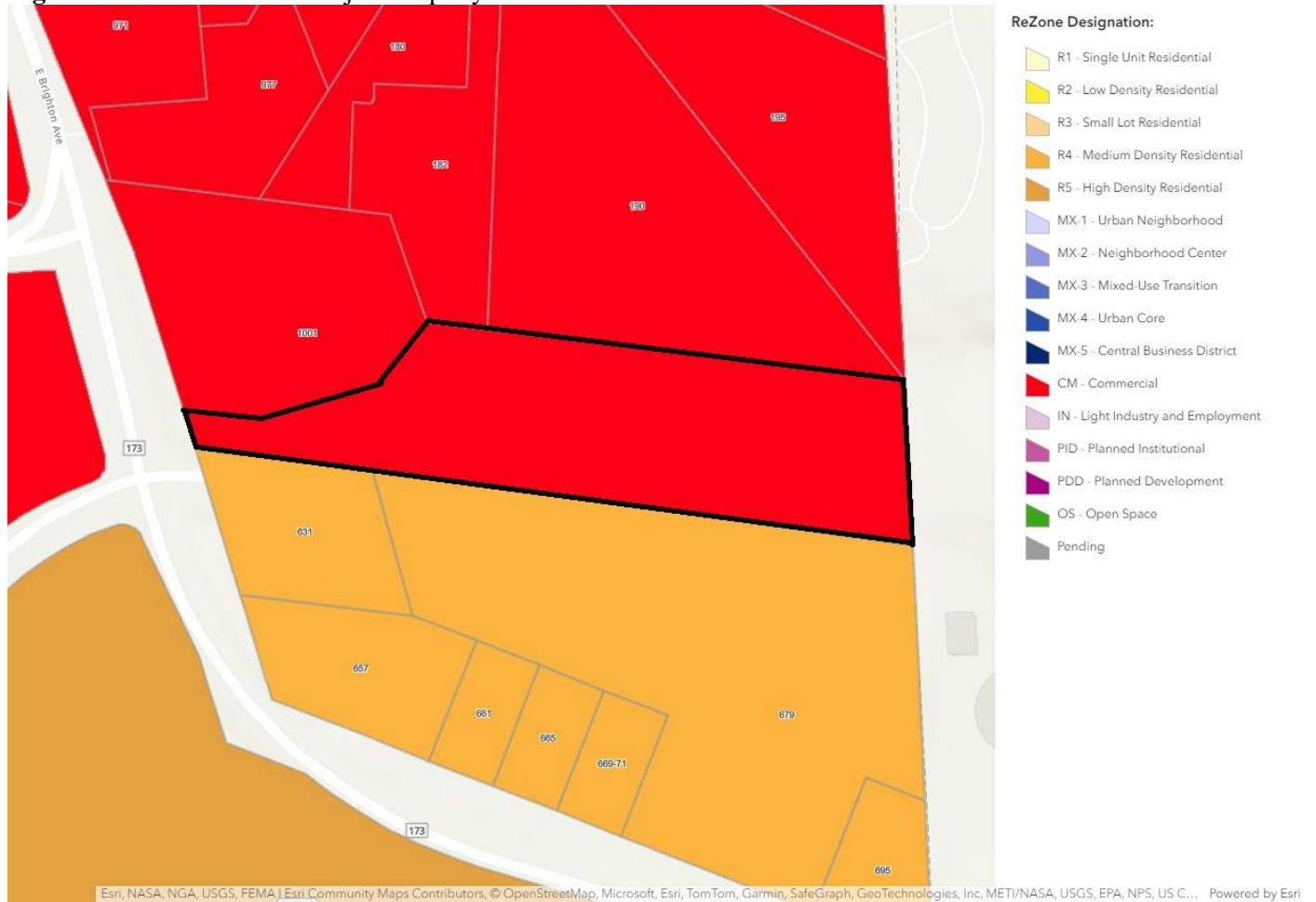
Easement Agreement

Code Enforcement History

IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.
Image Source: ConnectExplorer™, Eagle View Technology Corporation



LOCATION MAP

ZONING CHART - CITY OF SYRACUSE		
TAX PARCELS INVOLVED:		
LOT 2 OF 062-02-010	2.93 ACRES (100) EAST BRIGHTON AVE)	
ZONED: COMMERCIAL (CM)		
YARD SETBACKS	REQUIRED	PROVIDED
FRONT SETBACK	NO MIN.	168'
SIDE YARD SETBACK	NO MIN.	41'
REAR YARD SETBACK	NO MIN.	82'
STALL SIZE: 10'-0" X 9'-0" DRIVE AISLE: 24'-0" MIN. WIDTH		

PERCOLATION TEST RESULTS			
LOCATION NUMBER	TEST ELEVATION	SOIL TYPES	RATE OF INFILTRATION
IT-1	102.00 FT.	SAND WITH SILT	9" PER HOUR
IT-2	113.30 FT.	SANDY GRAVEL WITH COBBLES	13" PER HOUR

GENERAL NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY PAUL JAMES OLSEWICKI P.L.S., F.L.C.C. OF CAMILLUS, NY ON APRIL 4, 2016.

OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.

2. SAW CUT FOR PAVING REMOVALS. EXTEND REMOVAL LINES TO INCLUDE ANY ADJOINING BROKEN OR DETERIORATING PAVING. CAREFULLY REMOVE, STOCKPILE AND PROTECT ANY ITEMS NOTED FOR SALVAGE. ALL DEMOLITION RUBBLE, DEBRIS AND EXCESS SOILS TO BE PROMPTLY REMOVED FROM SITE. STRIP AND STOCKPILE SUFFICIENT EXISTING ORGANIC TOPSOILS FOR REAPPLYING AS REQUIRED ON DISTURBED AND REGRADED AREAS TO BE ESTABLISHED AS LAWN AND FOR REPAIR OF DISTURBED EXISTING LAWNS TO REMAIN. STOCKPILE ALL MATERIALS IN APPROVED LOCATIONS WITHOUT INTERFERING WITH OTHER CONTRACTOR WORK, SCHOOL TRAFFIC OR DRAINAGE.

3. ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.

4. PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.

5. ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.

6. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-1980.

7. ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.

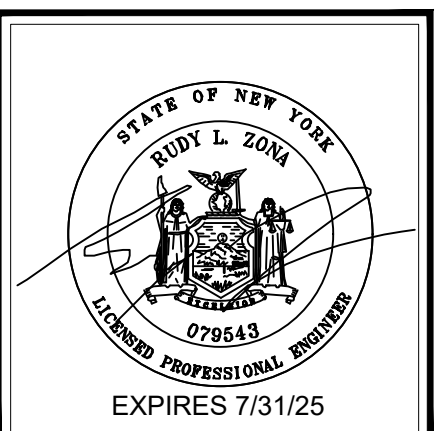
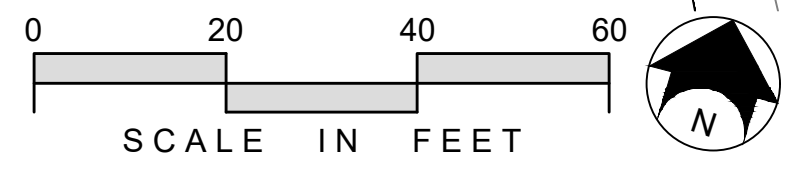
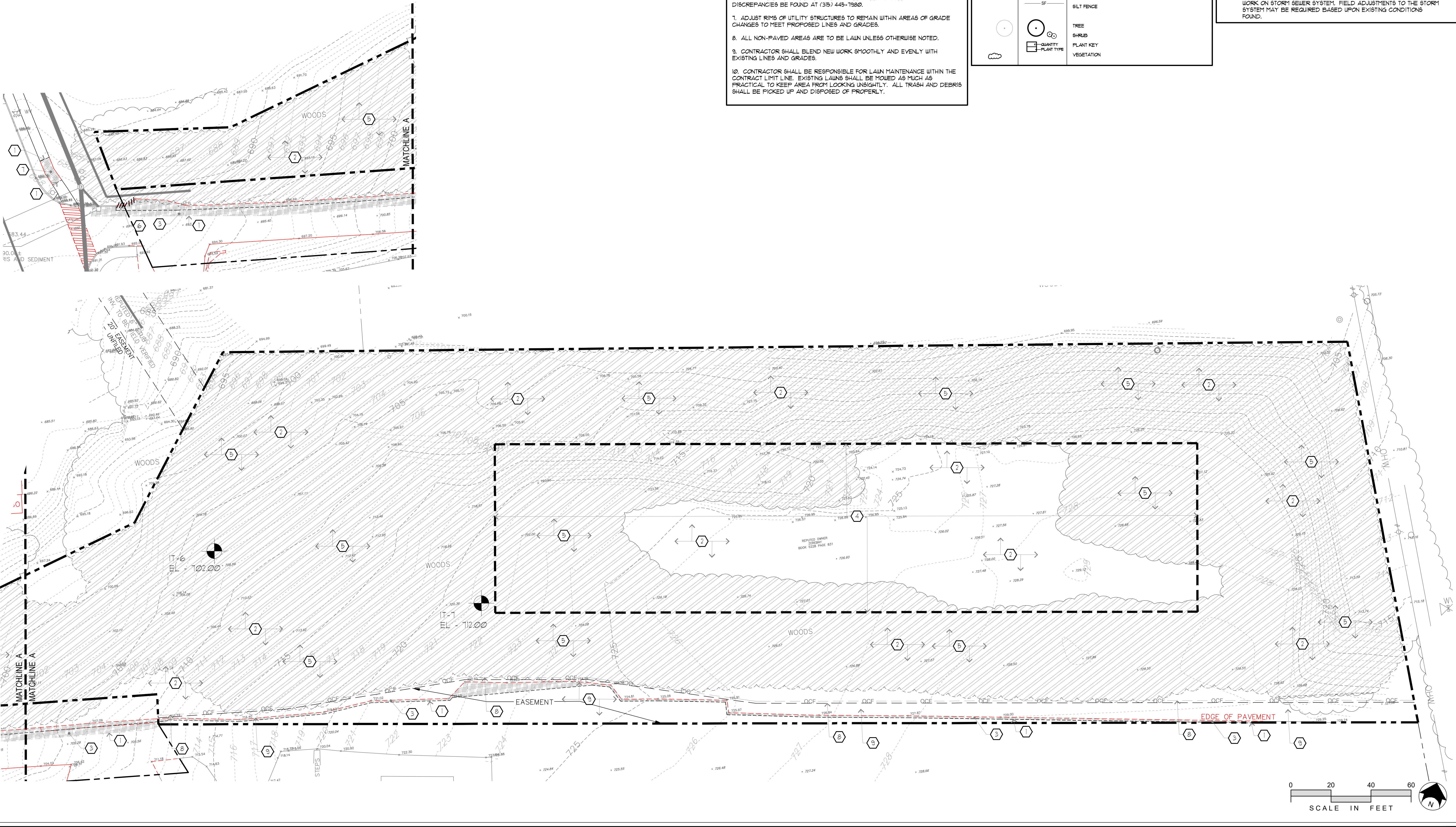
8. ALL NON-PAVED AREAS ARE TO BE LAWN UNLESS OTHERWISE NOTED.

9. CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE WITHIN THE CONTRACT LIMIT LINE. EXISTING LAWNS SHALL BE MOVED AS MUCH AS PRACTICAL TO KEEP AREA FROM LOOKING UNSIGHTLY. ALL TRASH AND DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY.

LEGEND		DESCRIPTION
EXISTING	PROPOSED	
		CONTOUR
		SPOT ELEVATION
		CURB TAPER/END
		TOP/BOTTOM OF CURB
		HIGH / LOW POINT
		TEST PIT
		BORING (SEE SPECIFICATIONS FOR BORING INFO)
		FENCE
		UTILITY POLE
		WATER LINE
		FIRE HYDRANT
		STORM PIPE
		UNDERDRAIN
		SANITARY PIPE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		TELEPHONE
		STORM STRUCTURE
		ORTHELL
		INLET
		CATCH BASIN/MANHOLE
		CLEAN OUT
		SANITARY MANHOLE
		ASPHALT PAVEMENT-PARKING
		CONCRETE PAVEMENT
		TRAFFIC SIGN
		LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
		CURB
		CURB FLUSH (1" REVEAL UNLESS OTHERWISE NOTED)
		SILT FENCE
		TREE
		SHRUB
		PLANT KEY
		VEGETATION

- EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES**
- SAWCUT ASPHALT OR CONCRETE PAVEMENT. SAWCUT ASPHALT IN NEAR STRAIGHT LINE AND SAWCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
 - STRIP TOPSOIL AND STOCKPILE FOR REUSE. ALL EXCESS TOPSOIL SHALL BE REMOVED AND DISPOSED OF OFF SITE.
 - REMOVE ASPHALT PAVEMENT INCLUDING BASE MATERIAL AND DISPOSE OF OFF SITE.
 - PROPOSED BUILDING OUTLINE. SEE LAYOUT PLAN L3.1
 - ALL TREE CLEARING ACTIVITIES (EXCEPT FOR THOSE TREES WHICH CAUSE AN IMMEDIATE DANGER TO CONSTRUCTION STAFF) SHALL BE CONDUCTED BETWEEN NOVEMBER 01 AND MARCH 31ST. TREE AND VEGETATION CLEARING SHALL BE LIMITED TO THE MINIMUM NECESSARY FOR FACILITY CONSTRUCTION TO REDUCE IMPACTS TO BIRDS AND BATS. REMOVE ALL CLEARED VEGETATION INCLUDING STUMPS AND ROOTS AND DISPOSE OF OFF-SITE.
 - REMOVE EXISTING GRANITE/CONCRETE CURB AND DISPOSE OF OFF SITE. SAW CUT END OF CURB TO PROVIDE CLEAN, SQUARE FACE AS NEW CONCRETE CURB TO MEET TOP AND FACE OF EXISTING CURB. REFER TO SITE LAYOUT PLAN.
 - EXISTING SIDEWALK TO REMAIN. REMOVE AND REPLACE EXISTING SIDEWALK IN KIND AS REQUIRED FOR UTILITY CONNECTION.
 - INSTALL 4-FOOT HIGH ORANGE CONSTRUCTION FENCE ALONG ACCESS EASEMENT LIMITS. MAINTAIN FENCE THROUGHOUT CONSTRUCTION. TEMPORARILY REMOVE/RELOCATE FENCE AS REQUIRED TO COMPLETE SITE IMPROVEMENTS. REPLACE FENCE AT THE END OF EACH WORK DAY, IF REQUIRED.
 - PERMISSION IS REQUIRED FROM EASEMENT GRANTEE FOR ANY WORK PERFORMED WITHIN THE EASEMENT.
 - FIELD VERIFY LOCATION AND DEPTH OF EXISTING OF EXISTING SANITARY LATERAL TO APARTMENTS PRIOR TO COMMENCEMENT OF WORK ON STORM SEWER SYSTEM. FIELD ADJUSTMENTS TO THE STORM SYSTEM MAY BE REQUIRED BASED UPON EXISTING CONDITIONS FOUND.



RZ Engineering, PLLC
6320 FLY ROAD SUITE 200, EAST SYRACUSE, NY 13057
(315) 445-7980

BRIGHTON HILL STORAGE
1001 EAST BRIGHTON AVE.
SYRACUSE, NEW YORK



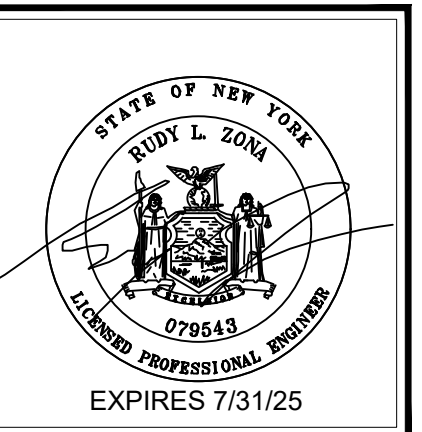
ISSUED AND REVISIONS NOTIFICATION	No	Rev	Description	Date
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	4	CRF	REV LAYOUT W/ SUP	6/19/24
	5	CRF	CPC RESUBMISSION	6/19/24
	6	CRF	DEC COMMENTS	6/12/24
	7	CRF	EKG EASEMENT COMMENTS	6/12/24
	8	CRF	CPC RESUBMISSION	10/15/24
	9	CRF	CPC RESUBMISSION	11/26/24



Drawn By: C.R.F.
Checked By: E.G.K.
NYA Proj No: 43092
Date: 26 FEBRUARY, 2024
Scale: AS NOTED

SITE PREPARATION PLAN

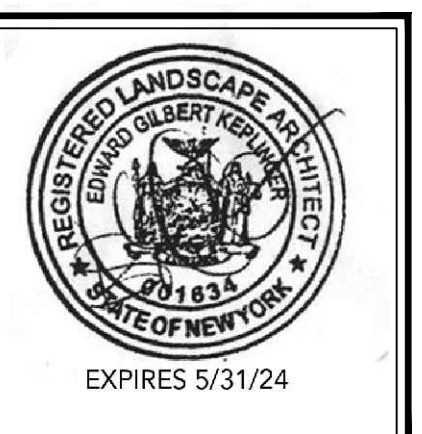
L1.1



BRIGHTON HILL STORAGE
 1001 EAST BRIGHTON AVE.
 SYRACUSE, NEW YORK



ISSUED AND REVISIONS NOTIFICATION	No	Rev	Description	Date
	3	JPR	WATER REVISIONS	6/10/24
	4	CRF	REV LAYOUT W/ SUP	6/19/24
	5	CRF	CPC RESUBMISSION	6/24/24
	6	CRF	DEC COMMENTS	6/27/24
	7	CRF	EKG EASEMENT COMMENTS	7/17/24
	8	CRF	CPC RESUBMISSION	7/19/24
	9	CRF	CPC RESUBMISSION	7/26/24
	10	CRF	CPC RESUBMISSION	7/26/24



Drawn By: C.R.F.
 Checked By: E.G.K.
 KFA Proj. No.: 43022
 Date: 26 FEBRUARY, 2024
 Scale: AS NOTED

SITE GRADING PLAN

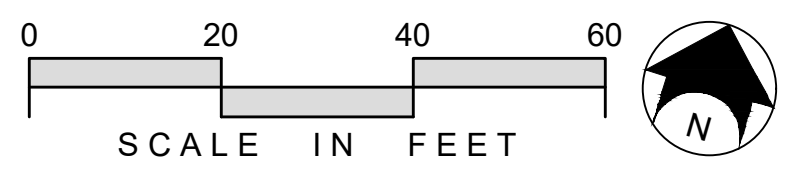
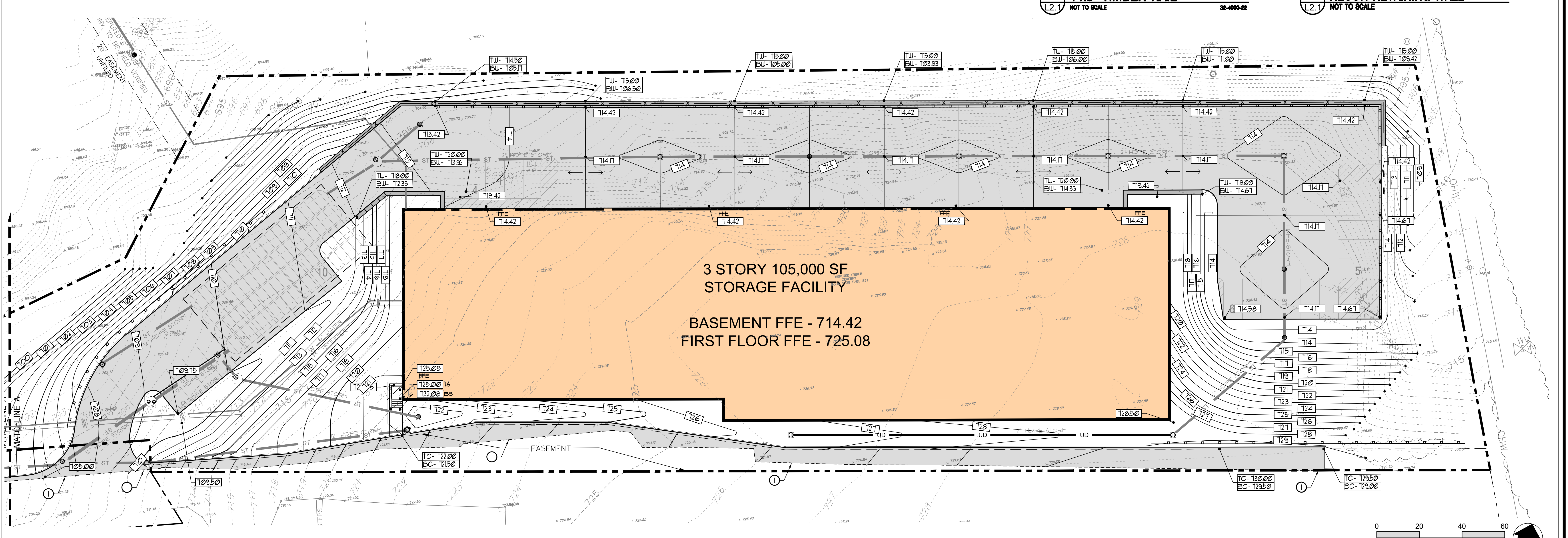
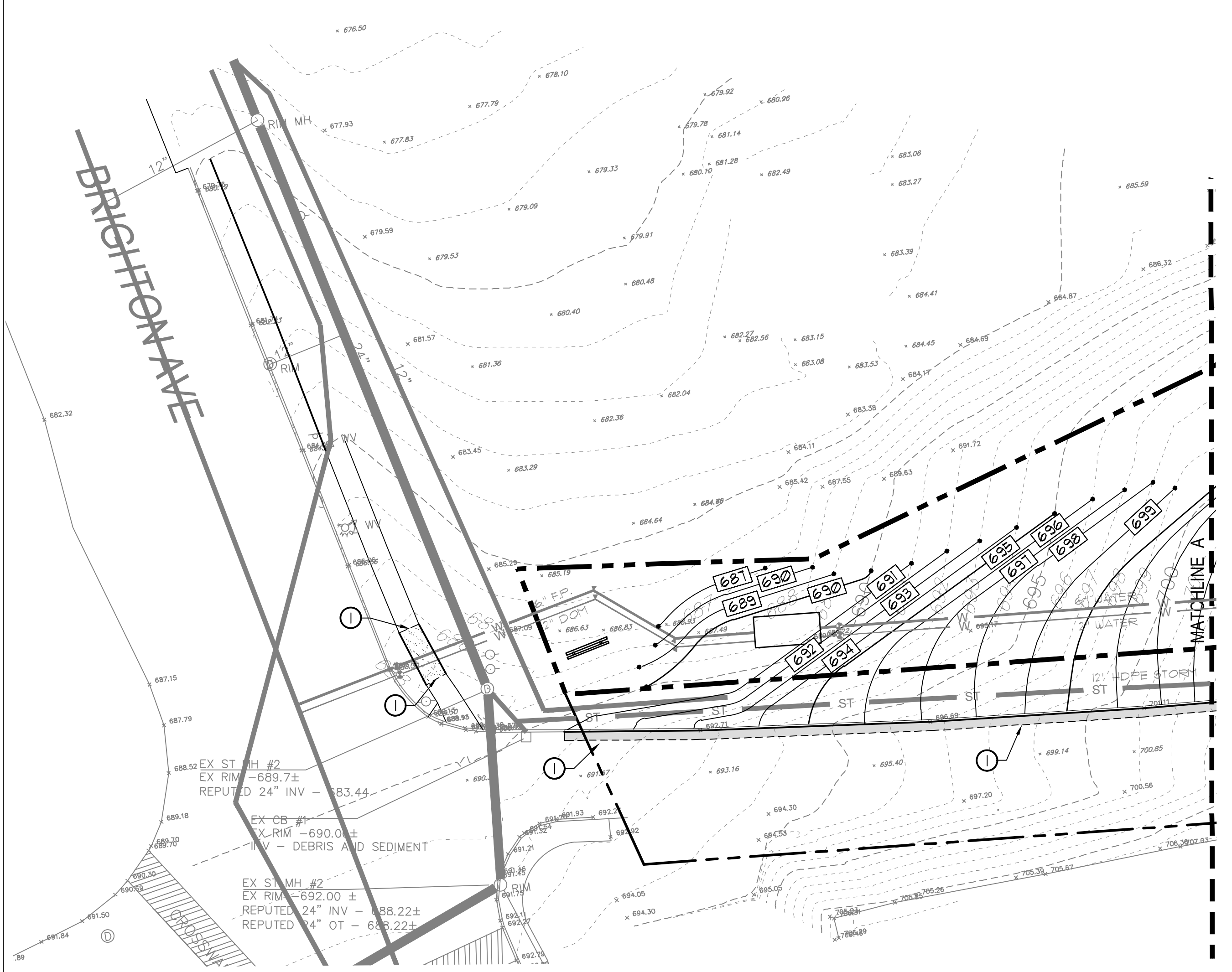
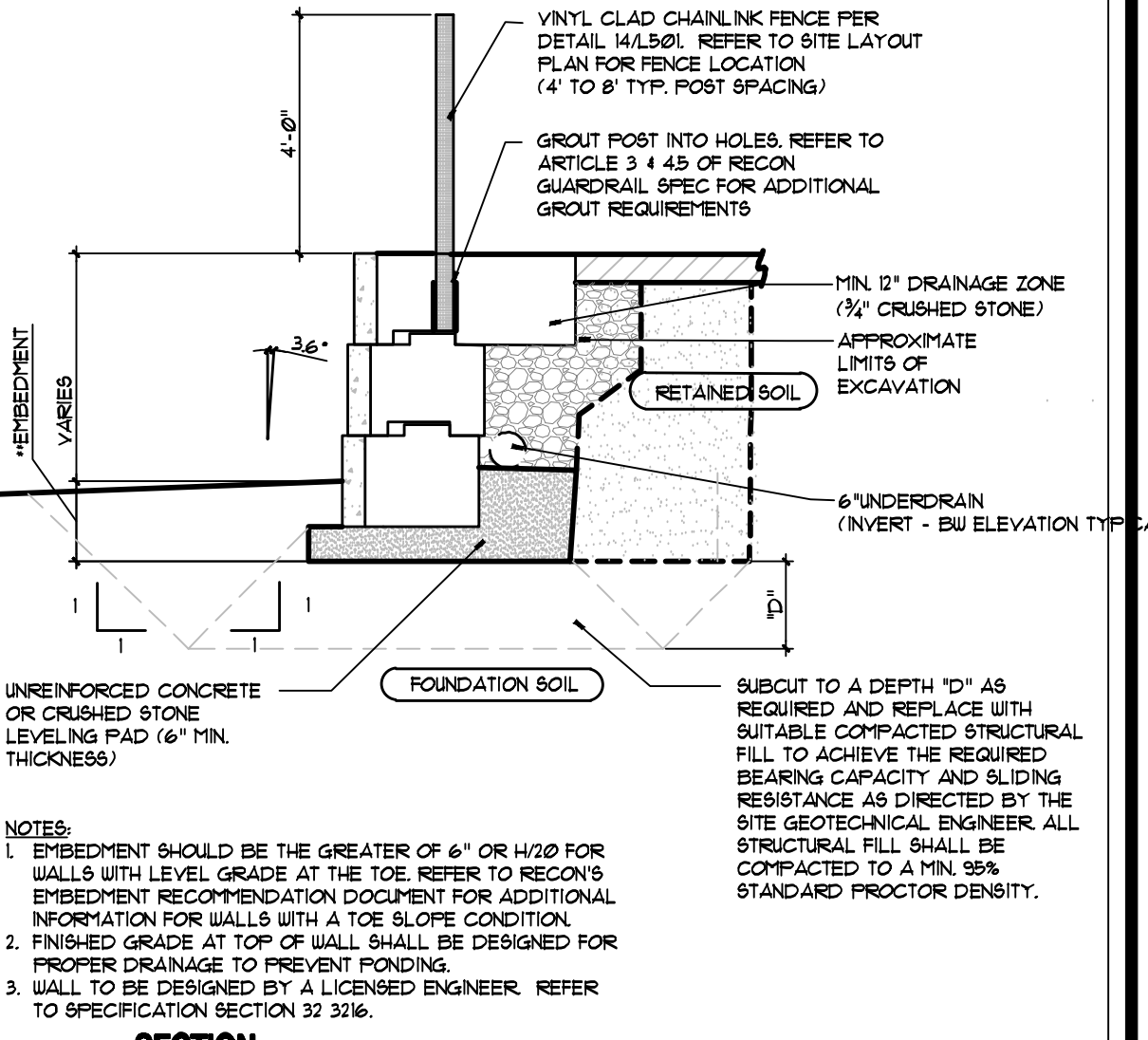
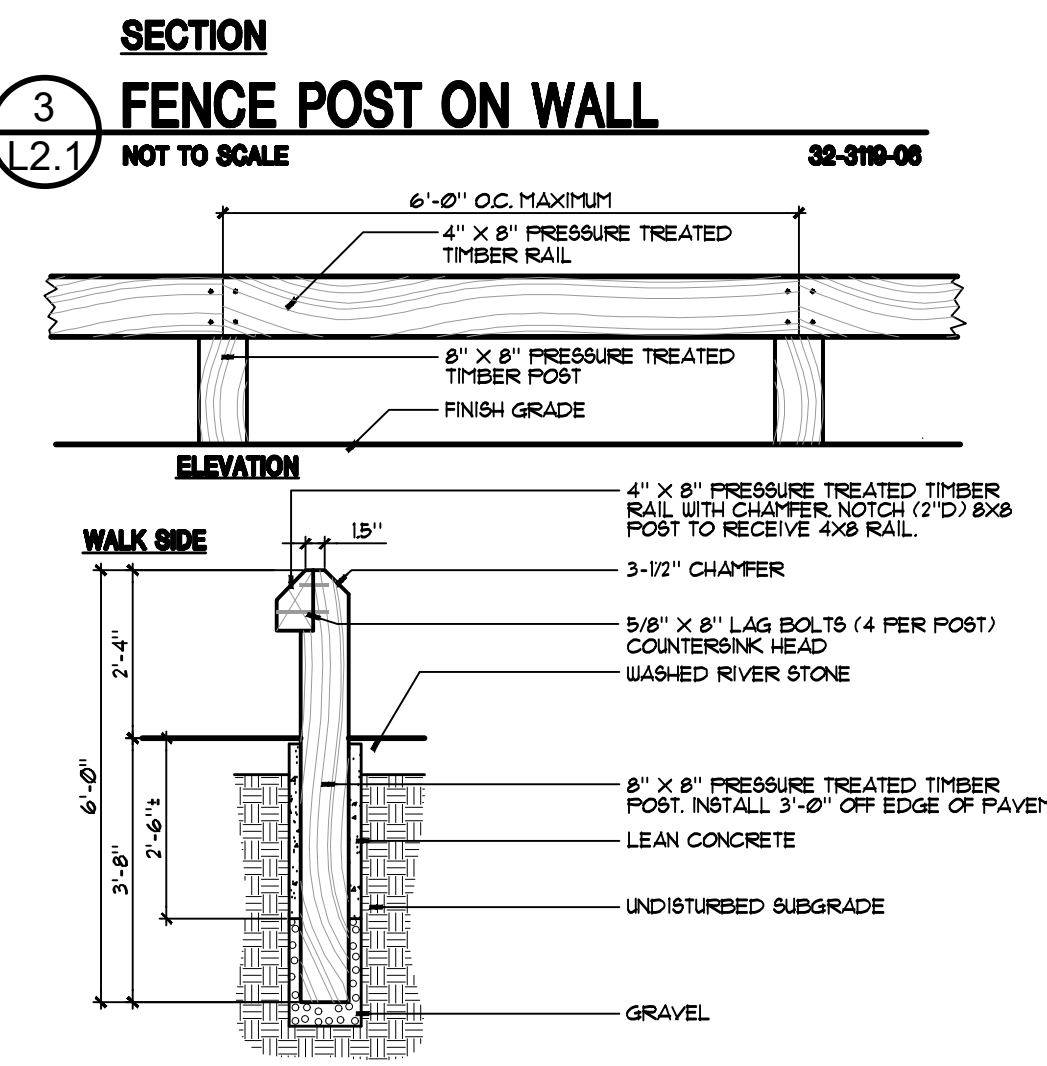
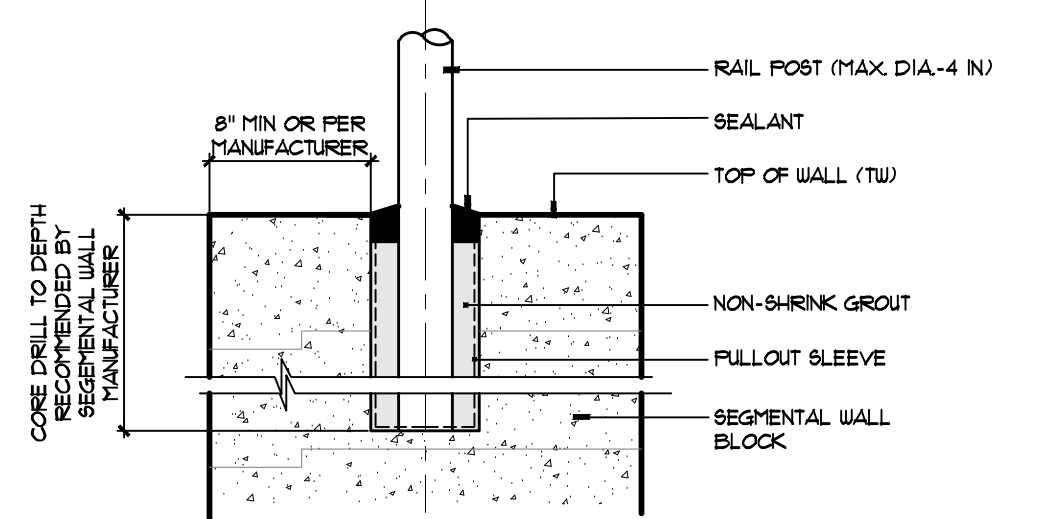
L2.1

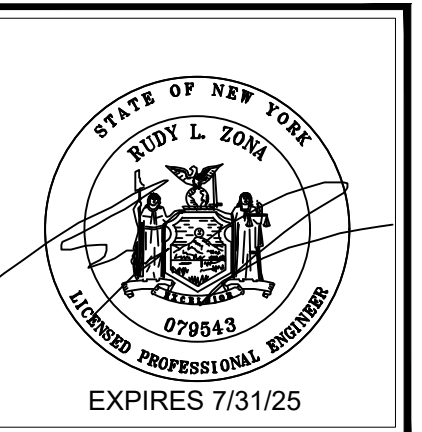
GRADING and UTILITY GENERAL NOTES

- NOTES REFER TO SHEETS L2.1 AND L2.2
- ANY FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
 - WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
 - ALL CONCRETE PAVING AT ALL DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOUBLED TO FOUNDATION WALL PER DETAILS.
 - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM KEPLINGER FREEMAN ASSOCIATES (KFA)/RZ ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. KFA AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
 - ANY ELECTRIC AND LIGHT POLES AND/OR EQUIPMENT IS SHOWN FOR COORDINATION PURPOSES ONLY. LOCATIONS ARE APPROXIMATE ONLY. REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATIONS AND DETAILED INFORMATION.

GRADING, DRAINAGE & UTILITY NOTES

- NOTES REFER TO SHEETS L2.1 AND L2.2
- MEET EXISTING LINE AND GRADE.
 - INSTALL 6" FIRE PROTECTION WATER LINE AND 2" DOMESTIC WATER LINE TO WITHIN 5 FEET OF BUILDING.
 - INSTALL ROOF DRAIN TO SURFACE DRAIN INTO STORM WATER MANAGEMENT AREA. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
 - FIELD VERIFY ALL EXISTING INVERTS & EXISTING UTILITY LOCATIONS PRIOR TO THE COMMENCEMENT OF WORK.
 - REFER TO PLUMBING DRAWINGS FOR CONNECTION INSIDE BUILDING.
 - INSTALL SANITARY CLEANOUT PER DETAIL 4 / L6.1
 - INSTALL UNDERDRAIN PER DETAIL 6 / L2.2
 - FIELD VERIFY SANITARY PIPE DEPTH AT PIPE CROSSING.
 - INSTALL COMMERCIAL SERVICE TRAP AND VENT PER DETAIL 2 / L6.1
 - CONTRACTOR SHALL CONTACT CITY ENGINEER TO COORDINATE CONNECTION AND ADJUSTMENTS TO THE TOWN SEWER SYSTEMS.
 - WYE CONNECT 12" STORM TO EXISTING 12" STORM PIPE FROM CATCH BASIN TO STORM MANHOLE WITHIN BRIGHTON AVENUE RIGHT OF WAY.
 - NOTE OMITTED.
 - INSTALL 45° BEND WITH THRUST BLOCK PER DETAIL 8 / L6.1
 - CITY OF SYRACUSE WATER TO INSTALL WATERLINE TAP AND PIPE UP TO AND INCLUDING THE CURB BOX AT THE PROPERTY LINE. ALL WORK WITHIN RIGHT OF WAY TO BE COMPLETED BY CITY OF SYRACUSE WATER DEPARTMENT.
 - INSTALL WATER METER PIT, 2' METER WITH BACKFLOW PREVENTION, TO BE DESIGNED.
 - INSTALL GATE VALVE PER DETAIL 6 / L6.1
 - INSTALL MC4500 STORM CHAMBERS - SEE DETAIL 10/L6.1
 - INSTALL 8" HDPE PIPE TO DAYLIGHT.



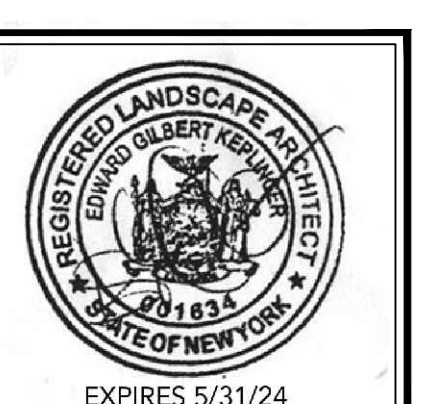


RZ Engineering, PLLC
1000 E. BROAD STREET, 2ND FLOOR
EAST SYRACUSE, NY 13057
PHONE: (315) 445-7980 FAX: (315) 445-7981

BRIGHTON HILL STORAGE
1001 EAST BRIGHTON AVE.
SYRACUSE, NEW YORK



ISSUED AND REVISIONS NOTIFICATION	No.	Rev.	Description	Date
	3	UPR	WATER REVISIONS	6/10/24
	4	CRF	REV. LAYOUT W/ SUP	6/19/24
	5	CRF	CPC RESUBMISSION	8/9/24
	6	CRF	DEC COMMENTS	8/12/24
	8	CRF	EAK EASEMENT COMMENTS	10/17/24
	9	CRF	CPC RESUBMISSION	10/15/24
	10	CRF	CPC RESUBMISSION	11/26/24



Drawn By: C.R.F.
Checked By: E.G.K.
MFA Proj. No.: 43052
Date: 26 FEBRUARY, 2024
Scale: AS NOTED

SITE DRAINAGE AND UTILITIES PLAN

L2.2

GRADING and UTILITY GENERAL NOTES

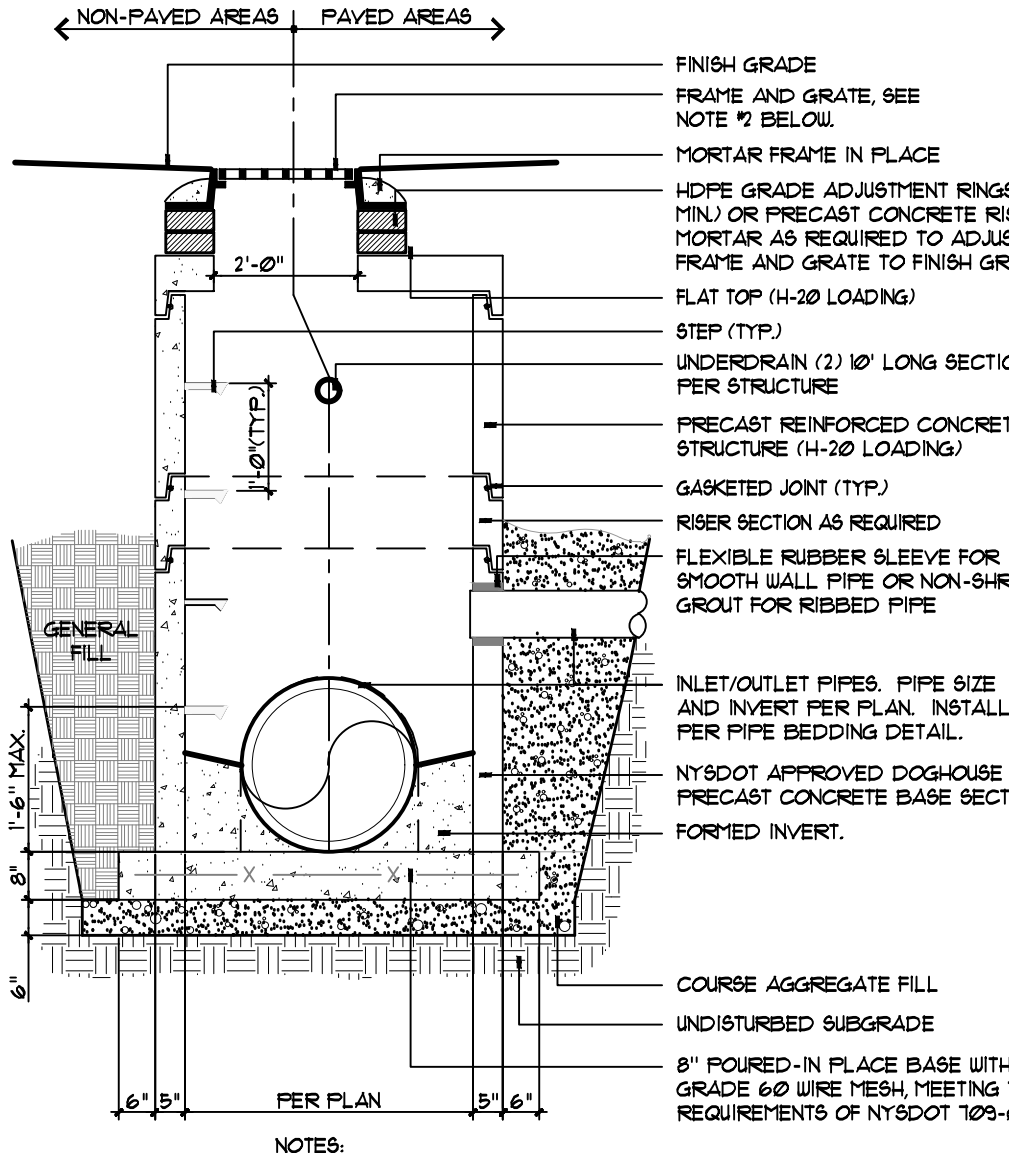
NOTES REFER TO SHEETS L2.1 AND L2.2

- ANY FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
- WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG EXISTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
- ALL CONCRETE PAVING AT ALL DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOUBLED TO FOUNDATION WALL PER DETAILS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
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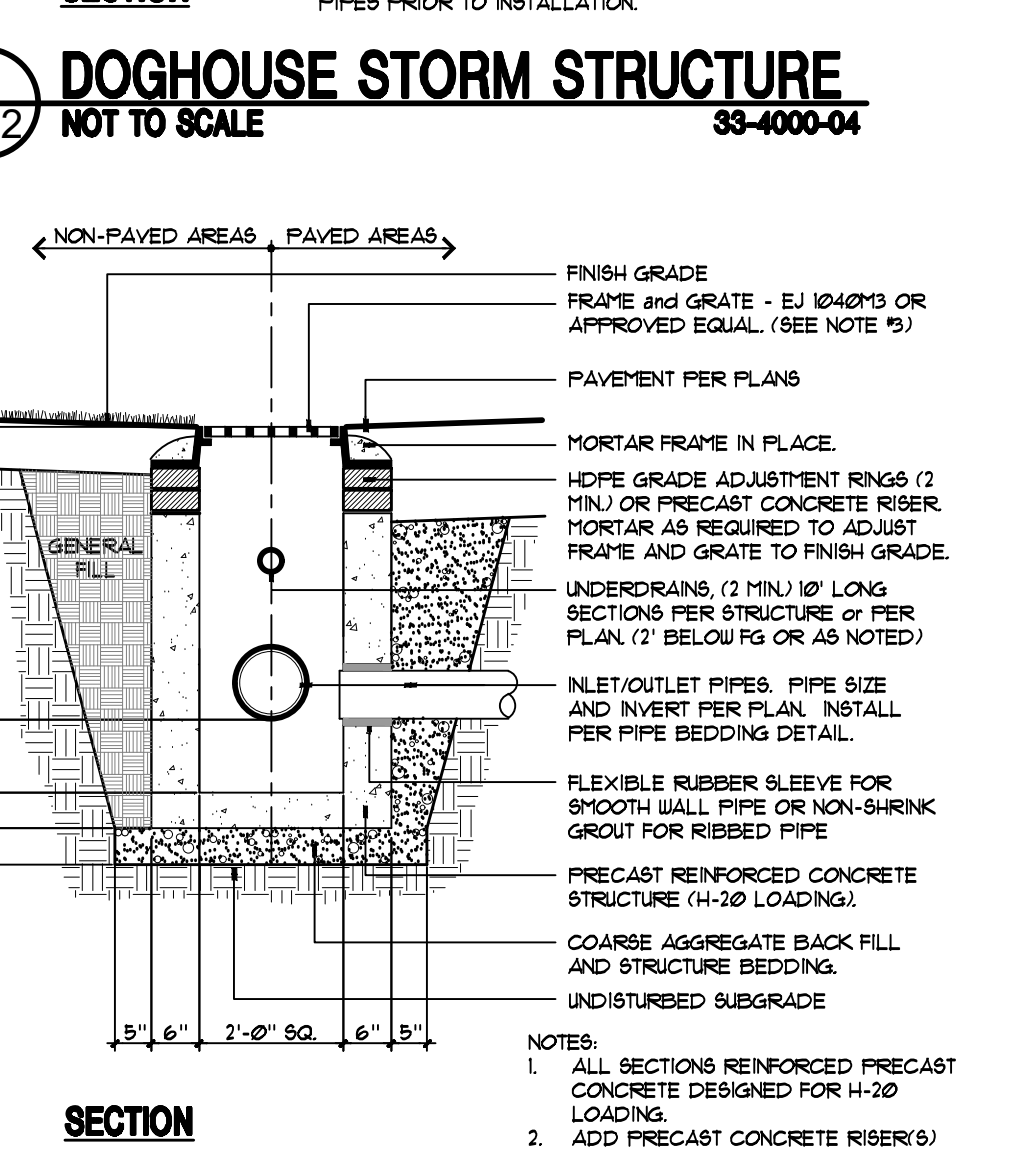
GRADING, DRAINAGE & UTILITY NOTES

NOTES REFER TO SHEETS L2.1 AND L2.2

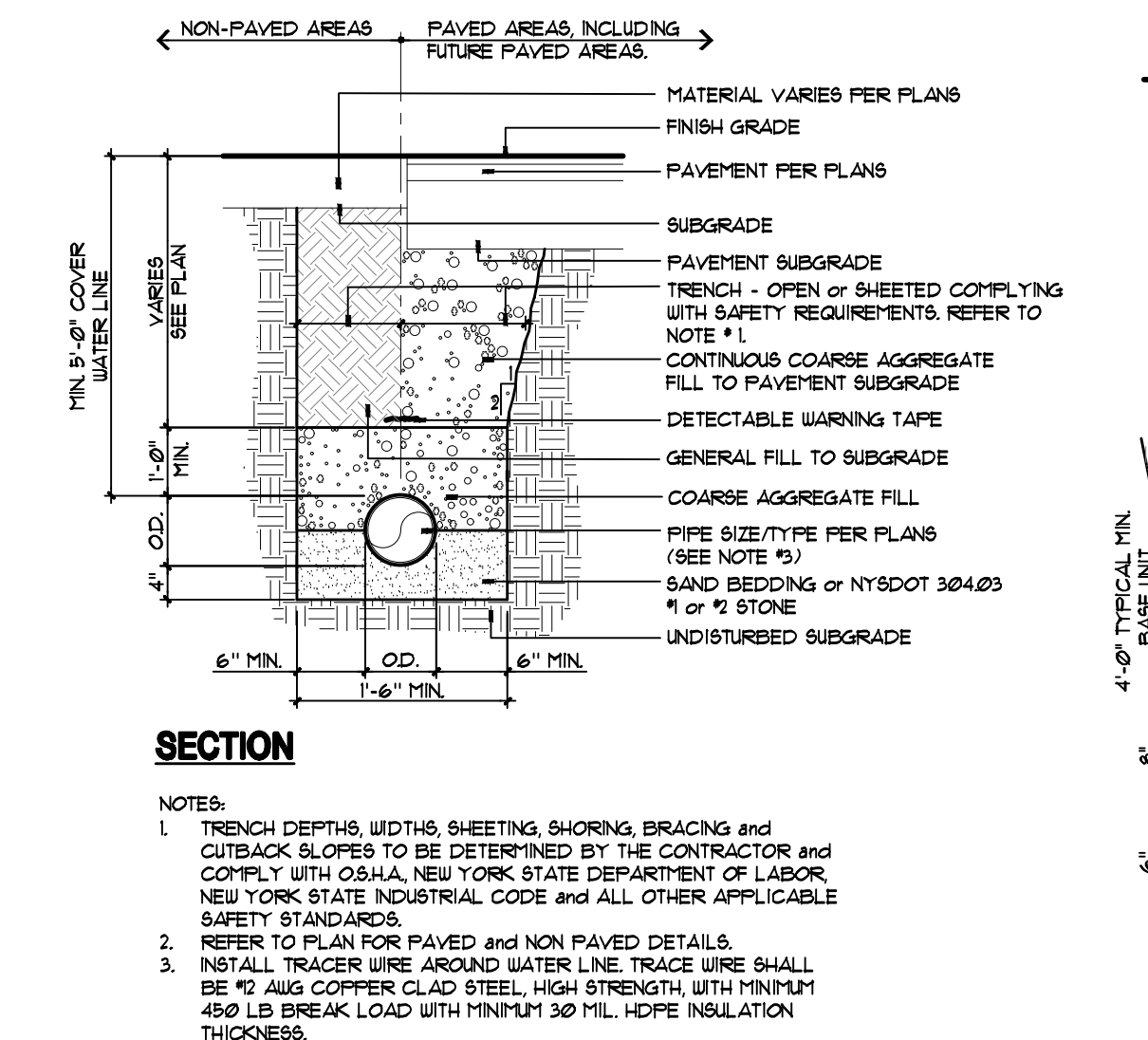
- MEET EXISTING LINE AND GRADE.
- INSTALL 6" FIRE PROTECTION WATER LINE AND 2" DOMESTIC WATER LINE TO WITHIN 5 FEET OF BUILDING.
- INSTALL ROOF DRAIN TO SURFACE DRAIN INTO STORM WATER MANAGEMENT AREA. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- FIELD VERIFY ALL EXISTING INVERTS & EXISTING UTILITY LOCATIONS PRIOR TO THE COMMENCEMENT OF WORK.
- REFER TO PLUMBING DRAWINGS FOR CONTINUATION INSIDE BUILDING.
- INSTALL SANITARY CLEANOUT PER DETAIL 4 / L6.1
- INSTALL UNDERDRAIN PER DETAIL 6 / L2.2
- FIELD VERIFY SANITARY PIPE DEPTH AT PIPE CROSSING.
- INSTALL COUNTER SERVICE TRAP AND VENT PER DETAIL 2 / L6.1
- CONTRACTOR SHALL CONTACT CITY ENGINEER TO COORDINATE CONNECTION AND ADJUSTMENTS TO THE TOWN SEWER SYSTEMS.
- USE CONNECT 1" STORM TO EXISTING 12" STORM PIPE FROM CATCH BASIN TO STORM MANHOLE WITHIN BRIGHTON AVENUE RIGHT OF WAY.
- NOTE OMITTED.
- INSTALL 45° BEND WITH THRUST BLOCK PER DETAIL 8 / L6.1
- CITY OF SYRACUSE WATER TO INSTALL WATERLINE TAP AND PIPE UP TO AND INCLUDING THE CURB BOX AT THE PROPERTY LINE. ALL CURB WORK WITHIN RIGHT OF WAY TO BE COMPLETED BY CITY OF SYRACUSE WATER DEPARTMENT.
- INSTALL WATER METER PIT, 2 METER WITH BACKFLOW PREVENTION, TO BE DESIGNED.
- INSTALL GATE VALVE PER DETAIL 6 / L6.1
- INSTALL MC4500 STORM CHAMBERS - SEE DETAIL 10/L6.1
- INSTALL 8" HDPE PIPE TO DAYLIGHT.



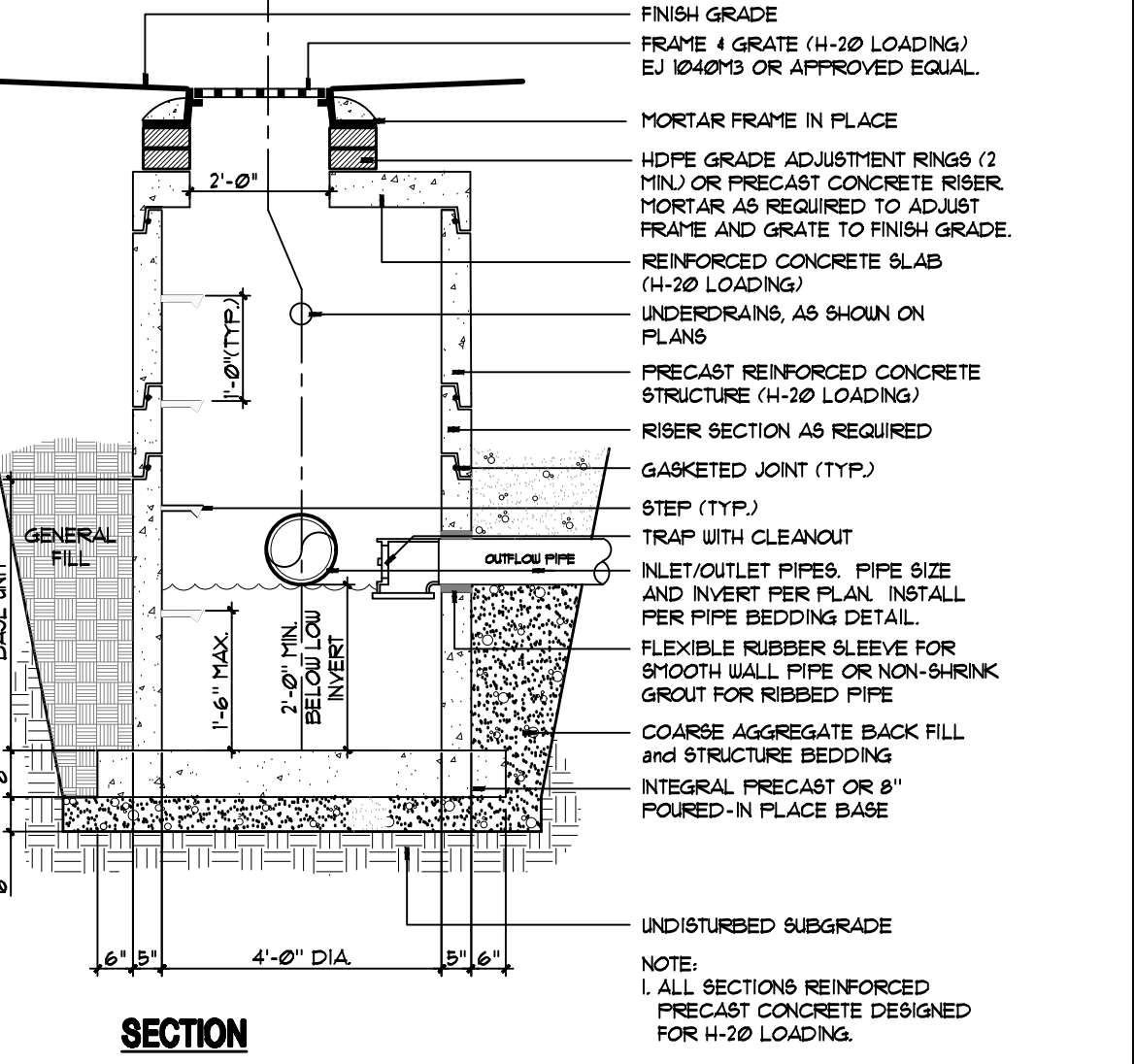
SECTION 6 UNDERDRAIN - TYPE 2 (UD-2)
NOT TO SCALE 33-4000-02



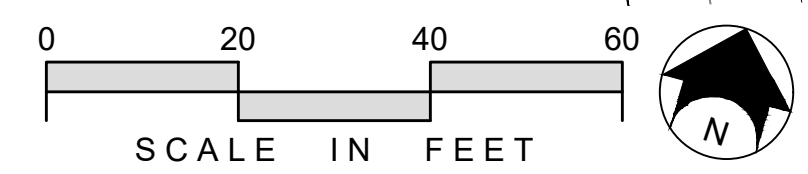
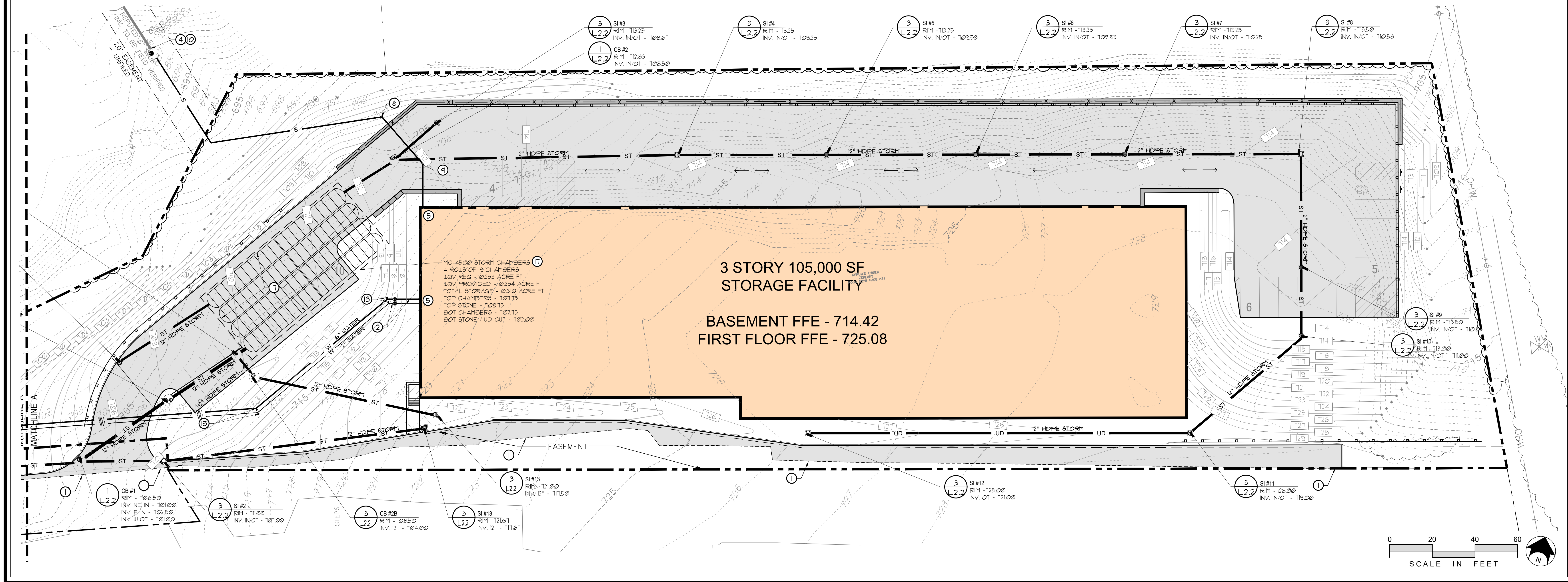
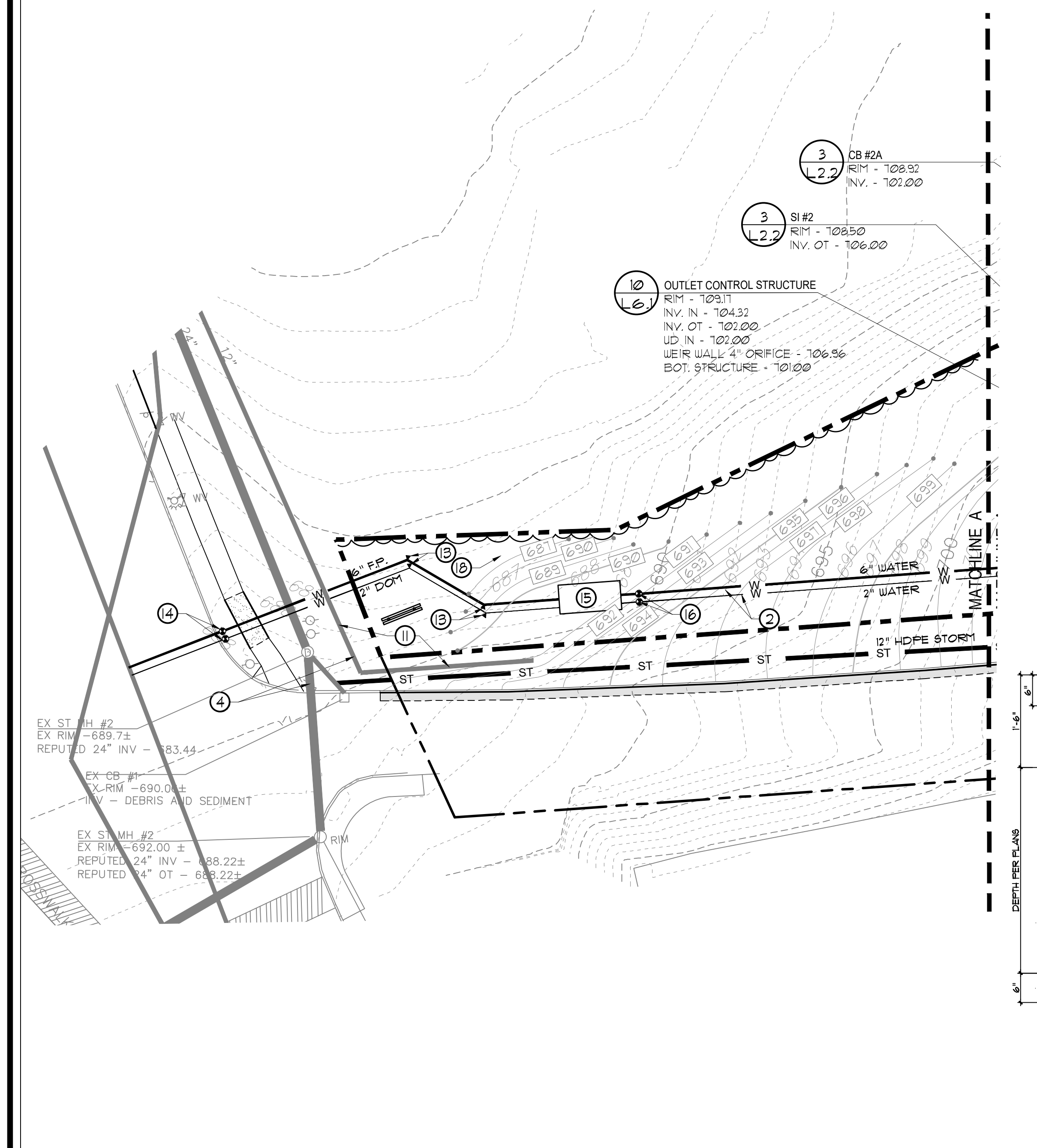
SECTION 4 DOGHOUSE STORM STRUCTURE
NOT TO SCALE 33-4000-04

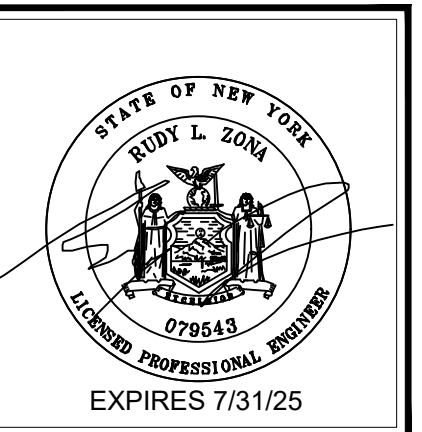


SECTION 2 PIPE BEDDING
NOT TO SCALE 33-4000-02A



SECTION 1 CATCH BASIN (CB)
NOT TO SCALE 33-4000-02





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BRIGHTON HILL STORAGE
 1001 EAST BRIGHTON AVE.
 SYRACUSE, NEW YORK



ISSUED AND REVISIONS NOTIFICATION	No	Rev	Description	Date
	3	JPR	WATER REVISIONS	6/10/24
	4	CRF	REV LAYOUT W/ SUP	6/19/24
	5	CRF	CPC RESUBMISSION	6/25/24
	6	CRF	DEC COMMENTS	8/12/24
	7	CRF	EKG EASEMENT COMMENTS	10/17/24
	8	CRF	CPC RESUBMISSION	10/15/24
	9	CRF	CPC RESUBMISSION	11/26/24



Drawn By: C.R.F.
 Checked By: E.G.K.
 RFA Proj. No.: 43092
 Date: 26 FEBRUARY, 2024
 Scale: AS NOTED

SITE LAYOUT PLAN

L3.1

ZONING CHART - CITY OF SYRACUSE

TAX PARCELS INVOLVED:	2.93 ACRES (1001 EAST BRIGHTON AVE.)
LOT 2 OF 062-02-0110	2.93 ACRES (1001 EAST BRIGHTON AVE.)
ZONED: COMMERCIAL (CM)	
YARD SETBACKS	REQUIRED / PROVIDED
FRONT SETBACK	NO MIN. / 16'±
SIDE YARD SETBACK	NO MIN. / 4'±
REAR YARD SETBACK	NO MIN. / 82'
STALL SIZE: 18'-0" X 9'-0"	
DRIVE AISLE: 24'-0" MIN. WIDTH	

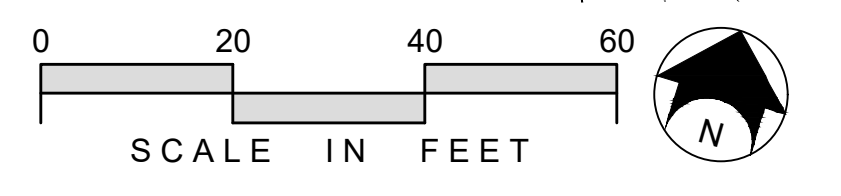
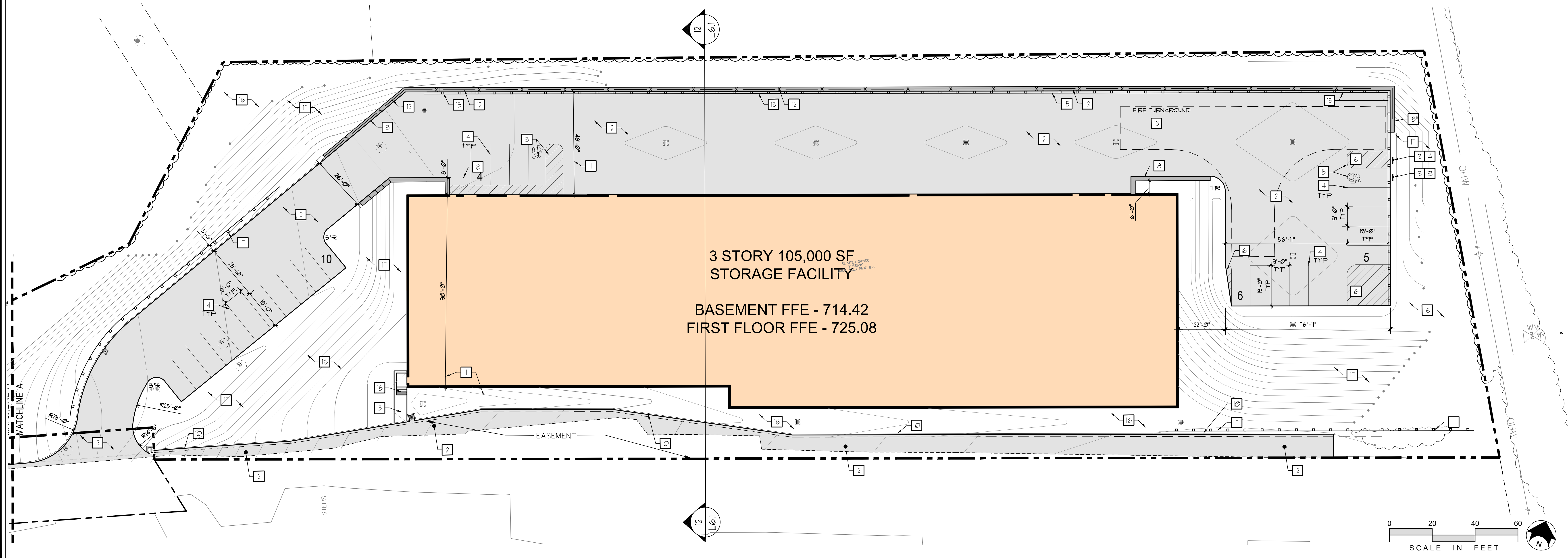
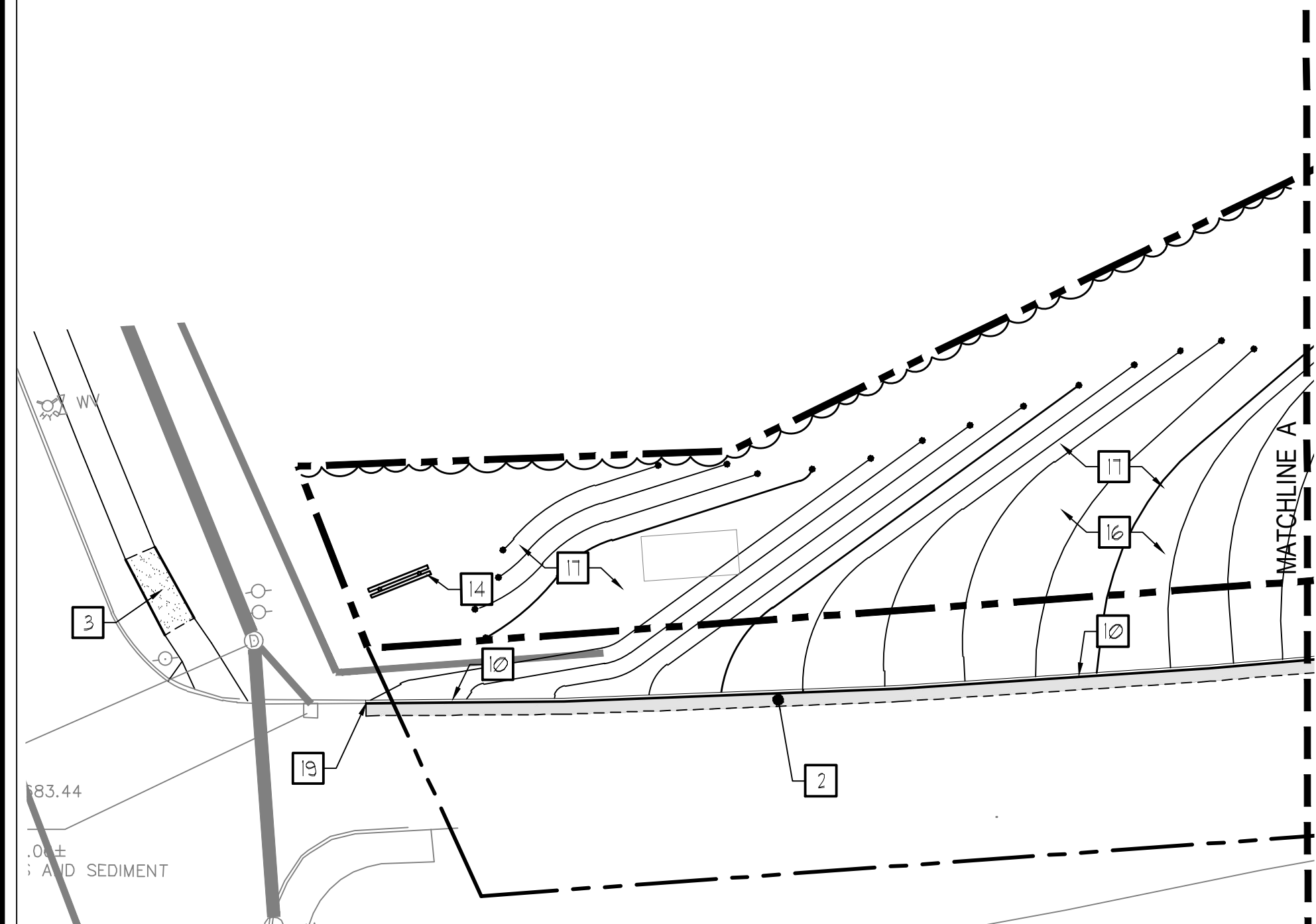
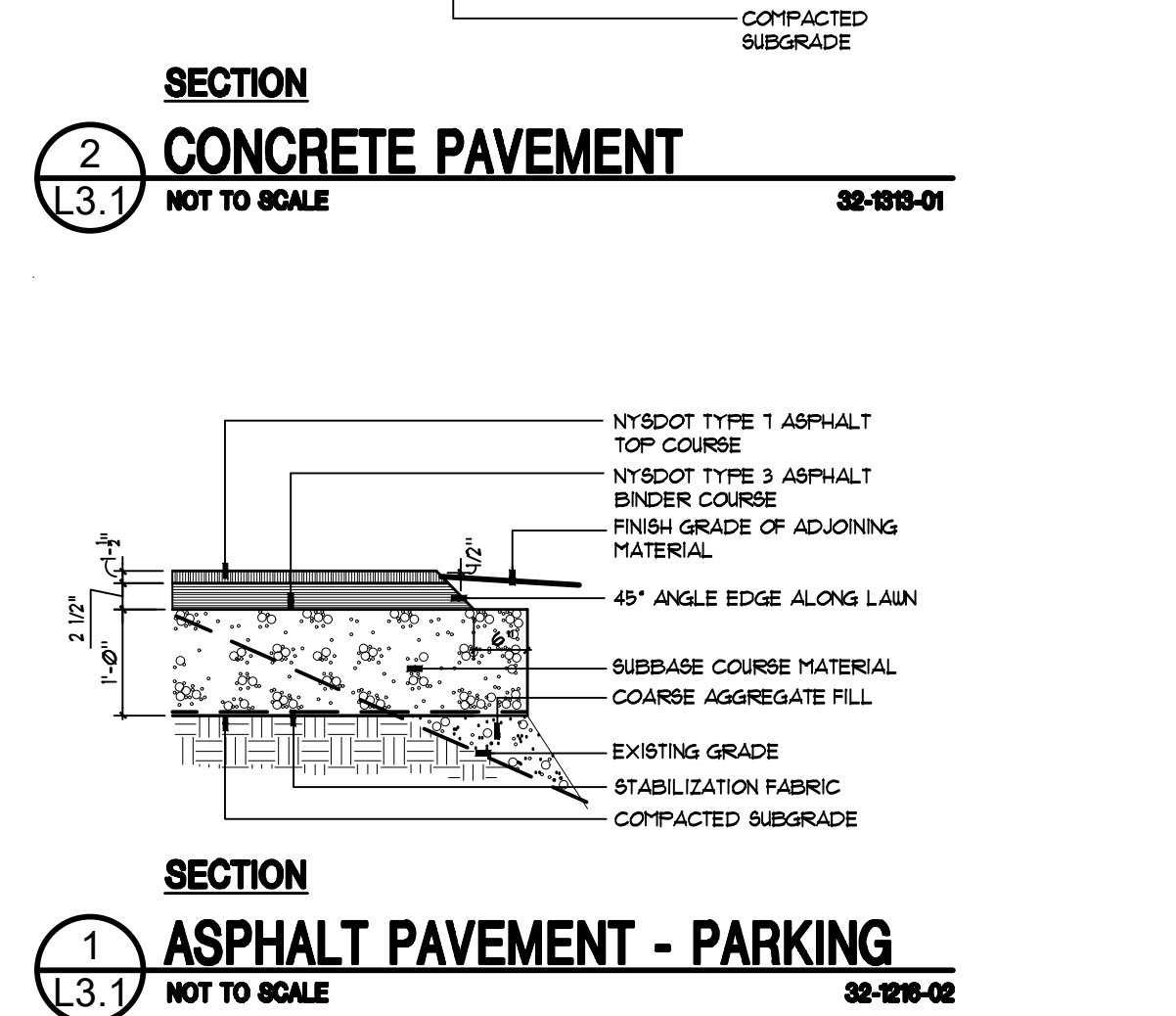
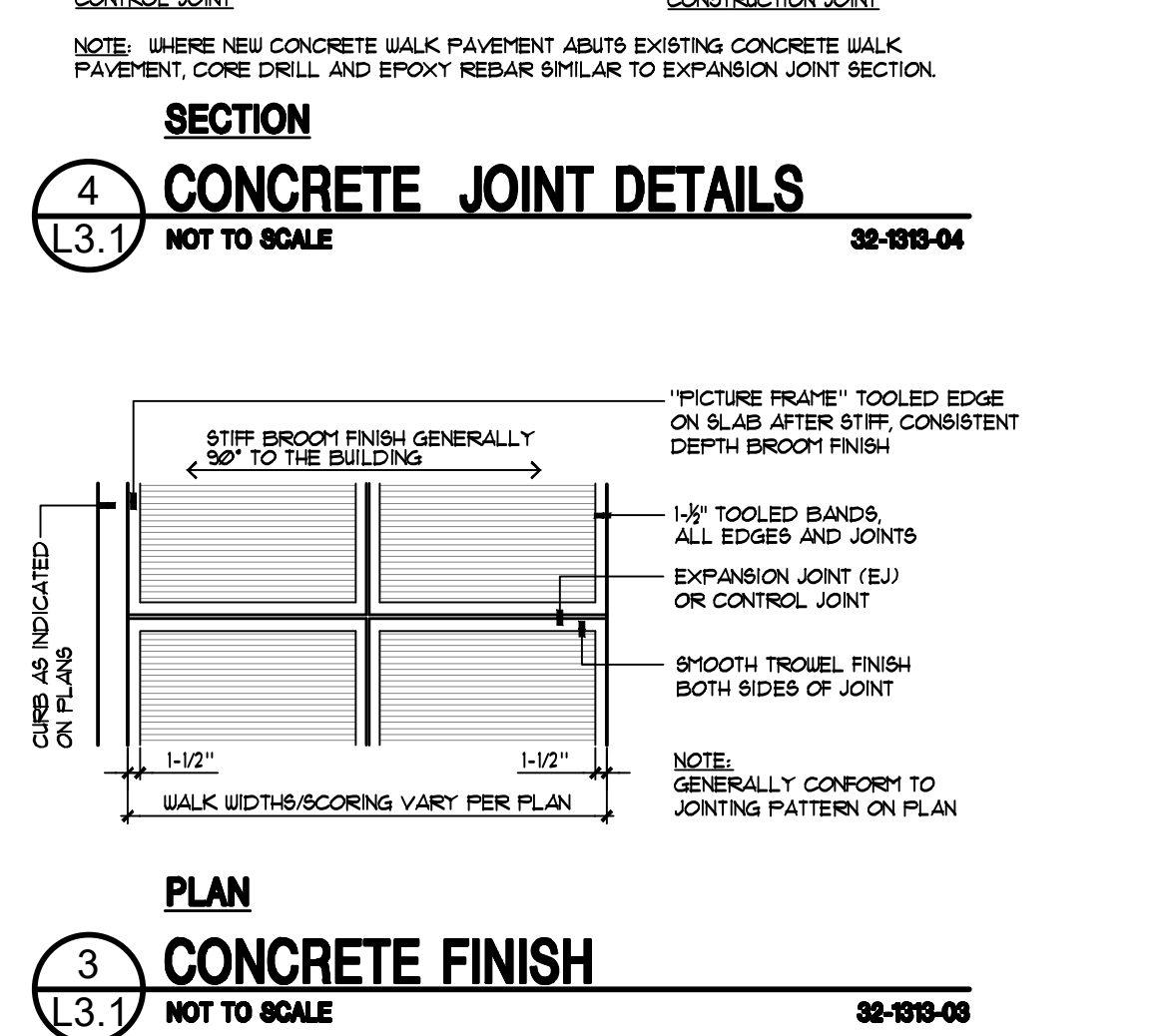
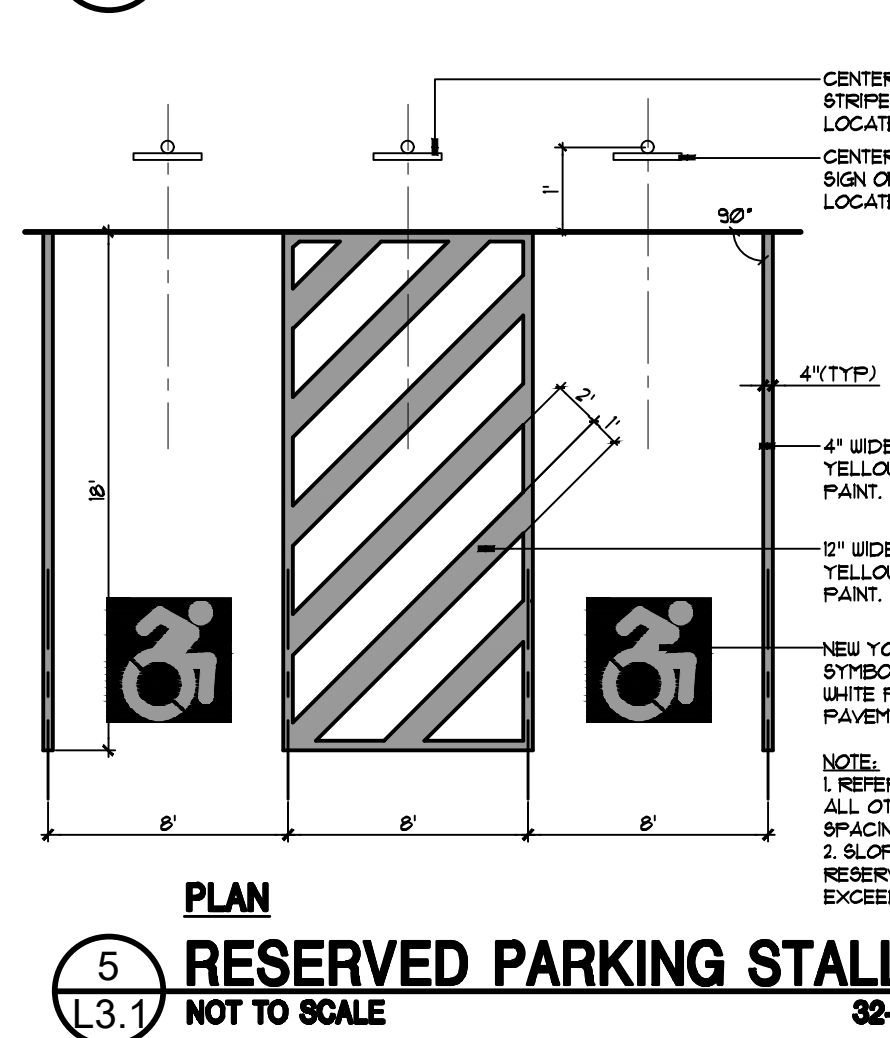
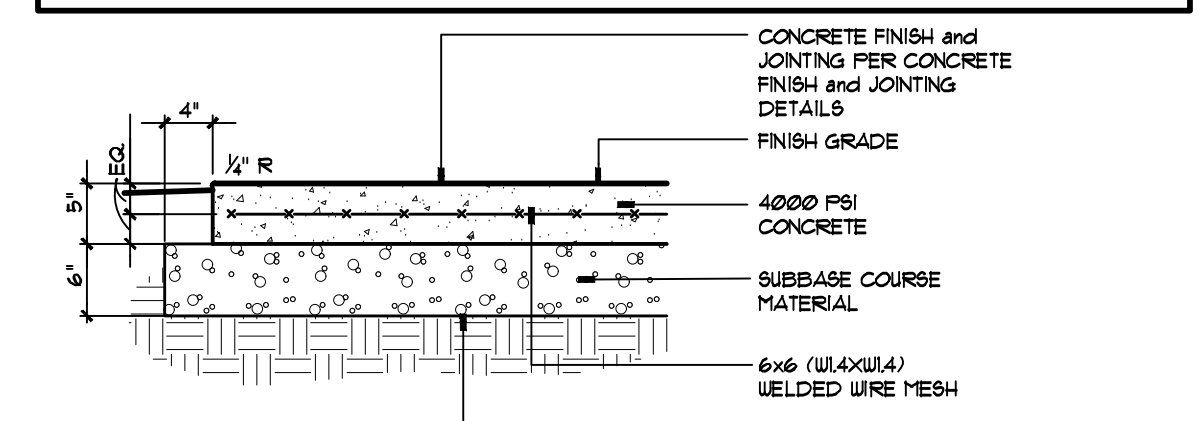
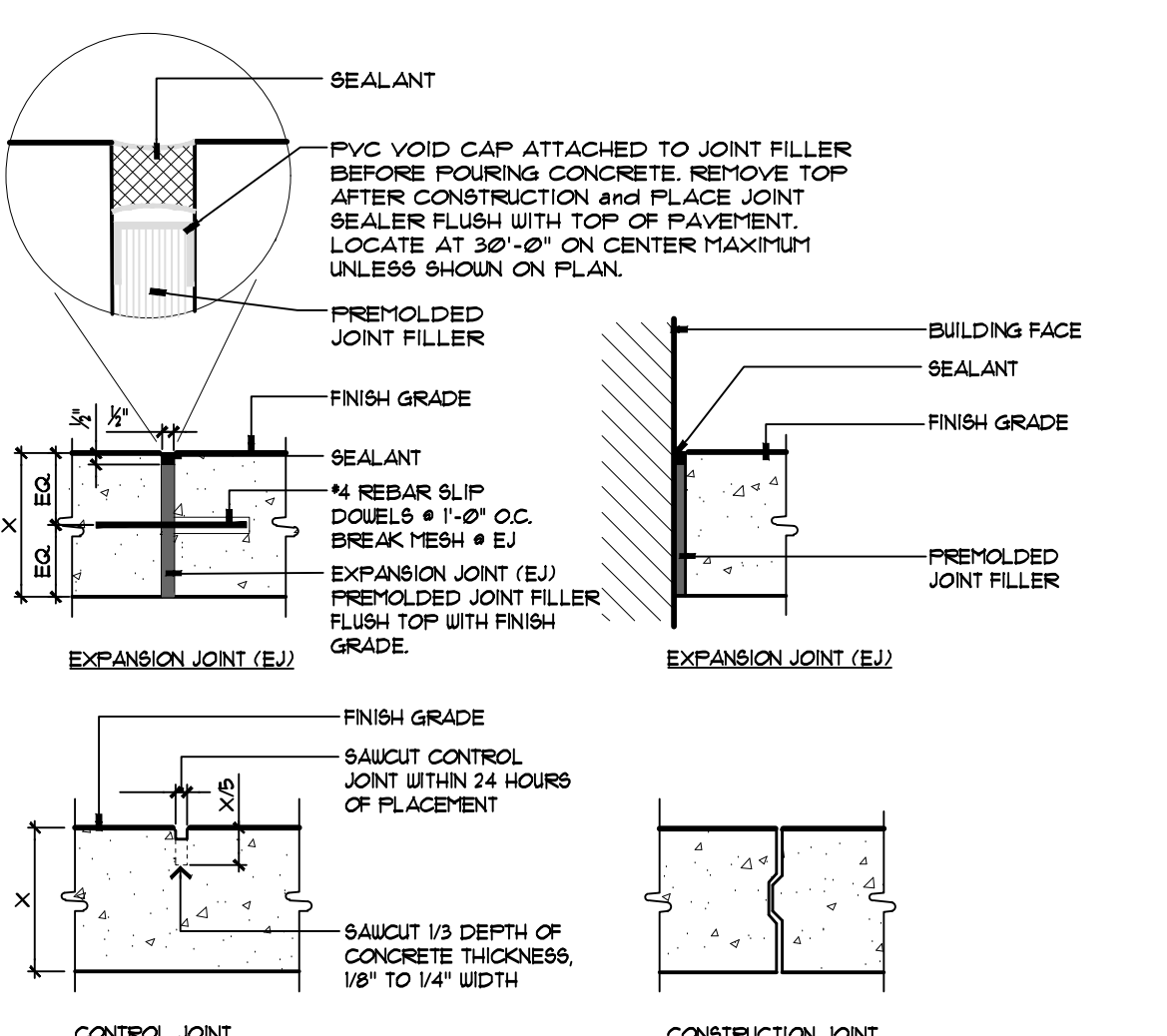
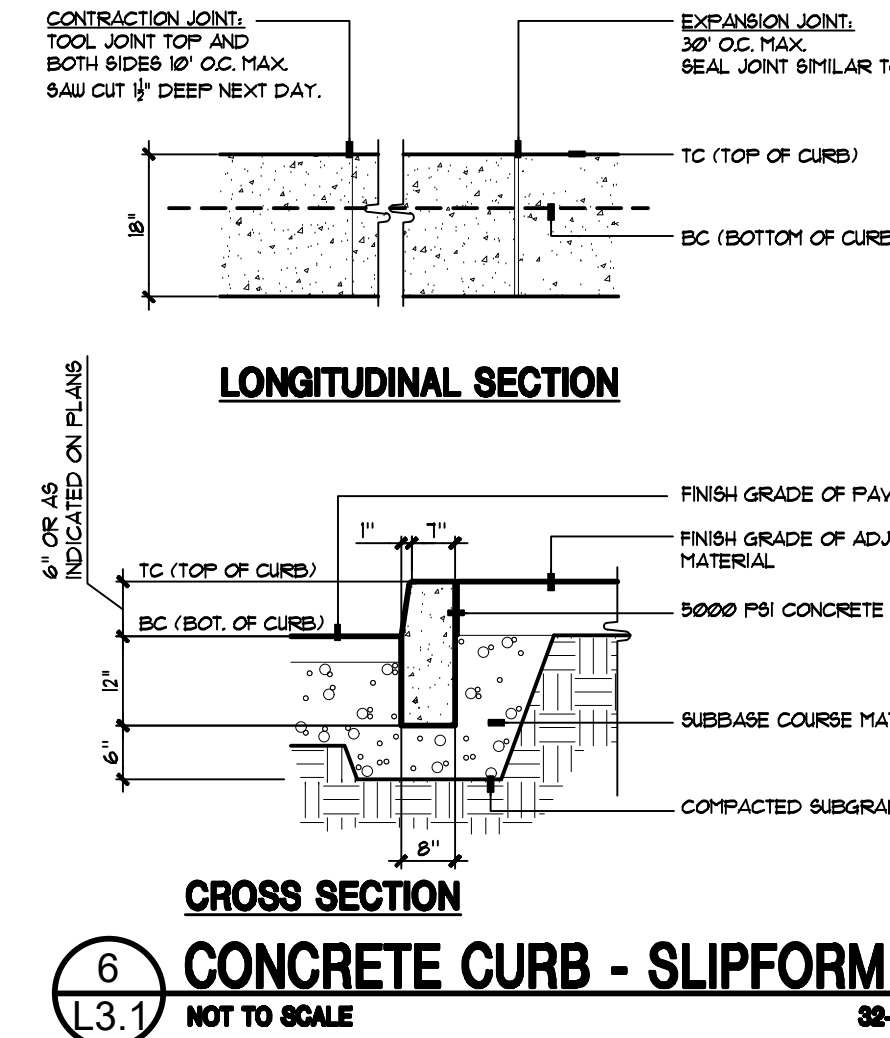
SIGN SCHEDULE

KEY	SIGN PLATE	SIGN SIZE / MOUNTING HT.	NY S.D.O.T. MULT.C.D. NO. / COMMENTS
A	NO PARKING ANY TIME	12" X 18" T-0" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
B	RESERVED PARKING W/ ACCESSIBLE SYMBOL	12" X 18" T-0" HT.	SIGN NO. P4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT / BORDER, COMMENTS:

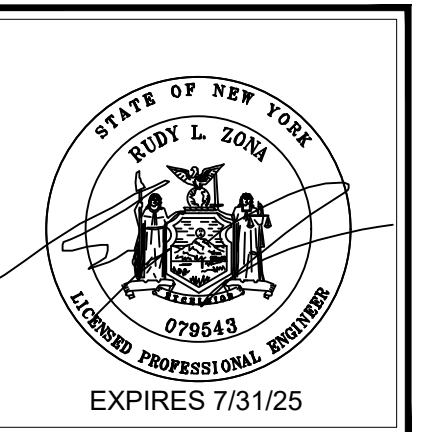
NOTES:
 1. REFER TO TRAFFIC CONTROL SIGN DETAIL FOR INSTALLATION.
 2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NYS&D.O.T. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

LAYOUT CONSTRUCTION NOTES

- DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO BUILDING
- INSTALL ASPHALT PAVEMENT - PARKING PER DETAIL 1 / L3.1
- INSTALL CONCRETE PAVEMENT PER DETAIL 2 / L3.1
- 4" WIDE WHITE PAINTED LINE - WHITE (TYP.)
- INSTALL RESERVED PARKING STALL PER DETAIL 5 / L3.1
- INSTALL 4" WIDE WHITE PAINTED LINES AT 45° @ 2' O.C.
- INSTALL TIMBER RAIL PER DETAIL 2 / L2.1
- INSTALL SEGMENTAL RETAINING WALL PER DETAIL 1 / L2.1
- INSTALL TRAFFIC CONTROL SIGN PER DETAIL 1 / L6.1
- INSTALL CONCRETE CURB PER DETAIL 6 / L3.1
- INSTALL CONCRETE CURB TAPER PER DETAIL 7 / L3.1
- INSTALL 4" MINIMUM HEIGHT BLACK VINYL COATED CHAIN LINK FENCE ON WALL PER DETAIL 3 / L2.1 AND 3 / L6.1.
- INSTALL 4" MINIMUM HEIGHT BLACK VINYL COATED CHAIN LINK FENCE ON WALL PER DETAIL 3 / L2.1 AND 3 / L6.1.
- DESIGNATED FIRE TURN AROUND PER DETAIL APPENDIX 10" STANDARDS.
- INSTALL 5' X 10' DOUBLE SIDED GROUND SIGN (UNDER 30' TALL)
- INSTALL BOX BEAM GUIDERAIL PER DETAIL 1 / L6.1
- INSTALL SEEDED LAWN PER DETAIL 8 / L3.1
- INSTALL SEEDED LAWN SLOPE PROTECTION PER DETAIL 9 / L3.1
- INSTALL CONCRETE PRECAST STAIRS BY STEPS PLUS OR APPROVED EQUAL. STAIR SHALL BE 5 RISERS @ 11" HEIGHT.
- MEET TOP AND FACE OF EXISTING CURB.

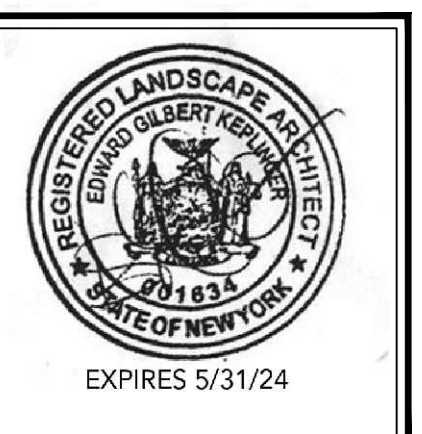


Drawn By: C.R.F.
 Checked By: E.G.K.
 RFA Proj. No.: 43092
 Date: 26 FEBRUARY, 2024
 Scale: AS NOTED



ISSUED AND REVISIONS NOTIFICATION

No	Rev	Description	Date
3	JPR	WATER REVISIONS	6/10/24
4	CRF	REV LAYOUT W/ SUP	6/19/24
5	CRF	CPC RESUBMISSION	6/19/24
6	CRF	DEC COMMENTS	6/19/24
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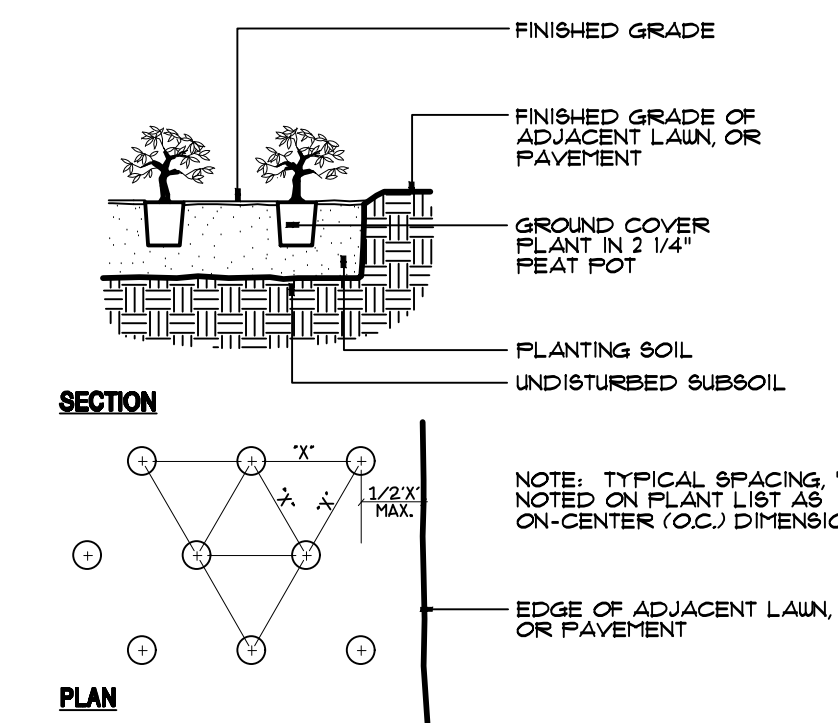


Drawn By: C.R.F.
 Checked By: E.G.K.
 RFA Proj. No.: 23024
 Date: 26 FEBRUARY, 2024
 Scale: AS NOTED

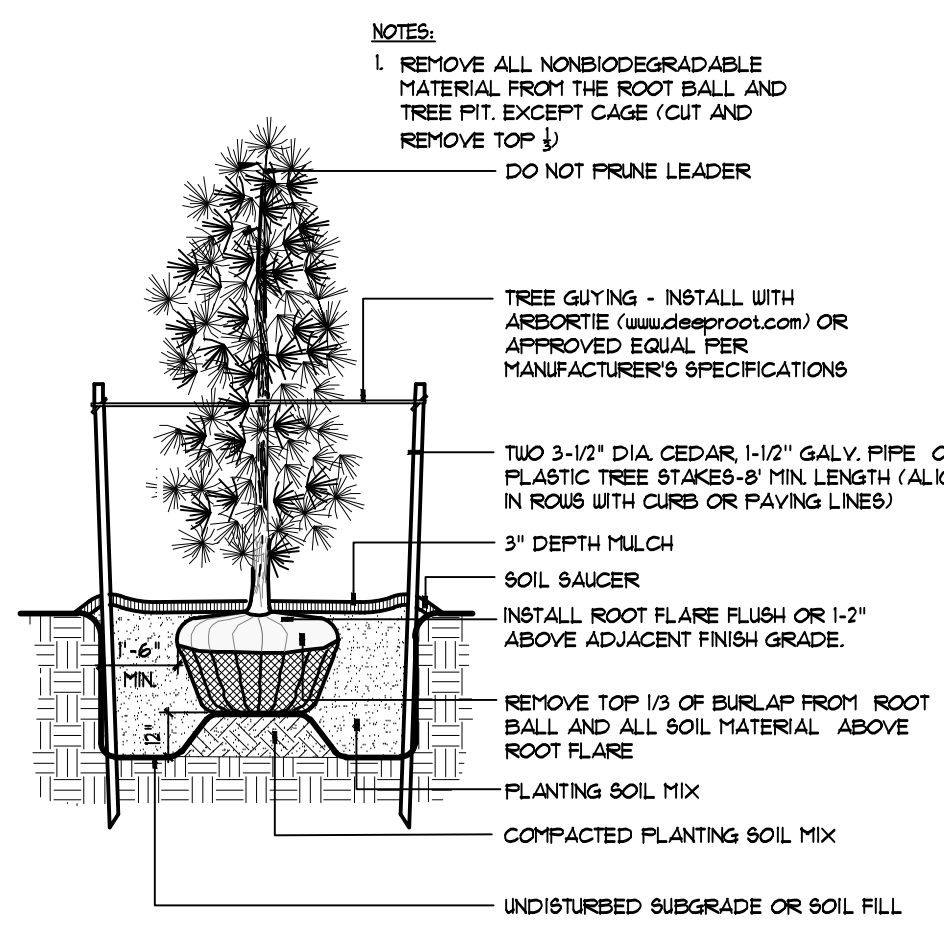
PLANT LIST						
KEY	COMMON NAME	BOTANICAL NAME	GALIFER	HEIGHT	CONDITION	NOTE
TREES						
Aa	DOWNY SERVICEBERRY	AMELANCHIER ARBOREA	-	8'-10'	B/B	3 STEMS
Gb	MAIDENHAIR TREE	GINKGO BILOBA 'PRINCETON SENTRY'	-	-	-	-
Lt	TULIP TREE	LIRIODENDRON TULIFIFERA	15" CAL.	-	B/B	-
Qb	SWAMP WHITE OAK	QUERCUS BICOLOR	15" CAL.	-	B/B	-
To	AMERICAN PILLAR ARBORVITAE	THUJA OCCIDENTALIS 'AMERICAN PILLAR'	-	5-6'	B/B	-
SHRUBS						
Ca	RED OSIER DOGWOOD	CORNUS STOLONIFERA 'ARCTIC FIRE'	-	24'-36"	3 GAL	5 CANES MIN.
Hh	PEPPER MINT SWIRL HYDRANGEA	HYDRANGEA MACROPHYLLA 'PEPPERMINT SWIRL'	-	24'-36"	3 GAL	-
Hq	GATSBY GAL OAKLEAF HYDRANGEA	HYDRANGEA QUERCIFOLIA 'GATSBY GAL'	-	24'-36"	3 GAL	-
Sm	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	-	24'-36"	3 GAL	SHRUB FORM
PERENNIALS AND GRASSES						
G-Ca	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	-	-	2 GAL	-
Hb	SHADOWLAND HUDSON BAY HOSTA	HOSTA HYBRID	-	12-18"	2 GAL	-
N	WALKERS LOW CATMINT	NERPATA RACEMOSA	-	12-18"	2 GAL	-

PLANT NOTES

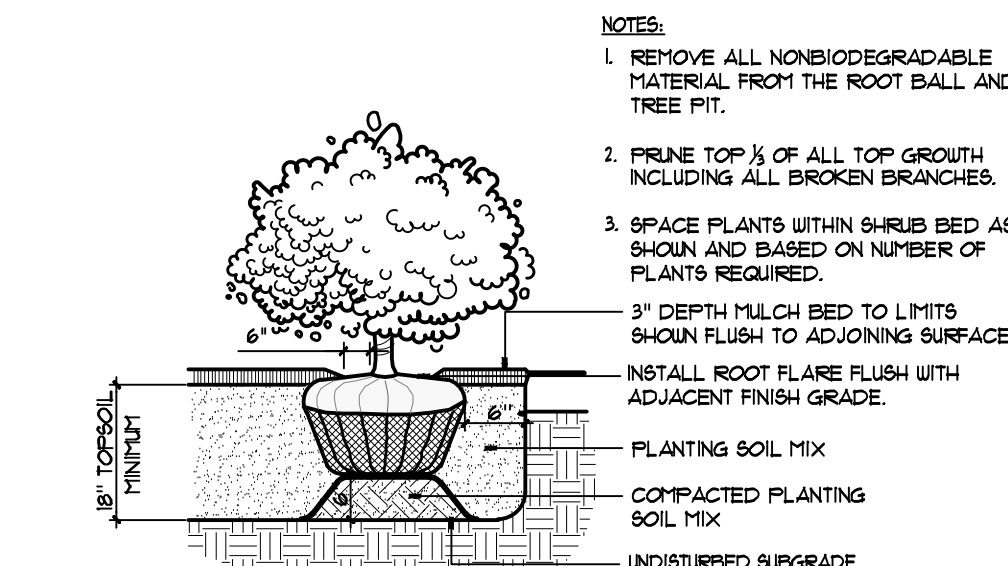
- ALL PLANT BEDS SHALL RECEIVE 3" DEPTH SHREDDED BARK MULCH WITH 18" OF SCREENED TOPSOIL.



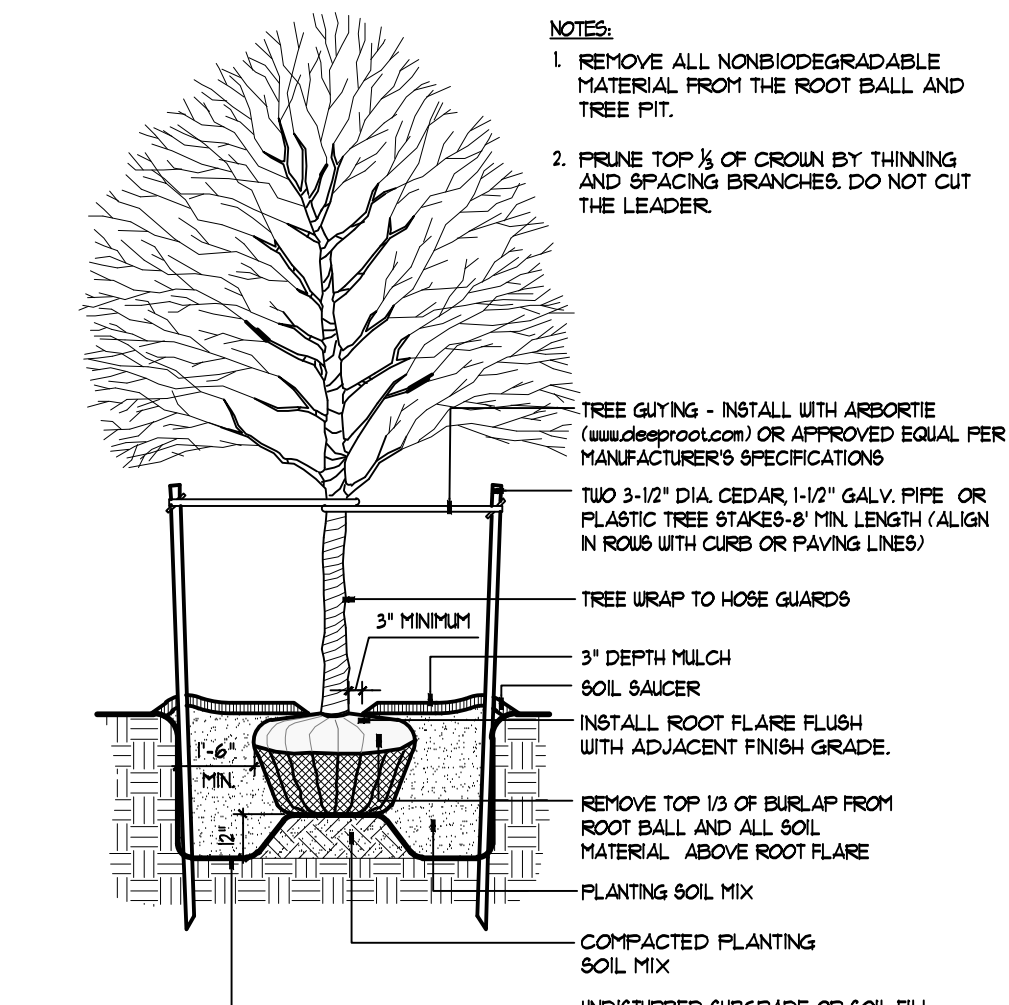
4 PERENNIAL PLANTING
 L4.1 NOT TO SCALE 32-6300-04



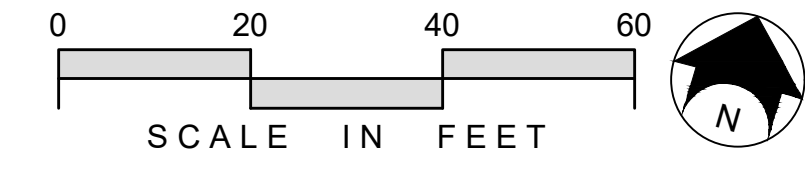
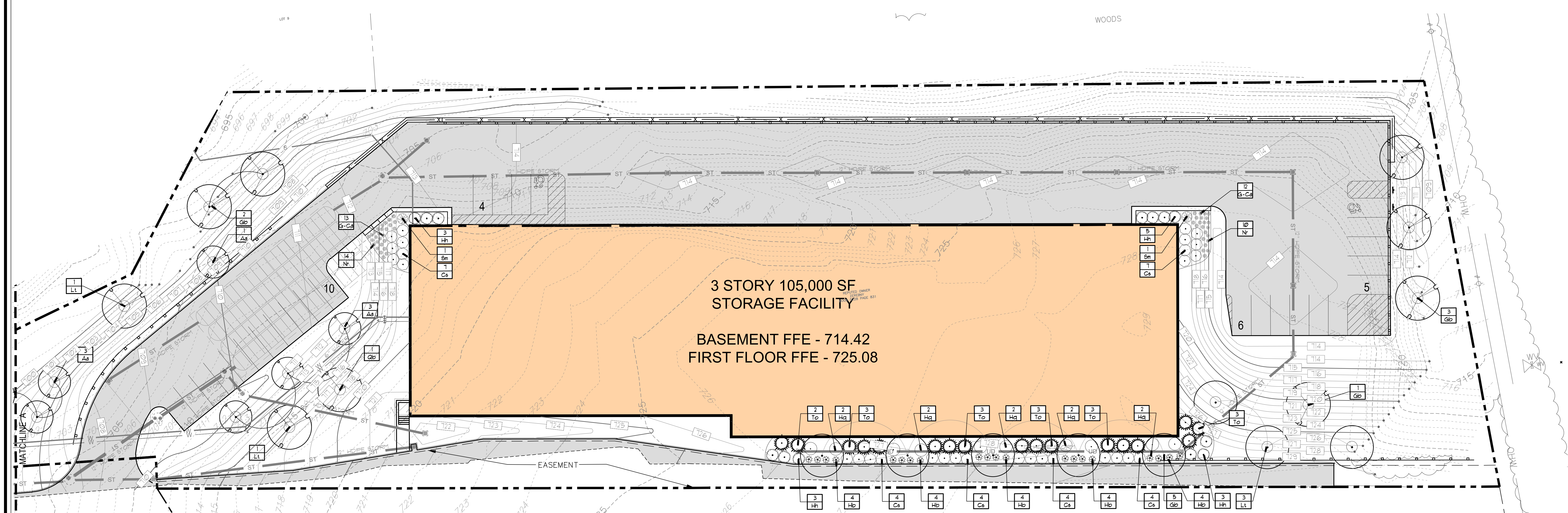
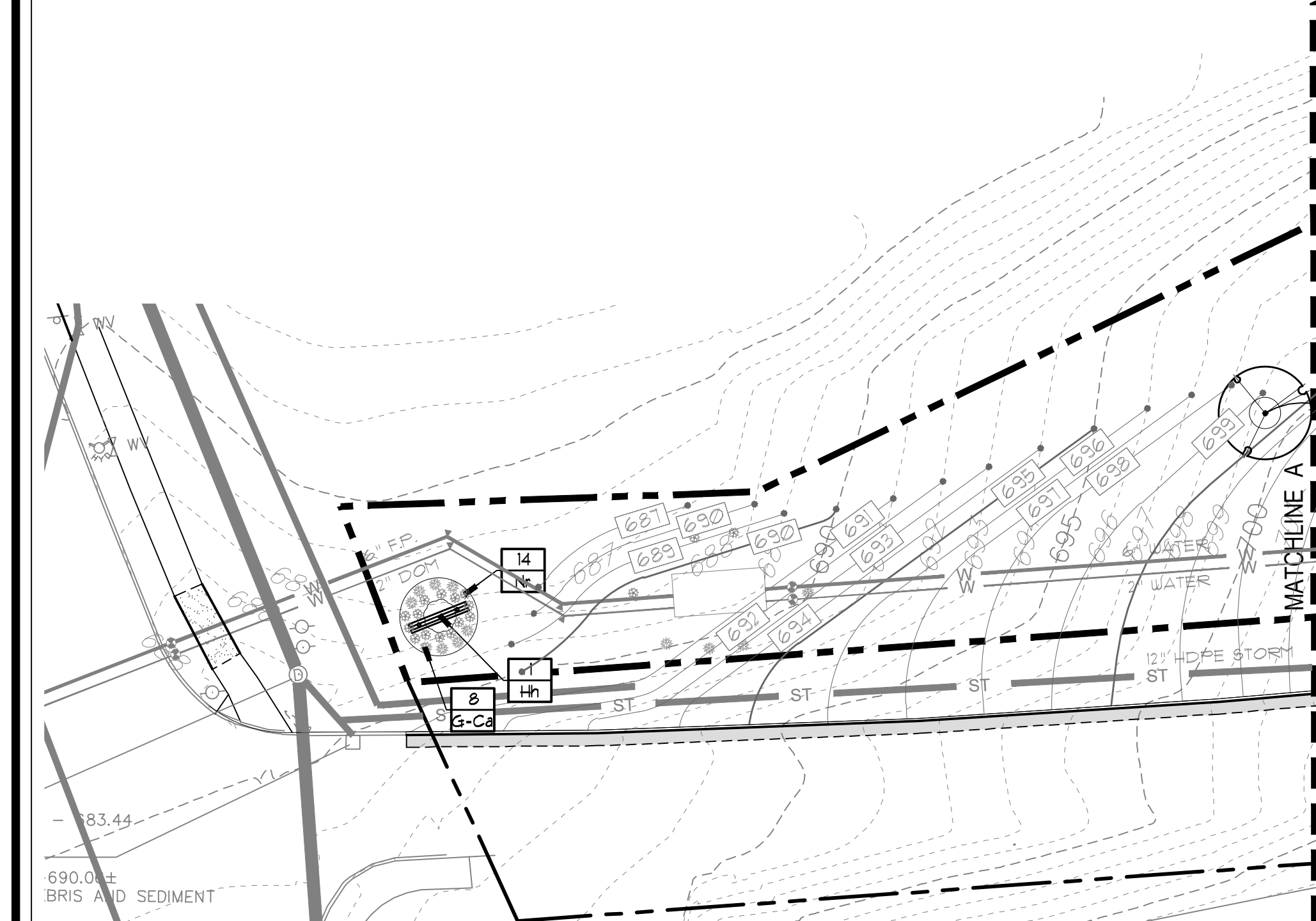
3 EVERGREEN PLANTING
 L4.1 NOT TO SCALE 32-6300-03

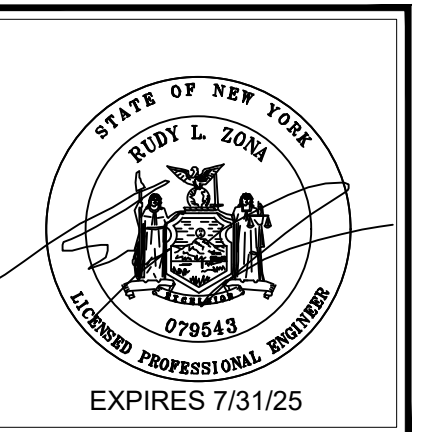


2 SHRUB PLANTING
 L4.1 NOT TO SCALE 32-6300-02



1 TREE PLANTING
 L4.1 NOT TO SCALE 32-6300-01





BRIGHTON HILL STORAGE
1001 EAST BRIGHTON AVE.
SYRACUSE, NEW YORK



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5	JPR	REV. LAYOUT W/ SUP	6/19/24
6	JPR	REV. LAYOUT W/ SUP	6/19/24
7	JPR	REV. LAYOUT W/ SUP	6/19/24
8	JPR	REV. LAYOUT W/ SUP	6/19/24
9	JPR	REV. LAYOUT W/ SUP	6/19/24
10	JPR	REV. LAYOUT W/ SUP	6/19/24



EROSION CONTROL PLAN

L5.1

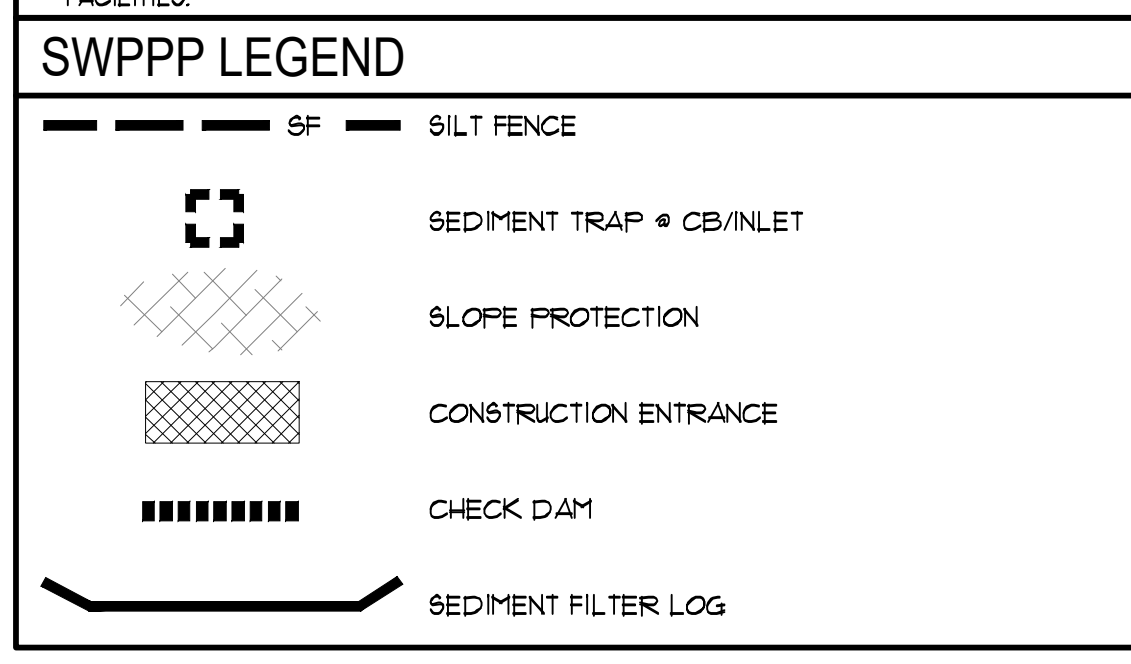
EROSION CONTROL NOTES and EROSION CONTROL SEQUENCING

- EROSION AND SEDIMENT CONTROL NOTES:**
- PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL, AND THE SUPPP PREPARED FOR THE PROJECT, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - BARE SOILS SHALL BE MULCHED WITH STRAW AT A RATE OF TWO TONS PER ACRE WITHIN 14 DAYS OF EXPOSURE. UNLESS CONSTRUCTION WILL BEGIN WITHIN 31 DAYS, IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDING IMMEDIATELY.
 - ALL DISTURBED AREAS WITHIN THE NSDEC RIGHT-OF-WAY SHALL BE STABILIZED BY STRAW OR OTHER NSDEC APPROVED METHOD, AT THE END OF EACH WORK WEEK, REGARDLESS OF WHEN THE SOIL WILL BE DISTURBED AGAIN.
 3. SITE PREPARATION SHALL INCLUDE:
 - SEEDBED PREPARATION - SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROOTS OR STUMPS.
 - SOIL ADJUSTMENTS
 - TO pH 6.0
 - FERTILIZE WITH 600 LBS OF 5-10-10 OR EQUIVALENT PER ACRE (14 LBS/1000 SQ FT).
 - SEED MIXTURES
 - RYEGRASS (ANNUAL OR PERENNIAL) # 30 LBS/ACRE (0.1 LBS/1000 SQ FT).
 - CERTIFIED "ARROWSTOCK" WINTER RYE (CEREAL RYE) # 100 LBS/ACRE (2.5 LBS/1000 SQ FT).
 - PERENNIAL SEEDINGS
 - ROUGH OR OCCASIONALLY MOULDED AREAS, LBS/ACRE LBS/1000 SQ FT

EMPIRE BIRDFOOT	8	0.20
TREFOIL OR COMMON WHITE CLOVER PLUS	8	0.20
TALL FESCUE PLUS	20	0.45
REDTOP	2	0.05
RYEGRASS (PERENNIAL)	5	0.10
 - ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING.
 - METHOD OF SEEDING: BROADCASTING, DRILLING WITH CULTIPACK TYPE SEEDER OR HYDROSEEDING ARE ACCEPTABLE.
 - DISTURBED AREAS SHALL BE SEEDING AS NOTED ABOVE AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL. ON SLOPES GREATER THAN 3:1 SEEDING AREAS SHALL BE STAKED WITH JUTE MESH OR SODDED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.
 - ACCESS TO DISTURBED AREAS SHALL BE LIMITED TO THE AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN AND ANY OTHER LOCATIONS THE CONTRACTOR INTENDS TO ENTER THE SITE FROM THE ADJACENT ROADWAYS.
 - ANY EXISTING DRAINAGE FACILITIES DISRUPTED BY CONSTRUCTION OR IMPACTED BY INSTALLATION OF EROSION CONTROL MEASURES SHALL BE REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.
 - ALL DESIGN AND MAINTENANCE MEASURES OUTLINED IN THE SUPPP PREPARED FOR THIS PROJECT SHALL BE IMPLEMENTED AND CARRIED OUT BY THE PARTIES DEEPLY RESPONSIBLE FOR THOSE DUTIES.
 - THE PERMITTEE # ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE PERMITTEE # ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN OR NYSDEC.
 - PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJOINING PROPERTY, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK COVERED BY THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL", INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPAIRS TO DAMAGED OR SLOTTED IN EROSION CONTROLS, CLEANING OUT STRUCTURES, AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
 - MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES AND EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (2" RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPAIRS TO DAMAGED OR SLOTTED IN EROSION CONTROLS, CLEANING OUT STRUCTURES, AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
 - CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE. LANS HAVE BECOME ESTABLISHED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.
 - CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL."
- EROSION CONTROL AND CONSTRUCTION SEQUENCING**
- PRIOR TO SITE DISTURBANCE, CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AS DETAILED AT THE ENTRANCE LOCATION SHOWN ON THE DRAWING.
 - SILT FENCE - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLAN PRIOR TO EARTHWORK. SILT FENCE SHALL BE UTILIZED ONLY AS A TEMPORARY MEASURE. DISTURBED AREAS SHALL BE SEEDING IMMEDIATELY FOLLOWING THE COMPLETION OF ANY EARTHWORK PHASE.
 - CLEARING AND GRUBBING - REMOVE ALL TREES, STUMPS AND BRUSH PRIOR TO EARTHWORK.
 - PROVIDE ALL DRAINAGE CHANNELS AND INSTALL EROSION CONTROL MEASURES WITHIN DRAINAGEWAYS, INSTALL CHECK WHERE INDICATED ON THE PLANS.
 - PROVIDE DRAINAGE STRUCTURES AND PIPING, INCLUDING DRAINAGE INLET PROTECTION AS SHOWN ON THE DRAWING.
 - EXCAVATE FILL AND GRADE PARKING LOT SUBBASE AS SHOWN ON THE DRAWINGS. FINE GRADE SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
 - EXCAVATE AND FILL REST OF SITE AREAS. FINE GRADE SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
 - CLEAN ALL STORMWATER BMP'S AFTER ALL UPSTREAM CONTRIBUTORY DRAINAGE AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
 - REMOVE TEMPORARY SILT FENCING AFTER SITE IS COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED. PROVIDE UNDERDRAIN WITH DETENTION BASIN PER PLANS.
- FINAL CLEAN UP & PRESENTATIVE MAINTENANCE**
- REMOVE AND/OR MAINTAIN STOCKPILE AREAS.
 - REMOVE EROSION CONTROL MEASURES FROM STABILIZED AREAS.
 - FINAL CLEAN UP - REMOVE EROSION CONTROL MEASURES AND CLEAN OUT ALL DRAINAGE STRUCTURES AND PIPES AFTER LAWN IS WELL ESTABLISHED. OWNER IS RESPONSIBLE FOR MAINTAINING SITE UPON PROJECT CLOSEOUT.
 - CONTRACTOR, ARCHITECT, AND OWNER TO REVIEW SITE FOR COMPLETION. CONTRACTOR TO ADDRESS FINAL COMMENTS ON PUNCH LIST FROM ARCHITECT AND SUPPP INSPECTION REPORTS.
 - SUBMIT NOTICE OF TERMINATION UPON FULL STABILIZATION OF SITE.



- WASTE DISPOSAL / SPILL PREVENTION NOTES**
- WASTE DISPOSAL NOTES:**
- COLLECT AND STORE ALL WASTE MATERIALS AND DEBRIS IN DUMPSTERS OR OTHER ACCEPTABLE WASTE FACILITIES. ALL COLLECTED WASTE MATERIALS SHALL BE LEGALLY REMOVED AND DISPOSED OF OFF SITE. DUMPSTERS SHALL BE EMPTIED ON A PERIODIC BASIS DEPENDING ON GENERATION OF WASTE MATERIAL. NO BURNING OR BURYING OF WASTE MATERIALS WILL BE ALLOWED.
 - STORE, HANDLE AND DISPOSE OF ALL HAZARDOUS MATERIALS AS SPECIFIED BY LOCAL OR STATE LAWS.
- SPILL PREVENTION NOTES:**
- CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT EXCESS CONCRETE OR DRUM WASH WATER EXCEPT FOR AT DESIGNATED CONCRETE WASHOUT AREAS.
 - ALL ON-SITE FUELING OF EQUIPMENT AND VEHICLES SHALL BE CONDUCTED PER NYSDEC GUIDELINES FOR PETROLEUM BULK STORAGE.
 - MONITOR ALL CONSTRUCTION VEHICLES AND EQUIPMENT FOR LEAKS.
 - ALL PETROLEUM AND LUBRICANTS USED FOR THE OPERATION OF VEHICLES AND EQUIPMENT SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. WHEN POSSIBLE, STORE THESE PRODUCTS IN APPROPRIATE CONTAINERS OR UNDER ROOFED FACILITIES.



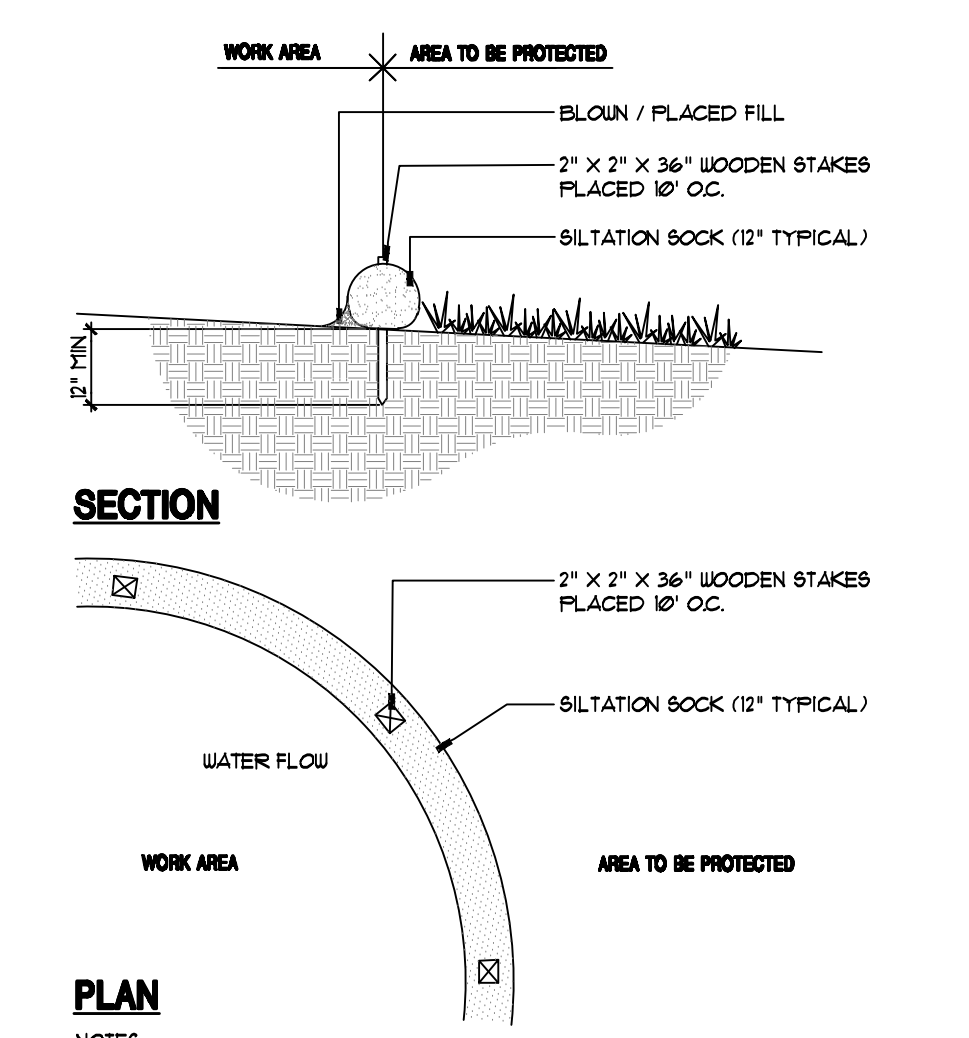
SOIL RESTORATION NOTES

- ACCORDING TO SECTION 8 OF THE NYS STORMWATER DESIGN MANUAL, SOIL RESTORATION PRACTICES MUST BE APPLIED ACROSS THE SITE IN AREAS OF SOIL DISTURBANCE.
- SOIL RESTORATION REQUIREMENTS:**

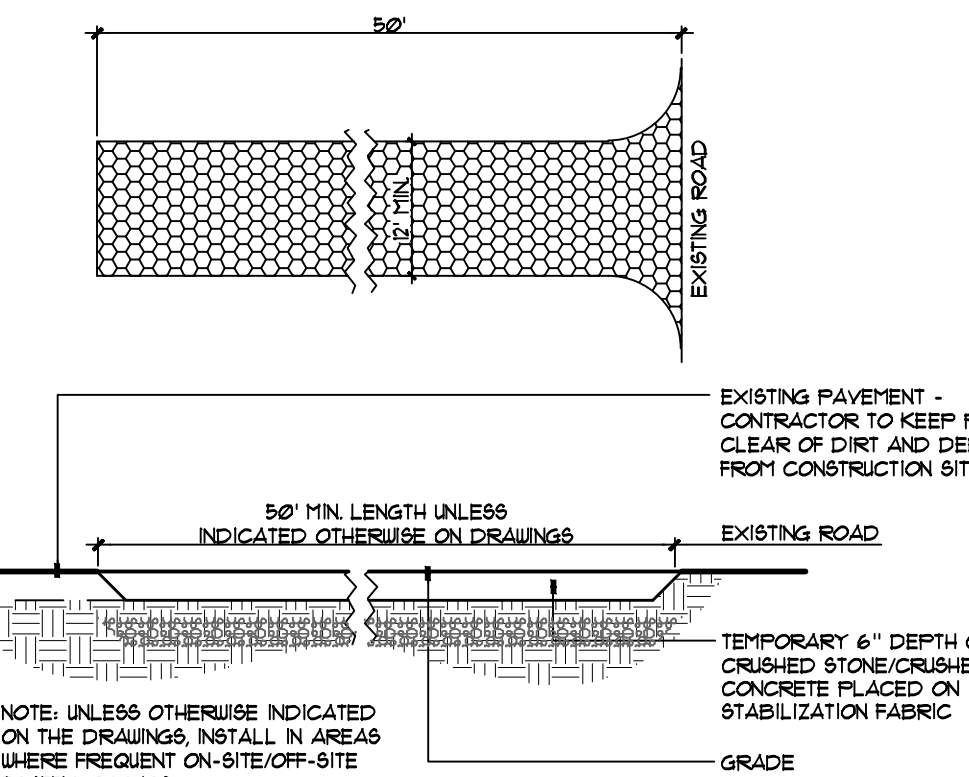
TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	H65 A/B - APPLY 6 INCHES OF TOPSOIL H65 C/D - AERATE AND APPLY 6 INCHES OF TOPSOIL
AREAS OF CUT OR FILL	H65 A/B - AERATE AND APPLY 6 INCHES OF TOPSOIL H65 C/D - APPLY FULL SOIL RESTORATION
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN ZONE B-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COFPOST ENHANCEMENT)
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICE.
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREAS WILL BE CONVERTED TO PERVIOUS AREAS.
- SOIL RESTORATION PRACTICE IMPLEMENTATION:**

DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO NORMAL GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:

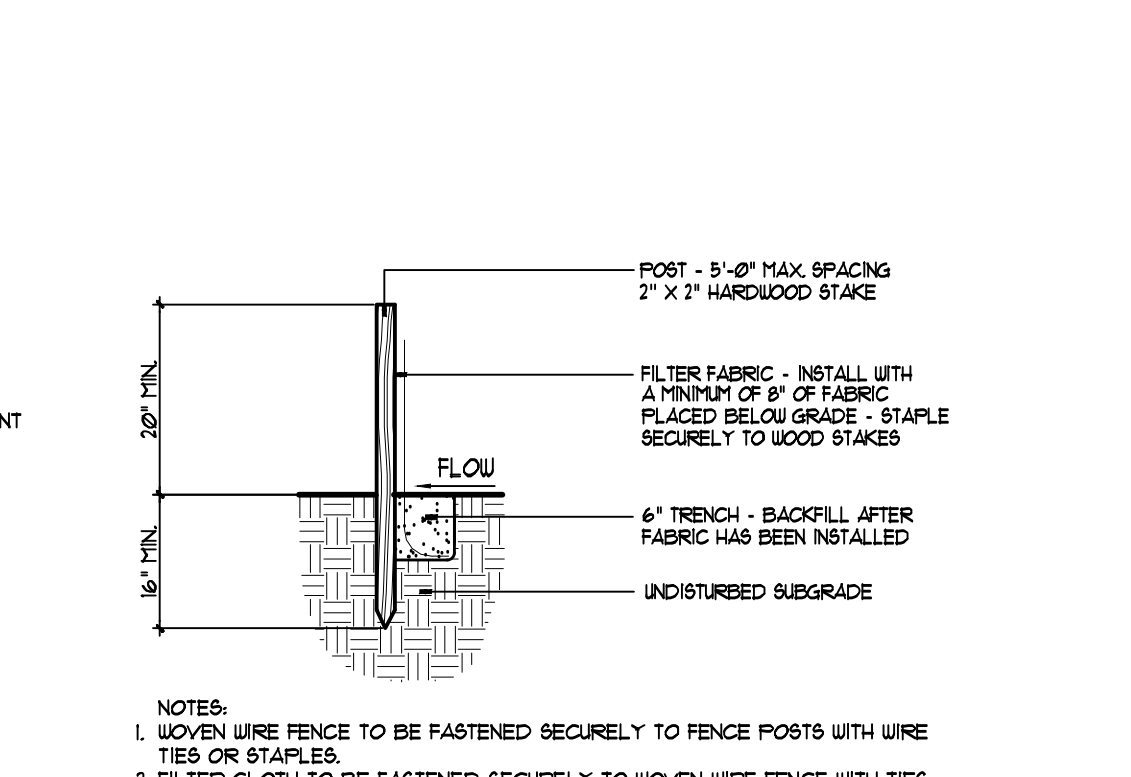
 - APPLY 3 INCHES OF COFPOST OVER SUBSOIL.
 - TILL COFPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 3 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC OR TILLER TYPING, AND CIRCULATING AIR AND COFPOST INTO SUBSOILS.
 - ROCK-PICK UNTIL UNLIFTED STONE/ROOT MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEARED OFF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 - VEGETATE AS REQUIRED BY APPROVED PLAN.
 - COFPOST SHALL BE SAVED FROM PLANT DERIVED MATERIALS FREE OF VISIBLE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.



3 SILTATION SOCK SEDIMENT CONTROL
NOT TO SCALE
31-3001-H



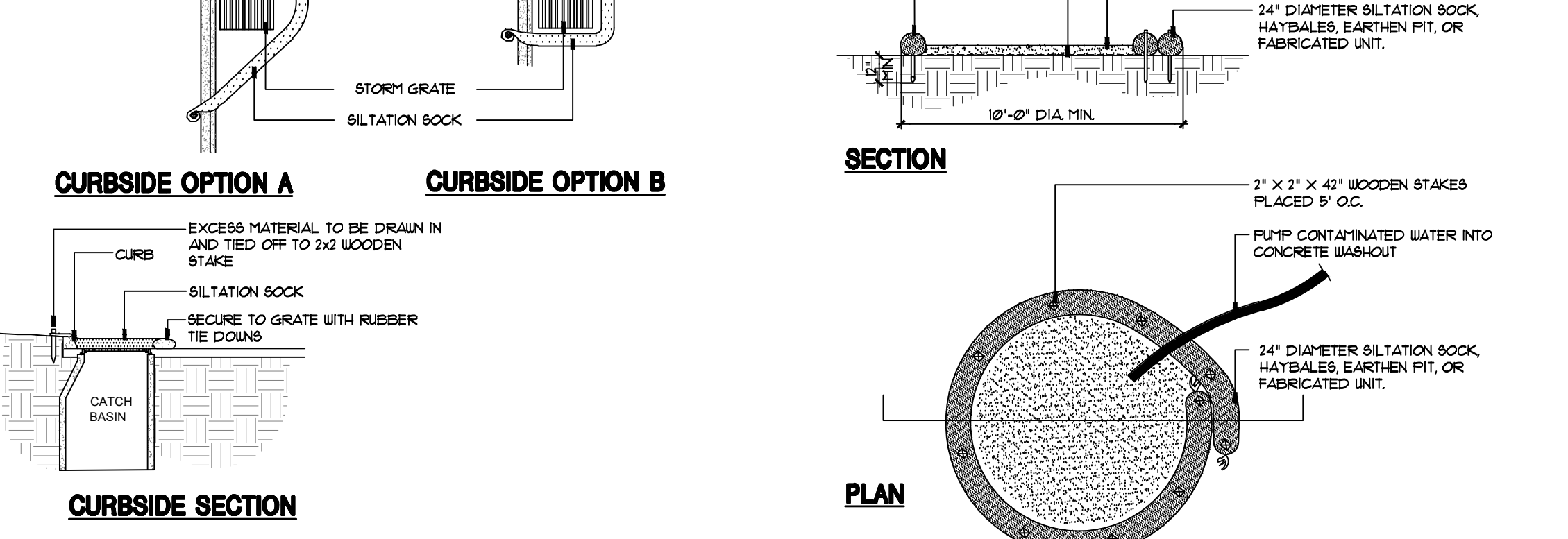
2 CONSTRUCTION ENTRANCE (MUDRACK)
NOT TO SCALE
31-3001-04



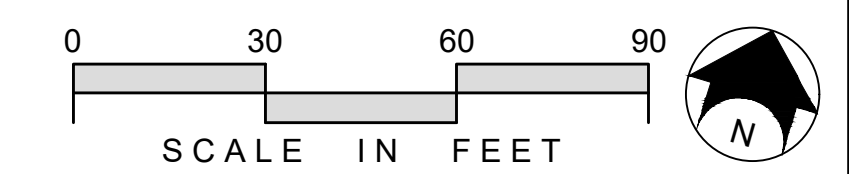
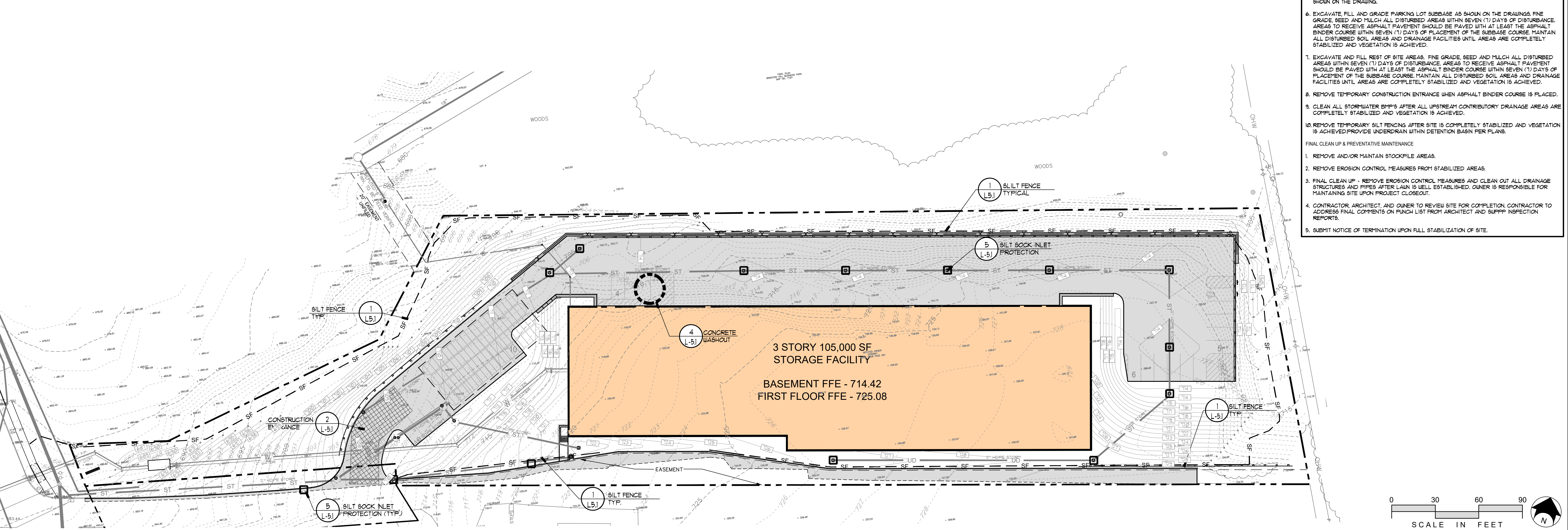
1 SILT FENCE (SF)
NOT TO SCALE
31-3001-01

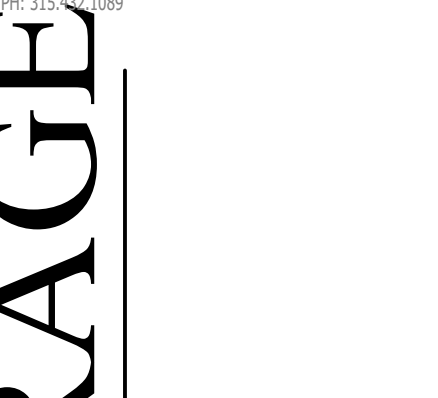


5 SILTATION SOCK INLET PROTECTION
NOT TO SCALE
31-3001-10

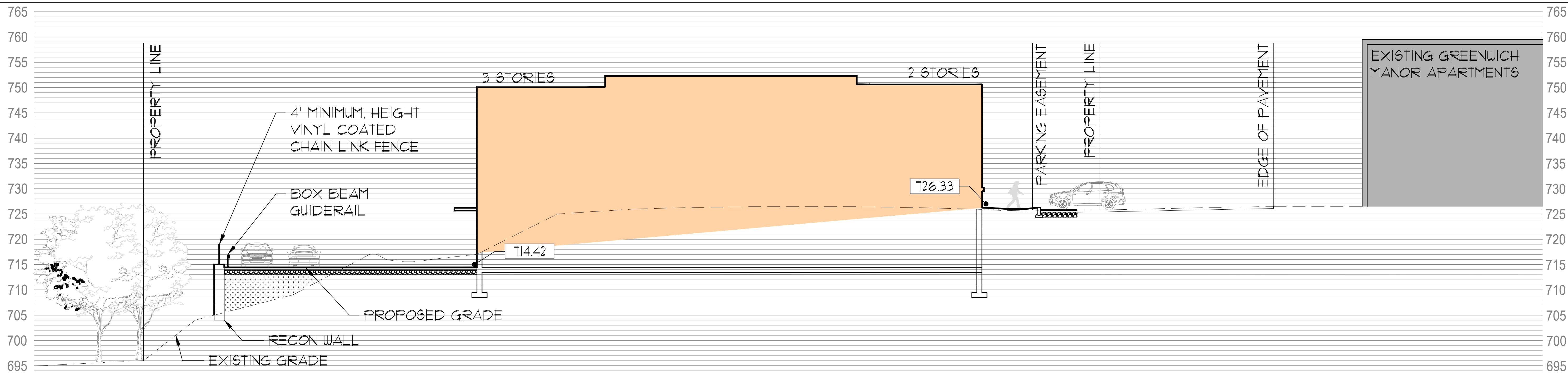


4 CONCRETE WASHOUT
NOT TO SCALE
31-3001-10

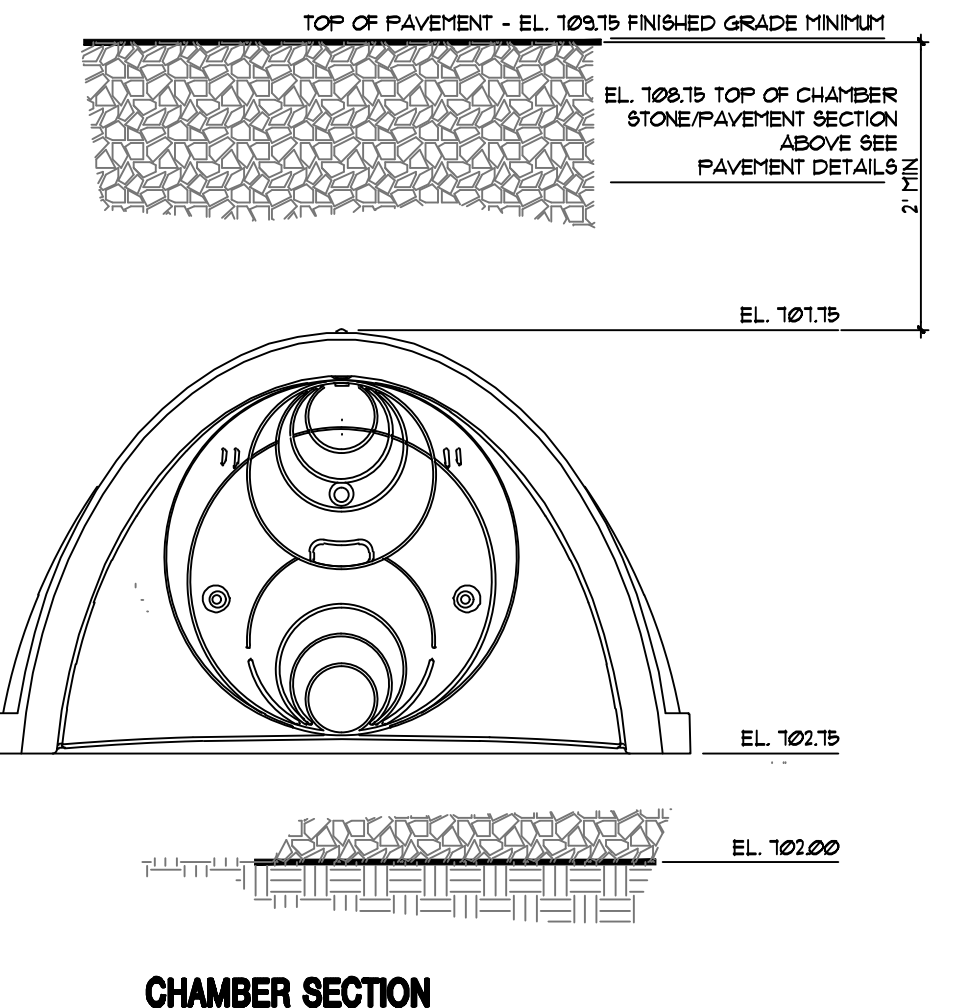




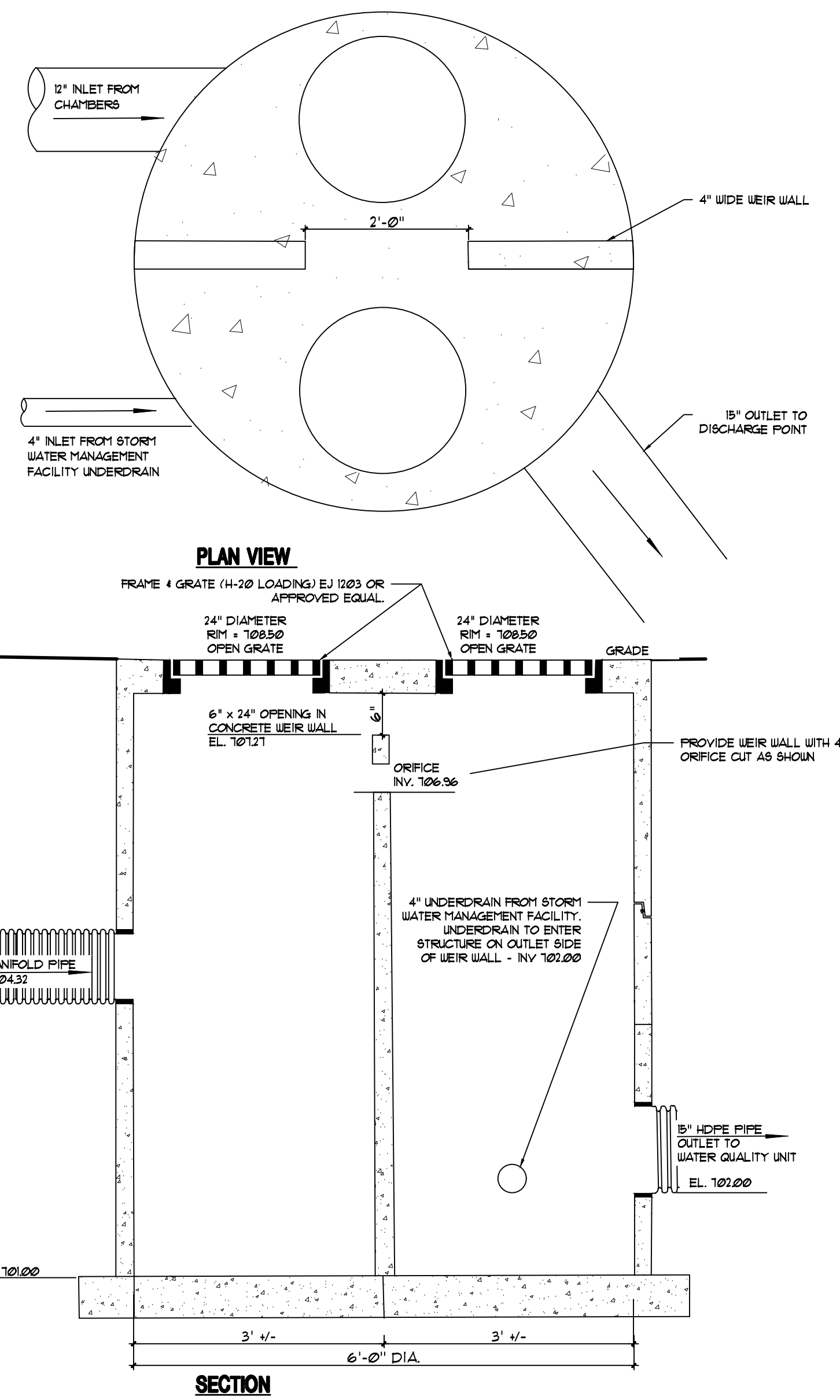
No.	Rev.	Description	Date
1	JPR	WATER REVISIONS	6/10/24
2	CRF	REV. LAYOUT W/ SUP	6/19/24
3	CRF	CPC RESUBMISSION	6/19/24
4	CRF	DEC COMMENTS	6/12/24
5	CRF	EASEMENT COMMENTS	10/17/24
6	CRF	CPC RESUBMISSION	10/15/24
7	CRF	CPC RESUBMISSION	11/26/24



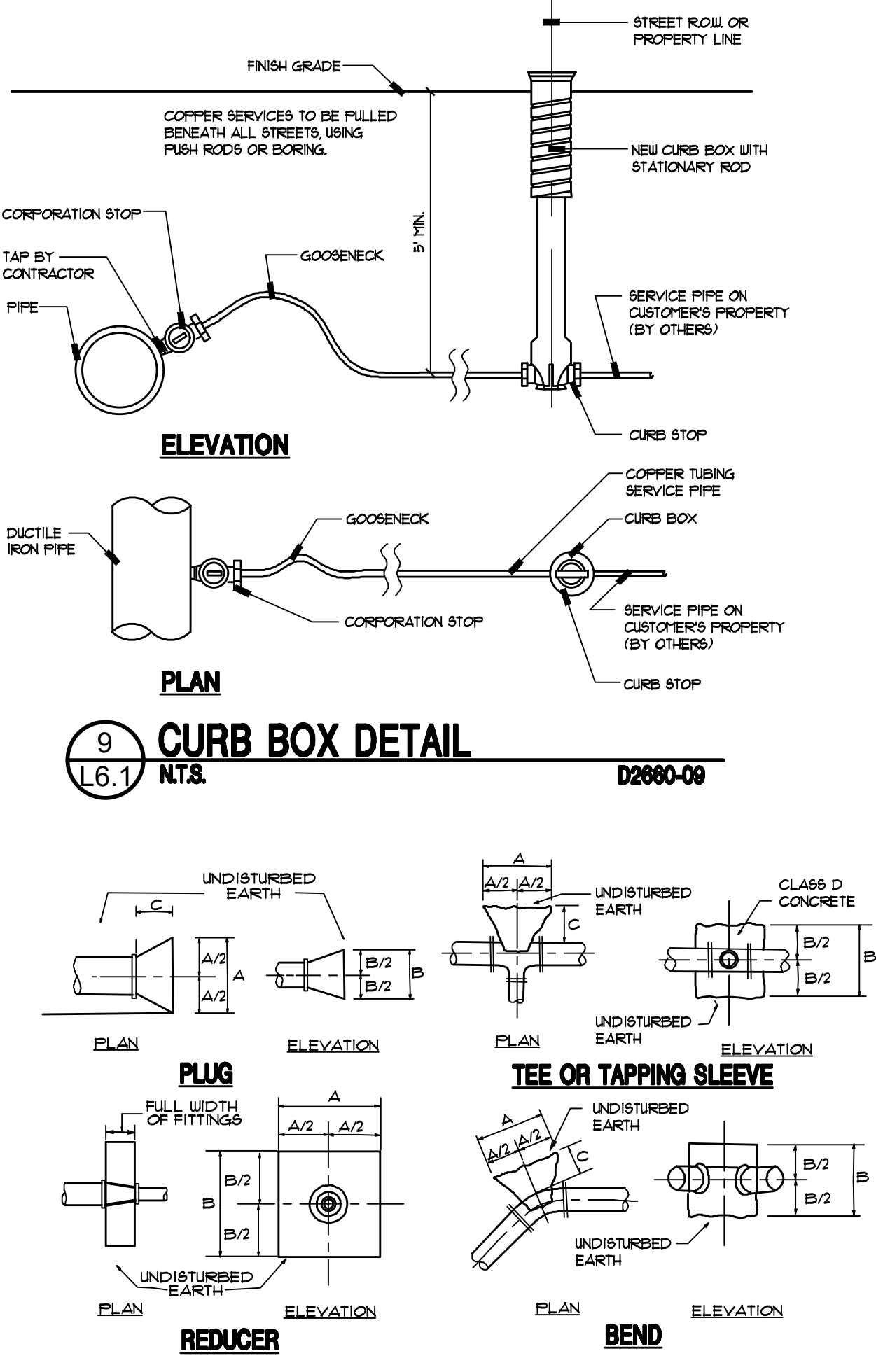
12 SECTION A-A
L6.1 NOT TO SCALE



CHAMBER SECTION

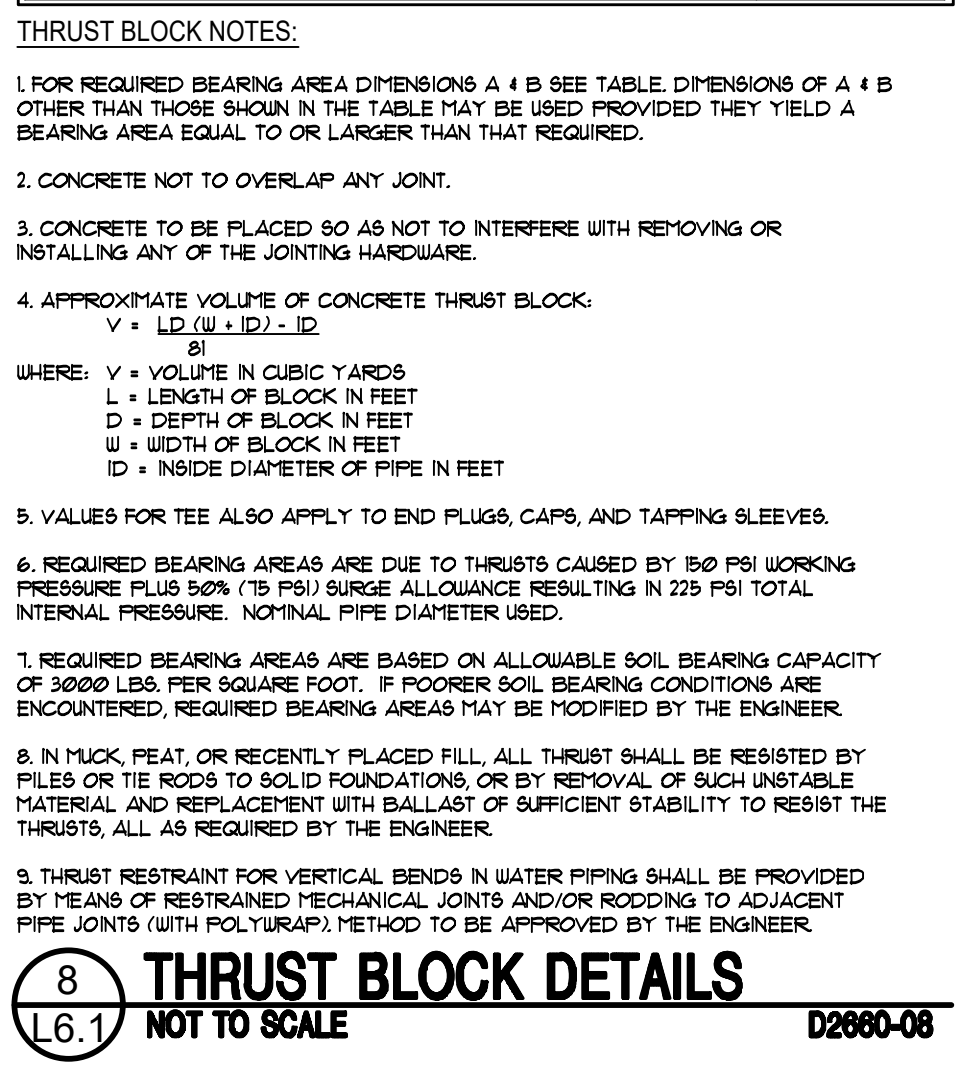


10 OUTFLOW CONTROL STRUCTURE & MC4500 STORM CHAMBERS
L6.1 NOT TO SCALE

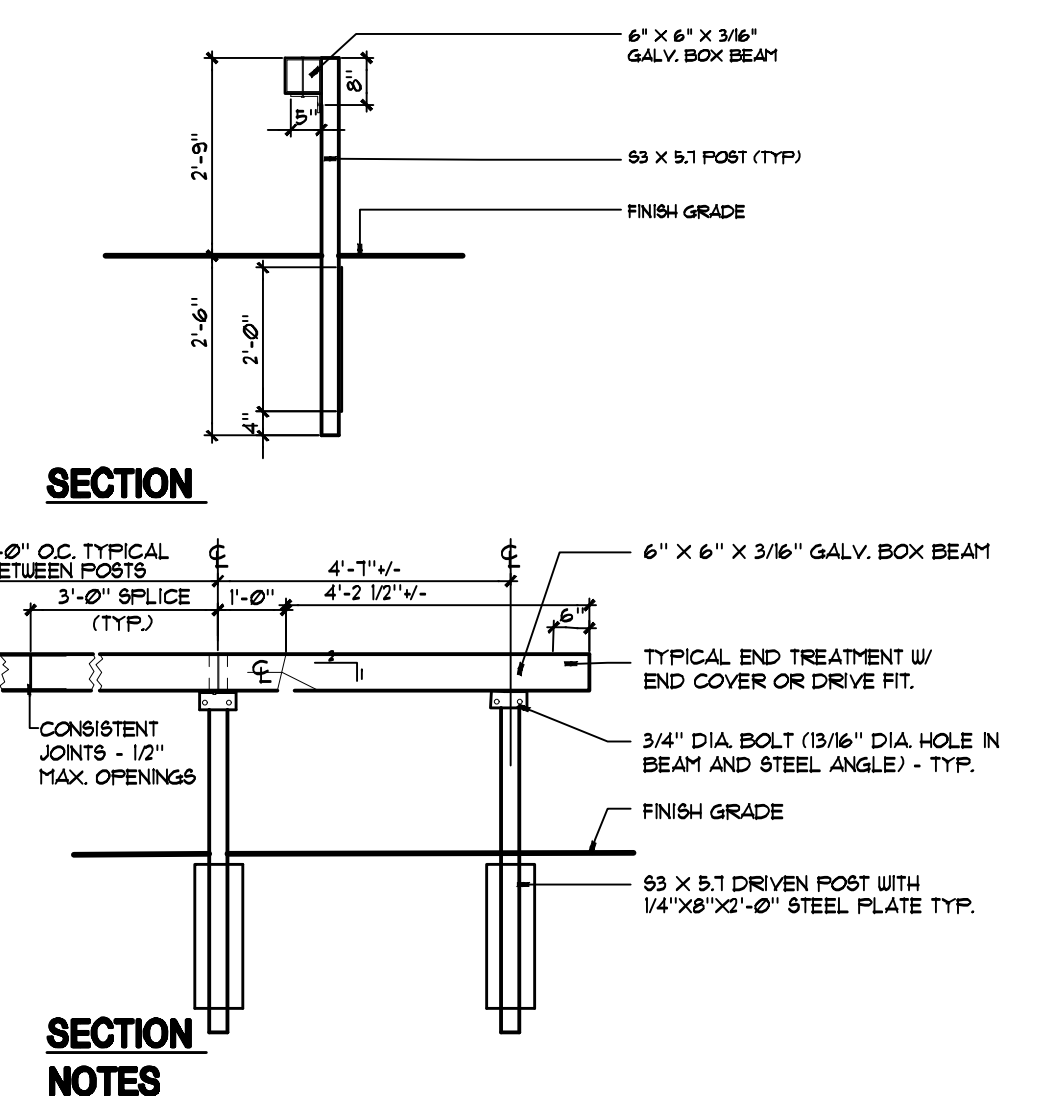


9 CURB BOX DETAIL
L6.1 NTS

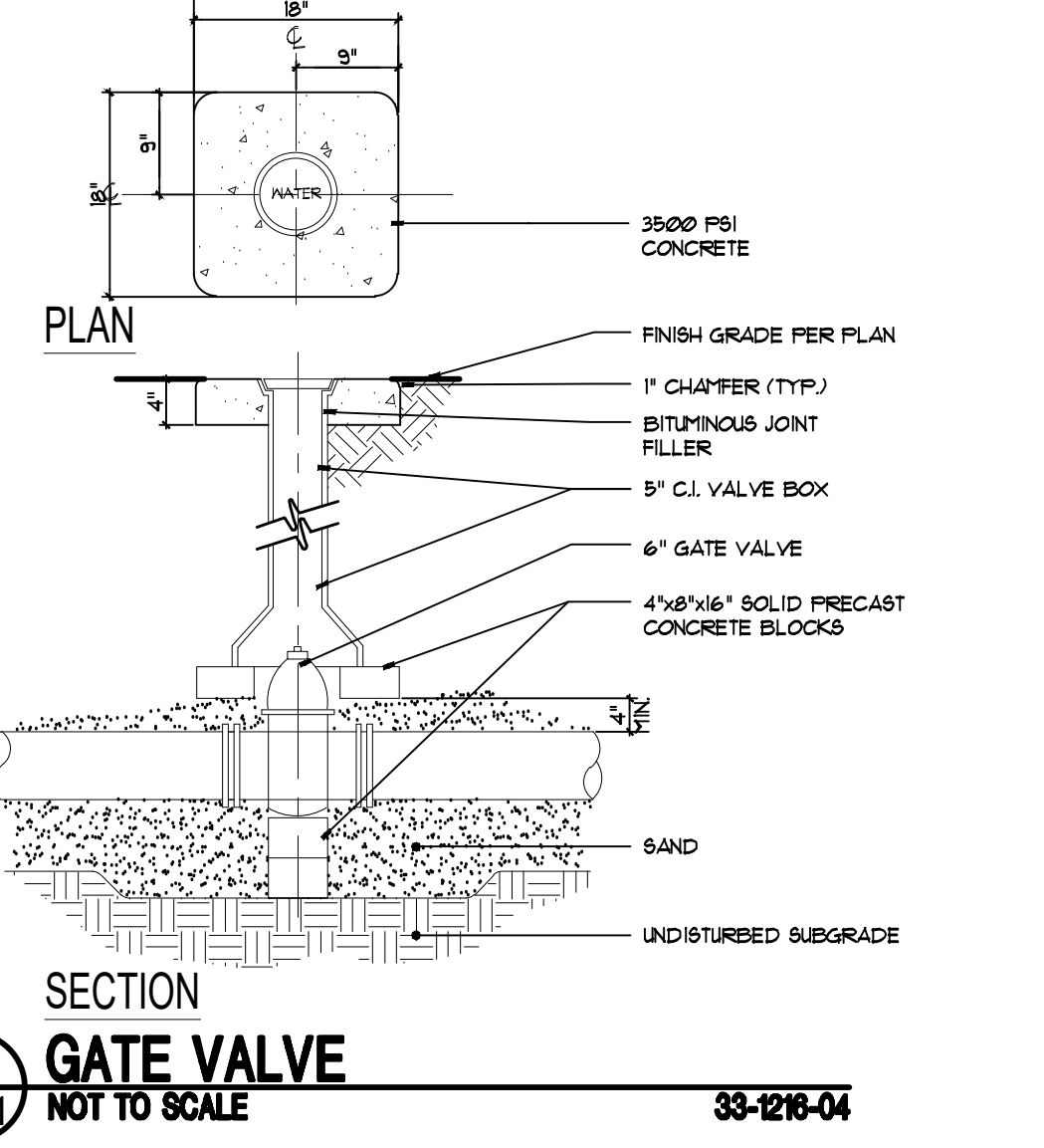
SIZE	CONCRETE ANCHOR 4 THRUST BLOCK DIMENSIONS											
	A	B	C	A	B	C	A	B	C	A	B	C
12\"/>												



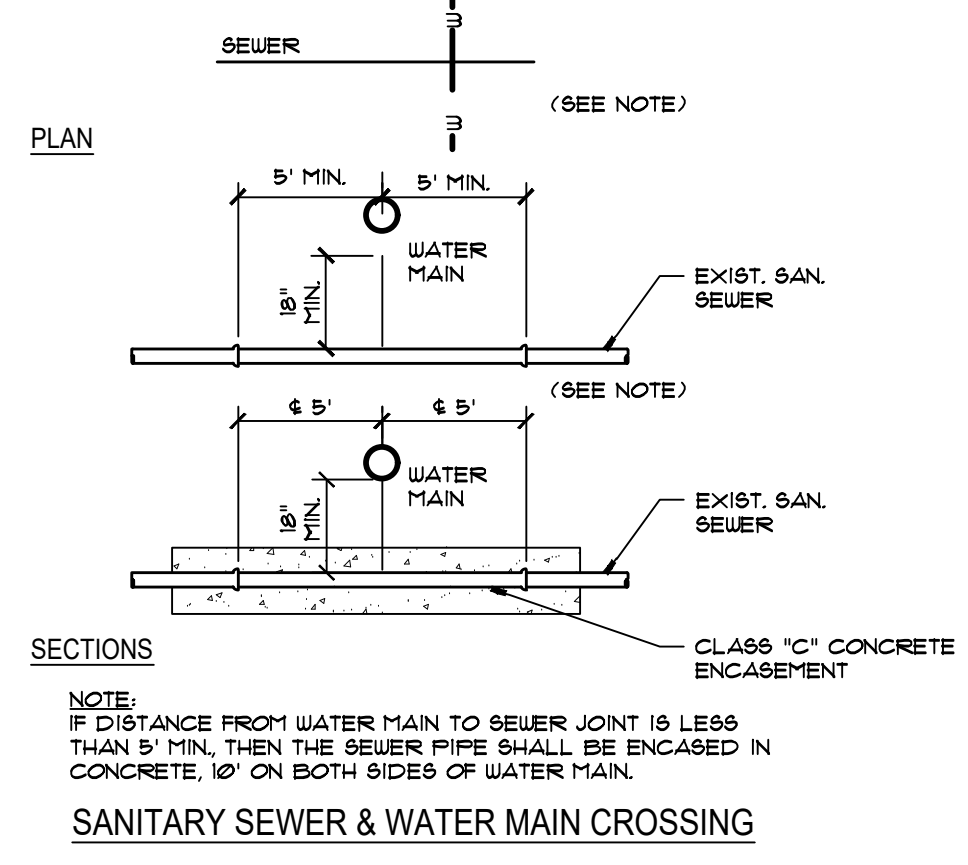
8 THRUST BLOCK DETAILS
L6.1 NOT TO SCALE



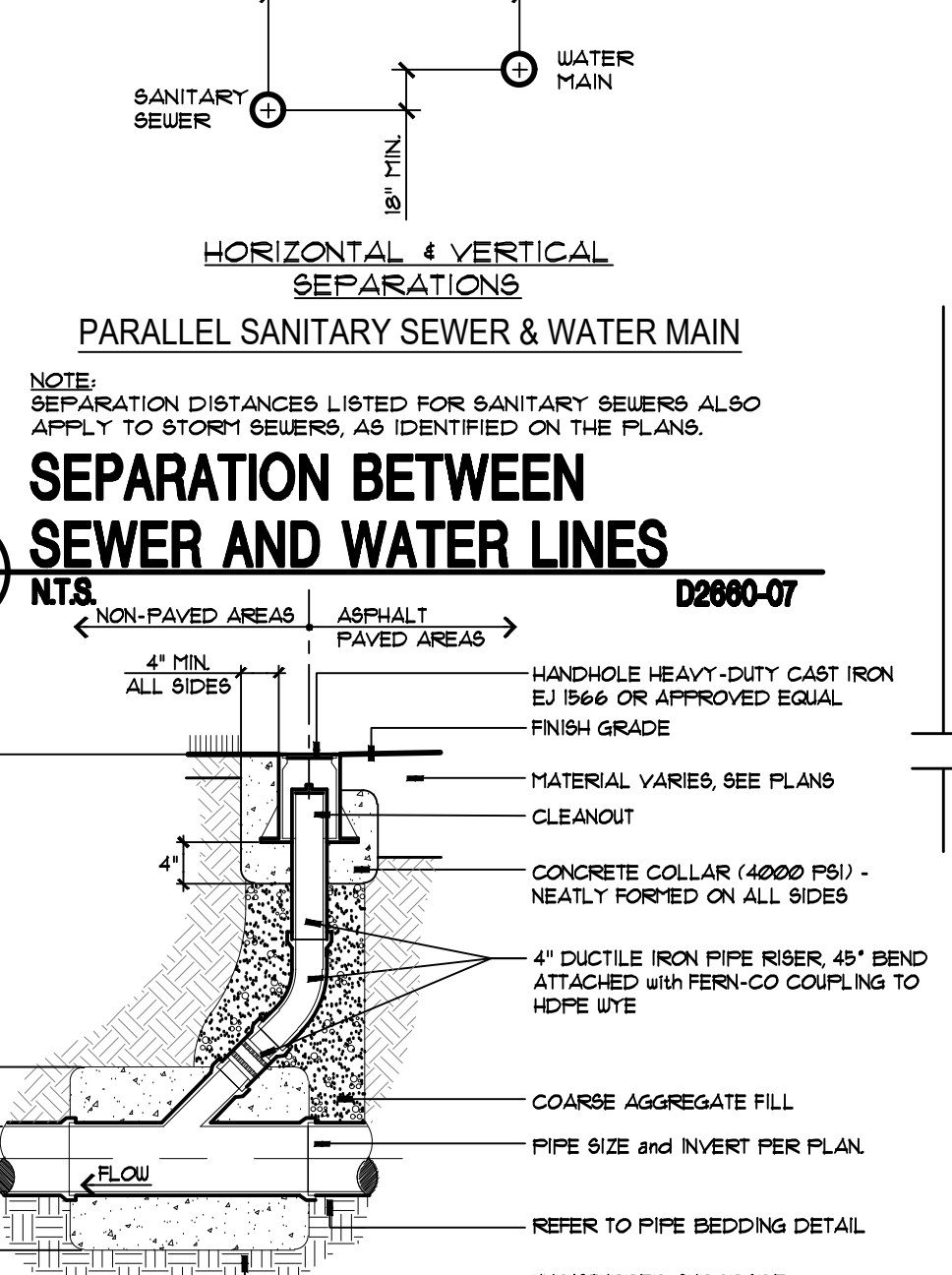
7 BOX BEAM GUIDE RAIL
L6.1 NOT TO SCALE



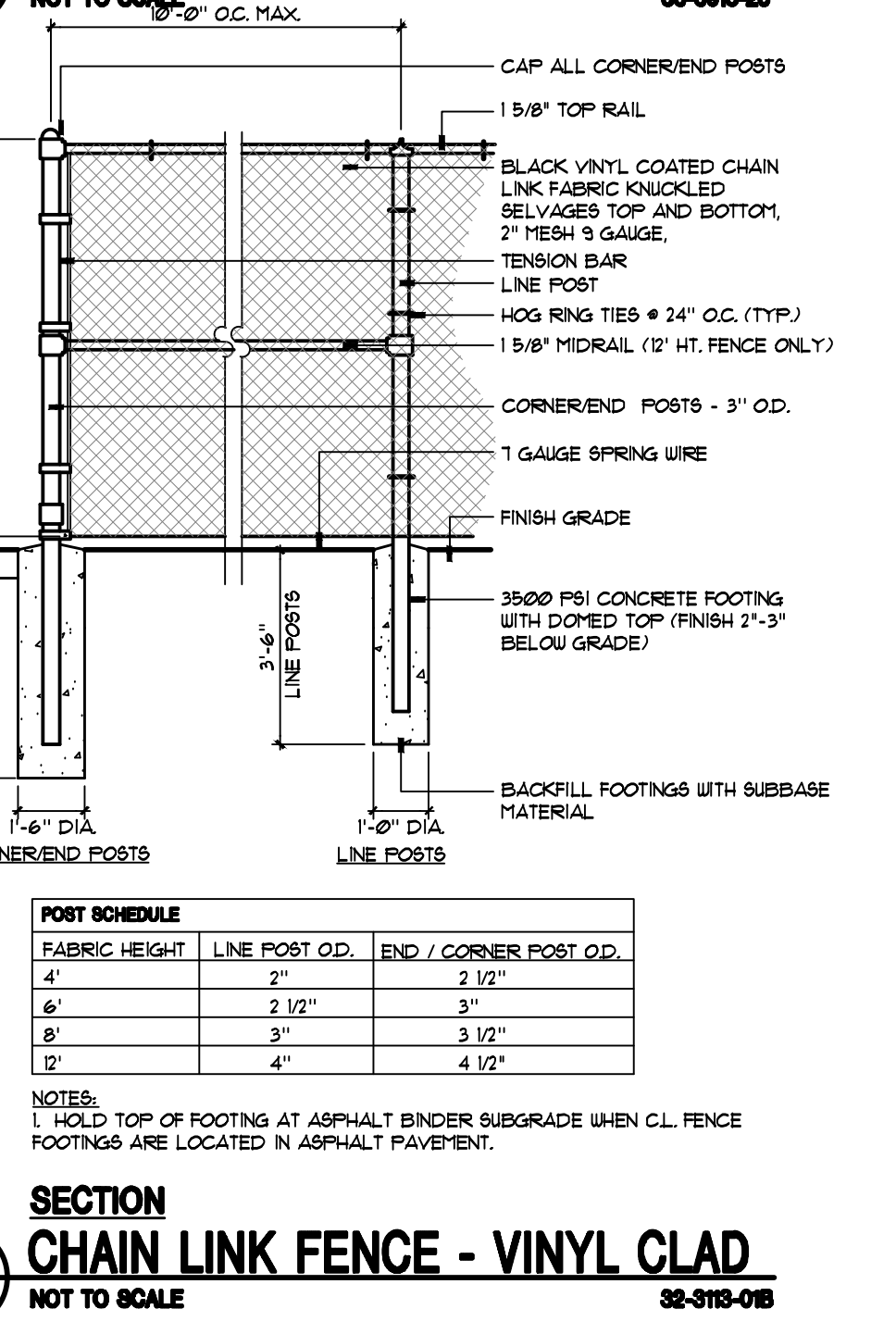
6 GATE VALVE
L6.1 NOT TO SCALE



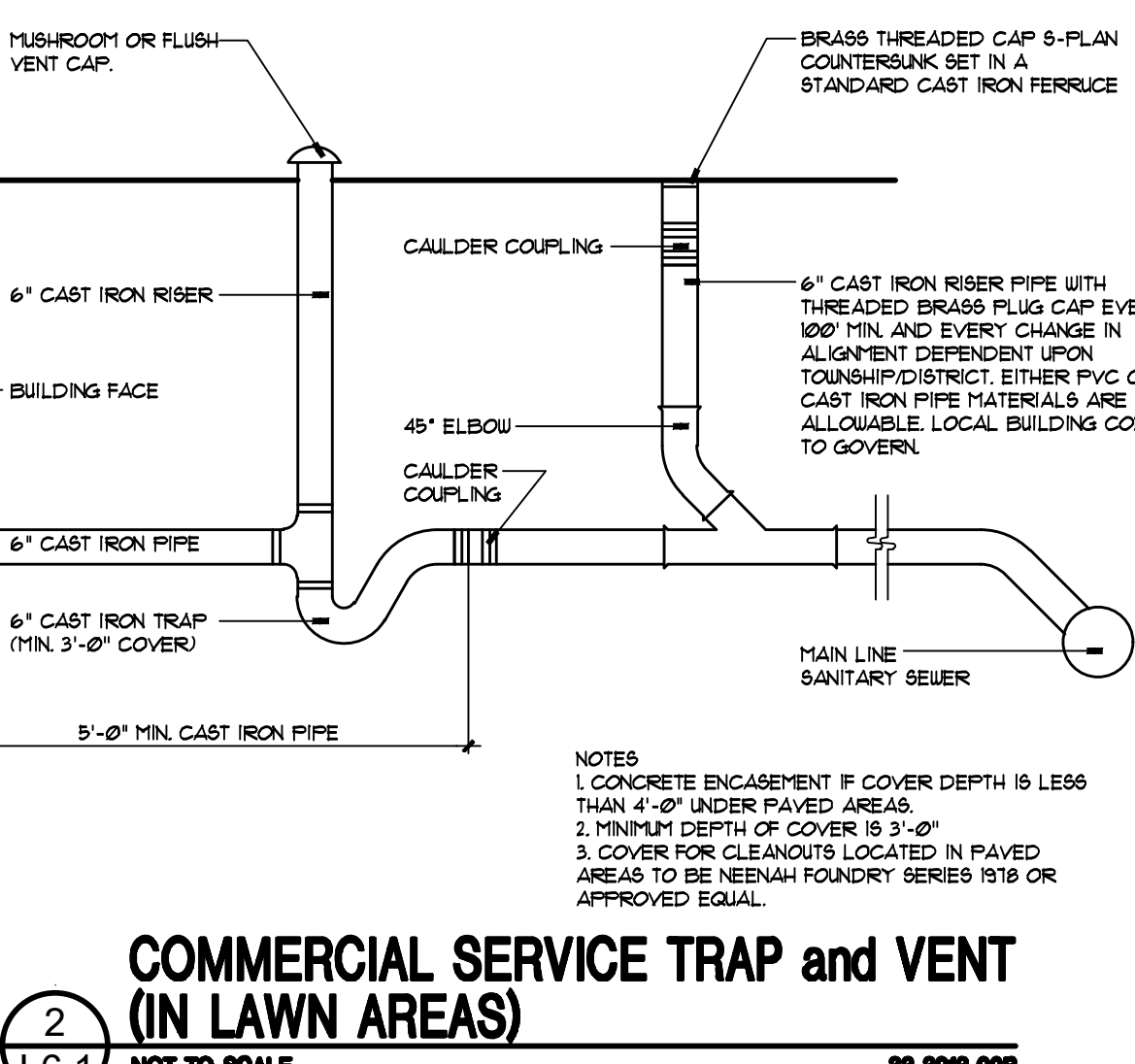
SANITARY SEWER & WATER MAIN CROSSING



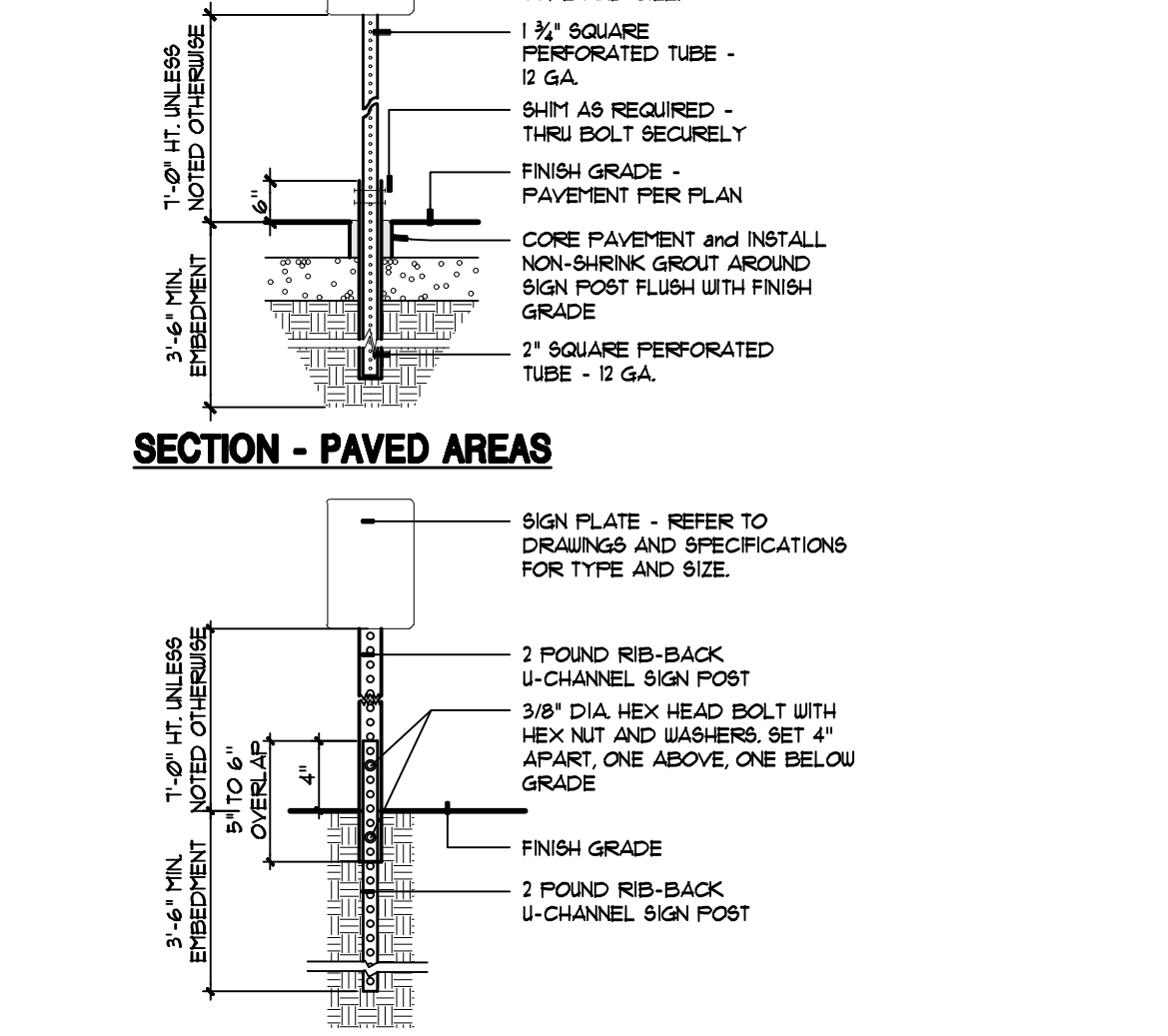
5 SEPARATION BETWEEN SEWER AND WATER LINES
L6.1 NTS



4 SANITARY CLEANOUT (CO)
L6.1 NOT TO SCALE



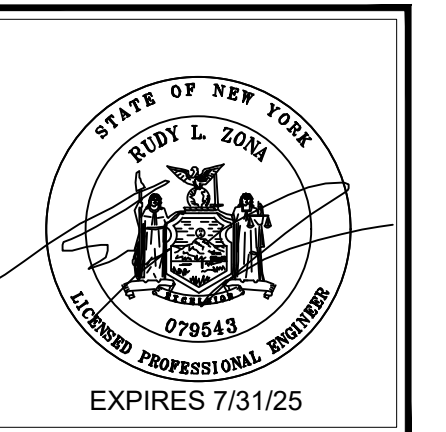
2 COMMERCIAL SERVICE TRAP and VENT (IN LAWN AREAS)
L6.1 NOT TO SCALE



SECTION - PAVED AREAS



1 SECTION - NON-PAVED AREAS
L6.1 NOT TO SCALE



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 1001 EAST BRIGHTON AVE.
 SYRACUSE, NEW YORK

CLIENT:
BENCHMARK DEVELOPMENT

ISSUED AND REVISIONS NOTIFICATION	No	Rev.	Description	Date
	3	JPR	WATER REVISIONS	6/10/24
	4	CRF	REV. LAYOUT W/ SUP	6/19/24
	5	CRF	CPC RESUBMISSION	8/5/24
	6	CRF	DEC COMMENTS	8/12/24
	8	CRF	EASEMENT COMMENTS	10/17/24
	9	CRF	CPC RESUBMISSION	10/15/24
	10	CRF	CPC RESUBMISSION	11/26/24



Drawn By: C.R.F.
 Checked By: E.G.K.
 KFA Proj. No.: 43022
 Date: 26 FEBRUARY, 2024
 Scale: AS NOTED

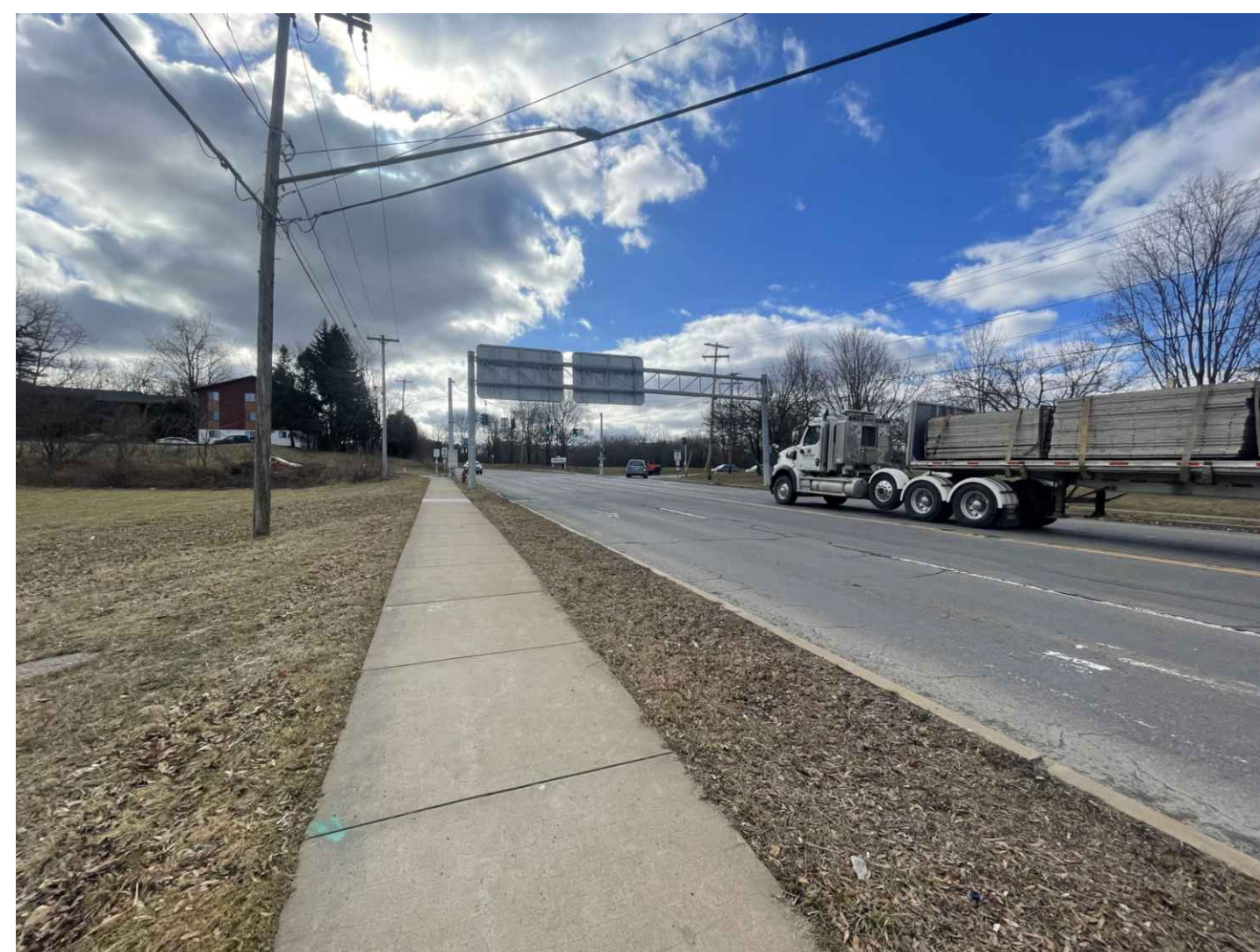
Title:

SITE PHOTOBOARD

L7.1



LOCATION MAP



1
P1.0
LOOKING SOUTH ON E. SENECA TURNPIKE



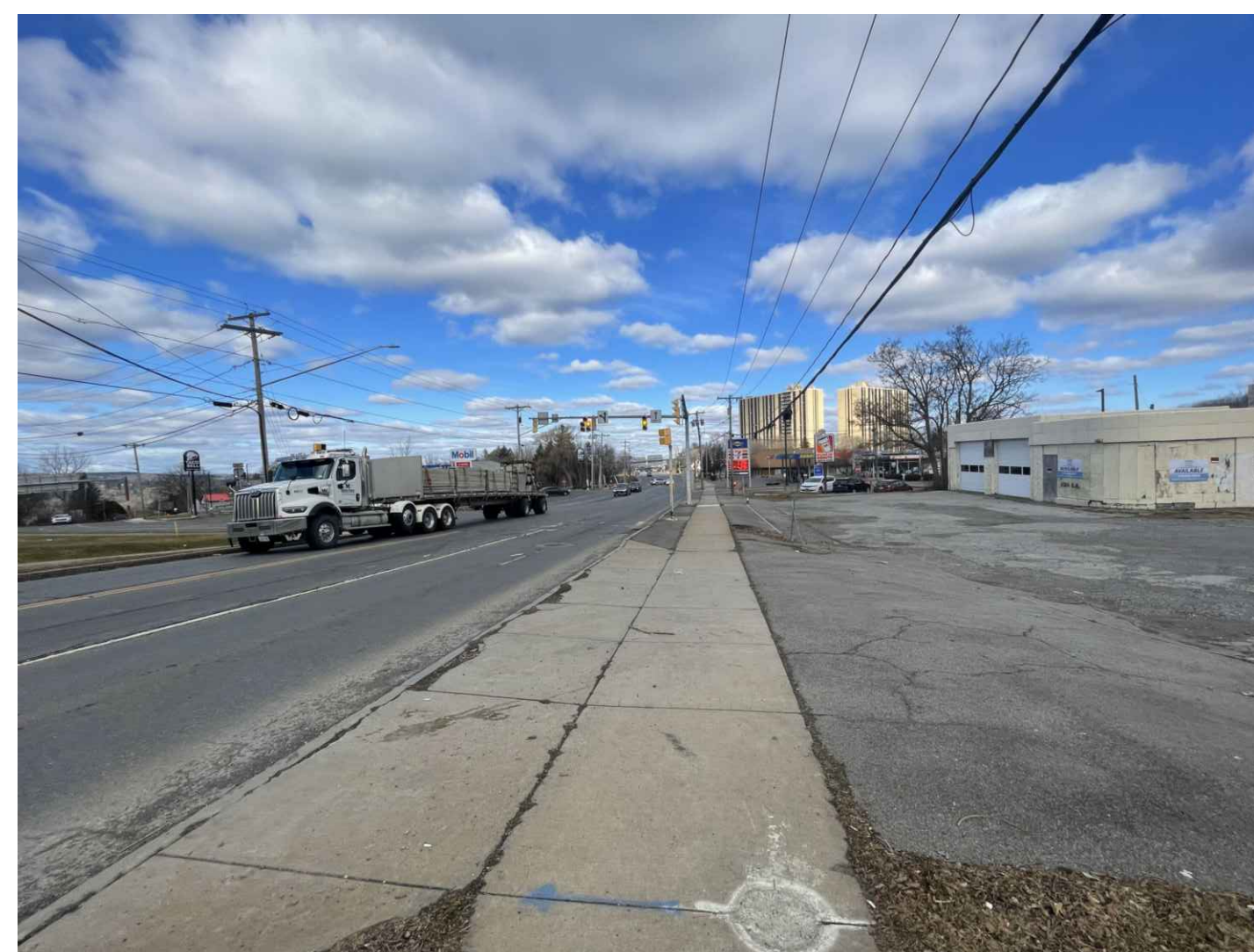
2
P1.0
LOOKING WEST AT THE INTERSECTION OF LAFAYETTE ROAD AND E. SENECA TURNPIKE



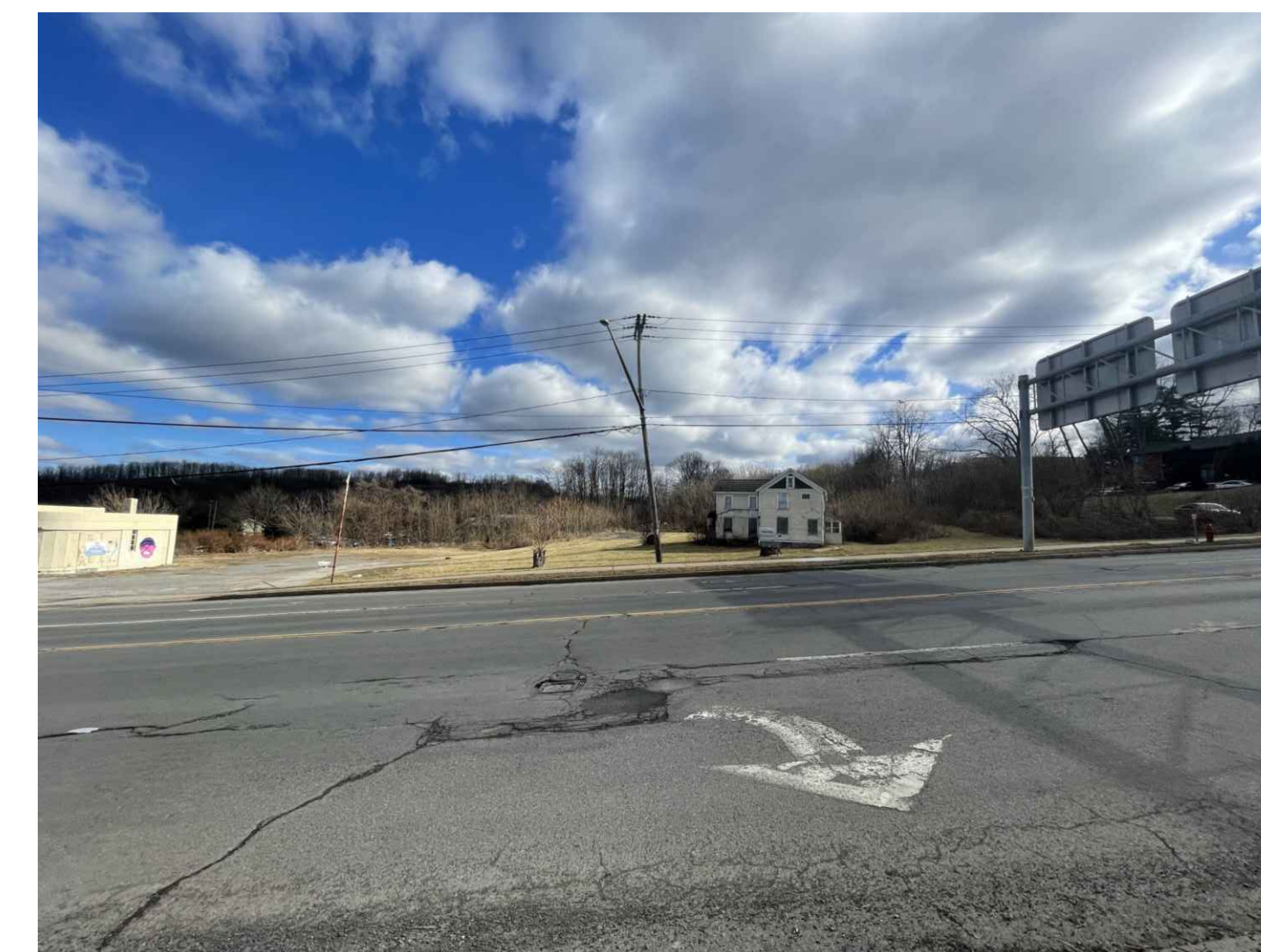
3
P1.0
LOOKING NORTH DOWN E. SENECA TURNPIKE



4
P1.0
LOOKING EAST ONTO SITE FROM E. SENECA TURNPIKE



5
P1.0
LOOKING NORTH DOWN E. SENECA TURNPIKE



6
P1.0
LOOKING EAST ONTO SITE FROM E. SENECA TURNPIKE

Prepared By:

Date Printed:

Drawing File: