

Brighton Mews Storage Project

This project has been heard on CPC meeting on 8/19/2024. The CPC approved this project and made a recommendation to refer this project to the Common Council for final decision.

The Common Council reviewed and remanded the special use permit application due to the applicant's violation of a granted easement agreement between the applicant and the owner of property located at 679 E Seneca Tpke. The applicant has submitted revised plans to address the violation.

The applicant will present the updated plans for Special Use Permit application and the Major Site Plan Review Application.

The Planning Commission has deliberated on the SEQR review for this project on 8/19/2024. No new deliberation on SEQR review is needed.

The Planning Commission will deliberate on the decision for this project based on the revised plans.

SP-24-15 – Special Use Permit

MaSPR-24-28 – Major Site Plan Review



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>SP-24-15</u>	<i>Staff Report – November 12, 2024</i>
<i>Application Type:</i>	Special Use Permit
<i>Project Address:</i>	1001 Brighton Ave E (Tax Map ID: 062.-02-11.0) New address: 639 Seneca Tpke E (Tax Map ID: to be assigned)
<i>Summary of Proposed Action:</i>	The applicant is applying for a Special Use Permit to establish a “Mini-Storage” use on a vacant property.
<i>Owner/Applicant</i>	Joe Hucko, Brighton Mews, LLC. (Owner) Michael Charles, Benchmark Development (Applicant)
<i>Existing Zone District:</i>	Commercial, CM Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north and west are located in the Commercial, CM Zone District, to the south in the Medium Density Residential, R4 Zone District, and to the east the property is on the boundary between the City of Syracuse and Town of Onondaga.
<i>Companion Application(s)</i>	MaSPR-24-28 (Major Site Plan Review): to change the use of the property into a “Mini-storage” use in the CM Zone District and construct a 3-story storage facility.
<i>Scope of Work:</i>	The scope of work includes: (1) removing part of the existing vegetations and grading the land for construction; (2) installing new pavement to the site; (3) constructing a 3-story, 105,000 SF storage facility; (4) constructing 25 parking spaces (includes 2 ADA parking spaces); (5) installing retaining walls and chain-link fences and implementing landscaping plans.
<i>Summary of Changes:</i>	This project was approved by CPC on 8/19/2024 and was referred to Common Council for final decision. The Common Council remanded the special use permit application because the project plans were found to violate a granted easement agreement between the applicant and the owner of property located at 679 E Seneca Tpke. The applicant has submitted revised plans to address the violation.
<i>Staff Analysis:</i>	<p><u>Factors:</u></p> <ul style="list-style-type: none"> - Per revised plans, the proposed scope of work has been moved out of the exclusive easement. - The proposed use is consistent with the purpose of CM Zone District which is to provide appropriate areas that permit the development and continued use of land for commercial and service uses characterized by frequent visits of customers and clients in high volumes. - The proposed use is close to nearby residential uses and structures and would provide storage services to nearby residences. - Per Sheet L6.1, the height of the proposed building is lower than the adjacent Greenwich Manor Apartment. - Landscape buffer will be implemented between the proposed use and nearby residential use. <p><u>Recommended conditions if approved:</u></p> <ul style="list-style-type: none"> - The applicant shall comply with the general conditions for approval on Special Use Permit application. (See the attached sheet “General Conditions for Site

	Plan Review, Special Use Permit and Project Plan Review Approval). - The landscaping features along the southernly property line shall be adequately maintained to buffer the facility and parking lot from the adjacent residential Zone District.
Zoning Procedural History:	- 06/26/2023 R-23-31 Resubdivision to divide 1 lot into 2 new lots Approved - 12/11/2023 R-23-31M1 New map submitted for Resubdivision Approved with Conditions
Summary of Zoning History:	No zoning history except for a resubdivision that divided one lot into two new lots, approved 12/11/2023.
Code Enforcement History:	See attached code enforcement history.
Property Characteristics:	The lot is irregularly shaped with 40 feet of frontage along East Seneca Turnpike, 841.46 feet of frontage along Lafayette Road, 193 feet of frontage on the easterly property line, and 560.42 feet of frontage on the northernly most property line. The total area of the lot is 2.93 acres (127,630.8 square feet), and the proposed building is 105,000 SF.
SEQR Determination:	Pursuant to the 6 NYCRR §617.2(al), the proposal is an Unlisted Action.
Onondaga County Planning Board Referral:	Pursuant to GML §239-1, m and n, the proposal meets the referral criteria for Onondaga County Planning Board to review. The Onondaga County Planning Board has comments below: 1. The applicant must ensure legal access to East Seneca Turnpike. An access easement along the private road is required to be filed with the deed and reflected on the subdivision plan. 2. Given that the applicant will be clearing trees and site may contain the federally and state endangered Indiana Bat and Northern Long-eared bat or their associated habitat, the applicant is required to consult with the US Fish and Wildlife Service and New York Natural Heritage Program to minimize the impact to the species. 3. Given loss of trees and wooded area on site, the Board encourages the applicant to increase plantings and landscaping surrounding the building area.

Application Submittals: The application submitted the following in support of the proposed project:

- Special use permit application
- Short Environmental Assessment Form Part 1
- Brighton Subdivision. Part of Farm Lot 121, City Of Syracuse, County Of Onondaga, State of New York; Licensed Land Surveyor: Paul J. Olszewski; Paul James Olszewski, P.L.S., PLLC; Dated: 05/11/2023; Scale: 1’’= 30’
- Site Preparation Plan (Sheets L1.1, L2.1). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Site Drainage and Utility Plan (Sheet L2.2). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Site Plan (Sheet L3.1). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Planting Plan and Erosion Control Plan (Sheets L4.1, L5.1). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Site Detail Plan (Sheet L6.1). Prepared by Keplinger Freeman Associates LLC; Dated: 02/26/2024; Scale as noted.
- Proposed Floor Plan (Sheets A-101, A-102, A103). Prepared by SAA Architects; dated: 06/19/2024; Scale: 3/32’’=1’
- Elevation Plan (Sheet A-201). Prepared by SAA Architects; dated: 06/06/2024; Scale: 3/32’’=1’



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<i>Project Address:</i>	1001 Brighton Ave E (Tax Map ID: 062.-02-11.0) New address: 639 Seneca Tpke E (Tax Map ID: to be assigned)
<i>Summary of Proposed Action:</i>	The applicant is applying for a Major Site Plan Review to change the land use from a vacant property to a “Mini-Storage” land use and to construct a 3-story, 105,000 SF storage facility.
<i>Owner/Applicant</i>	Joe Hucko, Brighton Mews, LLC. (Owner) Michael Charles, Benchmark Development (Applicant)
<i>Existing Zone District:</i>	Commercial, CM Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north and west are located in the Commercial, CM Zone District, to the south in the Medium Density Residential, R4 Zone District, and to the east of the property is the boundary between the City of Syracuse and Town of Onondaga.
<i>Companion Application(s)</i>	SP-24-15 (Special Use Permit): to establish a “Mini-Storage” use in the CM Zone District.
<i>Scope of Work:</i>	The scope of work includes: (1) removing part of the existing vegetations and grading the land for construction; (2) installing new pavement to the site; (3) constructing a 3-story, 105,000 SF storage facility; (4) constructing 25 parking spaces (includes 2 ADA parking spaces); (5) installing retaining walls and chain-link fences and implementing landscaping plans.
<i>Summary of Changes:</i>	This project was approved by CPC on 8/19/2024 and the companion application SP-24-15 was referred to Common Council for final decision. The Common Council remanded the special use permit application because the project plans were found to violate a granted easement agreement between the applicant and the owner of property located at 679 E Seneca Tpke. The applicant has submitted revised plans to address the violation.
<i>Staff Analysis:</i>	<p><u>Factors:</u></p> <ul style="list-style-type: none"> - Per revised plans, the proposed scope of work has been moved out of the easement. - The property owner has obtained an easement agreement with the neighboring property to have the site entrance located on Lafayette Rd. - The proposed storage facility is abutting on adjacent residential Zone District. - Landscaping buffers will be installed to reduce the visibility of the facility and parking areas to the nearby residential Zone District. - Based on the site detail plan (Sheet L6.1), the roof of storage facility will be lower than the nearby existing residential apartments. - The subject site has never been anything but a woodland and may serve as habitat for the Indiana Bat and the Northern Long Eared Bat. - The applicant has consulted with NYS DEC and U.S. Fish and Wildlife who gave the developer guidance to only remove trees that were necessary and only during the hibernation period for the bats between November 1 to March 1st. - Due to the topography of the subject property, this site has never been developed.

	<p><u>Recommended conditions if approved:</u></p> <ul style="list-style-type: none"> - The landscaping features along the southernly property line shall be adequately maintained to buffer the facility and parking lot from the adjacent residential Zone District. - Any tree removal must occur between November 1 and March 1st.
<p>Zoning Procedural History:</p>	<ul style="list-style-type: none"> - 06/26/2023 R-23-31 Resubdivision to divide 1 lot into 2 new lots Approved - 12/11/2023 R-23-31M1 New map submitted for Resubdivision Approved with Conditions
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<p>SEQR Determination:</p>	<p>Pursuant to the 6 NYCRR §617.2(al), the proposal is an Unlisted Action.</p>
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MaSPR-24-28

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Attachments:

Major Site Plan Review Application

Short Environmental Assessment Form Part 2 & Part 3

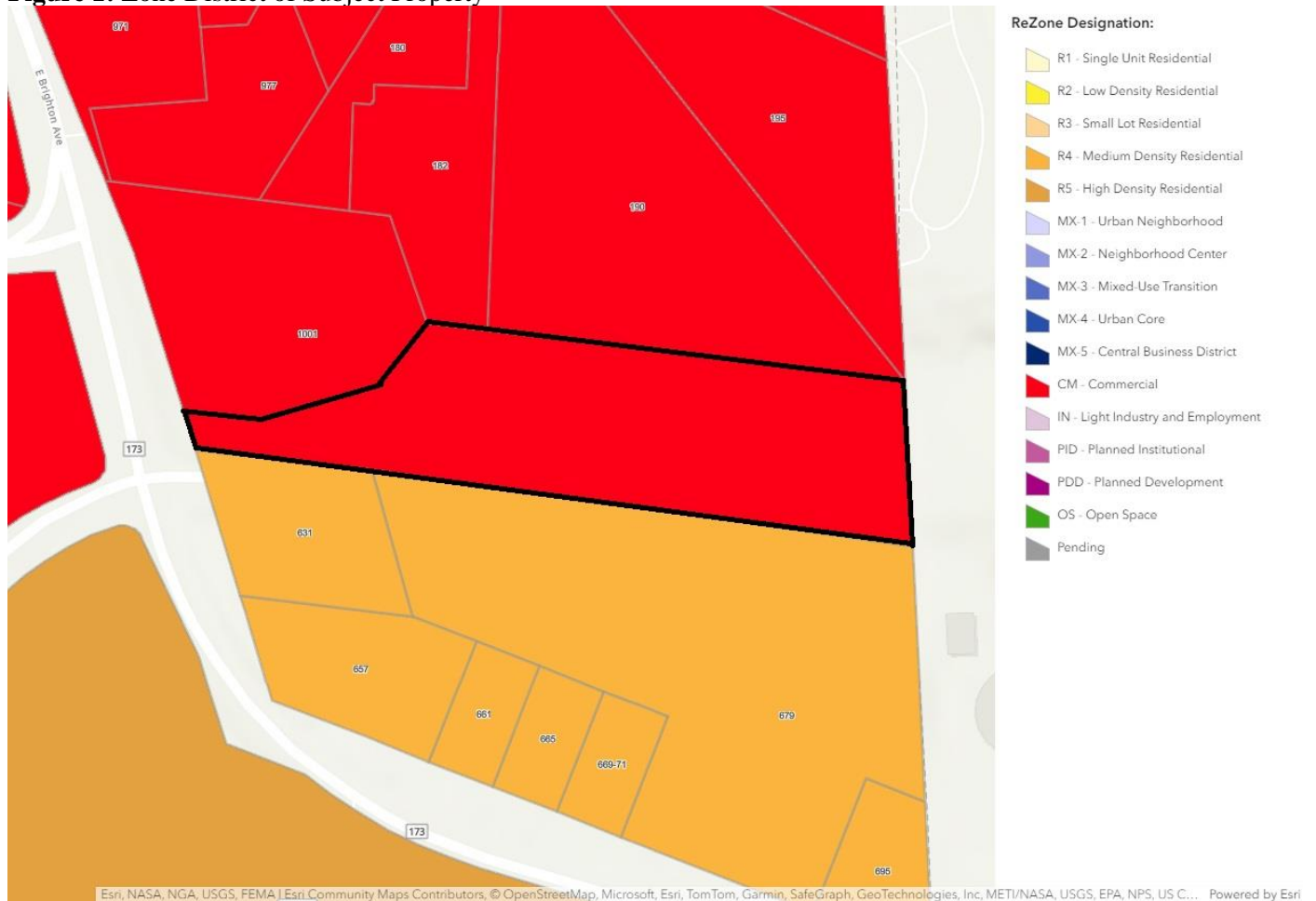
Easement Agreement

Code Enforcement History

IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.
Image Source: ConnectExplorer™, Eagle View Technology Corporation

LEGEND	
PROPOSED	DESCRIPTION
	SOIL BORING

**BRIGHTON HILL
1001 EAST BRIGHTON AVE., SYRACUSE**

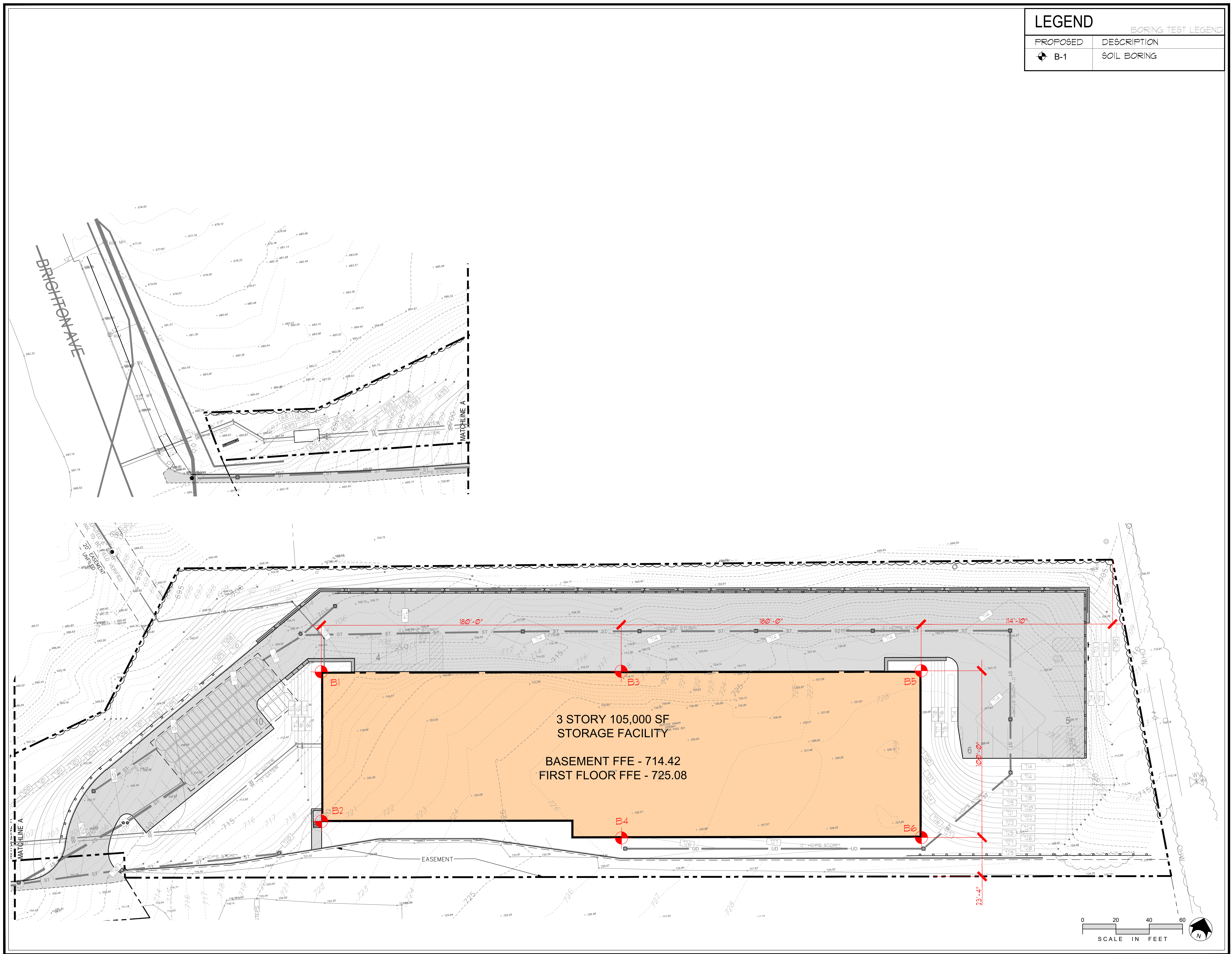


ISSUED AND REVISIONS NOTIFICATION		
No	Rev	Description
2	JPR	GEN. REVISION UPDATE
3	JPR	WATER REVISIONS
4	CRF	REV. LAYOUT W/ SUP
6	CRF	CPC RESUBMISSION
8	CRF	DEC COMMENTS
9	CRF	EKG EASEMENT COMMENTS

Drawn By: C.R.F.
Checked By: E.G.K.
RFA Proj. No.: 43022
Date: 26 FEBRUARY, 2024
Scale: AS NOTED

**SITE BORING
PLAN**

L1.01



Drawing File: _____
 Date Plotted: _____
 Plotted By: _____



LOCATION MAP

ZONING CHART - CITY OF SYRACUSE

TAX PARCELS INVOLVED:
LOT 2 OF 062-02-010 2.93 ACRES (100) EAST BRIGHTON AVE)

ZONED: COMMERCIAL (CM)

YARD SETBACKS	REQUIRED	PROVIDED
FRONT SETBACK	NO MIN.	168'
SIDE YARD SETBACK	NO MIN.	41'
REAR YARD SETBACK	NO MIN.	82'

STALL SIZE: 10'-0" X 9'-0"
DRIVE AISLE: 24'-0" MIN. WIDTH

PERCOLATION TEST RESULTS

LOCATION NUMBER	TEST ELEVATION	SOIL TYPES	RATE OF INFILTRATION
IT-1	102.00 FT.	SAND WITH SILT	9" PER HOUR
IT-2	113.30 FT.	SANDY GRAVEL WITH COBBLES	13" PER HOUR

GENERAL NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY PAUL JAMES OLSEWICKI P.L.S., F.L.C. OF CAMILLUS, NY ON APRIL 4, 2016.

OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.

2. SAW CUT FOR PAVING REMOVALS. EXTEND REMOVAL LINES TO INCLUDE ANY ADJOINING BROKEN OR DETERIORATING PAVING. CAREFULLY REMOVE, STOCKPILE AND PROTECT ANY ITEMS NOTED FOR SALVAGE. ALL DEMOLITION RUBBLE, DEBRIS AND EXCESS SOILS TO BE PROMPTLY REMOVED FROM SITE. STRIP AND STOCKPILE SUFFICIENT EXISTING ORGANIC TOPSOILS FOR REAPPLYING AS REQUIRED ON DISTURBED AND REGRADED AREAS TO BE ESTABLISHED AS LAWN AND FOR REPAIR OF DISTURBED EXISTING LAWNS TO REMAIN. STOCKPILE ALL MATERIALS IN APPROVED LOCATIONS WITHOUT INTERFERING WITH OTHER CONTRACTOR WORK, SCHOOL TRAFFIC OR DRAINAGE.

3. ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.

4. PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.

5. ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.

6. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-1980.

7. ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.

8. ALL NON-PAVED AREAS ARE TO BE LAWN UNLESS OTHERWISE NOTED.

9. CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE WITHIN THE CONTRACT LIMIT LINE. EXISTING LAWNS SHALL BE MOVED AS MUCH AS PRACTICAL TO KEEP AREA FROM LOOKING UNSIGHTLY. ALL TRASH AND DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
CONTOUR	CONTOUR	CONTOUR
SPOT ELEVATION	SPOT ELEVATION	SPOT ELEVATION
CURB TAPER/END	CURB TAPER/END	CURB TAPER/END
TOP/BOTTOM OF CURB	TOP/BOTTOM OF CURB	TOP/BOTTOM OF CURB
HIGH / LOW POINT	HIGH / LOW POINT	HIGH / LOW POINT
TEST PIT	TEST PIT	TEST PIT
BORING (SEE SPECIFICATIONS FOR BORING INFO)	BORING (SEE SPECIFICATIONS FOR BORING INFO)	BORING (SEE SPECIFICATIONS FOR BORING INFO)
FENCE	FENCE	FENCE
UTILITY POLE	UTILITY POLE	UTILITY POLE
WATER LINE	WATER LINE	WATER LINE
FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT
STORM PIPE	STORM PIPE	STORM PIPE
UNDERDRAIN	UNDERDRAIN	UNDERDRAIN
SANITARY PIPE	SANITARY PIPE	SANITARY PIPE
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
TELEPHONE	TELEPHONE	TELEPHONE
STORM STRUCTURE	STORM STRUCTURE	STORM STRUCTURE
ORISCELL	ORISCELL	ORISCELL
INLET	INLET	INLET
CATCH BASIN/MANHOLE	CATCH BASIN/MANHOLE	CATCH BASIN/MANHOLE
CLEAN OUT	CLEAN OUT	CLEAN OUT
SANITARY MANHOLE	SANITARY MANHOLE	SANITARY MANHOLE
ASPHALT PAVEMENT-PARKING	ASPHALT PAVEMENT-PARKING	ASPHALT PAVEMENT-PARKING
CONCRETE PAVEMENT	CONCRETE PAVEMENT	CONCRETE PAVEMENT
TRAFFIC SIGN	TRAFFIC SIGN	TRAFFIC SIGN
LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)	LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)	LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
CURB	CURB	CURB
CURB FLUSH (1" REVEAL UNLESS OTHERWISE NOTED)	CURB FLUSH (1" REVEAL UNLESS OTHERWISE NOTED)	CURB FLUSH (1" REVEAL UNLESS OTHERWISE NOTED)
SILT FENCE	SILT FENCE	SILT FENCE
TREE	TREE	TREE
SHRUB	SHRUB	SHRUB
PLANT KEY	PLANT KEY	PLANT KEY
VEGETATION	VEGETATION	VEGETATION

EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES

1. SAUCUT ASPHALT OR CONCRETE PAVEMENT. SAUCUT ASPHALT IN NEAR STRAIGHT LINE AND SAUCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.

2. STRIP TOPSOIL AND STOCKPILE FOR REUSE. ALL EXCESS TOPSOIL SHALL BE REMOVED AND DISPOSED OF OFF SITE.

3. REMOVE ASPHALT PAVEMENT INCLUDING BASE MATERIAL AND DISPOSE OF OFF SITE.

4. PROPOSED BUILDING OUTLINE. SEE LAYOUT PLAN L3.1

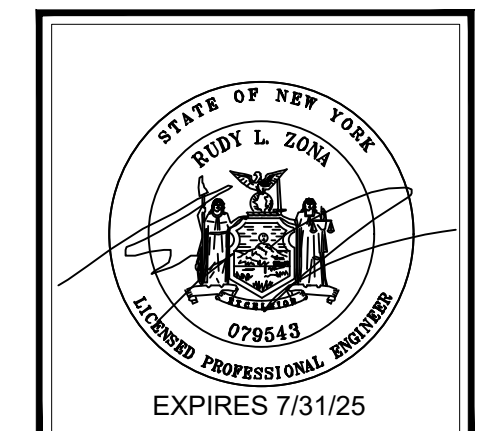
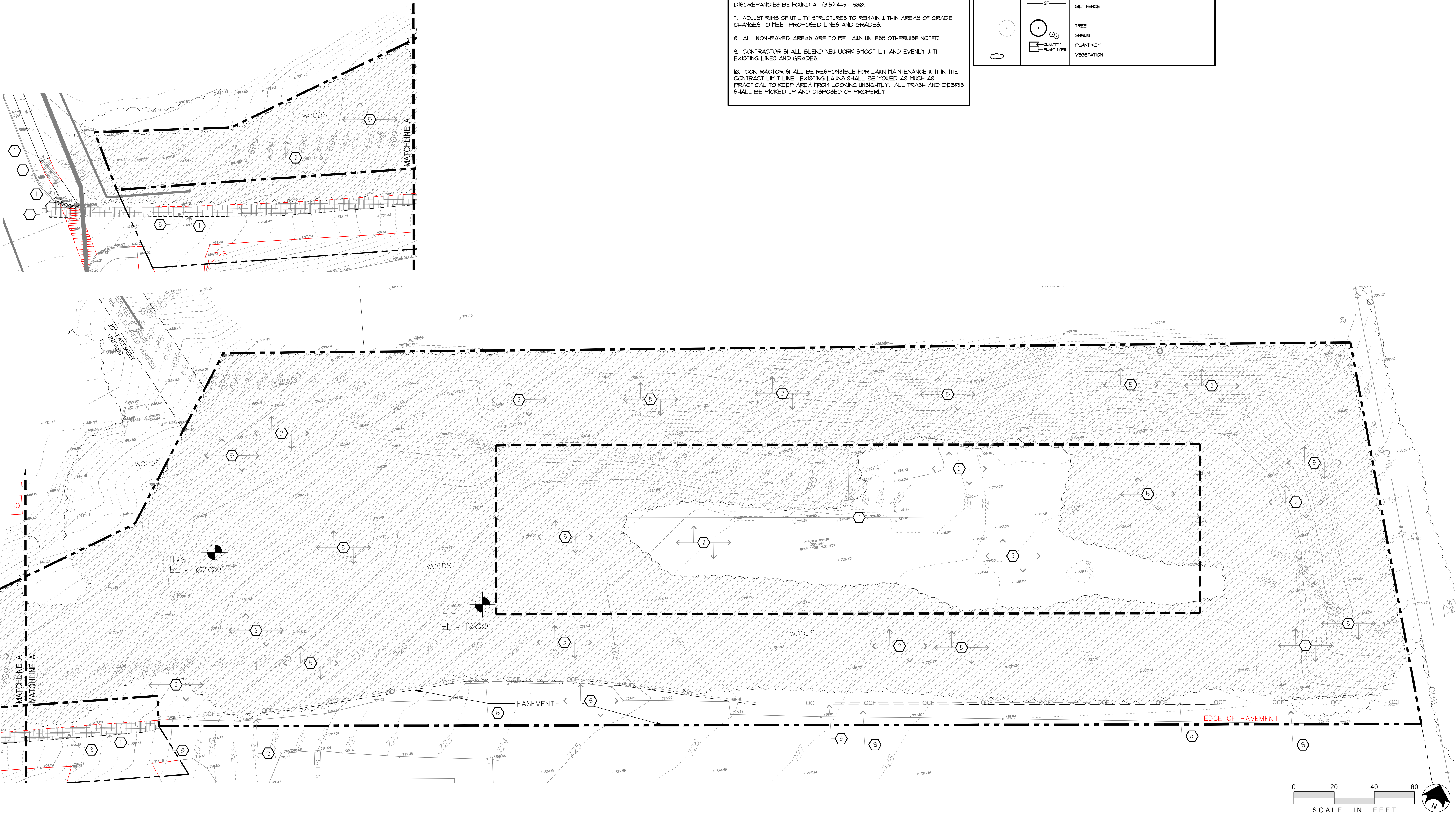
5. ALL TREE CLEARING ACTIVITIES (EXCEPT FOR THOSE TREES WHICH CAUSE AN IMMEDIATE DANGER TO CONSTRUCTION STAFF) SHALL BE CONDUCTED BETWEEN NOVEMBER 01 AND MARCH 31ST. TREE AND VEGETATION CLEARING SHALL BE LIMITED TO THE MINIMUM NECESSARY FOR FACILITY CONSTRUCTION TO REDUCE IMPACTS TO BIRDS AND BATS. REMOVE ALL CLEARED VEGETATION INCLUDING STUMPS AND ROOTS AND DISPOSE OF OFF-SITE.

6. NOTE OMITTED.

7. EXISTING SIDEWALK TO REMAIN. REMOVE AND REPLACE EXISTING SIDEWALK IN KIND AS REQUIRED FOR UTILITY CONNECTION.

8. INSTALL 4-FOOT HIGH ORANGE CONSTRUCTION FENCE ALONG ACCESS EASEMENT LIMITS. MAINTAIN FENCE THROUGHOUT CONSTRUCTION. TEMPORARILY REMOVE/RELOCATE FENCE AS REQUIRED TO COMPLETE SITE IMPROVEMENTS. REPLACE FENCE AT THE END OF EACH WORK DAY, IF REQUIRED.

9. PERMISSION IS REQUIRED FROM EASEMENT GRANTEE FOR ANY WORK PERFORMED WITHIN THE EASEMENT.



BRIGHTON HILL
1001 EAST BRIGHTON AVE., SYRACUSE



ISSUED AND REVISIONS NOTIFICATION

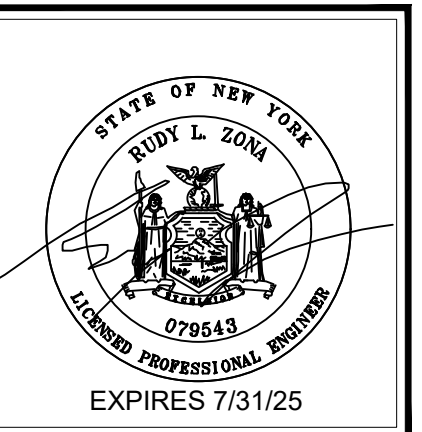
No	Rev	Description	Date
1	JPR	GEN. REVISION UPDATE	6/7/24
2	JPR	WATER REVISIONS	6/10/24
3	CRF	REV. LAYOUT W/ SUP	6/19/24
4	CRF	CPC RESUBMISSION	6/29/24
5	CRF	DEC COMMENTS	8/12/24
6	CRF	EASEMENT COMMENTS	10/17/24
7	CRF	CPC RESUBMISSION	10/15/24



Drawn By: C.R.F.
Checked By: E.G.K.
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SITE PREPARATION PLAN

L1.1

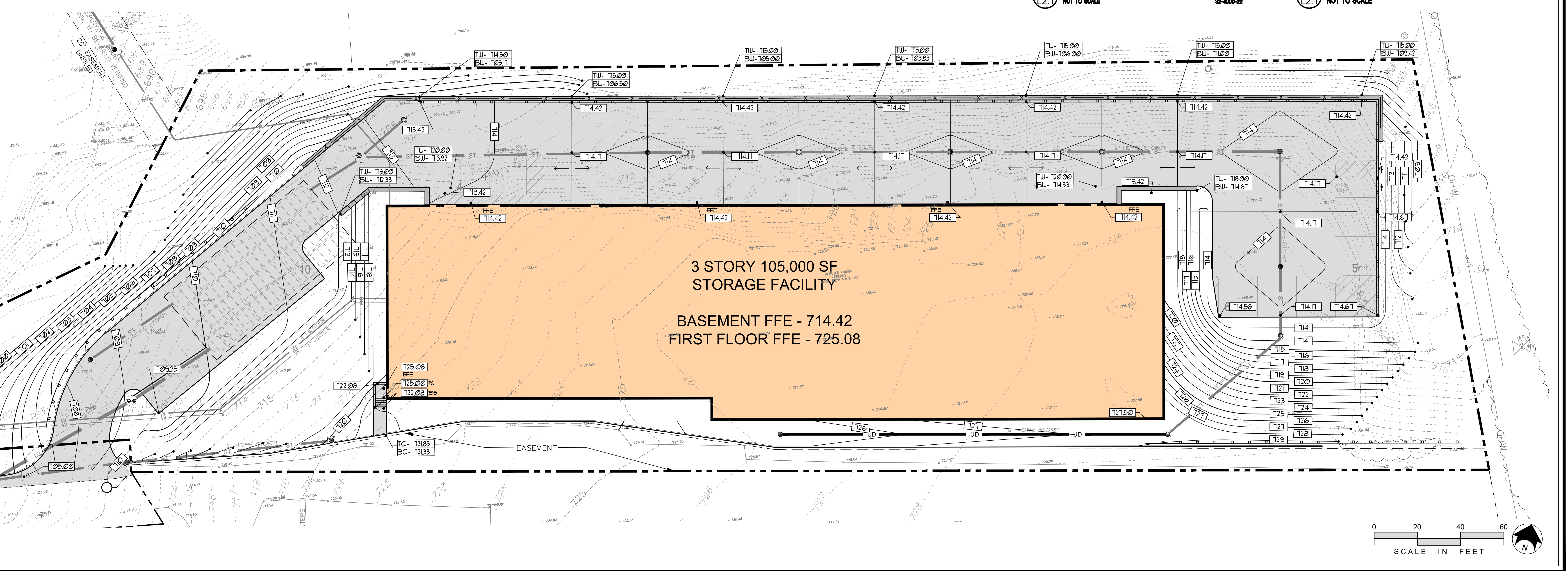
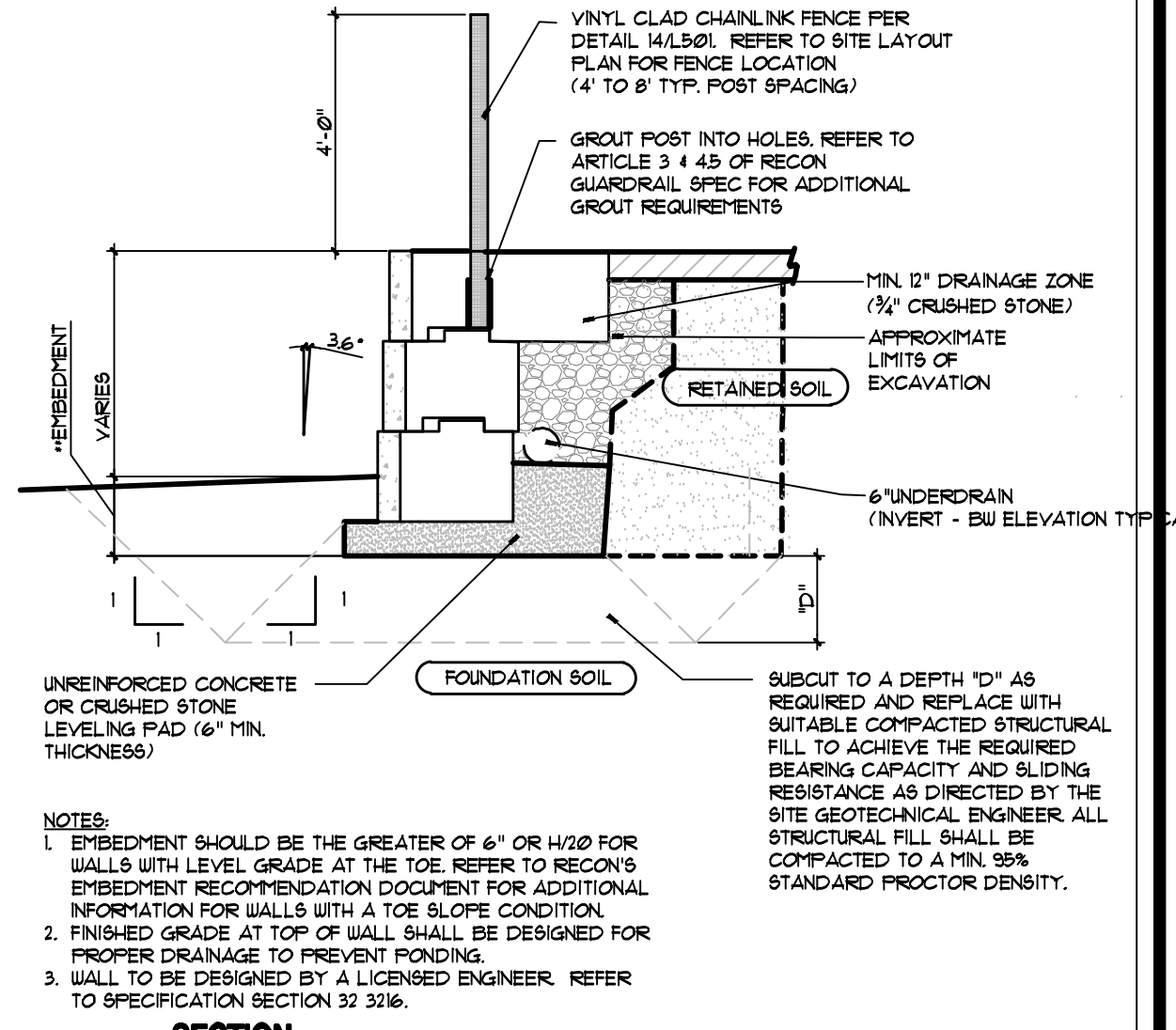
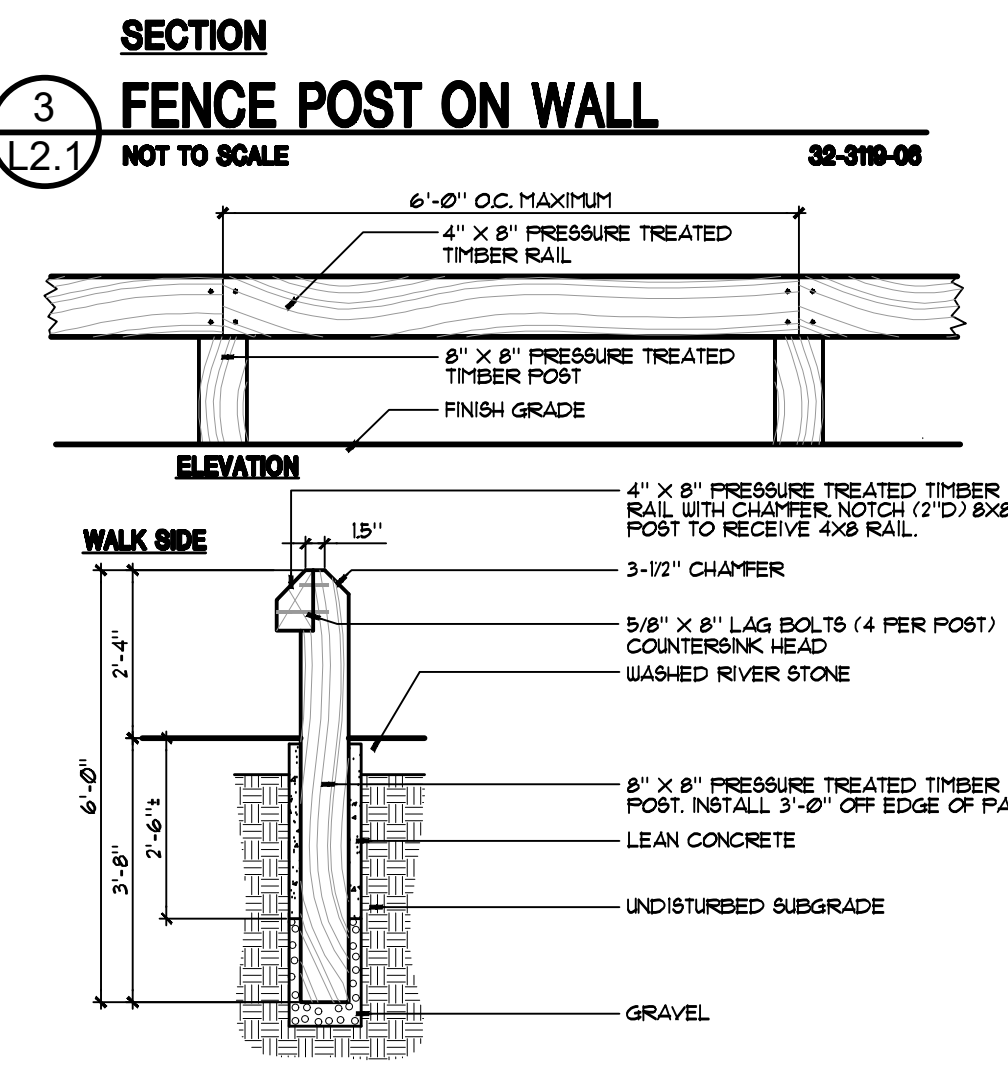
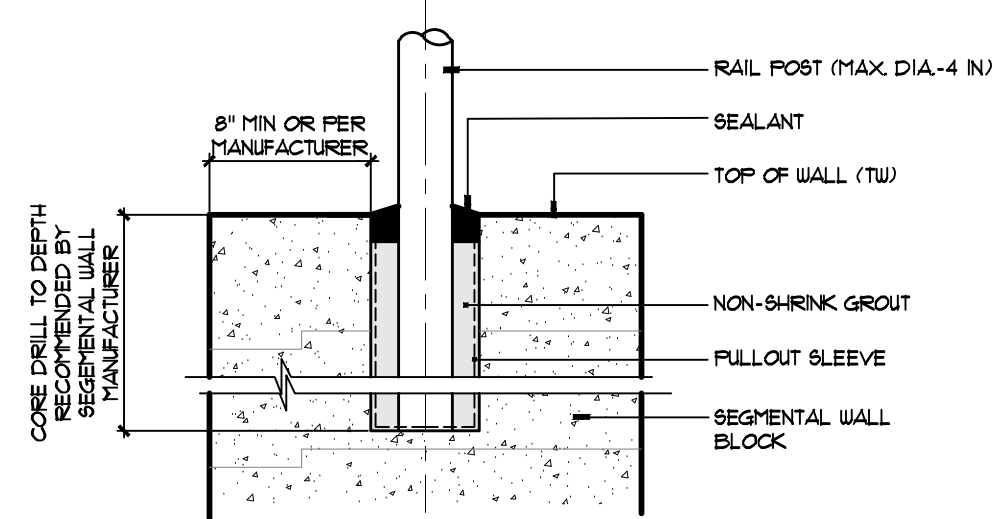
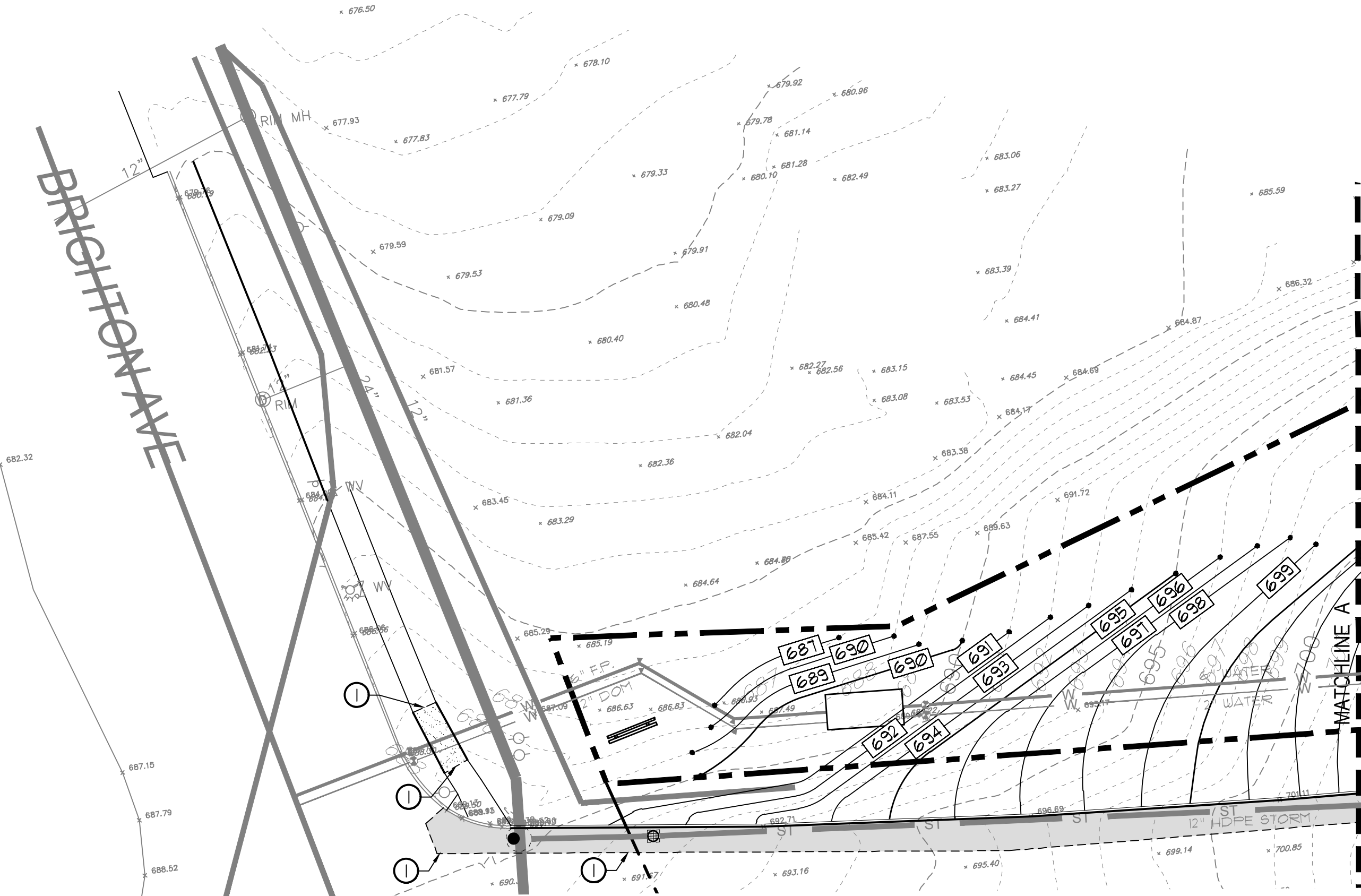


GRADING and UTILITY GENERAL NOTES

- NOTES REFER TO SHEETS L2.1 AND L2.2
1. ANY/FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
 2. WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
 3. ALL CONCRETE PAVING AT ALL DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOUBLED TO FOUNDATION WALL PER DETAILS.
 4. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 6. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER WATER MAIN OR ANY OF THE DRY UTILITIES THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM KEPLINGER FREEMAN ASSOCIATES (KFA)/RZ ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. KFA AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
 7. ANY ELECTRIC AND LIGHT POLES AND/OR EQUIPMENT IS SHOWN FOR COORDINATION PURPOSES ONLY. LOCATIONS ARE APPROXIMATE ONLY. REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATIONS AND DETAILED INFORMATION.

GRADING, DRAINAGE & UTILITY NOTES

- NOTES REFER TO SHEETS L2.1 AND L2.2
1. MEET EXISTING LINE AND GRADE.
 2. INSTALL 6" FIRE PROTECTION WATER LINE AND 2" DOMESTIC WATER LINE TO WITHIN 5 FEET OF BUILDING.
 3. INSTALL ROOF DRAIN TO SURFACE DRAIN INTO STORM WATER MANAGEMENT AREA. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
 4. FIELD VERIFY ALL EXISTING INVERTS & EXISTING UTILITY LOCATIONS PRIOR TO THE COMMENCEMENT OF WORK.
 5. REFER TO PLUMBING DRAWINGS FOR CONNECTION INSIDE BUILDING.
 6. INSTALL SANITARY CLEANOUT PER DETAIL 4 / L6.1
 7. INSTALL UNDERDRAIN PER DETAIL 6 / L2.2
 8. FIELD VERIFY SANITARY PIPE DEPTH AT PIPE CROSSING.
 9. INSTALL COMMERCIAL SERVICE TRAP AND VENT PER DETAIL 2 / L6.1
 10. CONTRACTOR SHALL CONTACT CITY ENGINEER TO COORDINATE CONNECTION AND ADJUSTMENTS TO THE TOWN SEWER SYSTEMS.
 11. INSTALL STORM DOGHOUSE PER DETAIL 4 / L2.2
 12. NOTE OMITTED.
 13. INSTALL 45° BEND WITH THRUST BLOCK PER DETAIL 8 / L6.1
 14. CITY OF SYRACUSE WATER TO INSTALL WATERLINE TAP AND PIPE UP TO AND INCLUDING THE CURB BOX AT THE PROPERTY LINE. ALL WORK WITHIN RIGHT OF WAY TO BE COMPLETED BY CITY OF SYRACUSE WATER DEPARTMENT.
 15. INSTALL WATER METER PIT, 2 METER WITH BACKFLOW PREVENTION, TO BE DESIGNED.
 16. INSTALL GATE VALVE PER DETAIL 6 / L6.1
 17. INSTALL MC4500 STORM CHAMBERS - SEE DETAIL 10/L6.1
 18. INSTALL 8" HDPE PIPE TO DAYLIGHT.



BRIGHTON HILL
1001 EAST BRIGHTON AVE., SYRACUSE



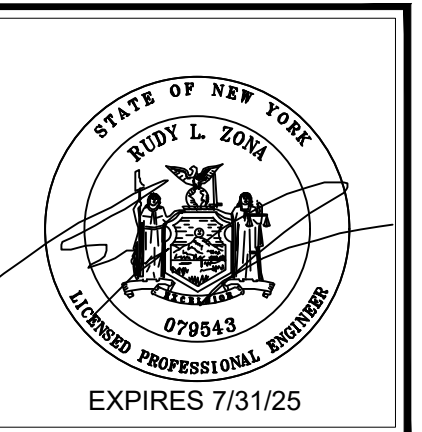
ISSUED AND REVISIONS NOTIFICATION	No	Rev	Description	Date
1	JPR	GEN. REVISION UPDATE	6/7/24	
2	JPR	WATER REVISIONS	6/10/24	
3	CRF	REV. LAYOUT W/ SUP	6/19/24	
4	CRF	CPC RESUBMISSION	6/24/24	
5	CRF	DEC COMMENTS	6/24/24	
6	CRF	EKG EASEMENT COMMENTS	6/24/24	
7	CRF	CPC RESUBMISSION	10/15/24	
8	CRF	CPC RESUBMISSION	10/15/24	



Drawn By: C.R.F.
 Checked By: E.G.K.
 KFA Proj. No.: 43092
 Date: 26 FEBRUARY, 2024
 Scale: AS NOTED

SITE GRADING PLAN

L2.1



ISSUED AND REVISIONS NOTIFICATION	No.	Rev.	Description	Date
	1	UPR	GEN. REVISION UPDATE	6/17/24
	2	UPR	WATER REVISIONS	6/10/24
	3	UPR	REV. LAYOUT W/ SUP	6/19/24
	4	UPR	REV. LAYOUT W/ SUP	6/19/24
	5	UPR	REV. LAYOUT W/ SUP	6/19/24
	6	UPR	REV. LAYOUT W/ SUP	6/19/24
	7	UPR	REV. LAYOUT W/ SUP	6/19/24
	8	UPR	REV. LAYOUT W/ SUP	6/19/24
	9	UPR	REV. LAYOUT W/ SUP	6/19/24
	10	UPR	REV. LAYOUT W/ SUP	6/19/24



Drawn By: C.R.F.
 Checked By: E.G.K.
 MFA Proj. No.: 43052
 Date: 26 FEBRUARY, 2024
 Scale: AS NOTED

SITE DRAINAGE AND UTILITIES PLAN

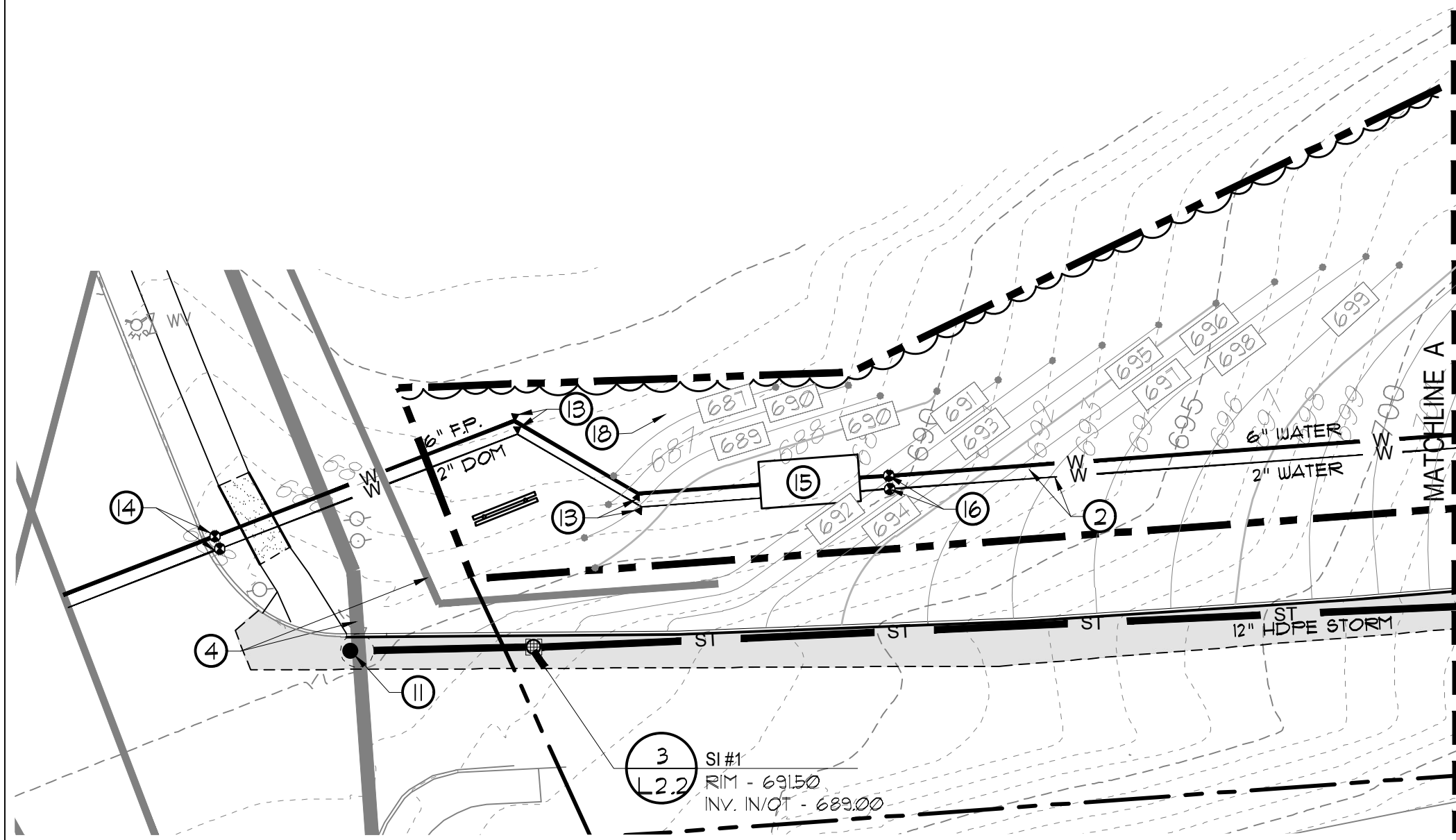
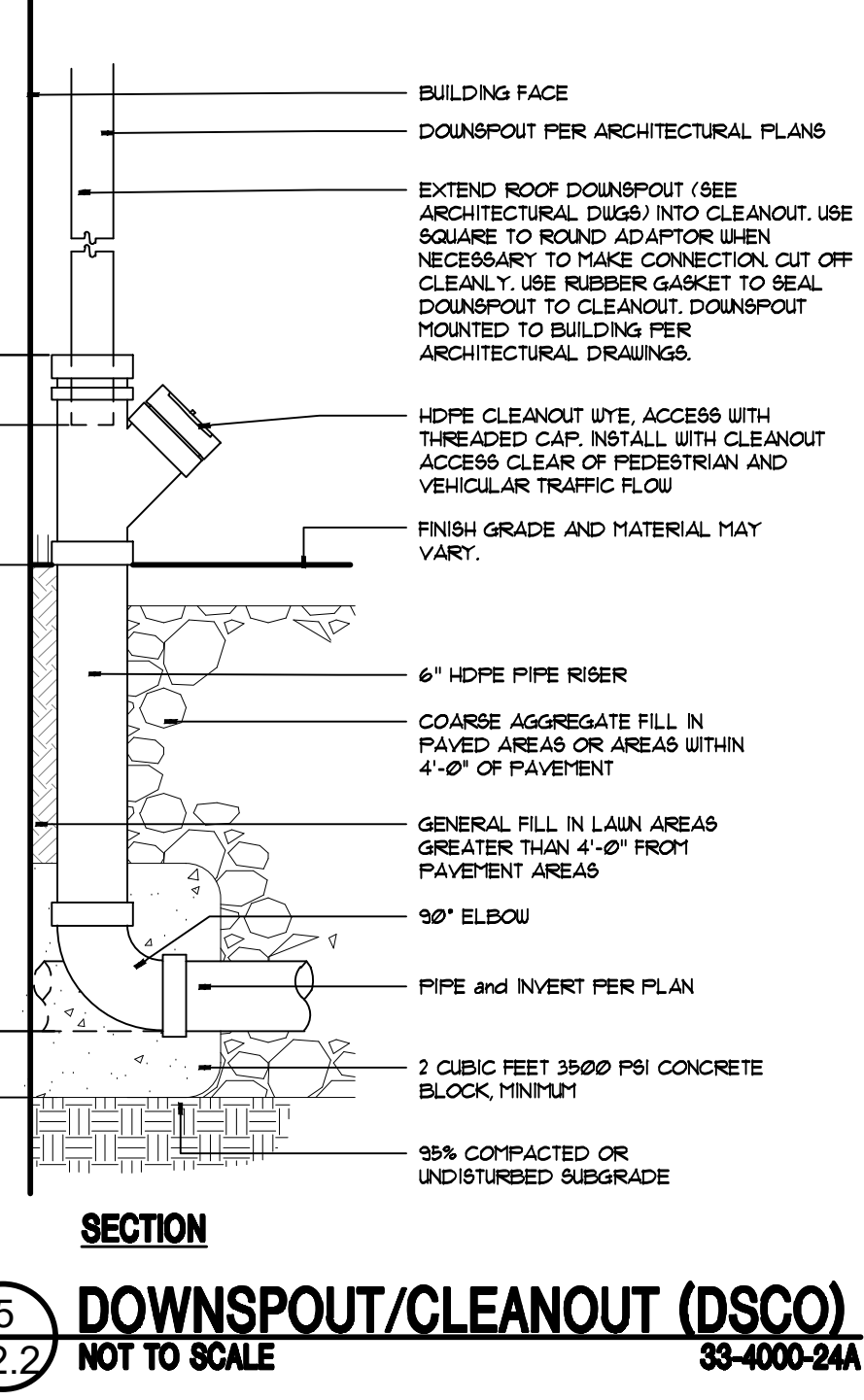
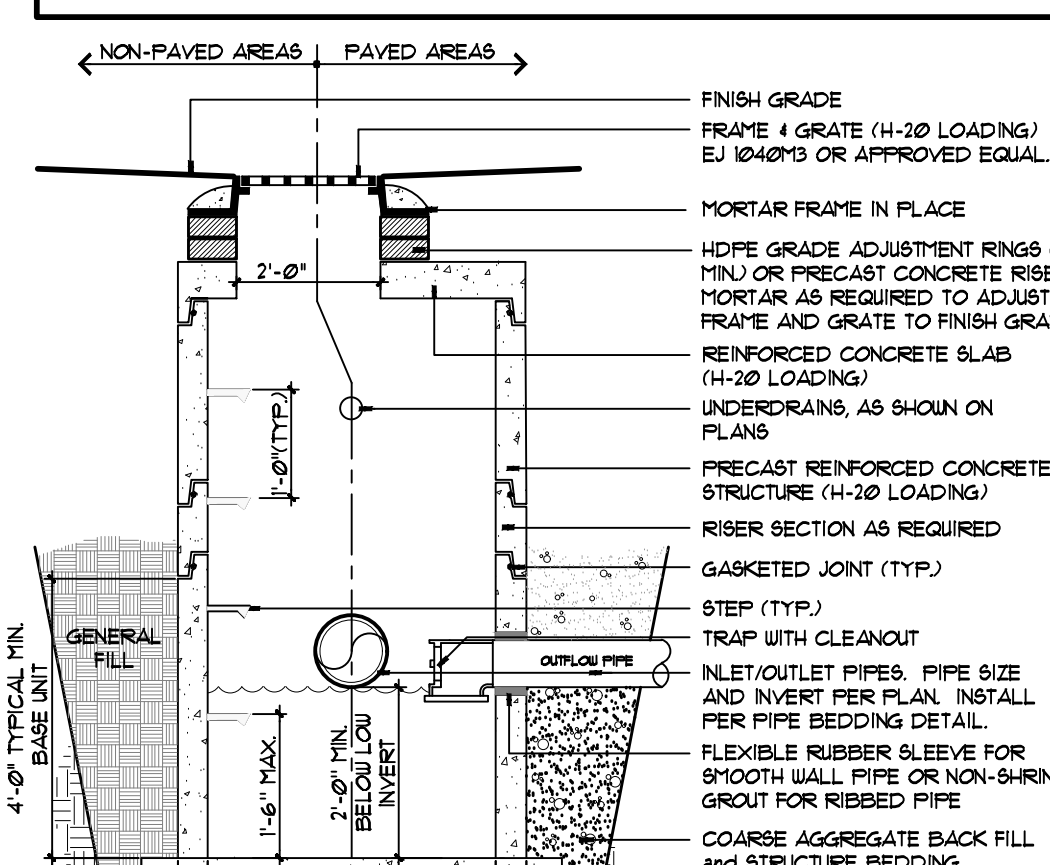
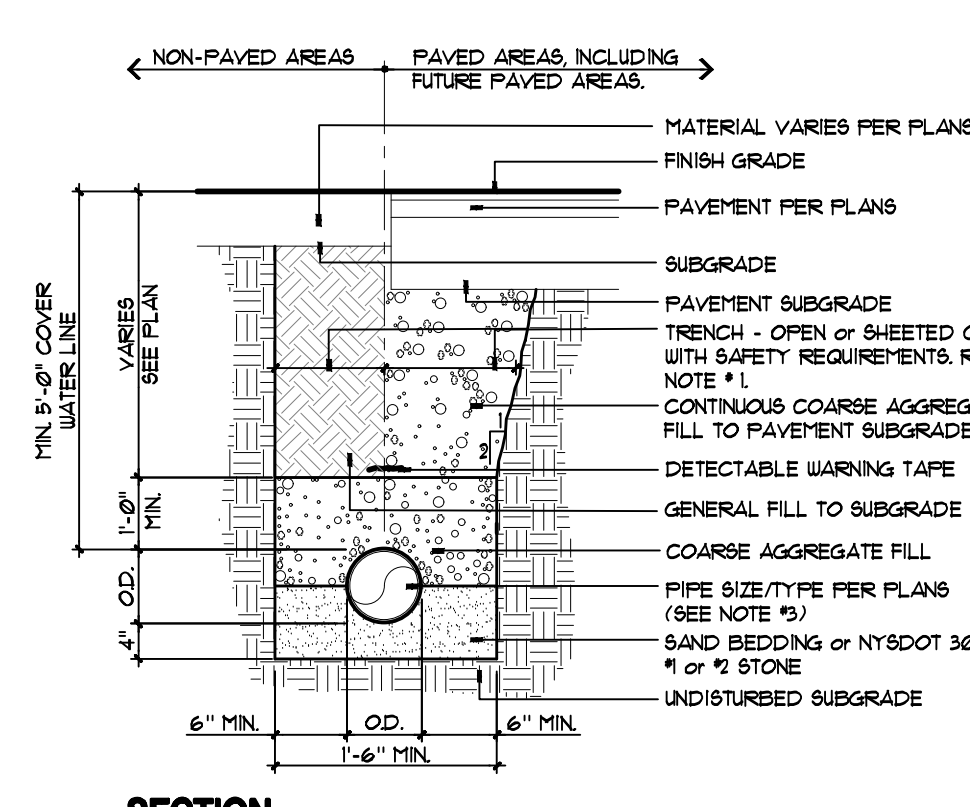
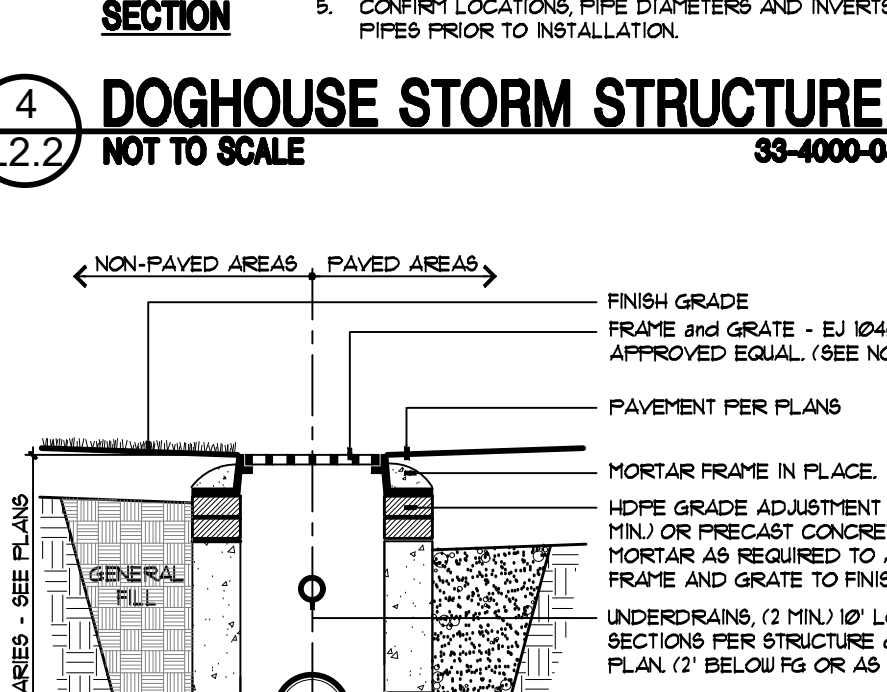
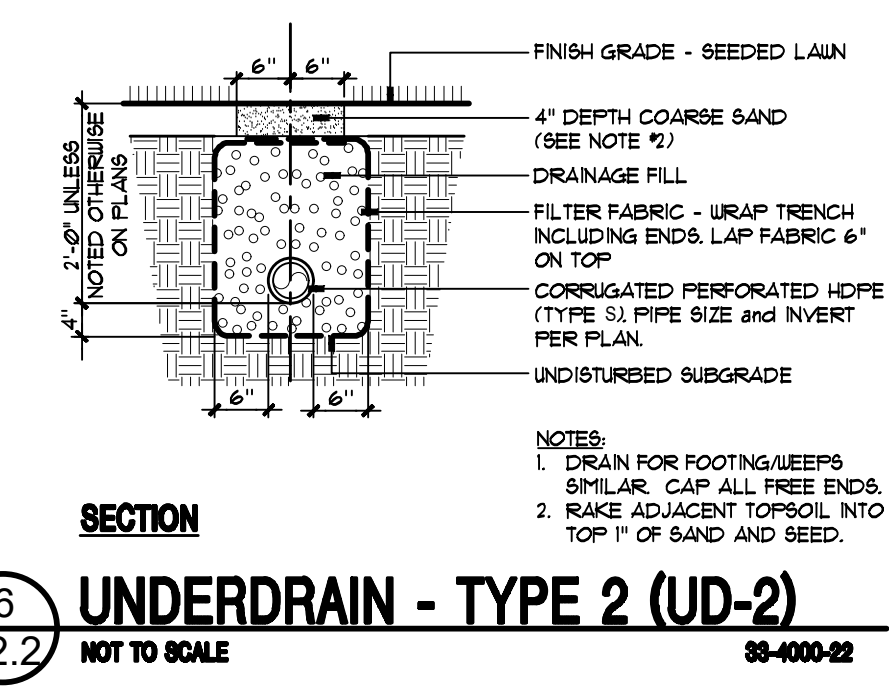
L2.2

GRADING and UTILITY GENERAL NOTES
 NOTES REFER TO SHEETS L2.1 AND L2.2

1. ANY FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
2. WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
3. ALL CONCRETE PAVING AT ALL DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOUBLED TO FOUNDATION PER DETAILS.
4. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
6. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND NOTIFY KEPLINGER FREEMAN ASSOCIATES (KFA)/RZ ENGINEERING AND THE OWNER/ENGINEER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. KFA AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
7. ANY ELECTRIC AND LIGHT POLES AND/OR EQUIPMENT IS SHOWN FOR COORDINATION PURPOSES ONLY. LOCATIONS ARE APPROXIMATE ONLY. REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATIONS AND DETAILED INFORMATION.

GRADING, DRAINAGE & UTILITY NOTES
 NOTES REFER TO SHEETS L2.1 AND L2.2

1. MEET EXISTING LINE AND GRADE.
2. INSTALL 6" FIRE PROTECTION WATER LINE AND 2" DOMESTIC WATER LINE TO WITHIN 5 FEET OF BUILDING.
3. INSTALL ROOF DRAIN TO SURFACE DRAIN INTO STORM WATER MANAGEMENT AREA. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
4. FIELD VERIFY ALL EXISTING INVERTS & EXISTING UTILITY LOCATIONS PRIOR TO THE COMMENCEMENT OF WORK.
5. REFER TO PLUMBING DRAWINGS FOR CONTINUATION INSIDE BUILDING.
6. INSTALL SANITARY CLEANOUT PER DETAIL 6 / L&1.
7. INSTALL UNDERDRAIN PER DETAIL 6 / L2.2
8. FIELD VERIFY SANITARY PIPE DEPTH AT PIPE CROSSING.
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6	CRF	DEC COMMENTS	6/27/24
7	CRF	EKG EASEMENT COMMENTS	7/10/24
8	CRF	CPC RESUBMISSION	7/15/24
9	CRF	CPC RESUBMISSION	10/15/24

ZONING CHART - CITY OF SYRACUSE

TAX PARCELS INVOLVED:
 LOT 2 OF 062-02-0110 2.93 ACRES (1001 EAST BRIGHTON AVE.)

ZONED: COMMERCIAL (CM)

YARD SETBACKS	REQUIRED	PROVIDED
FRONT SETBACK	NO MIN.	16' 8"
SIDE YARD SETBACK	NO MIN.	4' 1"
REAR YARD SETBACK	NO MIN.	82'

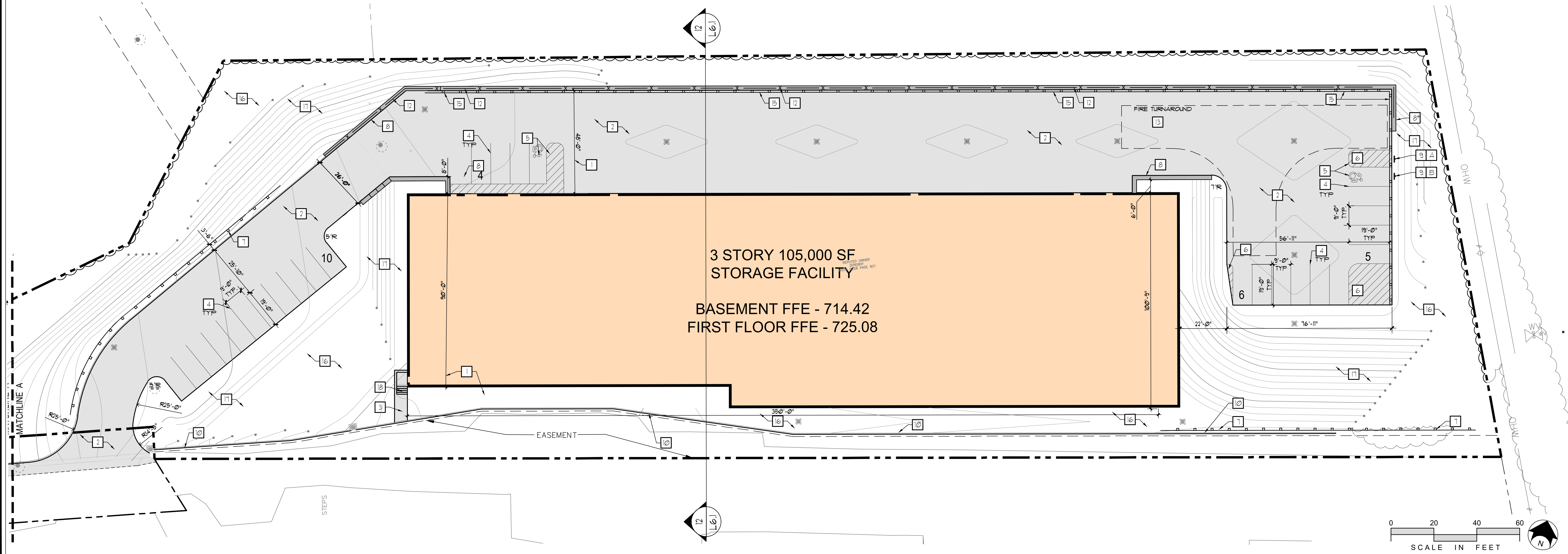
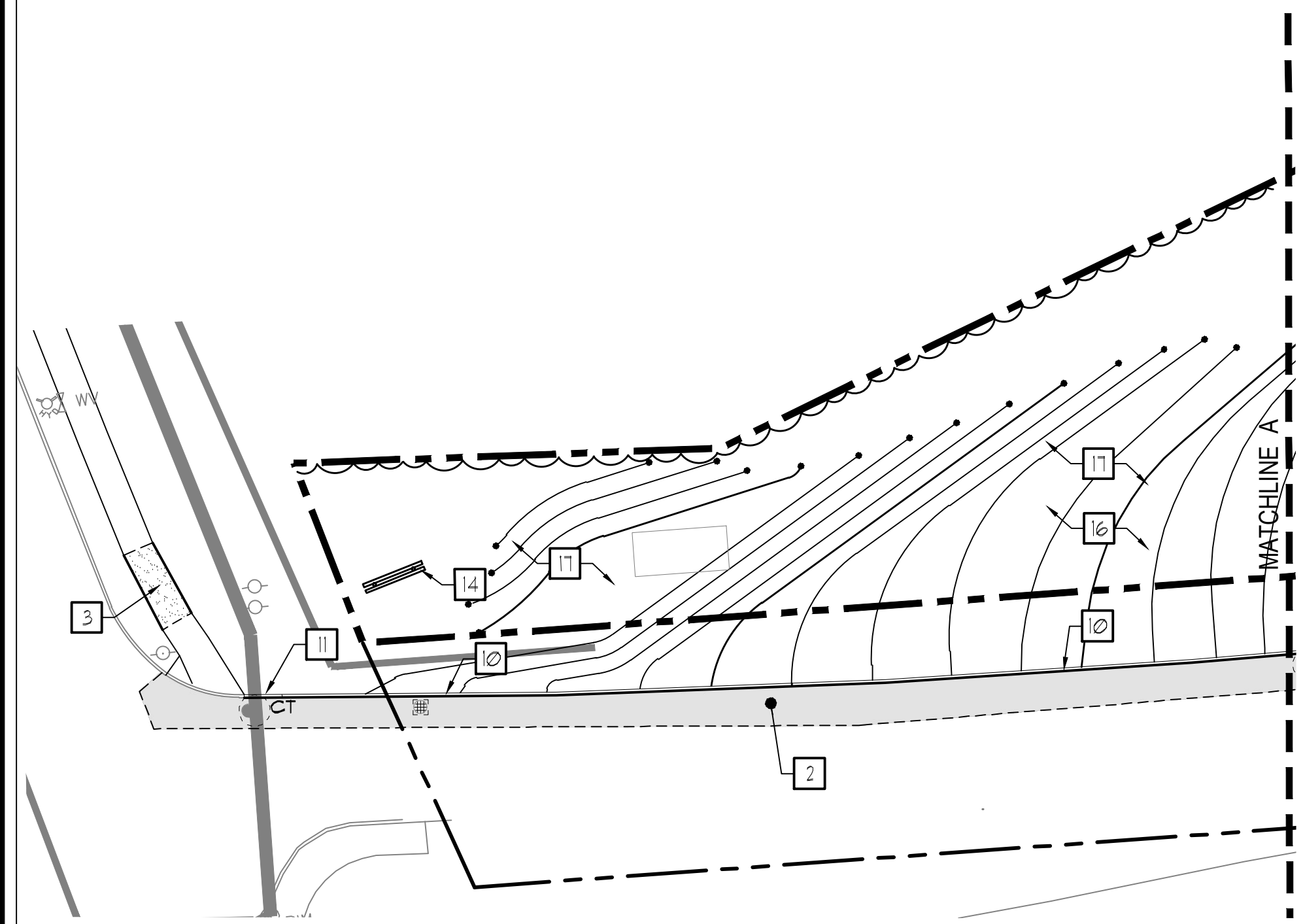
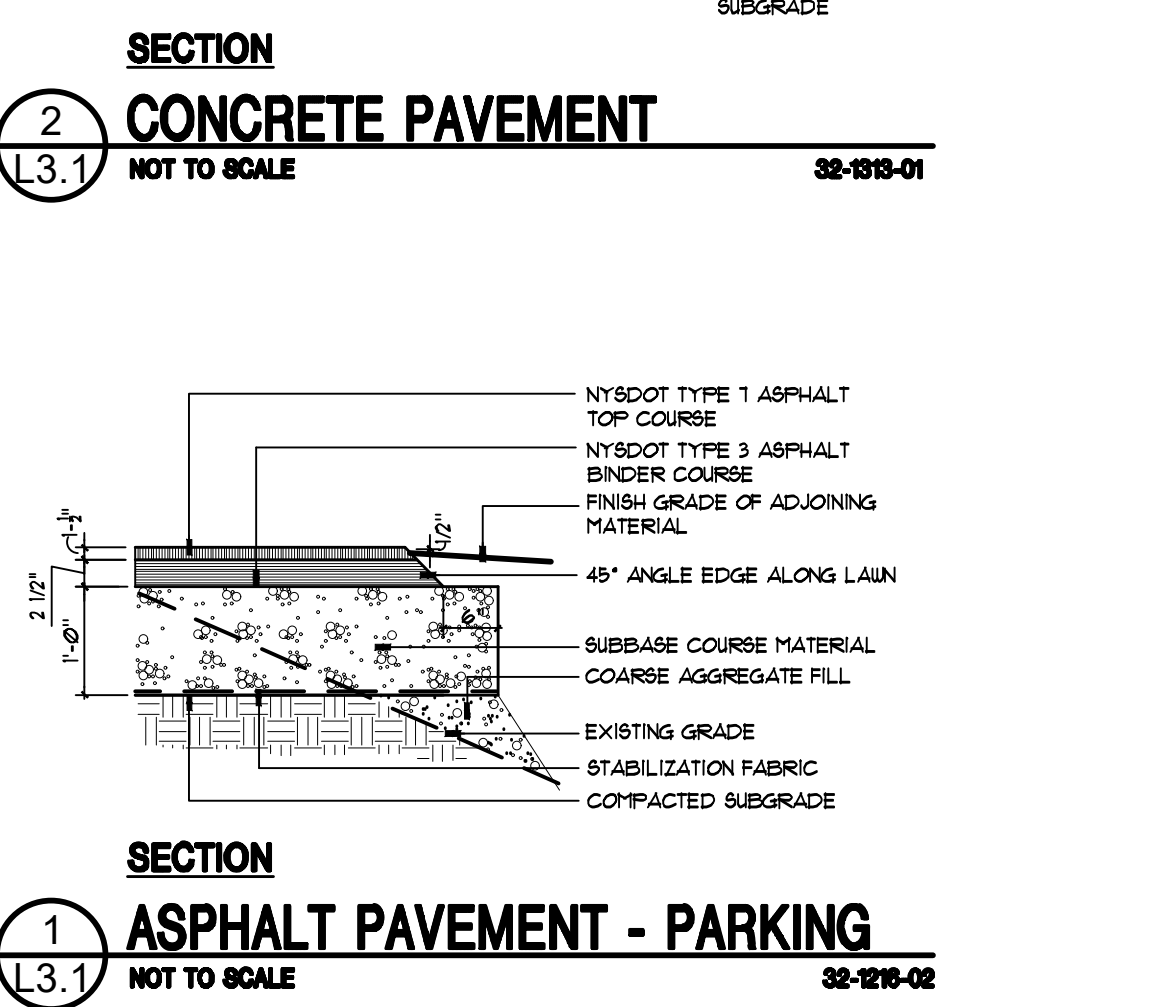
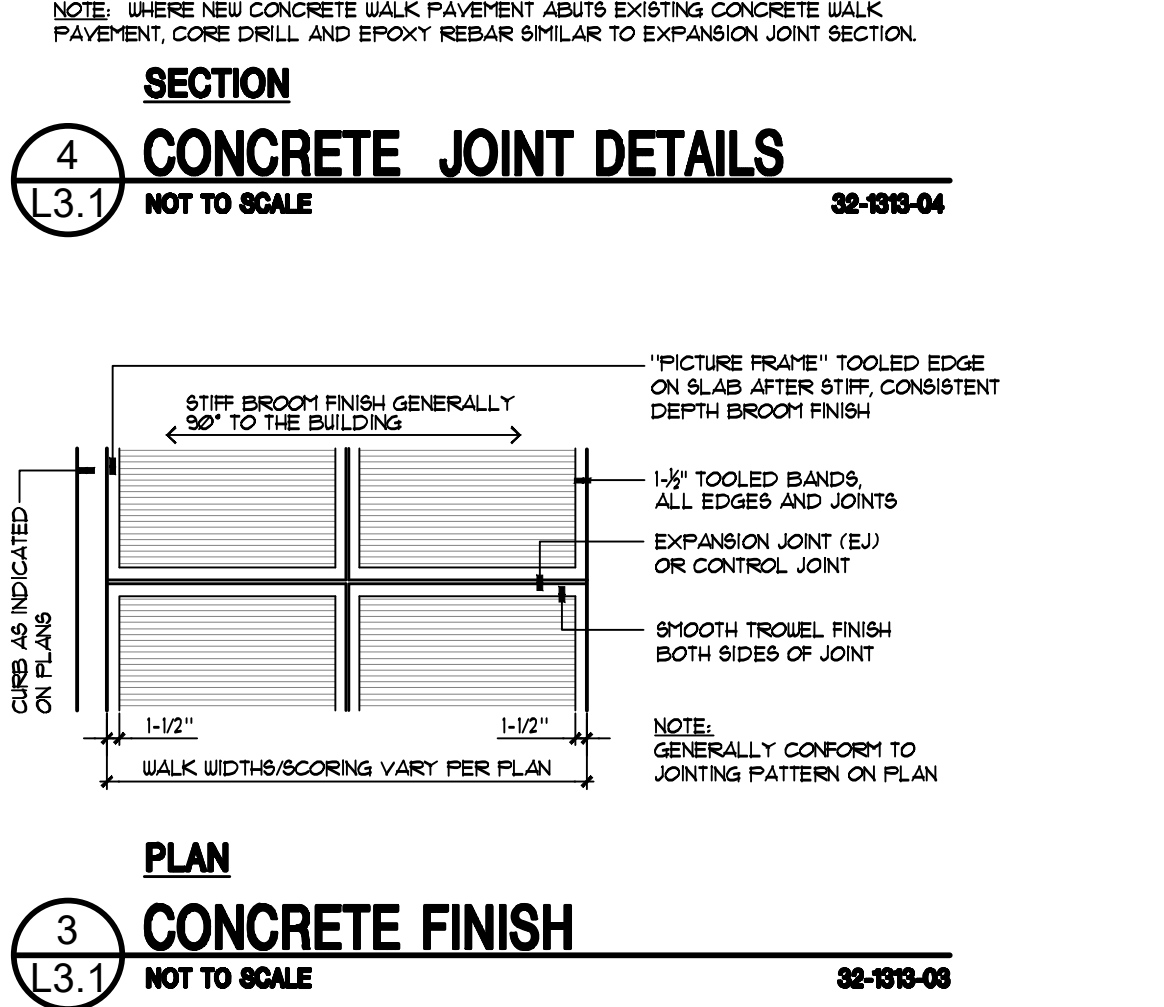
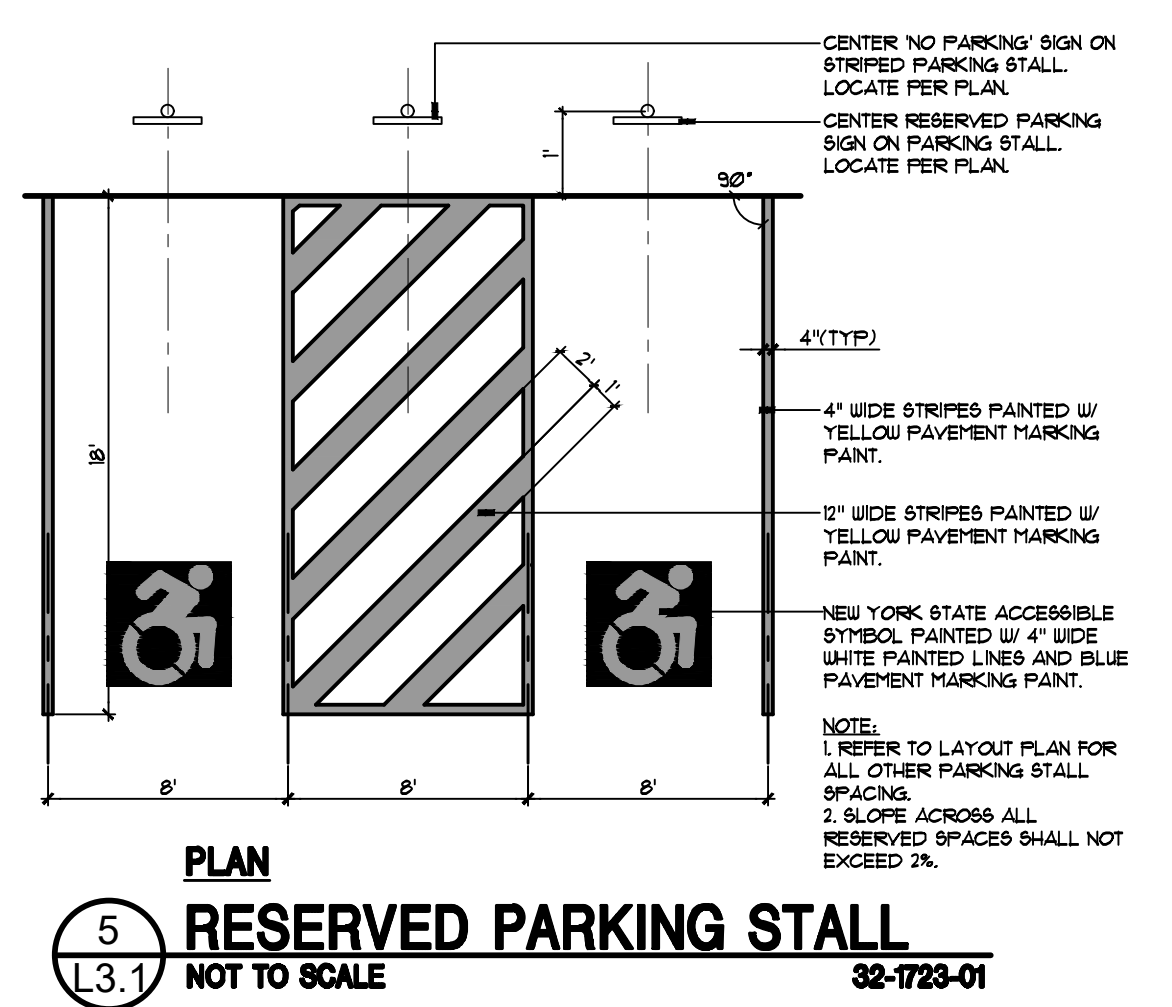
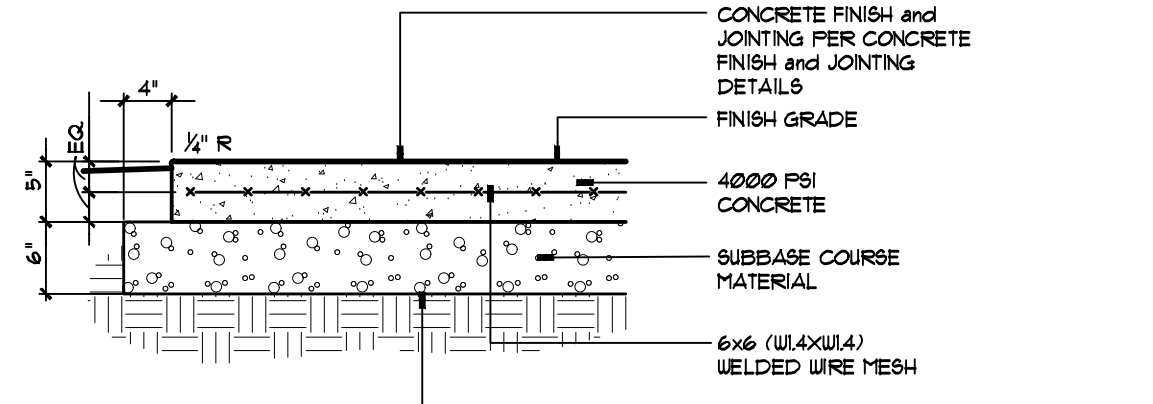
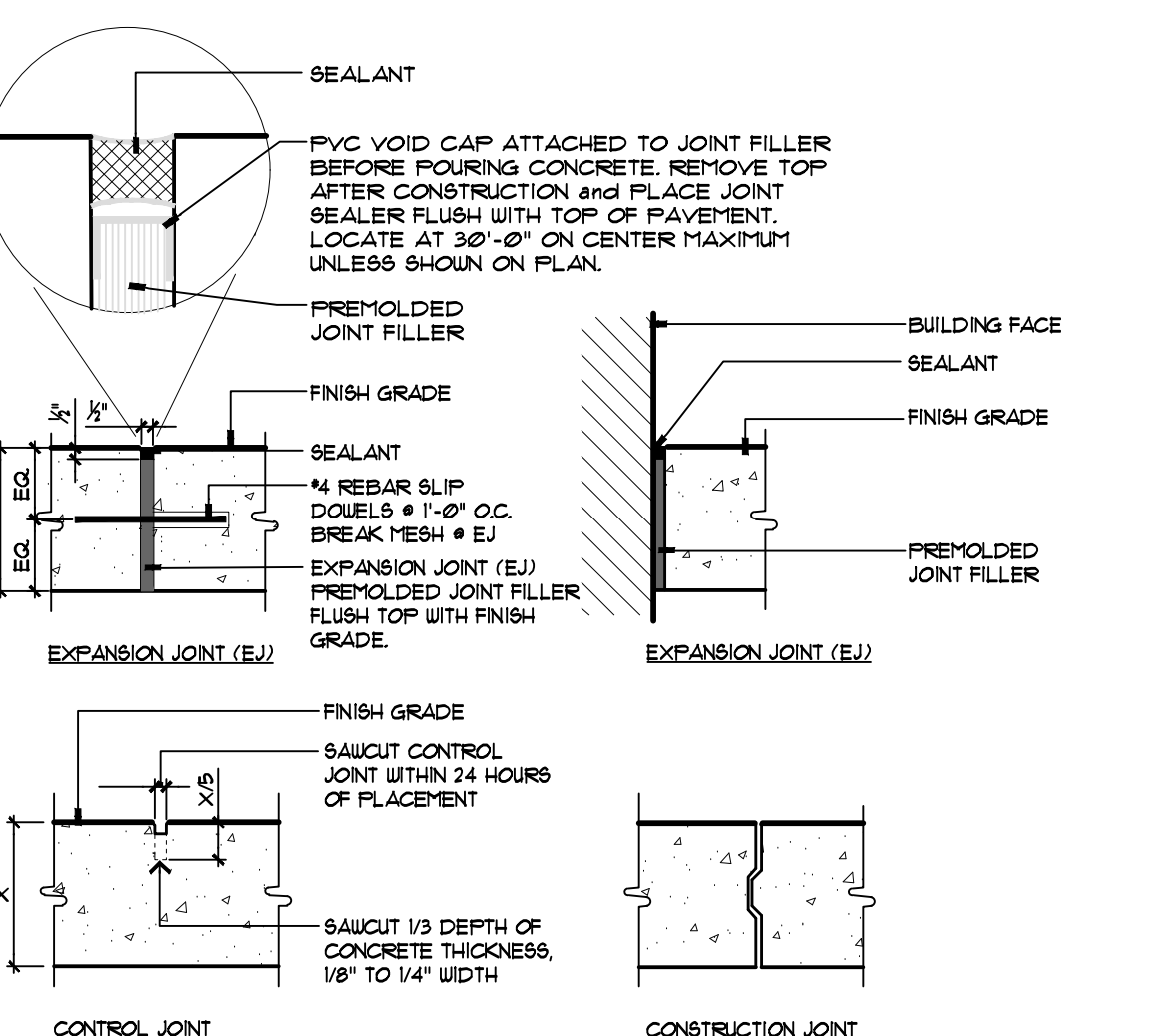
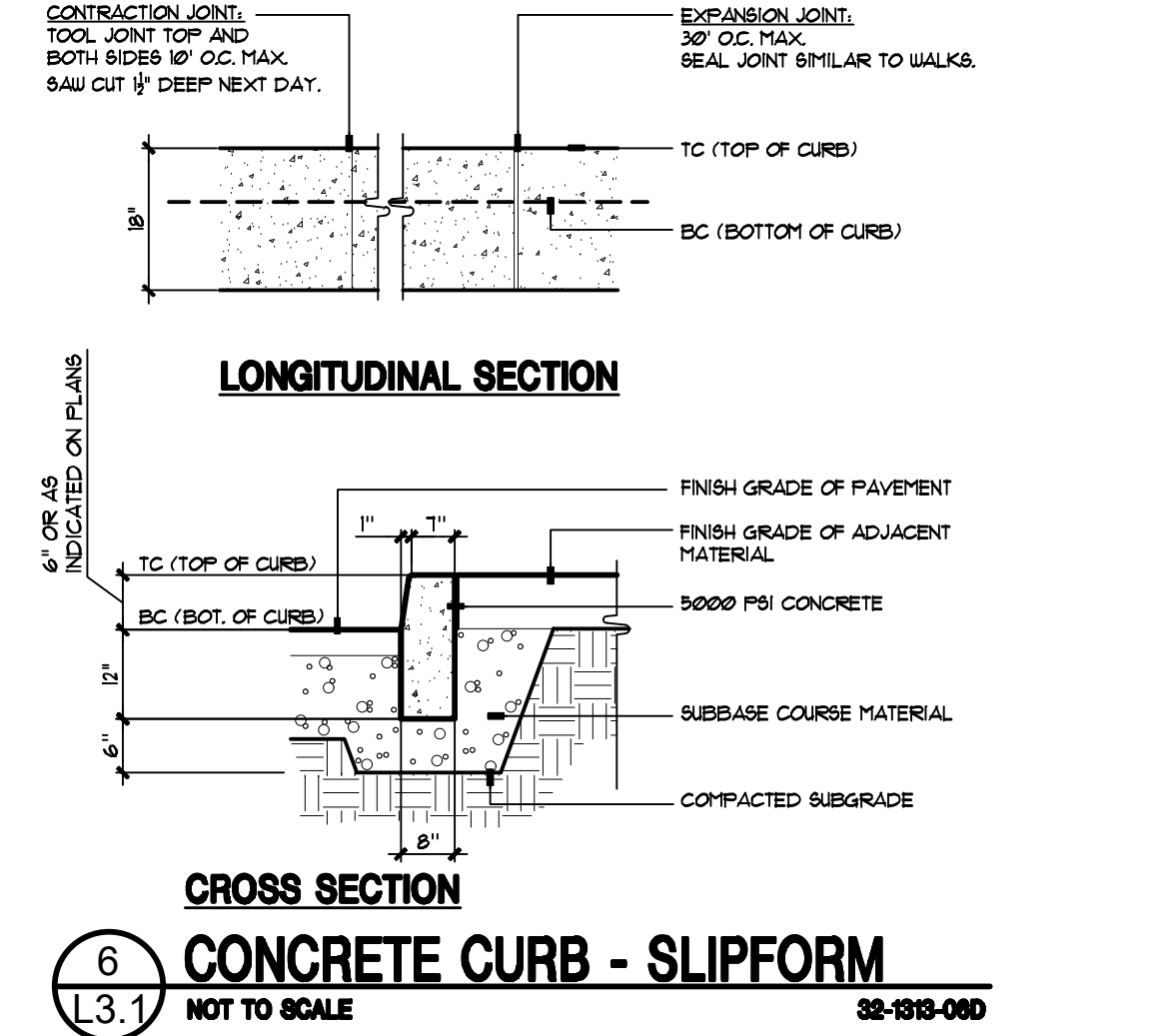
STALL SIZE: 18'-0" X 9'-0"
 DRIVE AISLE: 24'-0" MIN. WIDTH

SIGN SCHEDULE

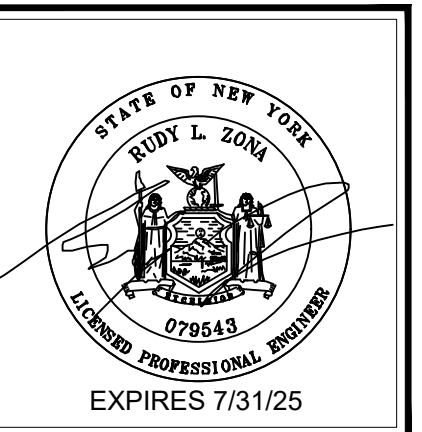
KEY	SIGN PLATE	SIGN SIZE MOUNTING HT. / COMMENTS	NY S.D.O.T. MUT.C.D. NO. / COMMENTS
A	NO PARKING ANY TIME	12" X 18" T-0" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
B	RESERVED PARKING W/ ACCESSIBLE SYMBOL	12" X 18" T-0" HT.	SIGN NO. P4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT / BORDER, COMMENTS:

NOTES:
 1. REFER TO TRAFFIC CONTROL SIGN DETAIL FOR INSTALLATION.
 2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT N.Y.S.D.O.T. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

- LAYOUT CONSTRUCTION NOTES**
- DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO BUILDING
 - INSTALL ASPHALT PAVEMENT - PARKING PER DETAIL 1 / L3.1
 - INSTALL CONCRETE PAVEMENT PER DETAIL 2 / L3.1
 - 4" WIDE WHITE PAINTED LINE - WHITE (TYP.)
 - INSTALL RESERVED PARKING STALL PER DETAIL 5 / L3.1
 - INSTALL 4" WIDE WHITE PAINTED LINES AT 45° @ 2' O.C.
 - INSTALL TIMBER RAIL PER DETAIL 2 / L2.1
 - INSTALL SEGMENTAL RETAINING WALL PER DETAIL 1 / L2.1
 - INSTALL TRAFFIC CONTROL SIGN PER DETAIL 1 / L6.1
 - INSTALL CONCRETE CURB PER DETAIL 6 / L3.1
 - INSTALL CONCRETE CURB TAPER PER DETAIL 1 / L3.1
 - INSTALL 4" MINIMUM HEIGHT BLACK VINYL COATED CHAIN LINK FENCE ON WALL PER DETAIL 3 / L2.1 AND 3 / L6.1
 - INSTALL 4" MINIMUM HEIGHT BLACK VINYL COATED CHAIN LINK FENCE ON WALL PER DETAIL 3 / L2.1 AND 3 / L6.1
 - DESIGNATED FIRE TURN AROUND PER DETAIL APPENDIX 10" STANDARDS.
 - INSTALL 5' X 10' DOUBLE SIDED GROUND SIGN (UNDER 20' TALL)
 - INSTALL BOX BEAM GUIDERAIL PER DETAIL 1 / L6.1
 - INSTALL SEEDED LAWN PER DETAIL 8 / L3.1
 - INSTALL SEEDED LAWN SLOPE PROTECTION PER DETAIL 9 / L3.1
 - INSTALL CONCRETE PRECAST STAIRS BY STEPS PLUS OR APPROVED EQUAL STAIR SHALL BE 5 RISERS @ 7" HEIGHT.



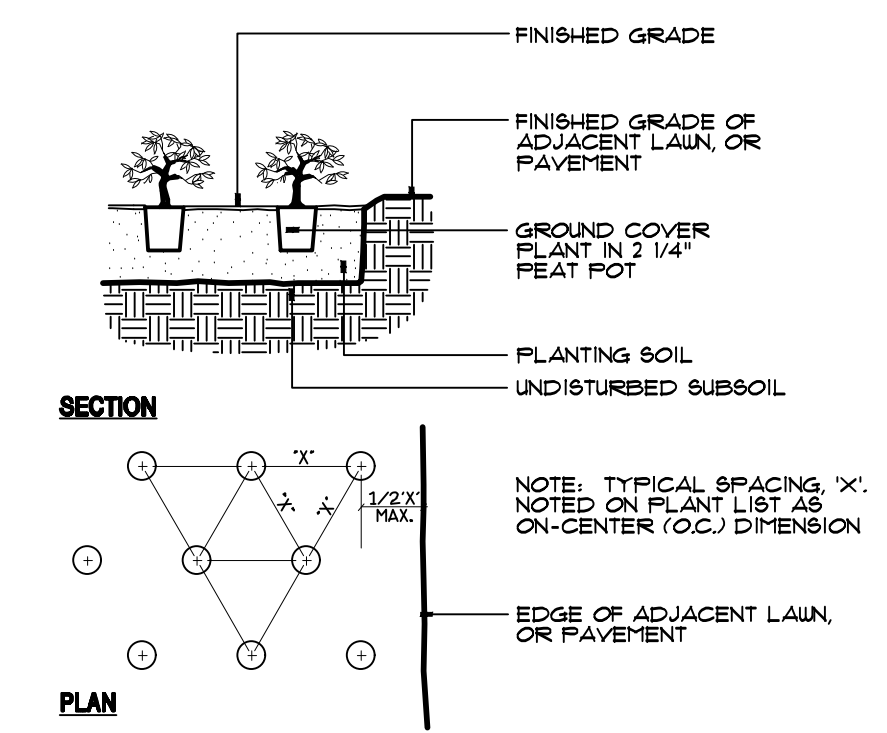
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 Printed By: _____



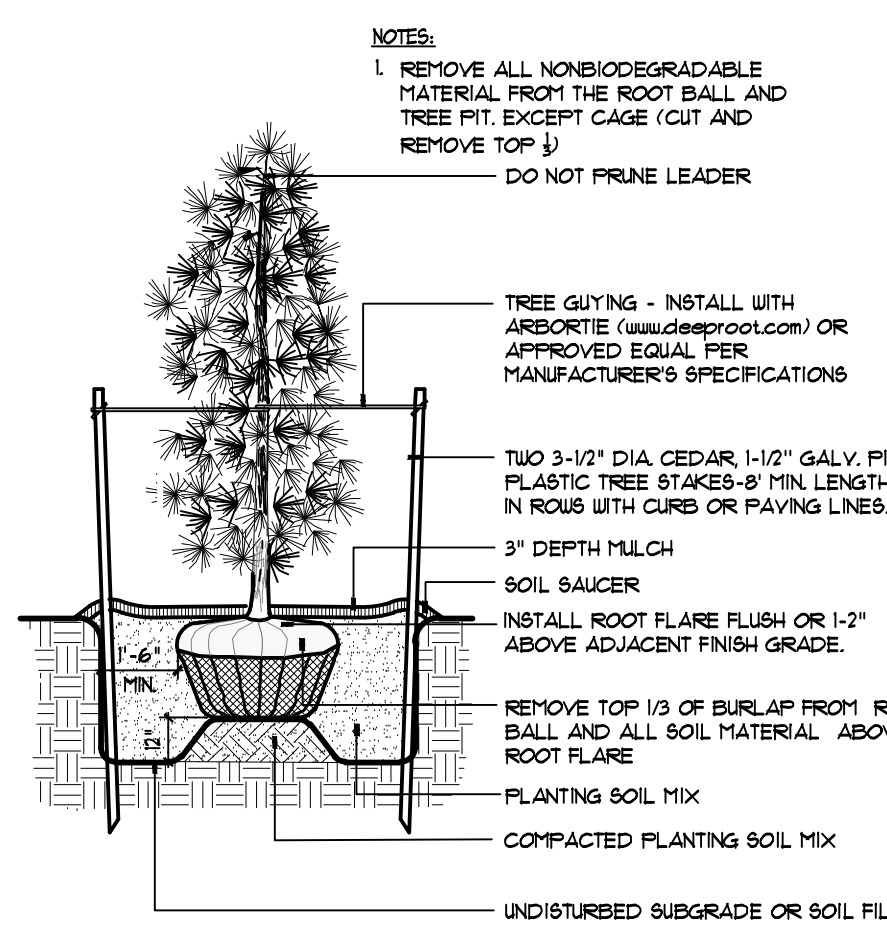
KEY	COMMON NAME	BOTANICAL NAME	GALIPER	HEIGHT	CONDITION	NOTE
TREES						
Aa	DOWNY SERVICEBERRY	AMELANCHIER ARBOREA	-	8'-10'	B4B	3 STEMS
Gb	MAIDENHAIR TREE	GINKGO BILOBA 'PRINCETON SENTRY'	-	-	-	-
Lt	TULIP TREE	LIRIODENDRON TULIFIFERA	15" CAL.	-	B4B	-
Gb	SWAMP WHITE OAK	QUERCUS BICOLOR	15" CAL.	-	B4B	-
To	AMERICAN PILLAR ARBORVITAE	THUJA OCCIDENTALIS 'AMERICAN PILLAR'	-	5-6'	B4B	-
SHRUBS						
Ca	RED OSIER DOGWOOD	CORNUS STOLONIFERA 'ARCTIC FIRE'	-	24"-36"	3 GAL	5 CANES MIN.
Hh	PEPPER MINT SWIRL HYDRANGEA	HYDRANGEA MACROPHYLLA 'PEPPERMINT SWIRL'	-	24"-36"	3 GAL	-
Hq	GATSBY GAL OAKLEAF HYDRANGEA	HYDRANGEA QUERCIFOLIA 'GATSBY GAL'	-	24"-36"	3 GAL	-
Sm	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	-	24"-36"	3 GAL	SHRUB FORM
PERENNIALS AND GRASSES						
G-Ca	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	-	-	2 GAL	-
Hb	SHADOWLAND HUDSON BAY HOSTA	HOSTA HYBRID	-	12-18"	2 GAL	-
Nv	WALKERS LOW CATMINT	NERPATA RACEMOSA	-	12-18"	2 GAL	-

PLANT NOTES

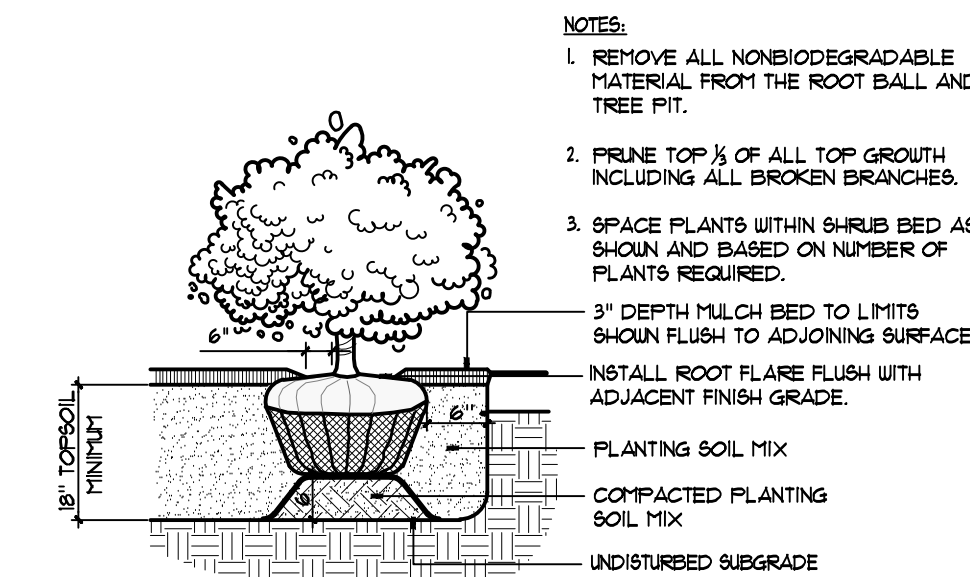
- ALL PLANT BEDS SHALL RECEIVE 3" DEPTH SHREPPED BARK MULCH WITH 18" OF SCREENED TOPSOIL.



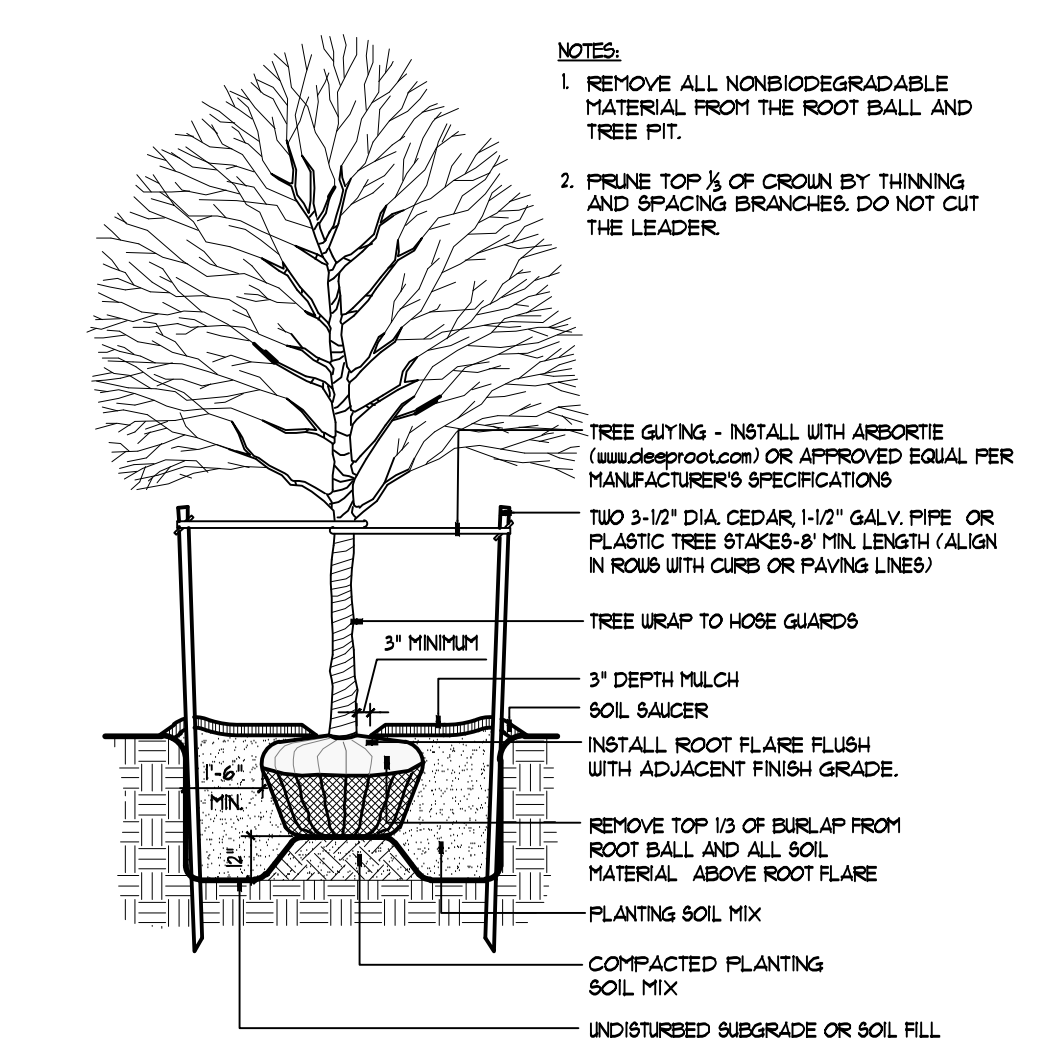
4 PERENNIAL PLANTING
 NOT TO SCALE 32-8300-04



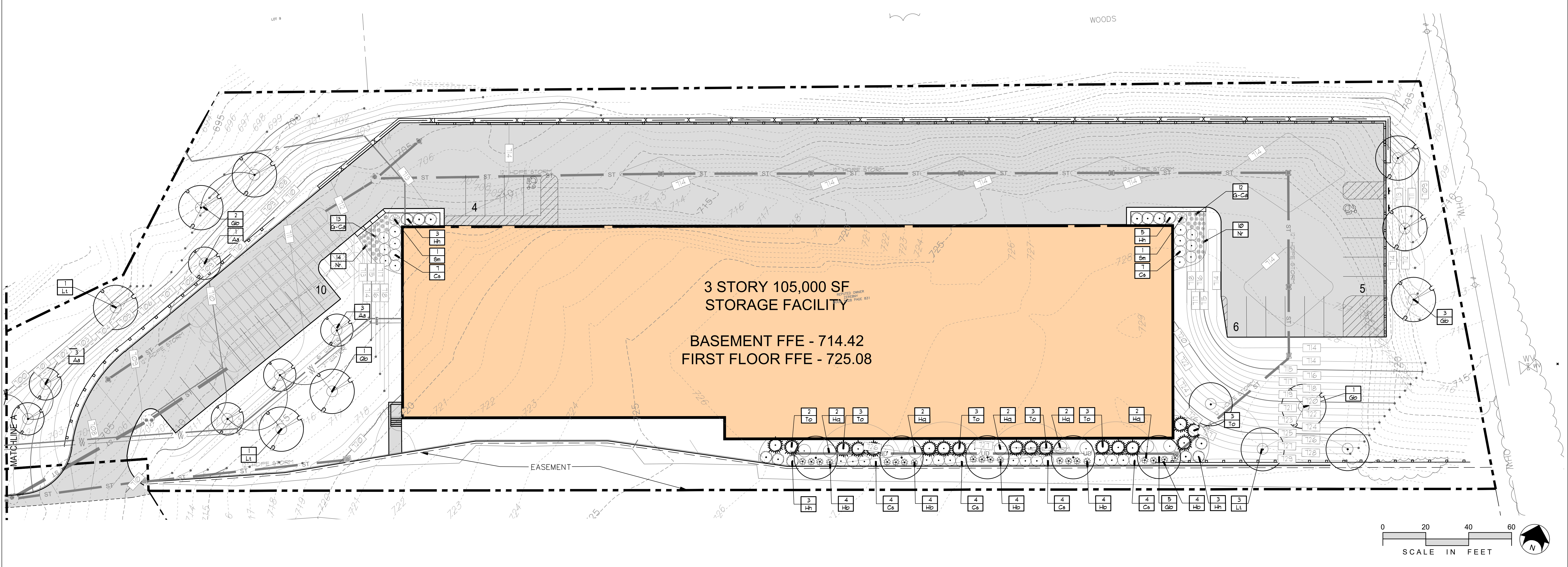
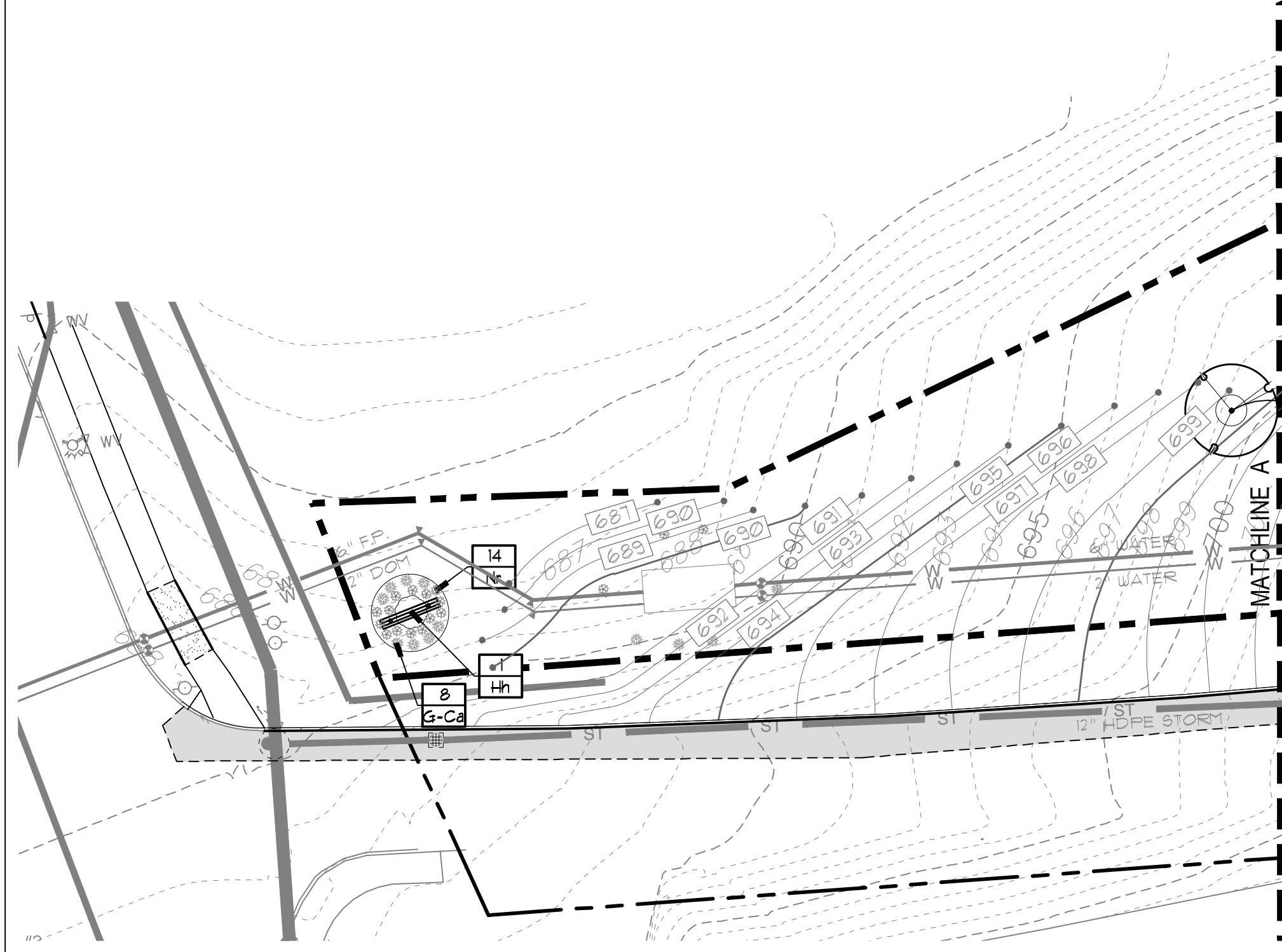
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 NOT TO SCALE 32-8300-03



2 SHRUB PLANTING
 NOT TO SCALE 32-8300-02



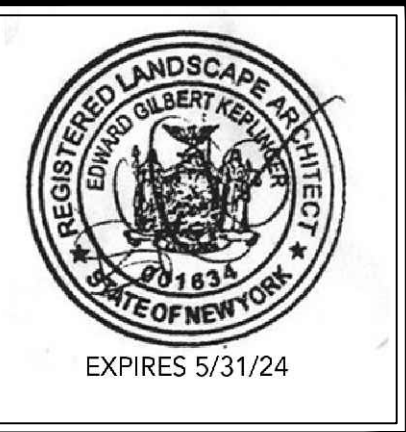
1 TREE PLANTING
 NOT TO SCALE 32-8300-01



BRIGHTON HILL
1001 EAST BRIGHTON AVE., SYRACUSE



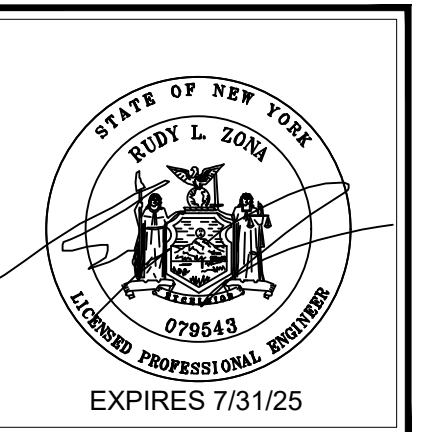
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	6	CRF	EASEMENT COMMENTS	10/17/24
	7	CRF	CPC RESUBMISSION	10/15/24



Drawn By: C.R.F.
 Checked By: E.G.K.
 RFA Proj. No.: 24024
 Date: 26 FEBRUARY, 2024
 Scale: AS NOTED

SITE PLANTING PLAN

L4.1



ISSUED AND REVISIONS NOTIFICATION	No	Rev	Description	Date
1	JPR	GEN	REVISION UPDATE	6/7/24
2	JPR	WTR	WATER REVISIONS	6/10/24
3	CRF	REV	LAYOUT W/ SUP	6/19/24
4	CRF	CPC	RESUBMISSION	6/19/24
5	CRF	DEC	COMMENTS	6/12/24
6	CRF	EGK	EASEMENT COMMENTS	10/17/24
7	CRF	CPC	RESUBMISSION	10/15/24



Drawn By: C.R.F.
Checked By: E.G.K.
NFA Proj. No.: 43024
Date: 26 FEBRUARY, 2024
Scale: AS NOTED

EROSION CONTROL NOTES and EROSION CONTROL SEQUENCING

- EROSION AND SEDIMENT CONTROL NOTES:**
- PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL, AND THE SUPPP PREPARED FOR THE PROJECT, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - BARE SOILS SHALL BE MULCHED WITH STRAW AT A RATE OF TWO TONS PER ACRE WITHIN 14 DAYS OF EXPOSURE. UNLESS CONSTRUCTION WILL BEGIN WITHIN 31 DAYS, IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDDED IMMEDIATELY. ALL DISTURBED AREAS WITHIN THE NYSDOT RIGHT-OF-WAY SHALL BE STABILIZED BY STRAW OR OTHER NYSDOT APPROVED METHOD, AT THE END OF EACH WORK WEEK, REGARDLESS OF WHEN THE SOIL WILL BE DISTURBED AGAIN.
 3. SITE PREPARATION SHALL INCLUDE:
 - SEEDBED PREPARATION - SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROOTS OR STUMPS.
 - SOIL ADJUSTMENTS
 - TO pH 6.0
 - FERTILIZE WITH 600 LBS OF 8-10-10 OR EQUIVALENT PER ACRE (14 LBS/1000 SQ FT).
 - SEED MIXTURES
 - RYEGRASS (ANNUAL OR PERENNIAL) # 30 LBS/ACRE (0.1 LBS/1000 SQ FT).
 - CERTIFIED "AROSTOCK" WINTER RYE (CEREAL RYE) # 100 LBS/ACRE (2.5 LBS/1000 SQ FT)
 - PERENNIAL SEEDINGS
 - ROUGH OR OCCASIONALLY MOULDED AREAS, LBS/ACRE LBS/1000 SQ FT

EMPIRE BIRDFOOT	8	0.20
TREFOIL OR COMMON WHITE CLOVER PLUS	8	0.20
TALL FESCUE PLUS	20	0.45
RETOP	2	0.05
RYEGRASS (PERENNIAL)	5	0.10
 - ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING
 - METHOD OF SEEDING: BROADCASTING, DRILLING WITH CULTIPACK TYPE SEEDER OR HYDROSEEDING ARE ACCEPTABLE.
 - DISTURBED AREAS SHALL BE SEEDDED AS NOTED ABOVE AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL. ON SLOPES GREATER THAN 3:1 SEEDDED AREAS SHALL BE STAKED WITH JUTE MESH OR SODDED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.
 - ACCESS TO DISTURBED AREAS SHALL BE LIMITED TO THE AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN AND ANY OTHER LOCATIONS THE CONTRACTOR INTENDS TO ENTER THE SITE FROM THE ADJACENT ROADWAYS.
 - ANY EXISTING DRAINAGE FACILITIES DISRUPTED BY CONSTRUCTION OR IMPACTED BY INSTALLATION OF EROSION CONTROL MEASURES SHALL BE REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.
 - ALL DESIGN AND MAINTENANCE MEASURES OUTLINED IN THE SUPPP PREPARED FOR THIS PROJECT SHALL BE IMPLEMENTED AND CARRIED OUT BY THE PARTIES DEEPEST RESPONSIBLE FOR THOSE DUTIES.
 - THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN OR NYSDOT.
 - PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJOINING PROPERTY, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK COVERED BY THE LATEST ISSUE OF NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, AND THE NYSDOT'S "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".
 - MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES AND EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (2" RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPAIRS DAMAGED OR SLOTTED IN EROSION CONTROLS, CLEANING OUT STRUCTURES, AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
 - CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE. LANS HAVE BECOME ESTABLISHED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.
 - CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL."
- EROSION CONTROL AND CONSTRUCTION SEQUENCING**
- PRIOR TO SITE DISTURBANCE, CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AS DETAILED AT THE ENTRANCE LOCATION SHOWN ON THE DRAWING.
 - SILT FENCE - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLAN PRIOR TO EARTHWORK. SILT FENCE SHALL BE UTILIZED ONLY AS A TEMPORARY MEASURE. DISTURBED AREAS SHALL BE SEEDDED IMMEDIATELY FOLLOWING THE COMPLETION OF ANY EARTHWORK PHASE.
 - CLEARING AND GRUBBING - REMOVE ALL TREES, STUMPS AND BRUSH PRIOR TO EARTHWORK.
 - PROVIDE ALL DRAINAGE CHANNELS AND INSTALL EROSION CONTROL MEASURES WITHIN DRAINAGEWAYS, INSTALL CHECK WHERE INDICATED ON THE PLANS.
 - PROVIDE DRAINAGE STRUCTURES AND PIPING, INCLUDING DRAINAGE INLET PROTECTION AS SHOWN ON THE DRAWING.
 - EXCAVATE FILL AND GRADE PARKING LOT SUBBASE AS SHOWN ON THE DRAWINGS. FINE GRADE SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
 - EXCAVATE AND FILL REST OF SITE AREAS. FINE GRADE SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
 - CLEAN ALL STORMWATER BMP'S AFTER ALL UPSTREAM CONTRIBUTORY DRAINAGE AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
 - REMOVE TEMPORARY SILT FENCING AFTER SITE IS COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED. PROVIDE UNDERDRAIN WITH DETENTION BASIN PER PLANS.
- FINAL CLEAN UP & PRESENTATIVE MAINTENANCE**
- REMOVE AND/OR MAINTAIN STOCKPILE AREAS.
 - REMOVE EROSION CONTROL MEASURES FROM STABILIZED AREAS.
 - FINAL CLEAN UP - REMOVE EROSION CONTROL MEASURES AND CLEAN OUT ALL DRAINAGE STRUCTURES AND PIPES AFTER LAIN IS WELL ESTABLISHED. OWNER IS RESPONSIBLE FOR MAINTAINING SITE UPON PROJECT CLOSEOUT.
 - CONTRACTOR, ARCHITECT, AND OWNER TO REVIEW SITE FOR COMPLETION. CONTRACTOR TO ADDRESS FINAL COMMENTS ON PUNCH LIST FROM ARCHITECT AND SUPPP INSPECTION REPORTS.
 - SUBMIT NOTICE OF TERMINATION UPON FULL STABILIZATION OF SITE.

SOIL RESTORATION NOTES

- ACCORDING TO SECTION 8 OF THE NY'S STORMWATER DESIGN MANUAL, SOIL RESTORATION PRACTICES MUST BE APPLIED ACROSS THE SITE IN AREAS OF SOIL DISTURBANCE.
- SOIL RESTORATION REQUIREMENTS:**

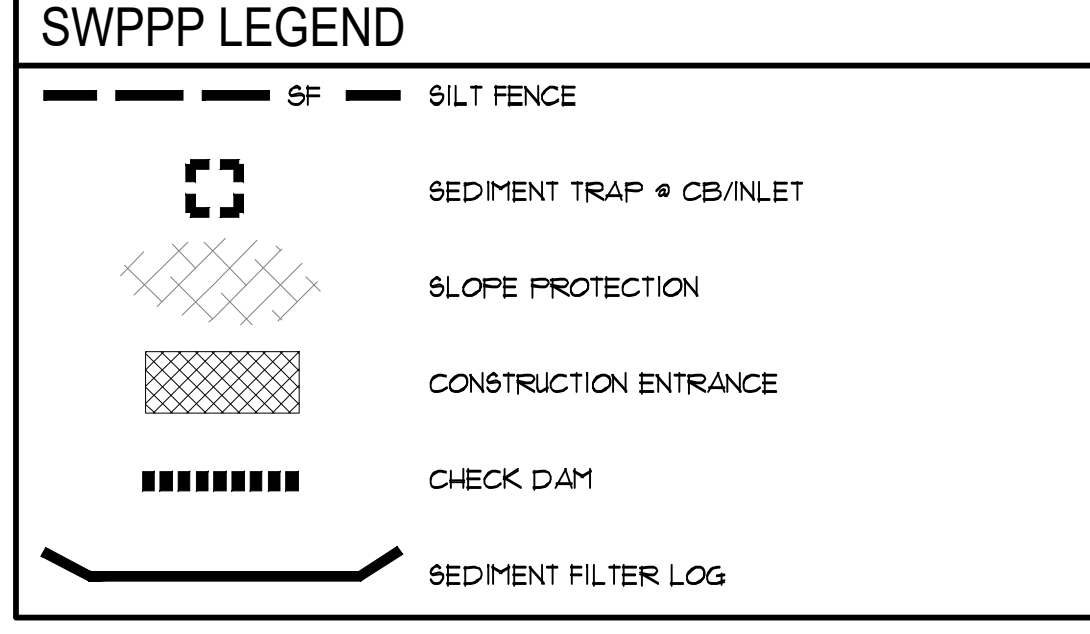
TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	H65 A/B - APPLY 6 INCHES OF TOPSOIL H65 C/D AERATE AND APPLY 6 INCHES OF TOPSOIL
AREAS OF CUT OR FILL	H65 A/B - AERATE AND APPLY 6 INCHES OF TOPSOIL H65 C/D - APPLY FULL SOIL RESTORATION
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN ZONE B-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COFPOST ENHANCEMENT)
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICE.
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.
- AREATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COLLERS MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MINI-SUB-SOLKER.
- "DEEP" DEEP RIPPING AND DE-COMPACTION, DEC 2008".
- SOIL RESTORATION PRACTICE IMPLEMENTATION:**

DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO NORMAL GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:

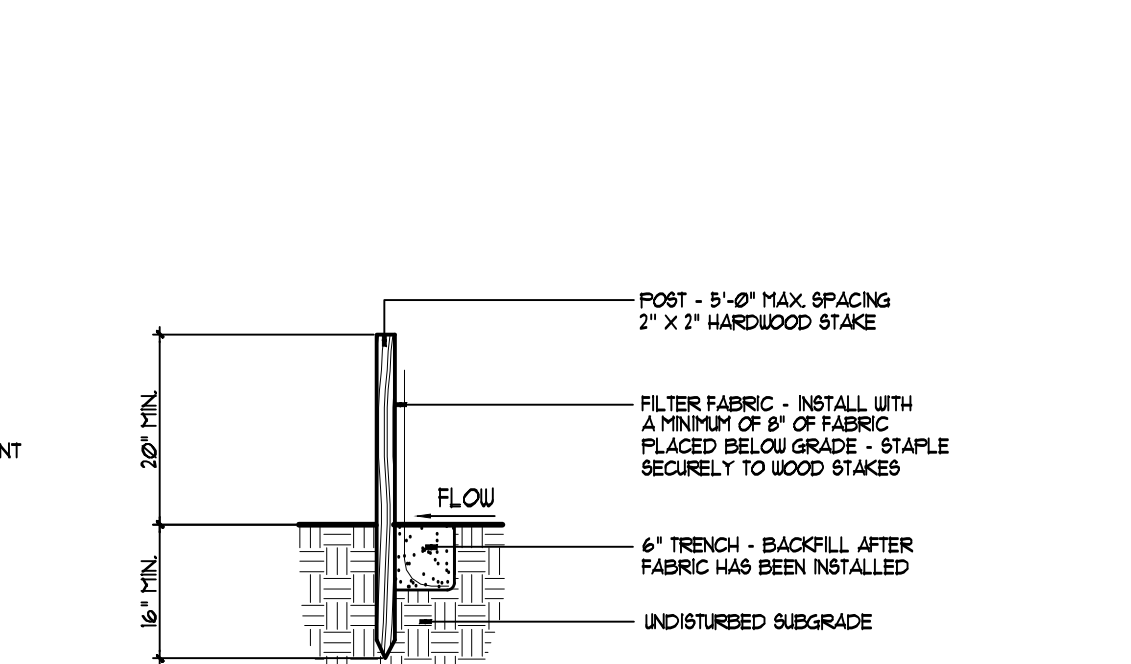
 - APPLY 3 INCHES OF COFPOST OVER SUBSOIL.
 - TILL COFPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 3 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC OR TILLER TYPING, AND CIRCULATING AIR AND COFPOST INTO SUBSOILS.
 - ROCK-PICK UNTIL UNLIFTED STONE/ROOT MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEARED OFF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 - VEGETATE AS REQUIRED BY APPROVED PLAN.
 - COFPOST SHALL BE ASSES FROM PLANT DERIVED MATERIALS FREE OF VISIBLE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.

WASTE DISPOSAL / SPILL PREVENTION NOTES

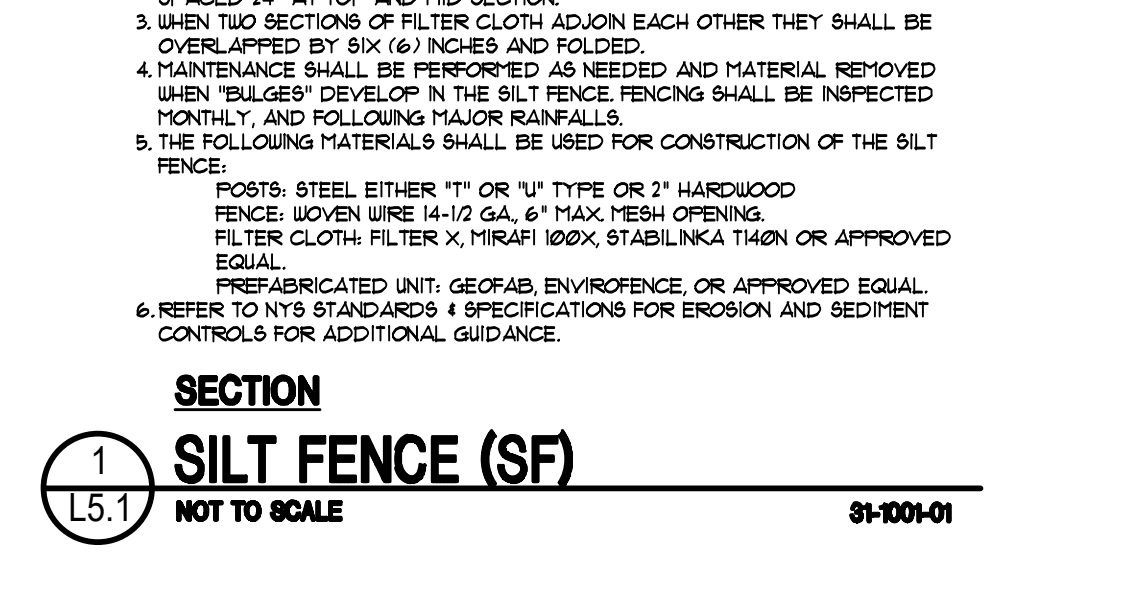
- DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO NORMAL GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:**
- COLLECT AND STORE ALL WASTE MATERIALS AND DEBRIS IN DUMPSTERS OR OTHER ACCEPTABLE WASTE FACILITIES. ALL COLLECTED WASTE MATERIALS SHALL BE LEGALLY REMOVED AND DISPOSED OF OFF SITE. DUMPSTERS SHALL BE EMPTIED ON A PERIODIC BASIS DEPENDING ON GENERATION OF WASTE MATERIAL. NO BURNING OR BURYING OF WASTE MATERIALS WILL BE ALLOWED.
 - STORE, HANDLE AND DISPOSE OF ALL HAZARDOUS MATERIALS AS SPECIFIED BY LOCAL OR STATE LAWS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.
 - ACCESS TO DISTURBED AREAS SHALL BE LIMITED TO THE AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN AND ANY OTHER LOCATIONS THE CONTRACTOR INTENDS TO ENTER THE SITE FROM THE ADJACENT ROADWAYS.
 - ANY EXISTING DRAINAGE FACILITIES DISRUPTED BY CONSTRUCTION OR IMPACTED BY INSTALLATION OF EROSION CONTROL MEASURES SHALL BE REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.
 - ALL DESIGN AND MAINTENANCE MEASURES OUTLINED IN THE SUPPP PREPARED FOR THIS PROJECT SHALL BE IMPLEMENTED AND CARRIED OUT BY THE PARTIES DEEPEST RESPONSIBLE FOR THOSE DUTIES.
 - THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN OR NYSDOT.
 - PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJOINING PROPERTY, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK COVERED BY THE LATEST ISSUE OF NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, AND THE NYSDOT'S "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".
 - MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES AND EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (2" RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPAIRS DAMAGED OR SLOTTED IN EROSION CONTROLS, CLEANING OUT STRUCTURES, AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
 - CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE. LANS HAVE BECOME ESTABLISHED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.
 - CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL."
- SPILL PREVENTION NOTES:**
- CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT EXCESS CONCRETE OR DRUM WASH WATER EXCEPT AT DESIGNATED CONCRETE WASHOUT AREAS.
 - ALL ON-SITE RUELING OF EQUIPMENT AND VEHICLES SHALL BE CONDUCTED PER NYSDOT GUIDELINES FOR PETROLEUM BULK STORAGE.
 - MONITOR ALL CONSTRUCTION VEHICLES AND EQUIPMENT FOR LEAKS.
 - ALL PETROLEUM AND LUBRICANTS USED FOR THE OPERATION OF VEHICLES AND EQUIPMENT SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. WHEN POSSIBLE, STORE THESE PRODUCTS IN APPROPRIATE CONTAINERS OR UNDER ROOFED FACILITIES.



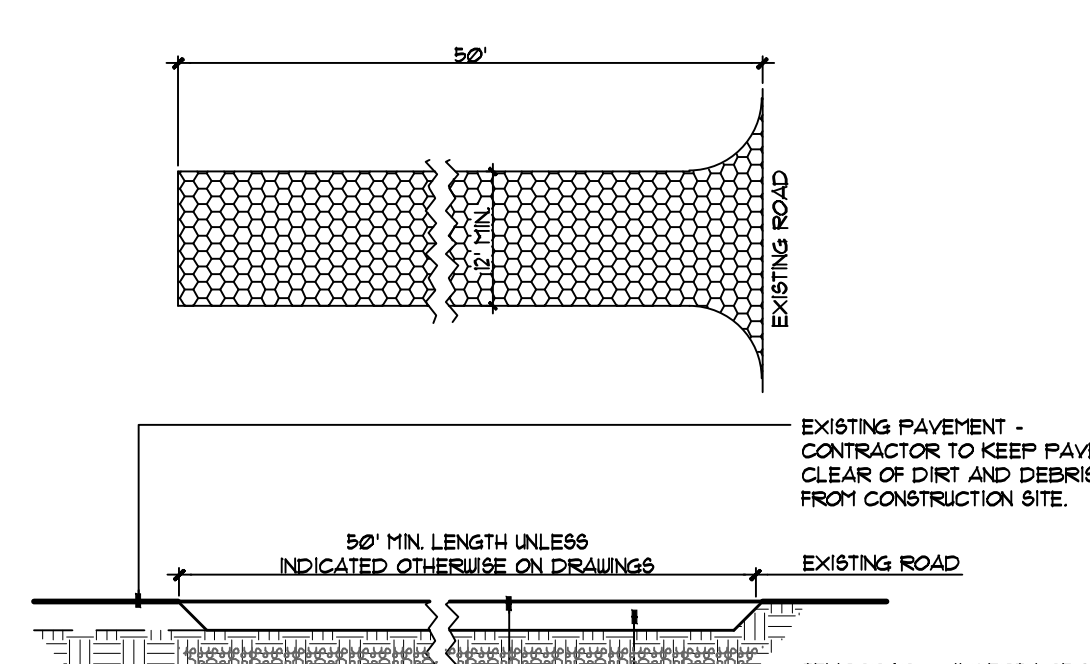
SILTATION SOCK SEDIMENT CONTROL



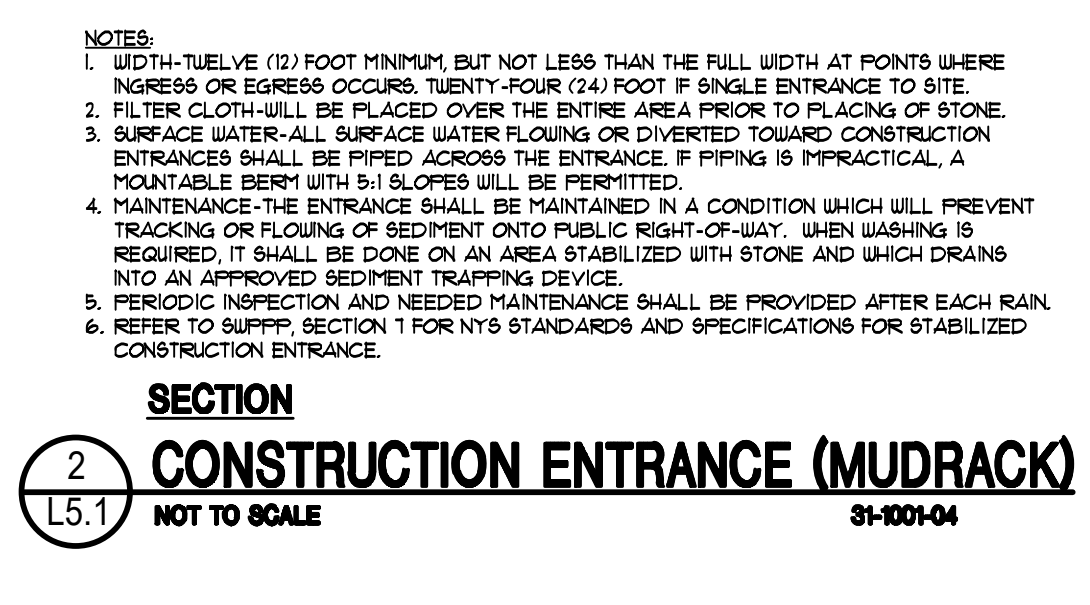
CONSTRUCTION ENTRANCE (MUDRACK)



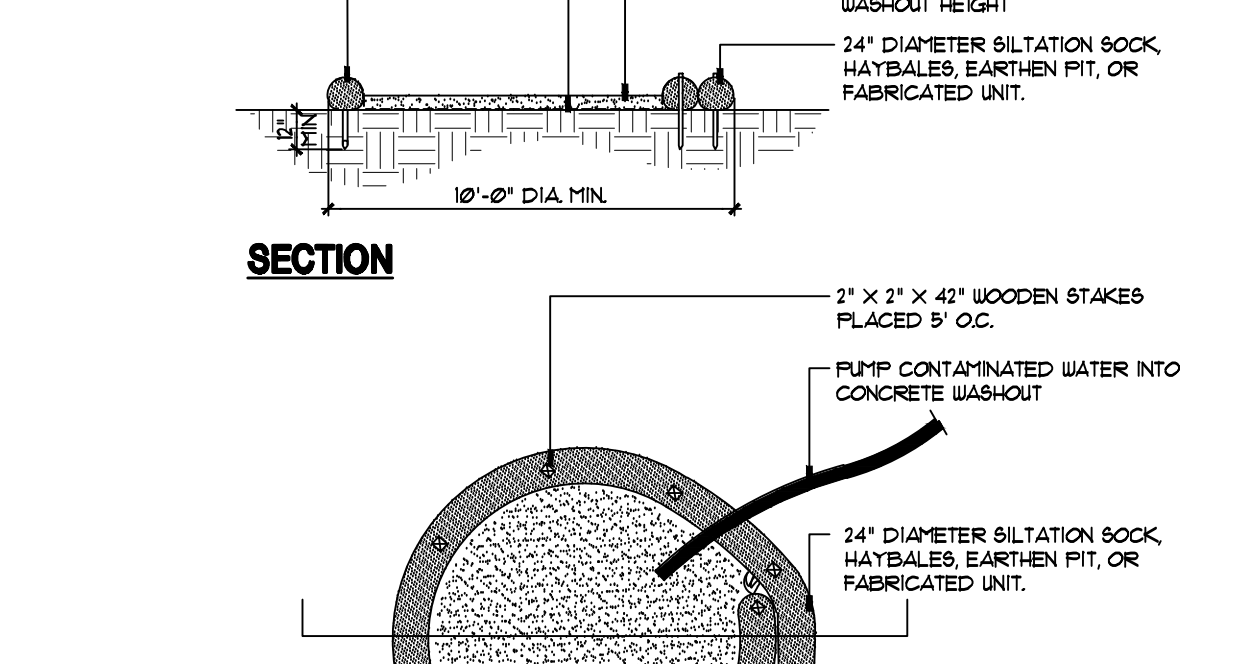
SILTATION SOCK INLET PROTECTION



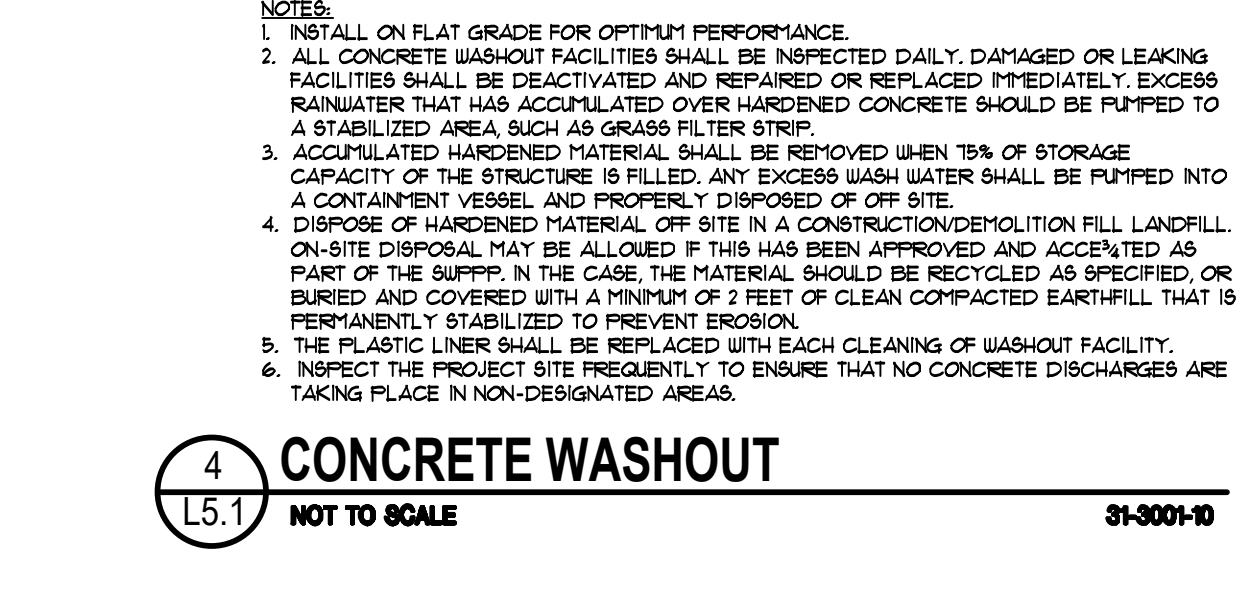
CONCRETE WASHOUT



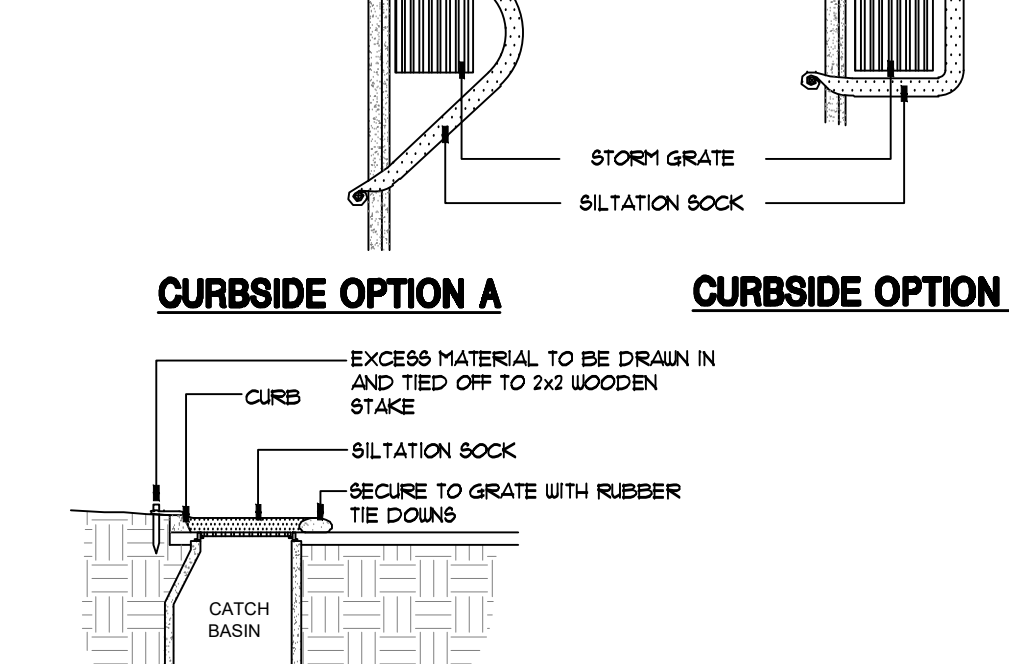
CURBSIDE OPTION A



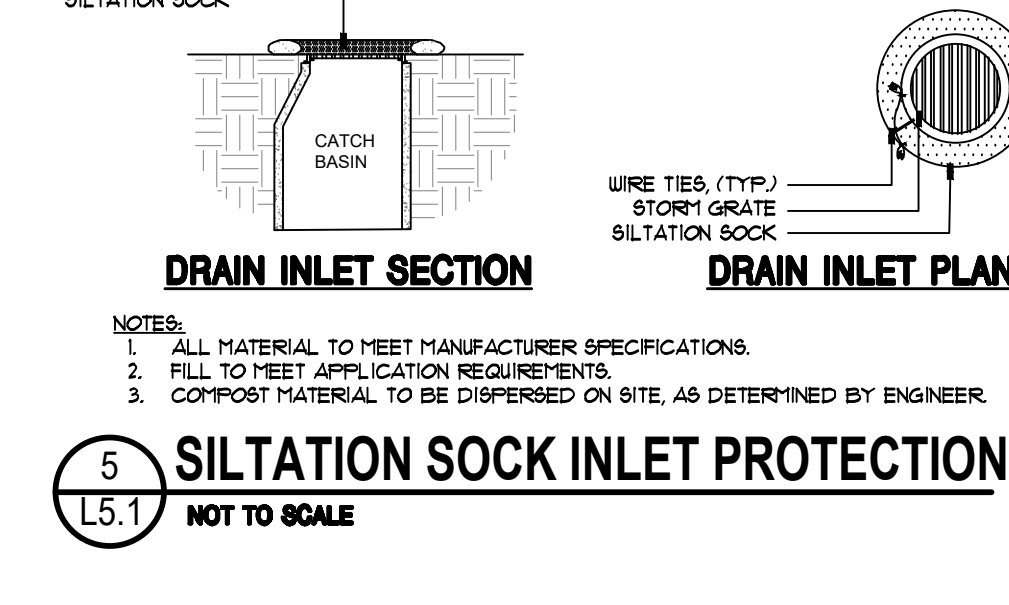
CURBSIDE OPTION B

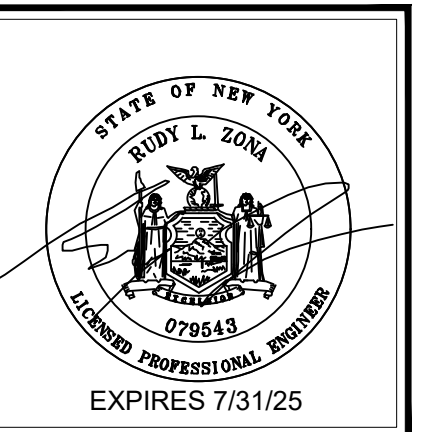


DRAIN INLET SECTION



DRAIN INLET PLAN





RZ Engineering, PLLC
 6320 FLY ROAD SUITE 201
 EAST SYRACUSE, NY 13057
 PH: 315-445-7980

BRIGHTON HILL
1001 EAST BRIGHTON AVE., SYRACUSE



ISSUED AND REVISIONS NOTIFICATION	No	Rev	Description	Date
	2	JPR	GEN. REVISION UPDATE	6/7/24
	3	JPR	WATER REVISIONS	6/10/24
	4	CRF	REV. LAYOUT W/ SUP	6/19/24
	5	CRF	CPC RESUBMISSION	6/25/24
	6	CRF	DEC COMMENTS	8/12/24
	8	CRF	EGR EASEMENT COMMENTS	10/17/24
	9	CRF	CPC RESUBMISSION	10/15/24



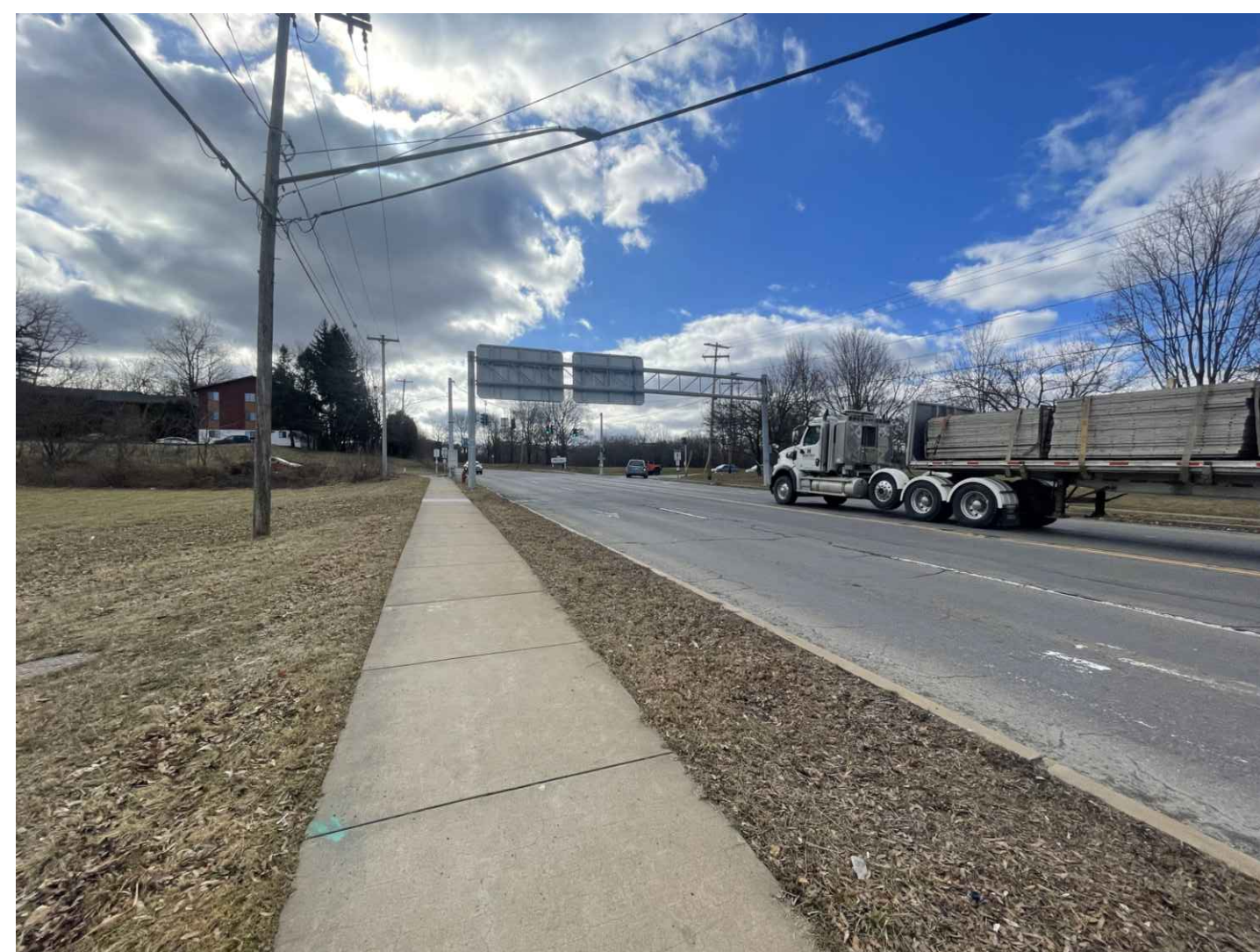
Drawn By: CRF
 Checked By: E.G.K.
 KPA Proj. No.: 430292
 Date: 26 FEBRUARY, 2024
 Scale: AS NOTED

SITE PHOTOBOARD

L7.1



LOCATION MAP



1 LOOKING SOUTH ON E. SENECA TURNPIKE



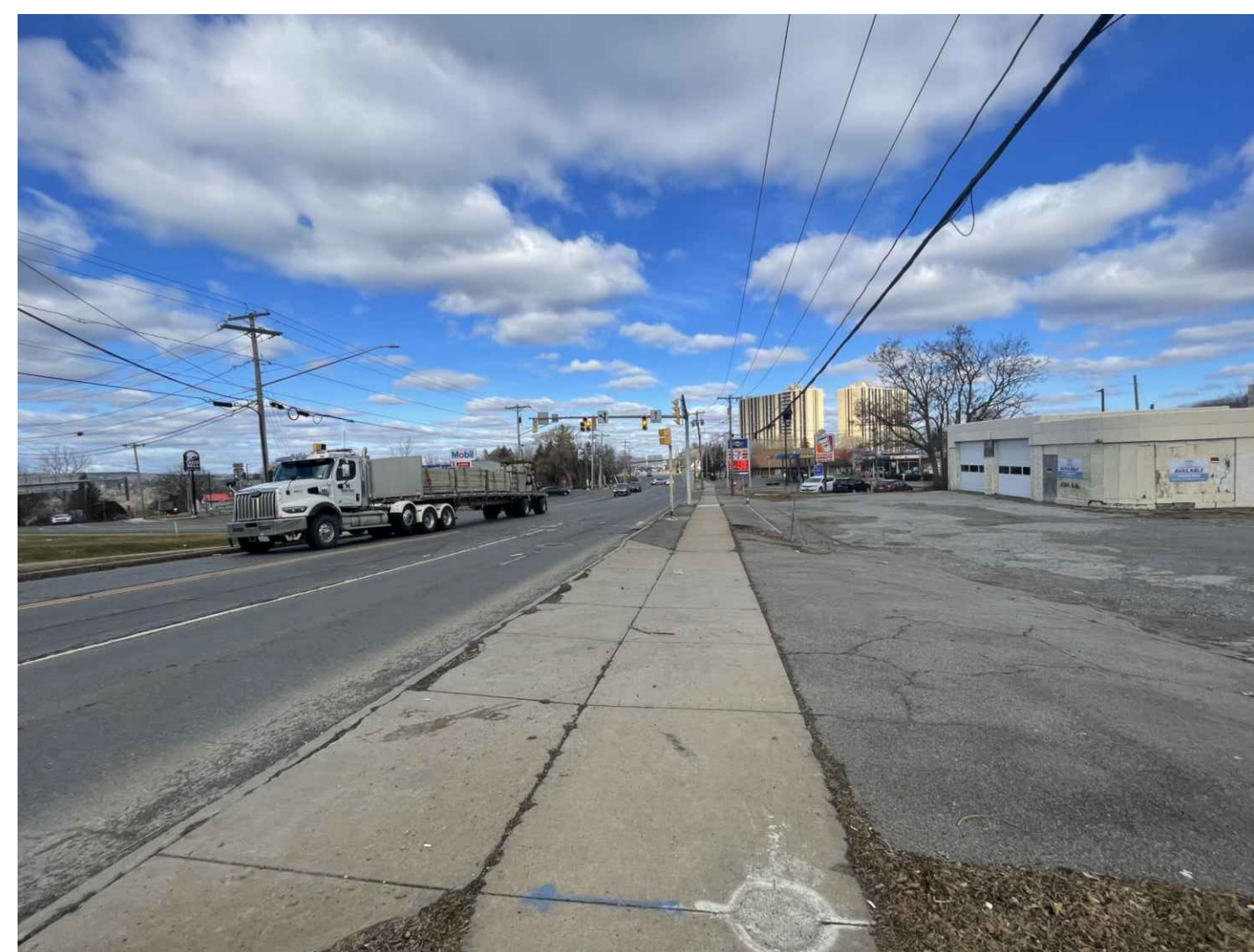
2 LOOKING WEST AT THE INTERSECTION OF LAFAYETTE ROAD AND E. SENECA TURNPIKE



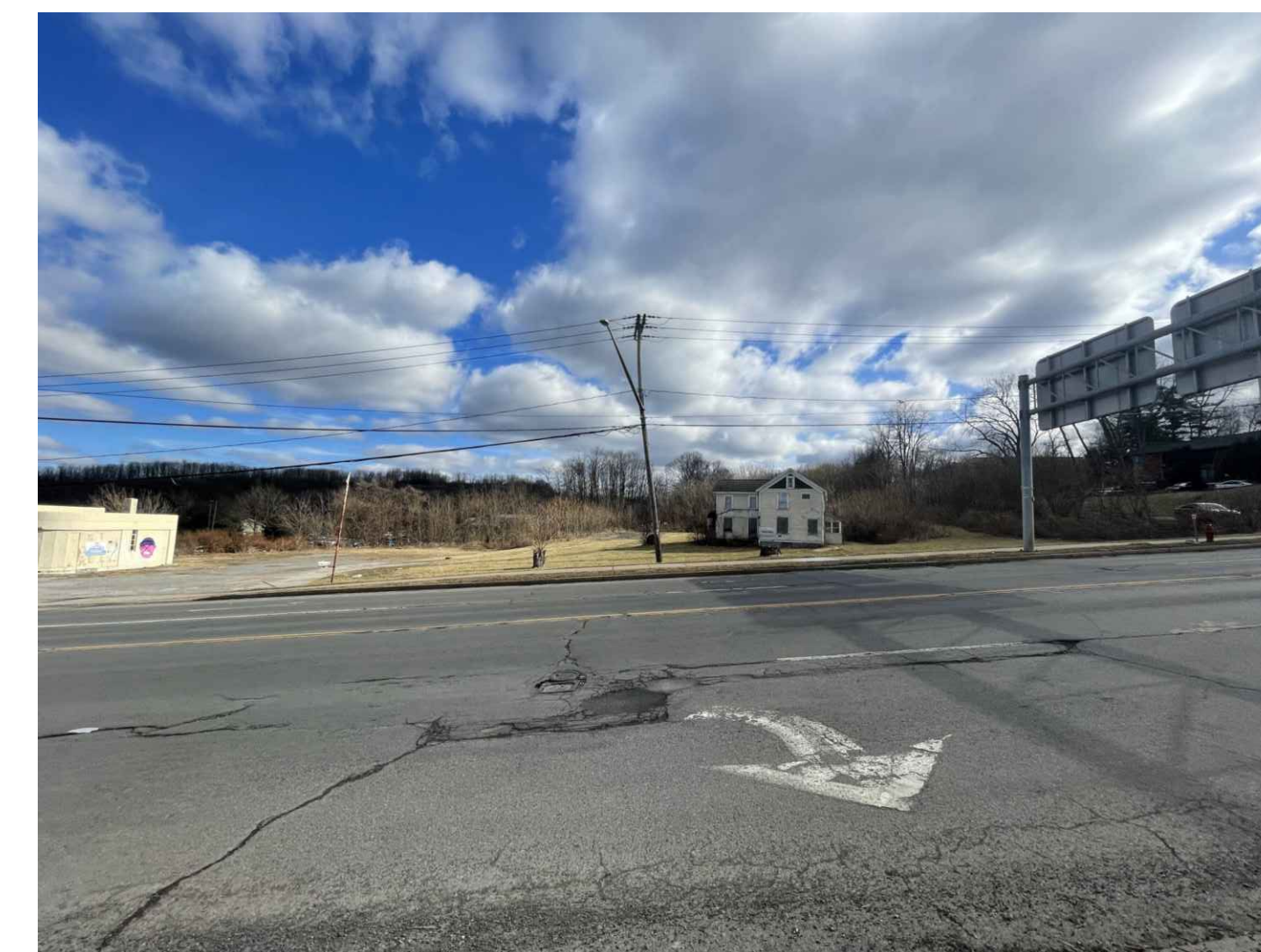
3 LOOKING NORTH DOWN E. SENECA TURNPIKE



4 LOOKING EAST ONTO SITE FROM E. SENECA TURNPIKE



5 LOOKING NORTH DOWN E. SENECA TURNPIKE



6 LOOKING EAST ONTO SITE FROM E. SENECA TURNPIKE

Prepared By:

Date Plotted:

Drawing File:

EASEMENT AGREEMENT

This Easement Agreement (the "Agreement") is made as of _____, 2023 between BRIGHTON MEWS LLC., a New York limited liability company having a mailing address at 120 E. Washington Street, Syracuse, New York 13202 ("Grantor") and GREENWICH MANOR, LLC, a New York limited liability company having an address of 683 E Seneca Turnpike, Apt B6, Syracuse, NY, 13205 (the "Grantee"). Grantor and Grantee may also be identified in this Agreement as a "Party" or together as the "Parties".

RECITALS

A. Grantor is the holder of the fee simple title to certain real property located in the City of Syracuse, County of Onondaga, State of New York, having acquired same by virtue of a deed (the "Grantor's Deed") dated March 8, 2023 and recorded in the Onondaga County Clerk's Office on March 13, 2023 at Instrument No. 2023-00008031 ("Grantor's Property").

B. Grantee is the holder of the fee simple title to certain real property adjacent to, and southerly of, Grantor's Property in the City of Syracuse, County of Onondaga, State of New York, by virtue of a deed dated June 28, 2001 and recorded in the Onondaga County Clerk's Office on July 6, 2001 at Book of Deeds number 4571, page 309 and following ("Grantee's Property").

C. A dispute has arisen in connection with the common boundary line separating the respective properties owned by Grantor and Grantee. The legal description in Grantor's Deed contains an alternate, more modern description which depicts the northerly boundary of Grantee's Property and the southerly boundary of Grantor's Property, south of where Grantee maintains it should be. The effect of this particular placement of such common boundary line takes a portion of the parking area in what Grantee claims is Grantee's Property and otherwise places it in what Grantor claims is Grantor's Property.

D. The parties are desirous of resolving the dispute.

NOW THEREFORE, for and in consideration of One Dollar (\$1.00) lawful money of the United States and other good and valuable consideration, the receipt of which is hereby acknowledged, the Parties agree as follows:

1. Recitals. The above Recitals are true and correct, and are hereby incorporated into this Agreement.

2. Easement. Grantor hereby grants and conveys to Grantee, its employees, agents, invitees and contractors an exclusive easement (the "Easement") over, across, under, and through the area as described and depicted on the attached Schedule A and A-1 (the "Easement Area") together with the exclusive right to use, occupy, possess, cross in, on, over, across and through the Easement Area in connection therewith. In addition, Grantee shall have the right to improve the Easement Area in any way it deems necessary or desirable. Grantee shall have the right to configure and reconfigure the improvements within the Easement Area in any way it deems necessary or desirable. Grantee, its successors and assigns in interest, shall maintain the Easement Area. Grantor will not alter the Easement Area in any way (including the dumping of any materials thereon) nor will Grantor interfere with Grantee's use of and activities within the Easement Area.

3. **Compliance with Laws.** Grantee shall comply with all applicable laws, ordinances, rules and regulations with respect to its use of the Easement Area and shall be responsible for any and all costs associated with damage to the Easement Area.

4. **Obligations to Run with the Land.** The rights and obligations of Grantor and Grantee under the terms and conditions hereof and the terms, rights, conditions, restrictions and limitations contained with respect thereto shall (i) burden and run with Grantor's Property, (ii) burden and run with the Grantee's Property, and (iii) inure to the benefit and use of Grantee and any successor owner or owners of Grantee's Property and its and their successors and assigns, as well as any employees, agents, invitees, lessees and contractors thereof.

5. **No Waiver.** Failure by any party to enforce any covenant, restriction or other provision of this Agreement or to seek redress for the breach of or default in performance under any such covenant, restriction or other provision of this Agreement shall in no way constitute a waiver of the right to enforce such covenant, restriction or provision of this Agreement or seek redress for the breach thereof. The waiver by any party hereto of a breach of any provision of this Agreement shall not be deemed a continuing waiver or a waiver of any subsequent breach of the same or any other provision hereof.

6. **Entire Agreement.** This Agreement contains the entire agreement between the parties relating to the rights granted and the obligations assumed and has been duly authorized by the parties hereto. Any oral representations or modifications concerning this Agreement shall be of no force and effect. This Agreement may be modified or amended only in writing. Grantor and Grantee expressly agree and acknowledge that no other rights other than as set forth in this Agreement are granted to either party hereunder.

7. **Binding Effect.** This Agreement shall bind and inure to the benefit of the respective successors and assigns of the parties to this Agreement.

8. **Severability.** In the event that any one or more of the provisions of this Agreement shall be determined to be void or unenforceable by a court of competent jurisdiction or by law, such determination will not render this Agreement invalid or unenforceable, and the remaining provisions hereof shall remain in full force and effect.

9. **Miscellaneous.** This Agreement (i) may be executed in any number of counterparts, each of which when taken together shall be deemed one in the same instrument; (ii) shall be construed and enforced under the laws of the State of New York; (iii) shall be recorded in the office of the Onondaga County Clerk; and (iv) has been duly authorized by each party hereto.

IN WITNESS WHEREOF, Grantor and Grantee have caused their signatures to be affixed hereto on the date above first written.

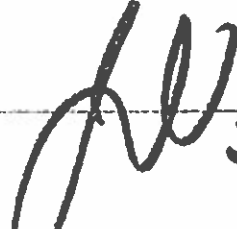
GRANTOR:

BRIGHTON MEWS LLC

By:

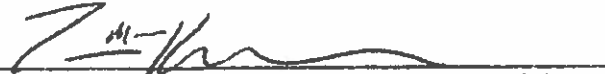
Name:


Title:


Joe Nucko
MEMBER

GRANTEE:

GREENWICH MANOR, LLC



Tina Marie Knapp-Nelson as co-trustee of the Wayne Knapp Trust for the Benefit of Tina Marie Knapp-Nelson under Agreement dated November 6, 2015, Member


T. Andrew Devorsetz as co-trustee of the Wayne Knapp Trust for the Benefit of Tina Marie Knapp-Nelson under Agreement dated November 6, 2015, Member

(NYDL)

STATE OF NEW YORK)
COUNTY OF ONONDAGA) SS:

On the 7th day of December, in the year 2023, before me, the undersigned, a Notary Public in and for said State, personally appeared JOSEPH H. HUCKO, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

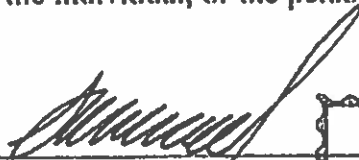


Notary Public

CLAIRISA A MOORE
Notary Public - State of New York
No. 01MO6389476
Qualified in Onondaga County
My Commission Expires 03/25/2027

STATE OF NEW YORK)
COUNTY OF ONONDAGA) SS:

On the 11 day of December, in the year 2023, before me, the undersigned, a Notary Public in and for said State, personally appeared TINA MARIE KNAPP-NELSON, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

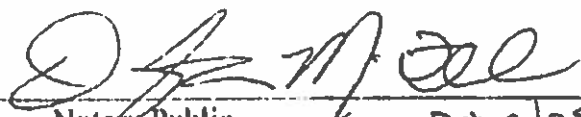


Notary Public

SHANE M BUZZARD
Notary Public - State of New York
NO. 01BU6258069
Qualified in Onondaga County
My Commission Expires Mar 19, 2024

State of Florida (DF)
County of Collier

On the 8 day of December, in the year 2023, before me, the undersigned, a Notary Public in and for said State, personally appeared T. ANDREW DEVORSETZ, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

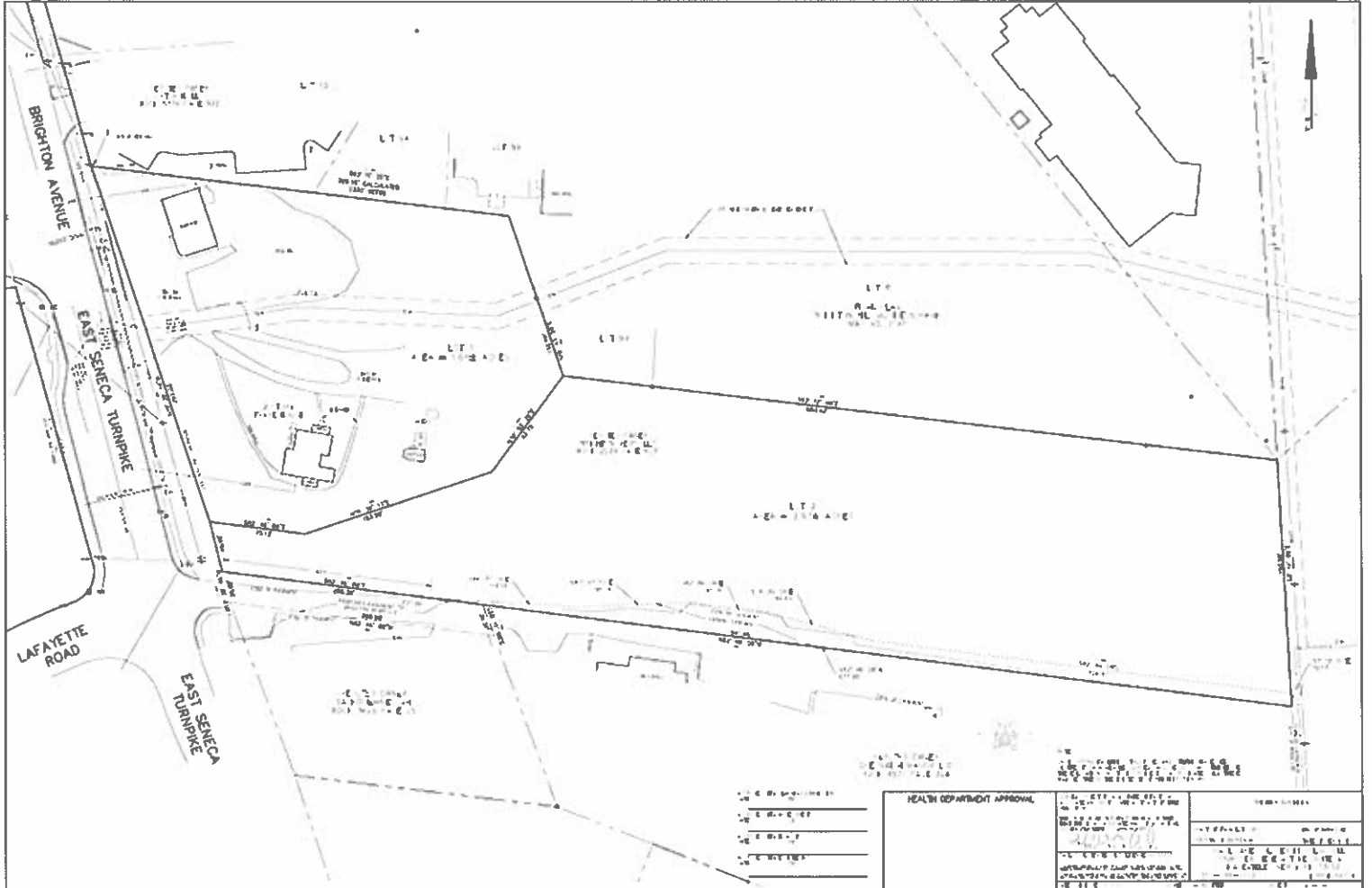


Notary Public Douglas M. Fee

Record and Return to: Michael J. Sarofeen
110 W. Fayette St., Ste 1110
Syracuse, NY 132020

 **DOUGLAS M. FEE**
Notary Public
State of Florida
Comm# HH400515
Expires 6/11/2027

SCHEDULE A



SCHEDULE A-1

**PROPOSED NARRATIVE LEGAL DESCRIPTION
BRIGHTON SUBDIVISION
EASEMENT TO GREENWICH MANOR LLC**

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Syracuse, County of Onondaga and State of New York, being part of Farm Lot 121 and Commencing at a point on the easterly boundary of East Seneca Turnpike at its intersection with the northwesterly corner of lands belonging to Sarkodie-Mensah as filed in the Onondaga County Clerk's Office in book 3625 of deeds at page 25; thence S82°46'08"E along said Sarkodie-Mensah's northerly boundary for a distance of 163.5 feet to a point and place of beginning; thence S86°31'10"E for a distance of 114.04 feet to a point; thence N87°57'10"E for a distance of 90.18 feet to a point; thence S82°46'08"E for a distance of 61.36 feet to a point; thence S74°35'54"E for a distance of 84.44 feet to a point; thence S82°46'08"E for a distance of 328.37 feet to a point on the easterly boundary of Brighton Mews LLC as filed in the Onondaga County Clerk's Office in book of deeds 2023 page 8031; thence S03°12'07"E for a distance of 10.17 feet to a point northeasterly corner of lands belonging to Greenwich Manor LLC as filed in the Onondaga County Clerk's Office in book 4571 of deeds at page 308; thence N82°46'08"W, along said northerly boundary of Greenwich Manor LLC, for a distance of 677.96 feet to a point and place of beginning. The above described legal description is as shown on a map prepared by Paul James Olszewski, PLS, PLLC. Map being the Brighton Subdivision Easement to Greenwich Manor LLC and dated December 7, 2023.

Subject to all covenants, easements, and restrictions of record.