

Syracuse Housing Authority Central Office

The applicant will present the major site plan review and resubdivision application to the Planning Commission.

The Planning Commission may deliberate on the SEQR review for this Unlisted action.

Below is the order in which the Syracuse Housing Authority Central Office agenda item appear in the Agenda Packet.

Staff Report

- MaSPR-24-35 – Major Site Plan Review
- R-24-60 – Resubdivision
- Project Plans
 - Phase 1 Site Plan
 - Phase 2 Site Plan

Easement map

Response Letter by Applicant

Parking Reduction Request by Applicant

SEQR Review

- FEAF Part 1
- FEAF Part 2
- FEAF Part 3

Comments by City Departments



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>MaSPR-24-35</i>	<i>Staff Report – November 12, 2024</i>
<i>Application Type:</i>	Major Site Plan Review
<i>Project Address:</i>	305 Van Buren St. (Tax Map ID: 094.-11-08.0)
<i>Summary of Proposed Action:</i>	The applicant is applying for a Major Site Plan Review to establish a new office building for Syracuse Housing Authority. The gross floor area of proposed office building will be 34,932 square feet. The construction will eventually create 50 off-street parking spaces and 9 on-street parking spaces.
<i>Owner/Applicant</i>	Syracuse Housing Authority (Owner/Applicant)
<i>Existing Zone District:</i>	Neighborhood Center, MX-2 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north and east are located in the Light Industry and Employment, IN Zone District. The neighboring properties to the south and west are located in the Neighborhood Center, MX-2 Zone District.
<i>Companion Application(s)</i>	R-24-60 Resubdivision to combine 13 lots into 1 new lot.
<i>Scope of Work:</i>	The scope of work includes: (1) removal and disposal of existing gravel and asphalt pavement, sidewalks, trees, fences and walls, and foundations on the site; (2) site grading to prepare the site for construction; (3) construction of a 2-story, 34,932-GSF office building; (4) construction of parking areas that includes 42 off-street parking spaces and 9 on-street parking spaces in Phase 1, and 50 off-street parking spaces and 9 on-street parking spaces in Phase 2; (5) site improvement including the construction of new on-site and off-site sidewalks, installation of bike racks, dumpster enclosure and stormwater basin, and implementation of a landscaping plan to install landscaping features on the site and along South McBride Street.
<i>Staff Analysis:</i>	<p><u>Factors:</u></p> <ul style="list-style-type: none"> - Proposed “Office” use type is a permitted land use type in the MX-2 Zone District and reflects surrounding neighborhood characteristics. - There is a temporary easement on the site granted for potential construction of Interstate 81 Viaduct/Community Grid Project. The easement will be terminated once deemed no longer necessary. - The applicant has coordinated with NYSDOT regrading the temporary easement and proposed site plans for Phase 1 and Phase 2. <ul style="list-style-type: none"> o Phase 1 site plan is going to be implemented before the completion of I-81 Project. It has a smaller parking lot (42 off-street parking spaces + 9 on-street parking spaces), and no scope of work will be conducted in the easement. o Phase 2 site plan is going to be implemented after the completion of I-81 Project. It has a larger parking lot (50 off-street parking spaces + 9 on-street parking spaces), and the parking lot will encroach into the easement. - The location and design of off-street parking spaces is in compliance with the zoning code. - The required minimum number of parking spaces for the proposed office building is 70 (1 parking space per 500 GSF). - The applicant has applied for a parking reduction for this project. The parking

	<p>reduction is applicable for this project because multiple bus stations are located within 1,000 linear feet from the project site, and on-street parking is allowed on South McBride Street. With the parking reduction, both the Phase 1 and Phase 2 plans meets the minimum parking requirements for office use.</p> <ul style="list-style-type: none"> - The project site is not a remediation site. The site is 550 ft away from Alums Olver Tower which is a brownfield cleanup site. <p><u>Recommended conditions:</u></p> <ul style="list-style-type: none"> • The applicant shall comply with the general conditions for approval on Site Plan Review application. (See the attached sheet “General Conditions for Site Plan Review, Special Use Permit and Project Plan Review Approval). • In addition to the General Conditions, Staff recommends of the following specific conditions: <ul style="list-style-type: none"> ○ Applicant shall work with Department of Public Work on the proposed work and on-street parking spaces in the public right-of-way and obtain all the necessary permits. ○ Applicant shall coordinate with New York State Department of Transportation (NYSDOT) regarding coordinating construction plans and upcoming changes to the area related to the Interstate 81 Viaduct/Community Grid Project. ○ Applicant shall resolve any encroachments with the New York State Department of Transportation (NYSDOT). ○ Applicant shall report to Syracuse Office of Zoning Administration if any changes have been proposed to project plans. New zoning applications may be required for changes.
<p><i>Zoning Procedural History:</i></p>	<ul style="list-style-type: none"> • PR-04-11 Building demolition at 512 Burt St. To Van Buren St. Approved
<p><i>Summary of Zoning History:</i></p>	<p>In 2004, the Syracuse Housing Authority applied, and was approved for, the demolition of an existing structure on property located at 512 Burt Street.</p>
<p><i>Code Enforcement History:</i></p>	<p>See attached code enforcement history.</p>
<p><i>Summary of Changes:</i></p>	<p>This is not a continued application.</p>
<p><i>Property Characteristics:</i></p>	<p><u>Existing property characteristics</u></p> <p>The subject property located at 500-02 Burt St. & McBride St. S is a regularly shaped parcel with a lot size of 2,178 SF (0.05 acres). There is 33 FT of frontage along Burt St. and 66 FT of frontage along McBride St., the southern property line borders 33 FT of 1303 McBride St., and the eastern property line borders 66 FT of 504 Burt St.</p> <p>The subject property located at 504 Burt St. is a regularly shaped parcel with a lot size of 2,178 SF (0.05 acres). There is 33 FT of frontage along Burt St., the eastern property line borders 66 FT of 502 Burt St., the southern property line borders 33 FT of 1303 McBride St., and the eastern property line borders 66 FT of 506 Burt St.</p> <p>The subject property located at 506 Burt St. is a regularly shaped parcel with a lot size of 2,178 SF (0.05 acres). There is 33 FT of frontage along Burt St., the eastern property line borders 66 FT of 504 Burt St., the southern property line borders 33 FT of 1303 McBride St., and the eastern property line borders 66 FT of 508 Burt St.</p>

The subject property located at 508 Burt St. Rear is an irregularly shaped parcel with of lot size of 3,023 SF (0.74 acres). It has 5.6 FT of frontage along Burt St., the eastern property line borders 113 FT of 510 Burt St. and 512 Burt St To Vanburen St. The southern property line borders 28 FT of 1305 McBride St., and the eastern property line borders 99 FT of 506 Burt St. and 1303 McBride St. S.

The subject property located at 512 Burt St. is an irregularly shaped parcel with a lot size of 29,330 SF (0.67 acres). The property has two street frontages with 151 FT of frontage on Van Buren St. and 8.7 FT of frontage on Burt St. The western property line borders 297 FT of 305 Van Buren St., 1305 McBride St. S, and 508 and 510 Burt St. The eastern property line borders 362 FT of 518 & Renwick Ave. To Burt St. The southern property line borders 188 FT of 308 Van Buren St.

The subject property located at 305 Van Buren St. is a regularly shaped parcel with a lot size of 3,267 SF (0.08 acres). There is 33 FT of frontage along Van Buren St., the eastern property line borders 99 FT of 512 Burt St. To Vanburen St, the northern property line borders 33 FT of 1305 McBride St. S, and the western property line borders 99 FT of 303 Van Buren St.

The subject property located at 303 Van Buren St. is a regularly shaped parcel with a lot size of 3,267 SF (0.08 acres). There is 33 FT of frontage along Van Buren St., the eastern property line borders 99 FT of 305 Van Buren St., the northern property line borders 33 FT of 1305 McBride St., and the western property line borders 99 FT of 1313, 1311, 1309, and 1307 McBride St. S.

The subject property located at 1313 McBride St S. & Van Buren St. is a regularly shaped parcel with a lot size of 1,716 SF (0.04 acres). There is 33 FT of frontage along McBride St. S and 52 FT of frontage along Van Buren St., the eastern property line borders 33 FT of 303 Van Buren St., the northern property line borders 52 FT of 1311 Van Buren St.

The subject property located at 1311 McBride St S. is a regularly shaped parcel with a lot size of 1,716 SF (0.04 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 303 Van Buren St., the northern property line borders 52 FT of 1309 McBride St. S., and the southern property line borders 52 FT of 1313 McBride St. S.

The subject property located at 1309 McBride St S. is a regularly shaped parcel with a lot size of 1,716 SF (0.04 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 303 Van Buren St., the northern property line borders 52 FT of 1311 McBride St. S., and the southern property line borders 52 FT of 1311 McBride St. S.

The subject property located at 1307 McBride St S. is a regularly shaped parcel with a lot size of 1,716 SF (0.04 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 303 Van Buren St., the northern property line borders 52 FT of 1305 McBride St. S., and the southern property line borders 52 FT of 1309 McBride St. S.

The subject property located at 1305 McBride St S. is a regularly shaped parcel with a lot size of 4,158 SF (0.10 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 512 Burt St. To Vanburen St., the northern property line

	<p>borders 126 FT of 1303 McBride St. S., and the southern property line borders 126 FT of 1307 McBride St. S. and 303 Van Buren St.</p> <p>The subject property located at 1303 McBride St S. is a regularly shaped parcel with a lot size of 3,267 SF (0.08 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 508 Burt St., the northern property line borders 99 FT of 502, 504 and 506 Burt St., and the southern property line borders 99 FT of 1305 McBride St. S.</p> <p>All of the above properties are vacant lots.</p> <p><u>Proposed property characteristics</u></p> <p>The proposed resubdivided lot will be known as Lot 1 at 305 Van Buren Street. It will be an irregularly shaped parcel with a lot size of 60,548 SF (1.39 Acres). The property will be improved with new offices and parking for a new Syracuse Housing Authority office. The property will have three primary street frontages with 264 FT of frontage along McBride St. S, 104 FT of frontage along Burt St., and 151 feet of frontage along Van Buren St. The eastern property line will border 355 FT of the Lands of the State of New York.</p>
<i>SEQR Determination:</i>	Pursuant to the 6 NYCRR §617.2(al), the proposal is an Unlisted Action
<i>Onondaga County Planning Board Referral:</i>	<p>Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board with no position with comment:</p> <ul style="list-style-type: none">• The applicant is required to coordinate with New York State Department of Transportation (NYSDOT) regarding coordinating construction plans and upcoming changes to the area related to the Interstate 81 Viaduct/Community Grid Project.• The applicant must resolve any encroachments with the New York State Department of Transportation (NYSDOT) prior to, or as a condition of, municipal approval of the plans.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review application
- Short Environmental Assessment Form Part 1
- Response letter to comments from the Department of Public Works and the Onondaga County Planning Board.
- Resubdivision Map, Syracuse Housing Authority, Block # 384 To be New Lot 1. City of Syracuse, County of Onondaga, State of New York; New York State Licensed Land Paul James Olszewski, P.L.S, PLLC; Map Date: 10/26/2024; Scale: 1"=20'
- Existing Condition Plan (Sheet C-101). Drawn by: E. AVERSA, P.E.; Prepared by C&S Companies; dated: 09/03/2024; Scale: 1"=20'.
- Phase 1 & Phase 2 Site Plan (Sheet C-102.A & C-102.B). Drawn by: M. Gallegos, E.I.T.; Prepared by C&S Companies; dated: 09/03/2024; Scale: 1"=20'.
- Utility Plan (Sheet C-103). Drawn by: E. AVERSA, P.E.; Prepared by C&S Companies; dated: 09/03/2024; Scale: 1"=20'.
- Grading Plan (Sheet C-104). Drawn by: E. AVERSA, P.E.; Prepared by C&S Companies; dated: 09/03/2024; Scale: 1"=20'.
- Erosion and Sediment Control Plan (Sheet C-105). Drawn by: E. AVERSA, P.E.; Prepared by C&S Companies; dated: 09/03/2024; Scale: 1"=20'.
- Landscape Plan (Sheet C-106). Drawn by: E. AVERSA, P.E.; Prepared by C&S Companies; dated: 09/03/2024; Scale: 1"=20'.
- Site Details (Sheets C-500, C-501, C-502, C-503, C-504, C-505). Drawn by: E. AVERSA, P.E.; Prepared by

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C&S Companies; dated: 08/25/2024; Scale: as noted.

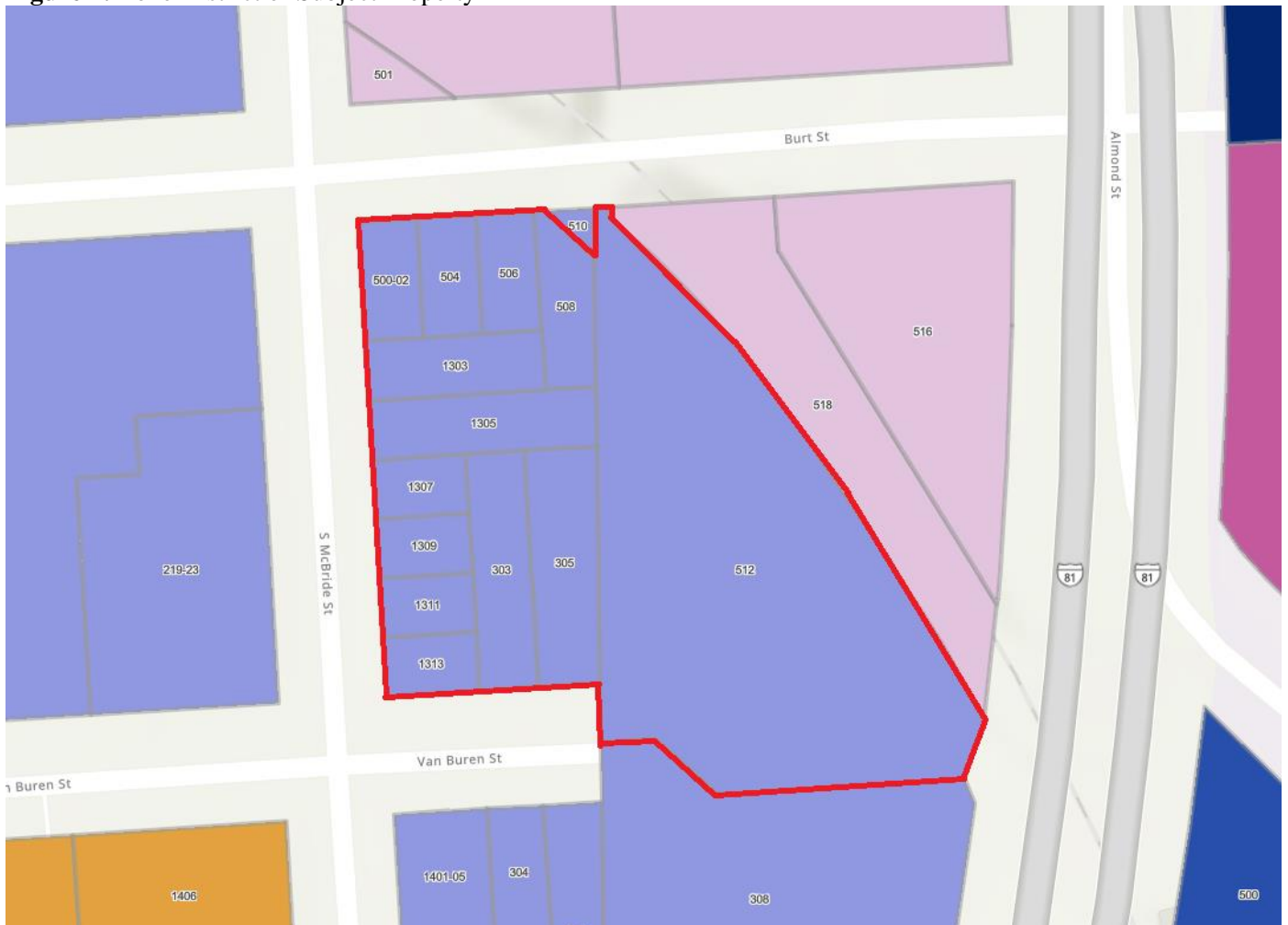
- Lighting Plan (Sheet E-110). Drawn by: A. KLYMKOW.; Prepared by C&S Companies; dated: 08/23/2024; Scale: 1"=20'.
- Floor Plans (Sheets A-003, A-004). Drawn by: M. GNYP; Prepared by C&S Companies; dated: 08/01/2024; Scale: 3/32"=1'.
- Elevation Plan (Sheets A-200, A-201, A-202). Drawn by: M. GNYP; Prepared by C&S Companies; dated: 08/01/2024; Scale: 1/8"=1'.

Attachments:

- Major Site Plan Review Application
- Short Environmental Assessment Form Part 2 & Part 3
- Code Enforcement History
- IPS Comments from City Departments
- OCPB Comments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.
Image Source: ConnectExplorer™, Eagle View Technology Corporation



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>R-24-60</u>	<u>Staff Report – November 12, 2024</u>
Application Type:	Resubdivision
Project Address:	500-02 Burt St. & McBride St. S (Tax ID: 094.-11-01.0) 504 Burt St. (Tax ID: 094.- 11-02.0) 506 Burt St. (Tax ID: 094.- 11-03.0) 508 Burt St. Rear (Tax ID: 094.11.04.0) 512 Burt St. To Vanburen St (Tax ID: 094.- 11-05.0) 305 Van Buren St. (Tax ID: 094.-11-08.0) 303 Van Buren St. (Tax ID: 094.-11-09.0) 1313 McBride St. S & Van Buren (Tax ID: 094.-11-10.0) 1311 McBride St. S (Tax ID:094.- 11-11.0) 1309 McBride St. S (Tax ID: 094.- 11-12.0) 1307 McBride St. S (Tax ID: 094.-11-13.0) 1305 McBride St. S (Tax ID: 094.-11-14.0) 1303 McBride St. S (Tax ID: 094.-11-15.0)
Summary of Proposed Action:	Syracuse Housing Authority is proposing the construction of a new central office building within the City of Syracuse. They are applying for this resubdivision to combine 13 parcels into one to allow for the office construction on this one larger parcel. Total square footage: 60,548 SF (1.39 Acres)
Owner/Applicant	500-02 Burt St. & McBride St. S- Owner/Applicant: Syracuse Housing Authority 504 Burt St. - Owner/Applicant: Syracuse Housing Authority 506 Burt St. - Owner/Applicant: Syracuse Housing Authority 508 Burt St. Rear - Owner/Applicant: Syracuse Housing Authority 512 Burt St To Vanburen St. - Owner/Applicant: Syracuse Housing Authority 305 Van Buren St. - Owner/Applicant: Syracuse Housing Authority 303 Van Buren St. - Owner/Applicant: Syracuse Housing Authority 1313 McBride St. S & Van Buren - Owner/Applicant: Syracuse Housing Authority 1311 McBride St. S - Owner/Applicant: Syracuse Housing Authority 1309 McBride St. S - Owner/Applicant: Syracuse Housing Authority 1307 McBride St. S - Owner/Applicant: Syracuse Housing Authority 1305 McBride St. S - Owner/Applicant: Syracuse Housing Authority 1303 McBride St. S - Owner/Applicant: Syracuse Housing Authority
Existing Zone District:	All 13 parcels being combined for this resubdivision at located in the Neighborhood Center, MX-2 Zone District
Surrounding Zone Districts:	The neighboring properties to the west and south are within the Neighborhood Center, MX-2, Zone District. The neighboring properties to the east and north are within Light Industry and Employment, LI Zone District
Companion Application(s)	MaSPR-24-35
Scope of Work:	The 13 parcels involved in this project will be combined to establish an office land use type and build a 30,000 SF building on the new parcel. There will be additional site improvements that include: a green roof terrace, landscaping and street trees, site lighting, and off-street parking for 50 vehicles.
Staff Analysis:	Factors: - The proposed resubdivision on the 13 involved parcels complies with the minimum lot area requirements for the MX-2 Zone District pursuant to Art. 2, Sec

	<p>2.8.</p> <ul style="list-style-type: none"> - The MX-2 Zone District allowed off land use type by right - Syracuse Housing Authority will move from their current office building to this location, which is currently vacant land. - The resubdivision will allow currently vacated land to establish commercial use and add development to the area. - According to the Onondaga County Planning Agency’s confirmation letter, the 9-1-1 street address for new “Lot 1” shall be known as 305 Van Buren Street <p><u>Recommend Conditions if Approved:</u></p> <ul style="list-style-type: none"> -Applicant is required to coordinate with New York State Department of Transportation regarding coordinating construction plans and upcoming changes to the area related to the Interstate 81 Viaduct/Community Grid Project. - The applicant must resolve any encroachments with the New York State Department of Transportation prior to approval of building permit plans.
<p><i>Zoning Procedural History:</i></p>	<p>512 Burt St. To Vanburen St. PR-04-11 Demolition of Building Approved</p>
<p><i>Summary of Zoning History:</i></p>	<p>In 2004, the Syracuse Housing Authority applied, and was approved for, the demolition of an existing structure on property located at 512 Burt Street.</p>
<p><i>Code Enforcement History:</i></p>	<p>See attached code enforcement history.</p>
<p><i>Zoning Violations:</i></p>	<p>The proposed lot has no zoning violations.</p>
<p><i>Summary of Changes:</i></p>	<p>This is not a continued application.</p>
<p><i>Property Characteristics:</i></p>	<p><u>Existing property characteristics</u></p> <p>The subject property located at 500-02 Burt St. & McBride St. S is a regularly shaped parcel with a lot size of 2,178 SF (0.05 acres). There is 33 FT of frontage along Burt St. and 66 FT of frontage along McBride St., the southern property line borders 33 FT of 1303 McBride St., and the eastern property line borders 66 FT of 504 Burt St.</p> <p>The subject property located at 504 Burt St. is a regularly shaped parcel with a lot size of 2,178 SF (0.05 acres). There is 33 FT of frontage along Burt St., the eastern property line borders 66 FT of 502 Burt St., the southern property line borders 33 FT of 1303 McBride St., and the eastern property line borders 66 FT of 506 Burt St.</p> <p>The subject property located at 506 Burt St. is a regularly shaped parcel with a lot size of 2,178 SF (0.05 acres). There is 33 FT of frontage along Burt St., the eastern property line borders 66 FT of 504 Burt St., the southern property line borders 33 FT of 1303 McBride St., and the eastern property line borders 66 FT of 508 Burt St.</p> <p>The subject property located at 508 Burt St. Rear is an irregularly shaped parcel with of lot size of 3,023 SF (0.74 acres). It has 5.6 FT of frontage along Burt St., the eastern property line borders 113 FT of 510 Burt St. and 512 Burt St To Vanburen St. The southern property line borders 28 FT of 1305 McBride St., and the eastern property line borders 99 FT of 506 Burt St. and 1303 McBride St. S.</p> <p>The subject property located at 512 Burt St. is an irregularly shaped parcel with a lot size of 29,330 SF (0.67 acres). The property has two street frontages with 151 FT of frontage on Van Buren St. and 8.7 FT of frontage on Burt St. The western property line borders 297</p>

FT of 305 Van Buren St., 1305 McBride St. S, and 508 and 510 Burt St. The eastern property line borders 362 FT of 518 & Renwick Ave. To Burt St. The southern property line borders 188 FT of 308 Van Buren St.

The subject property located at 305 Van Buren St. is a regularly shaped parcel with a lot size of 3,267 SF (0.08 acres). There is 33 FT of frontage along Van Buren St., the eastern property line borders 99 FT of 512 Burt St. To Vanburen St, the northern property line borders 33 FT of 1305 McBride St. S, and the western property line borders 99 FT of 303 Van Buren St.

The subject property located at 303 Van Buren St. is a regularly shaped parcel with a lot size of 3,267 SF (0.08 acres). There is 33 FT of frontage along Van Buren St., the eastern property line borders 99 FT of 305 Van Buren St., the northern property line borders 33 FT of 1305 McBride St., and the western property line borders 99 FT of 1313, 1311, 1309, and 1307 McBride St. S.

The subject property located at 1313 McBride St S. & Van Buren St. is a regularly shaped parcel with a lot size of 1,716 SF (0.04 acres). There is 33 FT of frontage along McBride St. S and 52 FT of frontage along Van Buren St., the eastern property line borders 33 FT of 303 Van Buren St., the northern property line borders 52 FT of 1311 Van Buren St.

The subject property located at 1311 McBride St S. is a regularly shaped parcel with a lot size of 1,716 SF (0.04 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 303 Van Buren St., the northern property line borders 52 FT of 1309 McBride St. S., and the southern property line borders 52 FT of 1313 McBride St. S.

The subject property located at 1309 McBride St S. is a regularly shaped parcel with a lot size of 1,716 SF (0.04 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 303 Van Buren St., the northern property line borders 52 FT of 1311 McBride St. S., and the southern property line borders 52 FT of 1311 McBride St. S.

The subject property located at 1307 McBride St S. is a regularly shaped parcel with a lot size of 1,716 SF (0.04 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 303 Van Buren St., the northern property line borders 52 FT of 1305 McBride St. S., and the southern property line borders 52 FT of 1309 McBride St. S.

The subject property located at 1305 McBride St S. is a regularly shaped parcel with a lot size of 4,158 SF (0.10 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 512 Burt St. To Vanburen St., the northern property line borders 126 FT of 1303 McBride St. S., and the southern property line borders 126 FT of 1307 McBride St. S. and 303 Van Buren St.

The subject property located at 1303 McBride St S. is a regularly shaped parcel with a lot size of 3,267 SF (0.08 acres). There is 33 FT of frontage along McBride St. S, the eastern property line borders 33 FT of 508 Burt St., the northern property line borders 99 FT of 502, 504 and 506 Burt St., and the southern property line borders 99 FT of 1305 McBride

	<p>St. S.</p> <p>All of the above properties are vacant lots.</p> <p><u>Proposed property characteristics</u></p> <p>The proposed resubdivided lot will be known as Lot 1 at 305 Van Buren Street. It will be an irregularly shaped parcel with a lot size of 60,548 SF (1.39 Acres). The property will be improved with new offices and parking for a new Syracuse Housing Authority office. The property will have three primary street frontages with 264 FT of frontage along McBride St. S, 104 FT of frontage along Burt St., and 151 feet of frontage along Van Buren St. The eastern property line will border 355 FT of the Lands of the State of New York.</p>
<i>SEQR Determination:</i>	Pursuant to the 6 NYCRR §617.2(a1), the proposal is an Unlisted Action.
<i>Onondaga County Planning Board Referral:</i>	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board with no position with comment: <ul style="list-style-type: none">• The applicant is required to coordinate with New York State Department of Transportation (NYSDOT) regarding coordinating construction plans and upcoming changes to the area related to the Interstate 81 Viaduct/Community Grid Project.• The applicant must resolve any encroachments with the New York State Department of Transportation (NYSDOT) prior to, or as a condition of, municipal approval of the plans.

Application Submittals: The application submitted the following in support of the proposed project:

- Resubdivision application
- Short Environmental Assessment Form Part 1
- Resubdivision Map, Syracuse Housing Authority, Block # 384 To be New Lot 1. City of Syracuse, County of Onondaga, State of New York; New York State Licensed Land Paul James Olszewski, P.L.S, PLLC; Map Date: 10/26/2024; Scale: 1"=20'
- Site Plan for SHA-New Central Offices: Sheet C-102, 500-02 Burt Street, Syracuse, New York 13202.

Attachments:

- Resubdivision Application
- Short Environmental Assessment Form Part 2&3
- IPS Comments from City Departments
- Code Enforcement History
- OCPB Comments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>



For Office Use Only	
Zone District:	_____
Application Number:	____ - ____ - ____
Date:	_____

Office of Zoning Administration
 300 S State St, Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syrgov.net

Site Plan Review Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name: Syracuse Housing Authority New Central Office	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 500-02 Burt Street	
Tax Map ID#: See attached Tax Parcel List	Lot size (sq. ft.): 74052
Current use of property: Vacant	Proposed: Office Building
Current number of dwelling units (if applicable): 0	Proposed: 0
Current number of affordable dwelling units (if applicable): 0	Proposed: 0
Current onsite parking (if applicable): 0	Proposed: 50
Zone District (base and any overlay) of property: MX-2 NEIGHBORHOOD CENTER	
Companion zoning applications (if applicable, list any related zoning applications):	

Resubdivision

Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes
Detailed description of the project (required): <p>The proposed facility will be approximately 30,000 gross square feet consisting of office space for various departments of the Syracuse Housing Authority (appx. 217 people), as well as a large training room, board room, and small meeting spaces, wellness areas (golf simulator, small gym area, café breakroom), museum space (to house historical SHA items), and necessary utility spaces (storage, mechanical, restrooms, etc.) Site elements will include a green roof terrace space, landscaping and street trees, site lighting, and off-street parking for approximately 50 vehicles.</p>



Site Plan Review Application

Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.
Print owner's name: William Simmons
Signature: [Handwritten Signature] Date: 09/10/24
Mailing address:
Phone: Email:
Print authorized agent's name: Date:
Signature:
Mailing address:
Phone: Email:
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- Application - filled out completely, dated, and signed by property owner as instructed
State Environmental Quality Review Act (SEQR) - Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
Photographs (Color) of the Project Site - keyed to a property survey or site plan
Photographs (Color) of the Streetscape - including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
Application Fee - \$0

Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, separate site plan review applications must be submitted for each project site. Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below:

- AS BUILT PROPERTY SURVEY(S) of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
SITE PLAN(S) illustrating site alterations and post project conditions that are/will be different from the as built property survey including:



Site Plan Review Application

Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov.net

- Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
- Demolitions and post demolition conditions
- Structures
- Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage
- Loading dock and delivery areas
- Dumpsters and/or trash receptacles
- Landscaping including type, height, and number of plantings
- Screening including parking, dumpsters, and site
- Fencing including type and height
- Lighting including structure heights and luminaries wattage
- Ground signs
- Street rights-of-way conditions, existing and proposed, including curb cuts, driveways, sidewalks, and plantings
- Encroachments, existing or proposed, into the City rights-of-way including stairs, signs, and awning

FLOOR PLANS (when required for review) for new construction, additions, and change of zoning use/building occupancies with square footages and all applicable layouts (e.g., customer areas, kitchens, bathrooms, bedrooms, etc.) clearly labeled for land uses

EXTERIOR BUILDING ELEVATIONS AND SPECIFICATIONS (when required for review) with all dimensions, materials, and colors clearly illustrated and noted (Schematics or color renderings can be submitted in addition to elevation drawings, if available)

EXTERIOR SIGNAGE DRAWINGS (when required for review) showing all of the following:

- Size
- Type
- Location (photos may be used to show location. Exact placement must be included for ground signs – measurements from structure to sign location and distance from sign to property line (not sidewalk). For wall signs, the distance from the top of the sign to roofline, from ground to bottom of the sign, and measurement from the side of the building to the side of the sign must be shown)

All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size:	Type:	Location:
Size:	Type:	Location:

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Syracuse Housing Authority Central Offices			
Project Location (describe, and attach a location map): Located in the City of Syracuse in Onondaga County, NY. Bounded by Burt St to the north, S McBride St to the west, and Van Buren St to the south.			
Brief Description of Proposed Action: Syracuse Housing Authority is proposing the construction of a new central office building on a 1.70-acre parcel in Syracuse, NY. The purpose of the project is to replace the current facility that has exceeded its useful life. The current facility is also located in an area that will be renovated with the I-81 Viaduct Project. The project will also involve the consolidation of 13 existing tax parcels into one new tax parcel.			
Name of Applicant or Sponsor: Syracuse Housing Authority (President: William Simmons)		Telephone: 315-470-4210 E-Mail: info@syrhousing.org	
Address: 500-02 Burt Street			
City/PO: Syracuse		State: NY	Zip Code: 13202
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse Office of Zoning Admin - Resubdivision Application City of Syracuse Office of Zoning Admin - Site Plan Review Appl.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 1.70 acres			
b. Total acreage to be physically disturbed? _____ 1.70 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 1.70 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Utility substation; Railroad ROW <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		

The proposed project includes land grading that directs water away from the proposed building and parking lot.		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____		
A stormwater basin has been proposed to temporarily store water. It is 6" deep and approximately 1000 S.F. in area.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____		
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____		
550' away is the location of a brownfield cleanup site (East Adams Redevelopment - Almus Olver Tower).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>William Simmons</u> Date: <u>9/10/24</u> Signature: <u>William Simmons</u> Title: <u>Executive Director - President</u>		



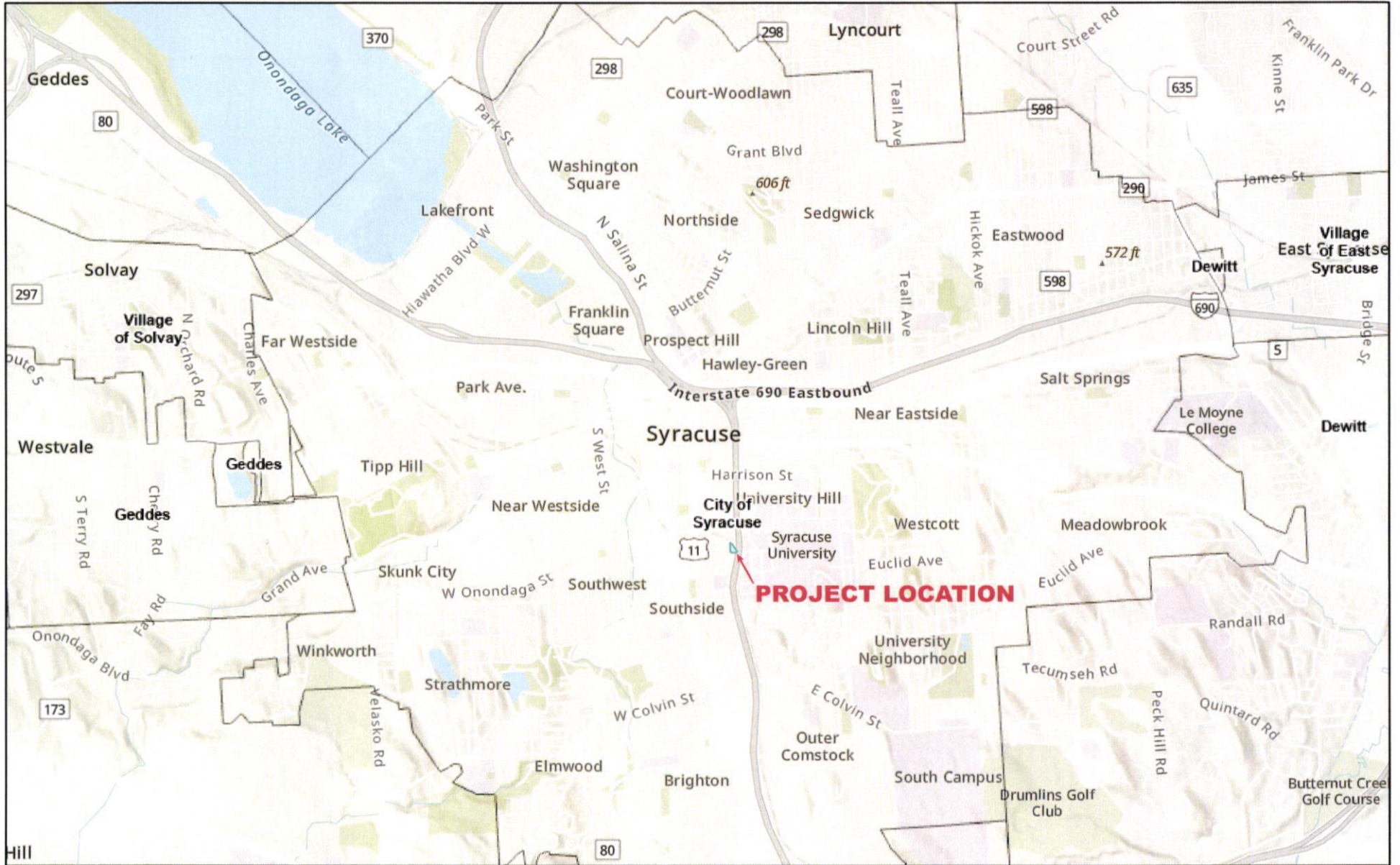
PRINT FORM

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri Thailand, NGCC, (c) OpenStreetMap contributors, and the GIS User Community

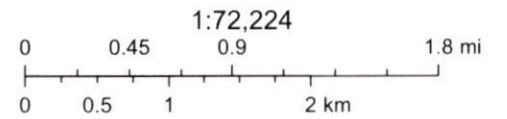
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

SHA LOCATION MAP

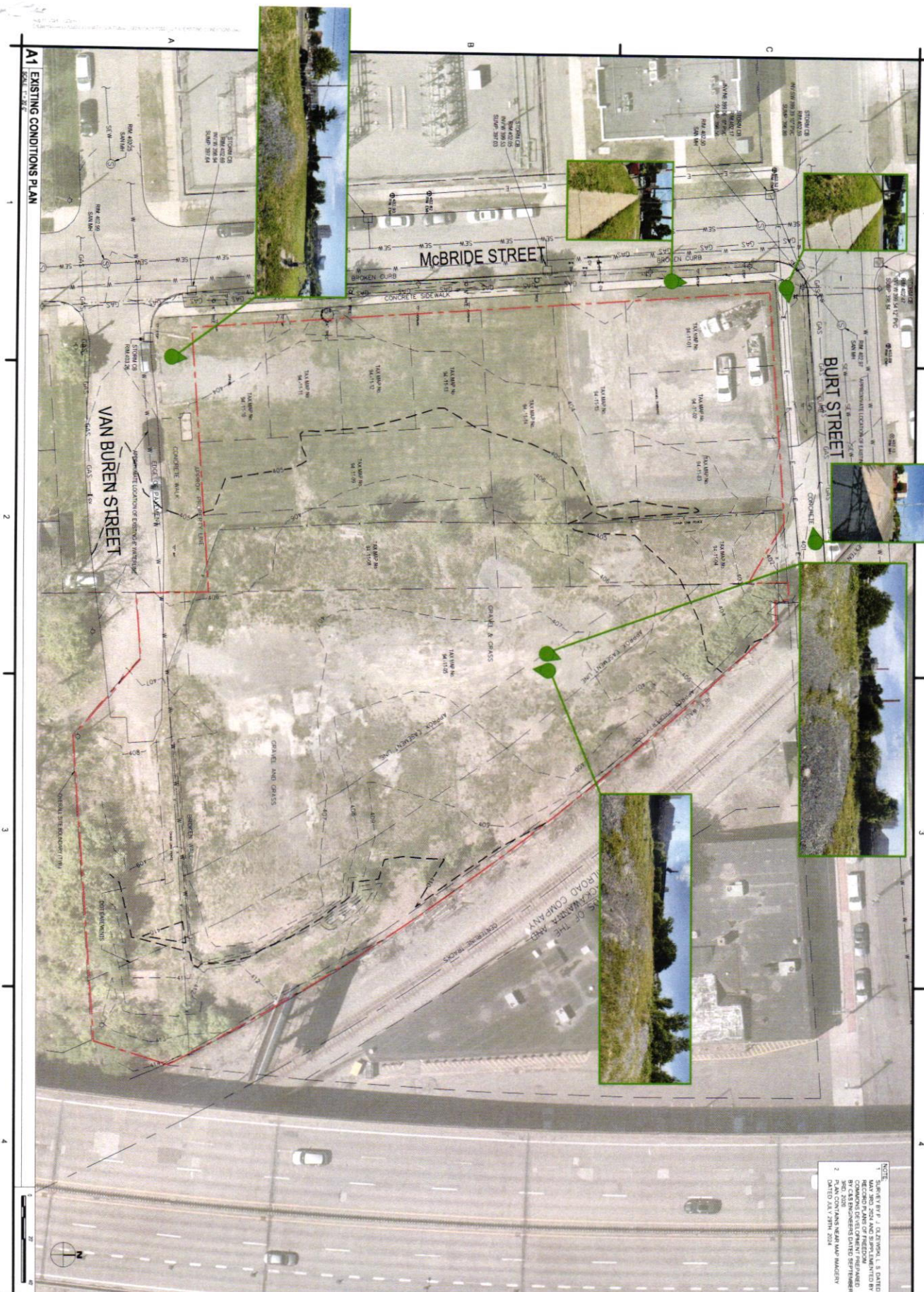


August 2, 2024

- County Boundary
- Municipalities



Esri, NASA, NGA, USGS, FEMA, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, USFWS



A1 EXISTING CONDITIONS PLAN
SCALE: 1" = 20'

NOTE:
 1. DRAWN BY P. J. OZDZINSKI, L.S. DATED 08/20/2018.
 2. CHECKED BY J. M. PETERSON, L.S. DATED 08/20/2018.
 3. DESIGNED BY E. AMESGA, P.E. DATED 08/20/2018.
 4. PROJECT NO. 21-KC-0204.
 5. SHEET NO. 21-KC-0204-01.
 6. DRAWN BY P. J. OZDZINSKI, L.S. DATED 08/20/2018.
 7. CHECKED BY J. M. PETERSON, L.S. DATED 08/20/2018.
 8. DESIGNED BY E. AMESGA, P.E. DATED 08/20/2018.
 9. PROJECT NO. 21-KC-0204.
 10. SHEET NO. 21-KC-0204-01.

<p>CBS COMPANIES</p> <p>CBS Architects, Engineers & Landscapers 1801 Col. Egan Court, Suite C Syracuse, New York 13212 Phone: 315-455-5000 Fax: 315-455-5001 www.cbscs.com</p>		<p>SHA</p> <p>STRUCTURE HOUSING AUTHORITY</p>	<p>SHA - NEW CENTRAL OFFICES 500-02 BURT STREET SYRACUSE, NEW YORK 13202</p>
<p>EXISTING CONDITIONS PLAN</p>			
<p>C-100</p>			



NOTE:
 1. SURVEY BY P. J. OLZEWSKI, L.S. DATED MAY 3RD, 2024 AND SUPPLEMENTED BY RECORD PLANS OF FREEDOM COMMONS DEVELOPMENT PREPARED BY C&S ENGINEERS DATED SEPTEMBER 3RD, 2020.
 2. PLAN CONTAINS NEAR MAP IMAGERY DATED JULY 29TH, 2024

C&S COMPANIES
 C&S Architects, Engineers & Landscape Architect, PLLC
 499 Col. Eileen Collins Blvd.
 Syracuse, New York 13212
 Phone: 315-455-2000
 Fax: 315-455-9667
 www.cscos.com



**SHA - NEW CENTRAL OFFICES
 500-02 BURT STREET
 SYRACUSE, NEW YORK 13202**

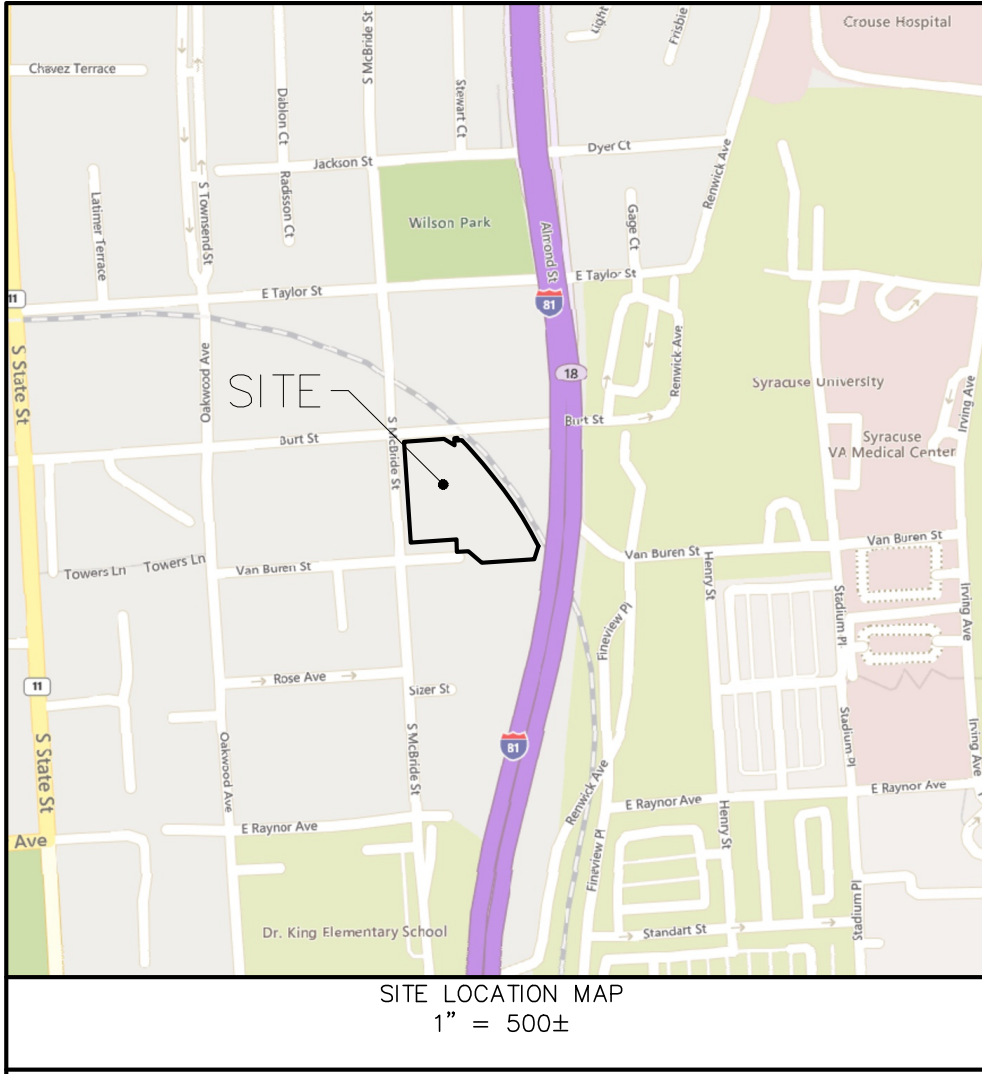
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	A23.010.001	
DATE:	25 AUG 2024	
DRAWN BY:	E. AVERSA, P.E.	
DESIGNED BY:	E. AVERSA, P.E.	
CHECKED BY:	E. AVERSA, P.E.	
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.		

**EXISTING
 CONDITIONS PLAN**

C-100

Aug 15, 2024 - 3:23pm
 C:\Users\aversa\AppData\Local\Temp\p\p\shah\122659\A23010001_C-100 EXISTING CONDITIONS.dwg

A1 EXISTING CONDITIONS PLAN
 SCALE: 1" = 20'-0"



- LEGEND**
- CONCRETE MONUMENT FOUND
 - IRON PIPE FOUND
 - IRON ROD FOUND
 - IRON ROD SET
 - UTILITY POLE

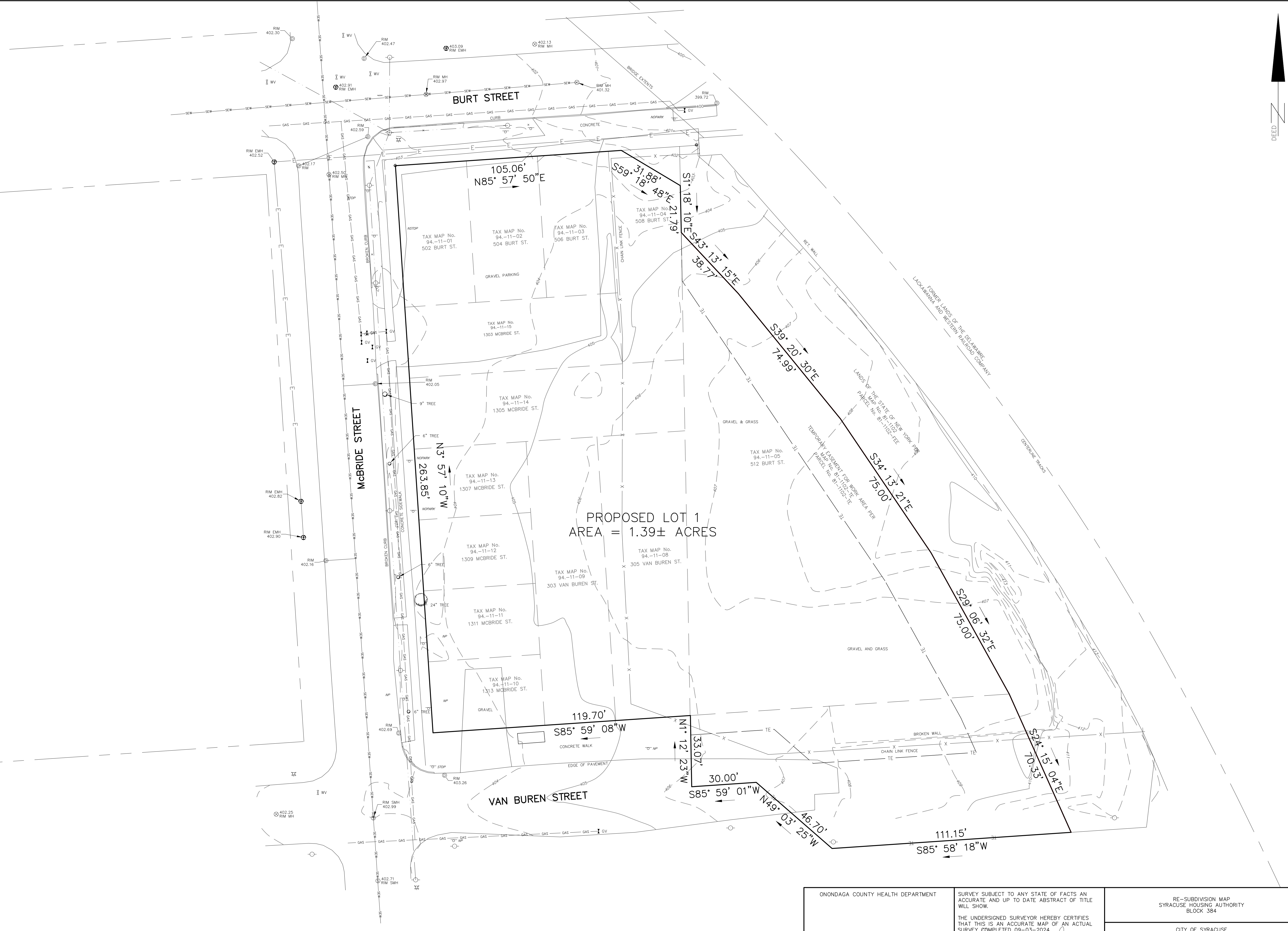
APPROVED CITY OF SYRACUSE PLANNING COMMISSION
 DATE: _____ BY: _____

APPROVED CITY OF SYRACUSE ASSESSMENT DEPARTMENT
 DATE: _____ BY: _____

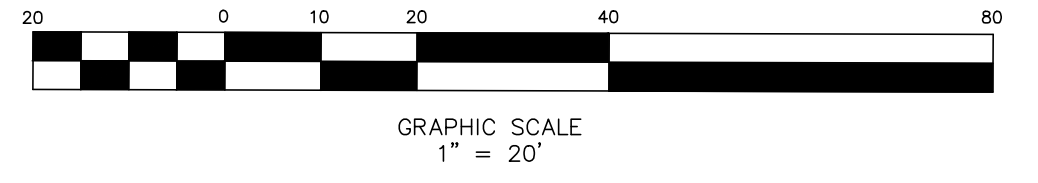
APPROVED CITY OF SYRACUSE FINANCE DEPARTMENT
 DATE: _____ BY: _____

APPROVED CITY OF SYRACUSE ENGINEERING DEPARTMENT
 DATE: _____ BY: _____

APPROVED SYRACUSE HOUSING AUTHORITY (DEVELOPER)
 DATE: _____ BY: _____



I HEREBY CERTIFY THAT THIS IS AN ACCURATE SUBDIVISION PLAT PREPARED BY ME ON SEPTEMBER 4, 2024. THIS SUBDIVISION PLAT MEETS THE CURRENT STANDARDS STATED IN THE NYSARL'S CODE OF PRACTICE FOR LAND SURVEYS PERTAINING TO ALL BOUNDARY/TITLE SURVEYS. THE SUBDIVISION BOUNDARY CLOSURE MEETS THOSE STANDARDS. THIS MAP IS NOT VALID WITHOUT THE ORIGINAL SEAL OF THE SURVEYOR."



NOTE: VERTICAL DATUM - NAVD 1988

ONONDAGA COUNTY HEALTH DEPARTMENT	SURVEY SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE WILL SHOW.	RE-SUBDIVISION MAP SYRACUSE HOUSING AUTHORITY BLOCK 384
	THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS IS AN ACCURATE MAP OF AN ACTUAL SURVEY COMPLETED 09-03-2024.	CITY OF SYRACUSE STATE OF NEW YORK
 PAUL J. OLSZEWSKI/P.L.S. LICENSE No. 50212		COUNTY OF ONONDAGA
<small>*UNAUTHORIZED REPRODUCTION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7303, SUB-DIVISION 10, OF THE NEW YORK STATE EDUCATION LAW. <small>COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.</small> </small>		PAUL JAMES OLSZEWSKI, P.L.S., PLLC 1326 NEW SENECA TPKE, SUITE B1 SKANEATELES NEW YORK, 13152 315-488-5552 pjosurvey.com
DATE: OCTOBER 1, 2024	SCALE: 1" = 20 FEET	PROJECT No. SY94-11-05

AOBE	AS ORDERED BY ENGINEER	CIRC	CIRCULAR	FIN GR, FG	FINISHED GRADE	MAX	MAXIMUM	RF	ROOF	SYM	SYMMETRICAL
ALT	ALTERNATE	COC	CORNER OF CURB	FM	FORCE MAIN	MECH	MECHANICAL	ROP	ROCK OUTLET PROTECTION	SUP	SUPPORT
ALUM	ALUMINUM	DEC	DECIDUOUS	FT	FOOT, FEET	MH, MANH	MANHOLE	ROW	RIGHT-OF-WAY	STRUCT	STRUCTURE, STRUCTURAL
APPROX	APPROXIMATELY	DEMO	DEMOLITION	FTG	FITTING, FOOTING	MIN	MINIMUM	RCP	REINFORCED CONCRETE PIPE	TEMP	TEMPERATURE, TEMPORARY
ASPH	ASPHALT	DIA/DBH	DIAMETER/ DIAMETER AT BREAST HEIGHT	FW	FINISHED WATER	MTD	MOUNTED	RT	RIGHT	THK	THICK
AVG	AVERAGE	DISCH	DISCHARGE	GC	GRANITE CURB	N	NORTH	RW	RAW WATER	TG	TOP OF GRADE
AW	APPROXIMATE WATER	DMH	DRAINAGE MANHOLE	GR	GRAVEL	NIC	NOT IN CONTRACT	S	SOUTH	TM	TAX MAP
BLDG	BUILDING	DP	DEEP	GRAV	GRAVITY	NO	NUMBER	SA, SANI	SANITARY	T.O.P.	TOP OF PAVEMENT
BM	BENCHMARK	DOT	DEPARTMENT OF TRANSPORTATION	GPM	GALLONS PER MINUTE	NG	NATURAL GAS	SAN	SANITARY SEWER	TOW, TW	TOP OF WALL
BET	BETWEEN	DTL, DET	DETAIL	GRD	GRADE	NTS	NOT TO SCALE	SBM	STREAM BED MATERIAL	TPA	TEMPORARY PUMP AROUND
BKF	BANKFULL	D	DRAIN	GV	GAS VALVE	NYS	NEW YORK STATE	SD, ST DR	STORM DRAIN	TPF	TREE PROTECTION FENCE
BOT	BOTTOM	DWG	DRAWING	HW	HEAD WALL	OC	ON CENTER	SCH	SCHEDULE	TYP	TYPICAL
CB, CBSN	CATCH BASIN	DIM	DIMENSION	HDPE	HIGH DENSITY POLYETHYLENE	QHE, OE	OVERHEAD ELECTRICAL	SEC, SECT	SECTION	UD	UNDER DRAIN
CC	CONCRETE CURB	EA	EACH	HG	HIGH	OPP	OPPOSITE	SF	SILT FENCE	UE	UNDERGROUND ELECTRIC
CHWS	CHILLED WATER SUPPLY	EL, ELEV	ELEVATION	HH	HANDHOLE	%	PERCENT	SHT	SHEET	UG	UNDERGROUND
CI	CURB INLET	ELEC	ELECTRICAL	HORIZ	HORIZONTAL	PC	POINT OF CURVATURE	SIM	SIMILAR	UP	UTILITY POLE
CIP	CAST IRON PIPE	ESC	EROSION & SEDIMENT CONTROL	HW	HOT WATER	PCC	POINT OF CHANGE IN CURVATURE	SL	SLOPE	UT	UNDERGROUND TELEPHONE
CL	CENTER LINE	EOC	EDGE OF CURB	PE	POLYETHYLENE	PL	PLATE, PROPERTY LINE	SP	STEP POOL	VALV	VALVE
CLR	CLEAR, CLEARANCE	EOP	EDGE OF PAVEMENT	INT	INTERSECTION	PLT	PLANT	SPEC	SPECIFICATION	VCP	VITRIFIED CLAY PIPE
CMP	CORRUGATED METAL PIPE	EP	END POINT	INV	INVERT ELEVATION	POC	POINT ON CURVE	SMP	SAMPLE	VERT	VERTICAL
CNC, CONC	CONCRETE	EQ	EQUAL	ID	INSIDE DIAMETER	PVC	POLYVINYL CHLORIDE PIPE	SO	SQUARE	VTP	VITRIFIED TILE PIPE
CO	CLEAN OUT	EQUIP	EQUIPMENT	JT	JOINT	RET	RETAINING	SS, SST	STAINLESS STEEL	W, WATR	WATER
CONF	CONIFEROUS	EW	END WALL	LG	LENGTH	REF	REFERENCE	SSWR	SANITARY SEWER	WI	WITH
CONN	CONNECTION	EXIST	EXISTING	LB	POUND	STA	STATION	STA	STATION	WT	WEIGHT
CONT	CONTROL	FDN	FOUNDATION	LOD	LIMITS OF DISTURBANCE	RAD	RADIUS	ST, STRM	STORM	WD	WIDE
CPP	CORRUGATED PLASTIC PIPE	FH	FIRE HYDRANT	LP	LIGHT POLE	REINF	REINFORCING, REINFORCEMENT	STD	STANDARD	YD	YARD
CTR	CENTERED	FIN	FINISHED	LT	LEFT	REQD	REQUIRED	STL	STEEL		

NOTE: THIS ABBREVIATION LIST IS GENERAL IN NATURE. NOT ALL ABBREVIATIONS MAY BE ARE USED IN THIS SET OF CONTRACT DRAWINGS.



C&S Architects, Engineers & Landscape Architect, PLLC
499 Col. Eileen Collins Blvd.
Syracuse, New York 13212
Phone: 315-455-2000
Fax: 315-455-9667
www.cscos.com



SHA - NEW CENTRAL OFFICES
500-02 BURT STREET
SYRACUSE, NEW YORK 13202

C1 ABBREVIATIONS
SCALE: NOT TO SCALE

- GENERAL NOTES:**
- A TOPOGRAPHIC SURVEY WAS PROVIDED BY PAUL JAMES OLSZEWSKI, P.L.S., PLLC, DATED MAY 3RD, 2024. NO ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING UTILITIES AND THE LOCATION OF THOSE SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE TRUE LOCATION BEFORE COMMENCING WORK. BEFORE ANY PIPE IS PLACED THE CONTRACTOR SHALL UNCOVER ALL UTILITIES AT PIPE CROSSINGS TO ENABLE THE ENGINEER TO VERIFY THAT THE PROPOSED PIPE WITH GRADES SHOWN ON THE PLANS IS NOT OBSTRUCTED BY EXISTING UTILITIES. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THIS CONTRACT.
 - CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK AT LEAST 72 HOURS PRIOR TO START OF WORK.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH UTILITY COMPANIES.
 - IN THE EVENT THAT THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES, THEY SHALL IMMEDIATELY NOTIFY THE OWNER AND THE AFFECTED UTILITIES REPRESENTATIVE OF SUCH DAMAGE. ANY DAMAGE SHALL PROMPTLY AND SATISFACTORILY BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES ENCOUNTERED IN THIS WORK. WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE TIMBER, PLANK OR OTHER APPROVED MATERIALS AND SECURELY BRACE AND PROTECT THESE UTILITIES. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR VARIOUS ITEMS IN THE CONTRACT.
 - THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SUPPORTS, BRACING AND OTHER DEVICES AS MAY BE REQUIRED OR AS DIRECTED BY THE ENGINEER TO PROTECT THE SAFETY OF THE ADJACENT STRUCTURES, ROADWAY AND UTILITIES. ALL COSTS SHALL BE INCLUDED IN VARIOUS ITEMS IN THE CONTRACT.
 - CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT PRIOR TO PAVEMENT REMOVAL.
 - ALL PAVEMENT VOIDS, CREATED AFTER REMOVAL, SHALL BE FILLED TO MATCH EXISTING GRADE (GRADE TO DRAIN) WITH COMPACTED TYPE A2 AGGREGATE OR APPROVED EQUAL ALL UNSUITABLE SPOIL MATERIAL, SUCH AS CONCRETE AND ASPHALT AND EXCAVATED MATERIAL, SHALL BE DISPOSED OF OFF-SITE.
 - ALL DISTURBED AREAS SHALL BE GRADED TO PROVIDE A SMOOTH MAINTAINABLE SURFACE AND ALLOW FOR POSITIVE DRAINAGE.
 - CONTRACTOR SHALL TOPSOIL (4" MIN.), SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS.
 - IT WILL BE THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO USE METHODS AND EQUIPMENT WHICH WILL INSURE THE SATISFACTORY COMPLETION OF THE REQUIRED WORK WITHIN THE CONTRACT TIME ALLOWED.
 - THE CONTRACTOR MUST BE ACQUAINTED WITH THE DRAINAGE CHARACTERISTICS OF THE AREA SO THAT THEY WILL PROGRESS THEIR WORK EFFICIENTLY WITH FULL KNOWLEDGE OF THE POTENTIAL DRAINAGE PROBLEMS.
 - ALL EXISTING DRAINAGE SYSTEMS, INCLUDING DITCHES AND CULVERTS, WITHIN THE CONTRACT LIMITS SHALL BE CLEANED AND KEPT CLEAN AND FREE FLOWING FOR THE DURATION OF THE CONTRACT. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR VARIOUS ITEMS IN THIS CONTRACT.
 - THE CONTRACTOR SHALL BE REQUIRED TO PROTECT THEIR WORKERS AT ALL TIMES IN CONFORMANCE WITH APPLICABLE OSHA REGULATIONS.

- GENERAL NOTES (CONT.):**
- THE CONTRACTOR'S STAGING AREA SHALL BE COORDINATED WITH THE OWNER PRIOR TO THE START OF WORK.
 - CONTRACTOR SHALL UTILIZE THE PROPOSED ACCESS ROUTE FOR ACCESS TO THE SITE. CONTRACTOR SHALL CLEAN PAVEMENT AS REQUIRED.
 - IF CONTRACTOR ENCOUNTERS ANY SUSPECT HAZARDOUS OR CONTAMINATED MATERIALS, THEY ARE TO STOP WORK AND NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY.
 - CONTRACTOR SHALL INCLUDE THE COST TO PERFORM 20 UNDERGROUND UTILITY TEST PITS, AS OUTLINED IN SPEC SECTION 310100, TO CONFIRM THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, MOST NOTABLY AT UTILITY CROSSINGS, TIE-INS, AND LOCATIONS WHERE NEW IMPROVEMENTS ARE IN CLOSE PROXIMITY TO THE EXISTING UTILITY.
 - THE GENERAL CONTRACTOR WILL BE REQUIRED TO COORDINATE WITH THE WORK OF THE OTHER PRIME CONTRACTORS. REFER TO THE PROJECT MANUAL FOR MORE INFORMATION.
- CONSTRUCTION SEQUENCING PLAN:**
- SCHEDULE A PRE-CONSTRUCTION MEETING THAT SHALL BE ATTENDED BY THE QUALIFIED INSPECTOR, AND INVOLVED SUBCONTRACTORS TO DISCUSS RESPONSIBILITIES AS THEY RELATE TO THE IMPLEMENTATION OF THE SWPPP MEASURES TO AVOID AND MINIMIZE IMPACTS TO PROTECTED SPECIES DURING REMEDIATION, DEMOLITION, AND CONSTRUCTION.
 - INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS.
 - INSTALL ALL SILT/ CONSTRUCTION FENCE FOR THE PROJECT AS SHOWN ON THE PLANS INCLUDING THE INSTALLATION OF SILT FENCE SURROUNDING THE PERIMETER OF THE SOIL STOCKPILE, STAGING AREA, AND AT THE DOWN GRADIENT SIDE OF ALL DISTURBANCE AREAS.
 - DELINEATE THE LIMITS OF DISTURBANCE FOR THE PROJECT.
 - THE CONTRACTOR SHALL ESTABLISH A LOCATION FOR THE STAGING AREA AND SOIL STOCKPILE. THE CONTRACTOR SHALL HAVE THE LOCATIONS REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE.
 - SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR THE FOLLOWING: INSTALLATION OF THE STABILIZED FACILITY ENTRANCE, PLACEMENT OF THE CONSTRUCTION OFFICE TRAILER AND PARKING AREAS, PLACEMENT OF TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES, CONSTRUCTION STAGING AREA, THE SOIL STOCKPILE, AND THE AREAS IDENTIFIED TO BE GRADED.
 - PERFORM ROUGH GRADING AND INSTALL UTILITIES.
 - COMPLETE FACILITY AND SITE AMENITY CONSTRUCTION.
 - COMPLETE FINAL GRADING AND SITE STABILIZATION.
 - PROVIDE TEMPORARY SEEDING AND STABILIZATION MEASURES OF ANY DISTURBED AREAS IN ACTIVE AREAS ON THE NEXT BUSINESS DAY AND COMPLETED IN FOURTEEN DAYS.
 - COMPLETE OVERALL ON-SITE STABILIZATION.
 - UPON ESTABLISHMENT OF SUBSTANTIAL VEGETATIVE COVER (85% MIN.) REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS. SEED AND MULCH THE REMAINING DISTURBED AREAS (RESULTING FROM TEMPORARY EROSION CONTROL MEASURE REMOVAL).
 - UPON FINAL STABILIZATION, AND CERTIFICATION BY THE CITY OF SYRACUSE, THE NYSDEC, AND THE QUALIFIED PROFESSIONAL RETAINED TO PERFORM THE REQUIRED SITE INSPECTIONS, THE OWNER SHALL FILE THE NOTICE OF TERMINATION (NOT) WITH THE NYSDEC.
 - REMOVE TEMPORARY SEDIMENT CONTROLS.
 - REMOVE SILT FENCING ONLY AFTER DISTURBED SURFACES ARE STABILIZED.

- SOIL AND EROSION CONTROL NOTES:**
- REFER TO THE SPECIFICATIONS AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR ADDITIONAL REQUIREMENTS. THE CONTRACTOR SHALL STRICTLY ADHERE TO THE REQUIREMENTS OF THE SWPPP DURING CONSTRUCTION OPERATIONS. ADDITIONAL EROSION CONTROL MEASURES MAY BE NECESSARY, IF DEEMED BY THE ONSITE SWPPP INSPECTION REPORTS.
 - SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED AND FULLY FUNCTIONAL PRIOR TO ANY SITE DISTURBANCE. SOIL EROSION AND SEDIMENT CONTROL FACILITIES ARE TO BE MAINTAINED DURING CONSTRUCTION AND REMOVED UPON COMPLETION OF CONSTRUCTION.
 - ALL ROADWAYS SHALL BE KEPT CLEAN OF MUD AND DEBRIS. FILL SHALL NOT BE SPILLED ONTO ROADWAY. ALL SPILLED MATERIALS SHALL BE PROMPTLY REMOVED.
 - CONSTRUCTION VEHICLES SHALL ONLY ACCESS THE SITE OFF OF VAN BUREN ST.
 - THE AREAS OF CONSTRUCTION SHALL BE LEFT IN STABLE CONDITION AT THE CLOSE OF EACH CONSTRUCTION DAY.
 - STORM INLETS SHALL BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION BY USE OF INLET PROTECTION OR OTHER APPROVED MEANS.
 - SOIL STOCKPILE AREAS ARE TO BE IMMEDIATELY SURROUNDED WITH SILT FENCING, OR OTHER EROSION CONTROL MEASURES OR AS ORDERED BY THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR TO PROVIDE APPROVED DUST CONTROL MEASURES. THE CONTRACTOR SHALL HAVE A WATER TRUCK OR OTHER ACCEPTABLE MEANS OF CONTROLLING DUST AVAILABLE AT ALL TIMES.
 - ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AS OUTLINED IN THE APPROVED SWPPP FOR THE PROJECT. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY TO ENSURE FUNCTIONALITY.
 - CONTRACTOR SHALL TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS WITHIN 7 DAYS OF INACTIVITY.

B1 SITE GENERAL NOTES
SCALE: NOT TO SCALE

EXISTING FEATURES:

	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	EXISTING PROPERTY LINE BOUNDARY
	EXISTING FENCE
	EXISTING FIRE HYDRANT
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING UTILITY POLE
	SANITARY MANHOLE
	CATCH BASIN
	EXISTING VALVE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING ELECTRIC LINE
	ELECTRICAL MANHOLE
	EXISTING TREE

PROPOSED FEATURES:

	PROPOSED MAJOR CONTOURS		PROPOSED POTABLE WATER LINE
	PROPOSED MINOR CONTOURS		PROPOSED FIRE WATER LINE
	PROPOSED GRASS PLANTINGS		PROPOSED LIMITS OF DISTURBANCE
	PROPOSED CONCRETE		PROPOSED CONSTRUCTION FENCING
	PROPOSED BUILDING		PROPOSED STONE MULCH
	PROPOSED ASPHALT		PROPOSED GRASS PAVERS
	PROPOSED SPOT ELEVATION		
	PROPOSED STORM LINE		
	PROPOSED SANITARY SEWER LINE		
	PROPOSED DRAINAGE MANHOLE		
	PROPOSED DEMO WORK		

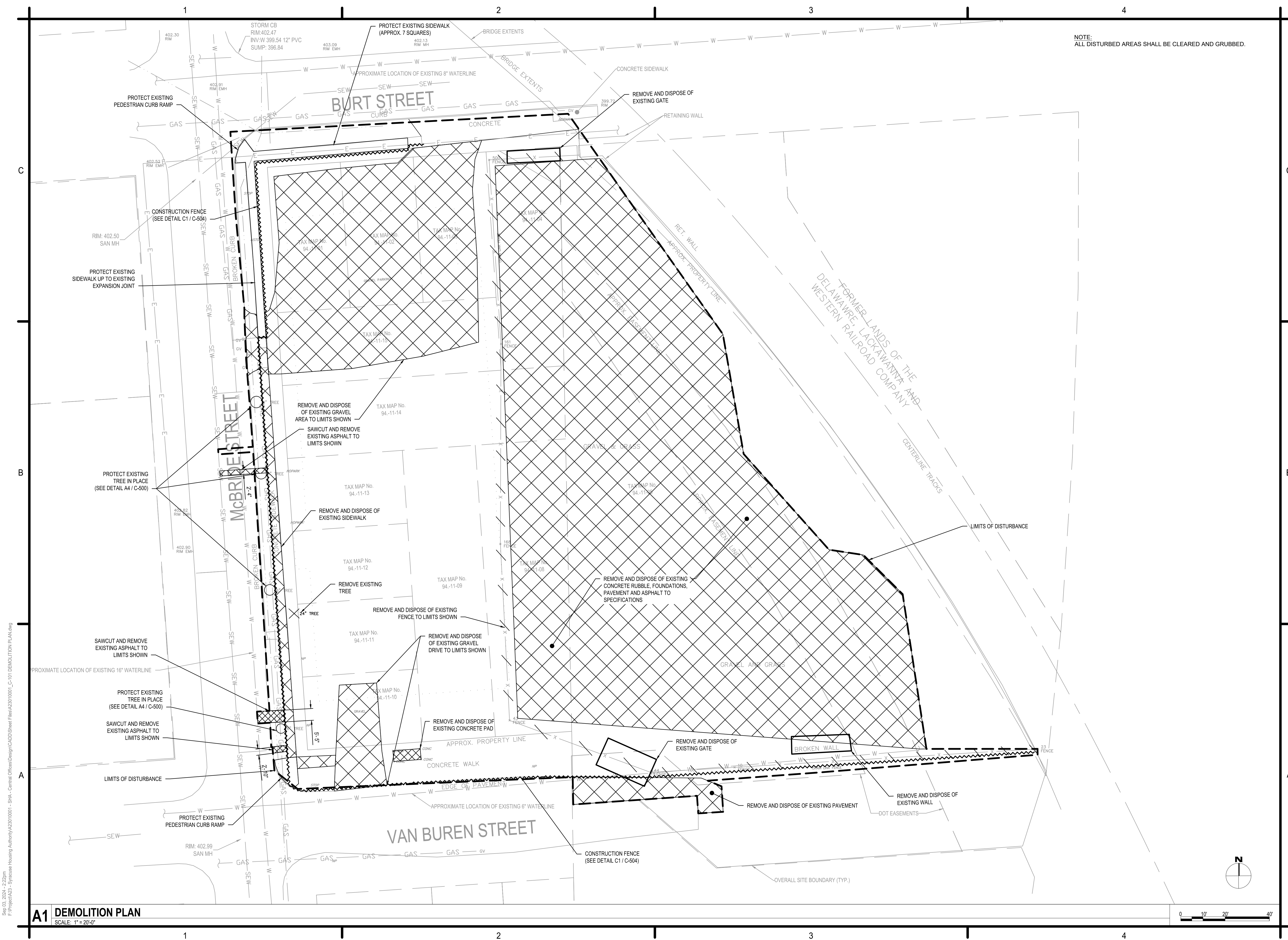
A1 LEGEND
SCALE: NOT TO SCALE

A2 PROPOSED LEGEND
SCALE: NOT TO SCALE

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	A23.010.001	
DATE:	25 AUG 2024	
DRAWN BY:	M. GALLEGOS, E.I.T.	
DESIGNED BY:	E. AVERSA, P.E.	
CHECKED BY:	- E. AVERSA, P.E.	
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.		

GENERAL NOTES

C-001



NOTE:
ALL DISTURBED AREAS SHALL BE CLEARED AND GRUBBED.



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SYRACUSE, NEW YORK 13202**

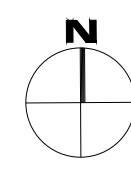
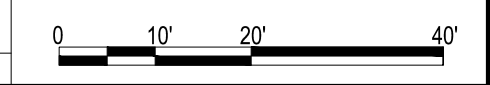
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	A23.010.001	
DATE:	3 SEP 2024	
DRAWN BY:	E. AVERSA, P.E.	
DESIGNED BY:	E. AVERSA, P.E.	
CHECKED BY:	E. AVERSA, P.E.	
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.		

DEMOLITION PLAN

C-101

Sep 03, 2024 - 2:22pm
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A1 DEMOLITION PLAN
SCALE: 1" = 20'-0"





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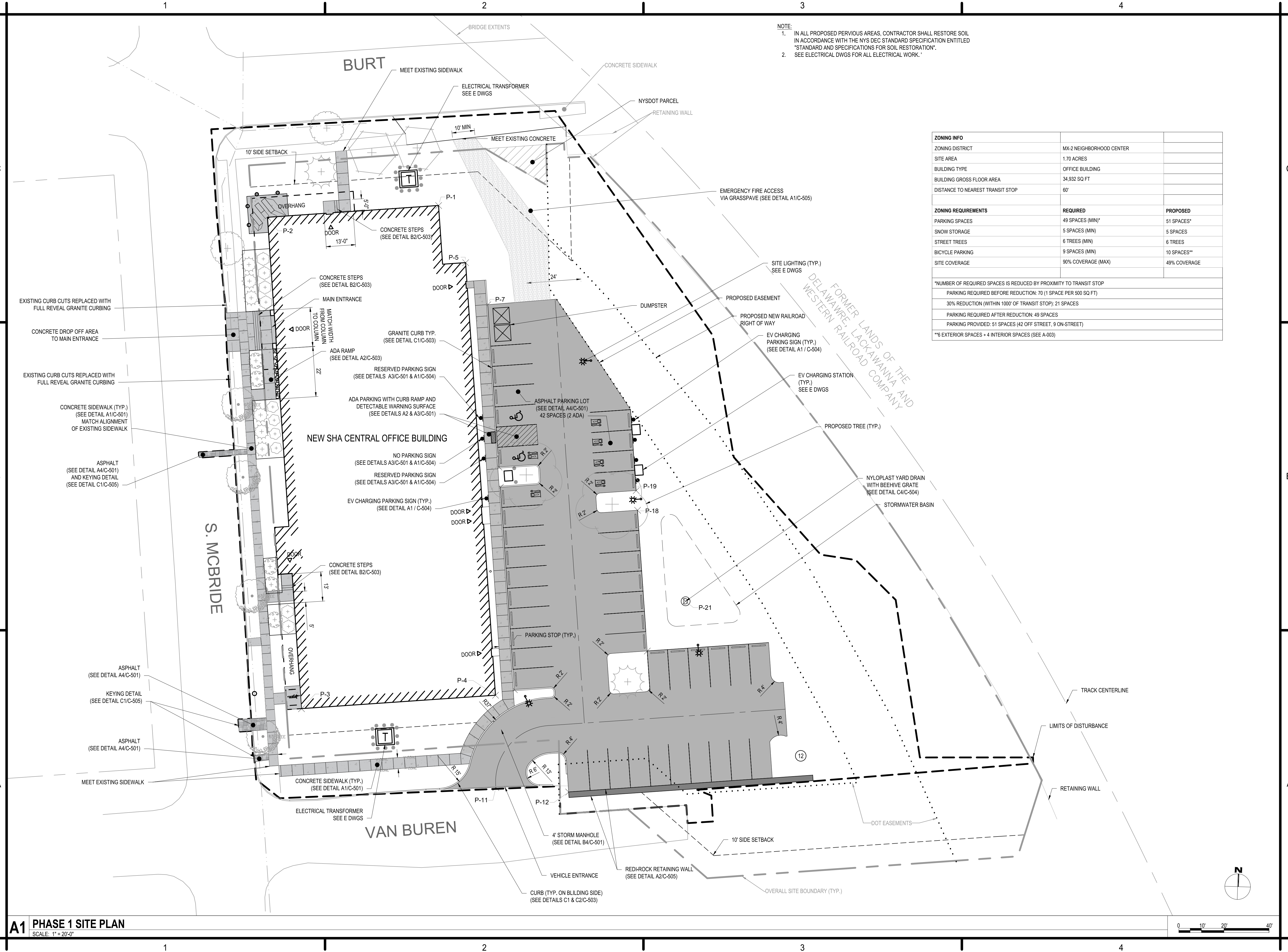


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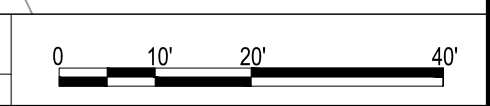
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: A23.010.001		
DATE: 3 SEP 2024		
DRAWN BY: M. GALLEGOS, E.I.T.		
DESIGNED BY: E. AVERSA, P.E.		
CHECKED BY: M. GRIDLEY, R.L.A.		
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.		

- NOTE:
1. IN ALL PROPOSED PERVIOUS AREAS, CONTRACTOR SHALL RESTORE SOIL IN ACCORDANCE WITH THE NYS DEC STANDARD SPECIFICATION ENTITLED "STANDARD AND SPECIFICATIONS FOR SOIL RESTORATION".
 2. SEE ELECTRICAL DWGS FOR ALL ELECTRICAL WORK.

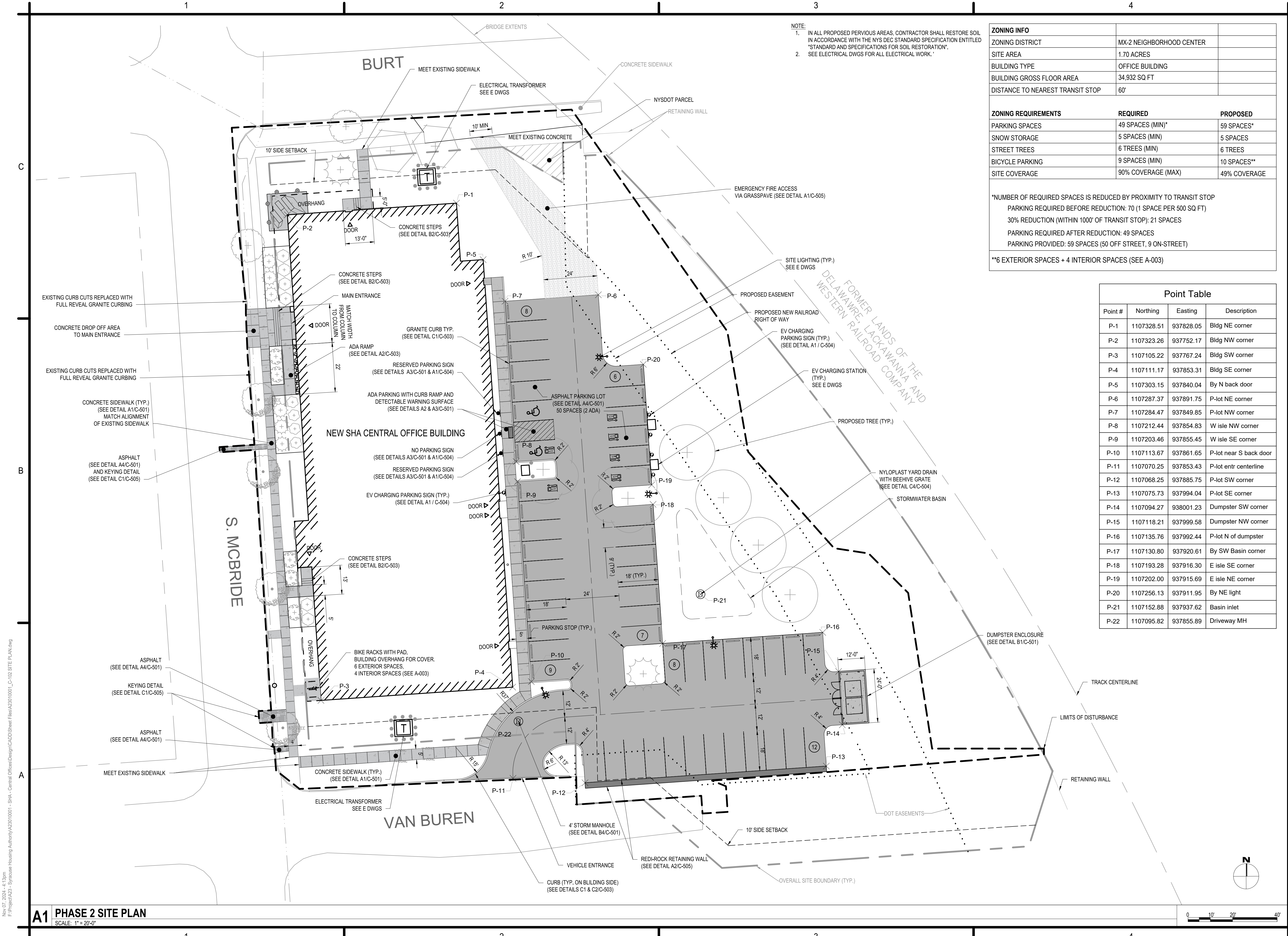
ZONING INFO		
ZONING DISTRICT	MX-2 NEIGHBORHOOD CENTER	
SITE AREA	1.70 ACRES	
BUILDING TYPE	OFFICE BUILDING	
BUILDING GROSS FLOOR AREA	34,932 SQ FT	
DISTANCE TO NEAREST TRANSIT STOP	60'	
ZONING REQUIREMENTS		
	REQUIRED	PROPOSED
PARKING SPACES	49 SPACES (MIN)*	51 SPACES*
SNOW STORAGE	5 SPACES (MIN)	5 SPACES
STREET TREES	6 TREES (MIN)	6 TREES
BICYCLE PARKING	9 SPACES (MIN)	10 SPACES**
SITE COVERAGE	90% COVERAGE (MAX)	49% COVERAGE
*NUMBER OF REQUIRED SPACES IS REDUCED BY PROXIMITY TO TRANSIT STOP		
PARKING REQUIRED BEFORE REDUCTION: 70 (1 SPACE PER 500 SQ FT)		
30% REDUCTION (WITHIN 1000' OF TRANSIT STOP): 21 SPACES		
PARKING REQUIRED AFTER REDUCTION: 49 SPACES		
PARKING PROVIDED: 51 SPACES (42 OFF STREET, 9 ON-STREET)		
**6 EXTERIOR SPACES + 4 INTERIOR SPACES (SEE A-003)		



A1 PHASE 1 SITE PLAN
 SCALE: 1" = 20'-0"



Nov 07, 2024, 4:15pm
 P:\Projects\2024\Syracuse Housing Authority\A23\010\001 - SHA - Central Offices\Design\CADD\Sheet Files\A23\010\001_C-102 SITE PLAN_PHASE 1.dwg



NOTE:
 1. IN ALL PROPOSED PERVIOUS AREAS, CONTRACTOR SHALL RESTORE SOIL IN ACCORDANCE WITH THE NYS DEC STANDARD SPECIFICATION ENTITLED "STANDARD AND SPECIFICATIONS FOR SOIL RESTORATION".
 2. SEE ELECTRICAL DWGS FOR ALL ELECTRICAL WORK.

ZONING INFO		
ZONING DISTRICT	MX-2 NEIGHBORHOOD CENTER	
SITE AREA	1.70 ACRES	
BUILDING TYPE	OFFICE BUILDING	
BUILDING GROSS FLOOR AREA	34,932 SQ FT	
DISTANCE TO NEAREST TRANSIT STOP	60'	

ZONING REQUIREMENTS	REQUIRED	PROPOSED
PARKING SPACES	49 SPACES (MIN)*	59 SPACES*
SNOW STORAGE	5 SPACES (MIN)	5 SPACES
STREET TREES	6 TREES (MIN)	6 TREES
BICYCLE PARKING	9 SPACES (MIN)	10 SPACES**
SITE COVERAGE	90% COVERAGE (MAX)	49% COVERAGE

*NUMBER OF REQUIRED SPACES IS REDUCED BY PROXIMITY TO TRANSIT STOP
 PARKING REQUIRED BEFORE REDUCTION: 70 (1 SPACE PER 500 SQ FT)
 30% REDUCTION (WITHIN 1000' OF TRANSIT STOP): 21 SPACES
 PARKING REQUIRED AFTER REDUCTION: 49 SPACES
 PARKING PROVIDED: 59 SPACES (50 OFF STREET, 9 ON-STREET)

**6 EXTERIOR SPACES + 4 INTERIOR SPACES (SEE A-003)

Point Table			
Point #	Northing	Easting	Description
P-1	1107328.51	937828.05	Bldg NE corner
P-2	1107323.26	937752.17	Bldg NW corner
P-3	1107105.22	937767.24	Bldg SW corner
P-4	1107111.17	937853.31	Bldg SE corner
P-5	1107303.15	937840.04	By N back door
P-6	1107287.37	937891.75	P-lot NE corner
P-7	1107284.47	937849.85	P-lot NW corner
P-8	1107212.44	937854.83	W isle NW corner
P-9	1107203.46	937855.45	W isle SE corner
P-10	1107113.67	937861.65	P-lot near S back door
P-11	1107070.25	937853.43	P-lot entr centerline
P-12	1107068.25	937885.75	P-lot SW corner
P-13	1107075.73	937994.04	P-lot SE corner
P-14	1107094.27	938001.23	Dumpster SW corner
P-15	1107118.21	937999.58	Dumpster NW corner
P-16	1107135.76	937992.44	P-lot N of dumpster
P-17	1107130.80	937920.61	By SW Basin corner
P-18	1107193.28	937916.30	E isle SE corner
P-19	1107202.00	937915.69	E isle NE corner
P-20	1107256.13	937911.95	By NE light
P-21	1107152.88	937937.62	Basin inlet
P-22	1107095.82	937855.89	Driveway MH



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SYRACUSE, NEW YORK 13202

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	A23.010.001	
DATE:	3 SEP 2024	
DRAWN BY:	M. GALLEGOS, E.I.T.	
DESIGNED BY:	E. AVERSA, P.E.	
CHECKED BY:	M. GRIDLEY, R.L.A.	
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.		

PHASE 2 SITE PLAN

C-102.B

Nov 07, 2024 - 4:13pm
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A1 PHASE 2 SITE PLAN
 SCALE: 1" = 20'-0"



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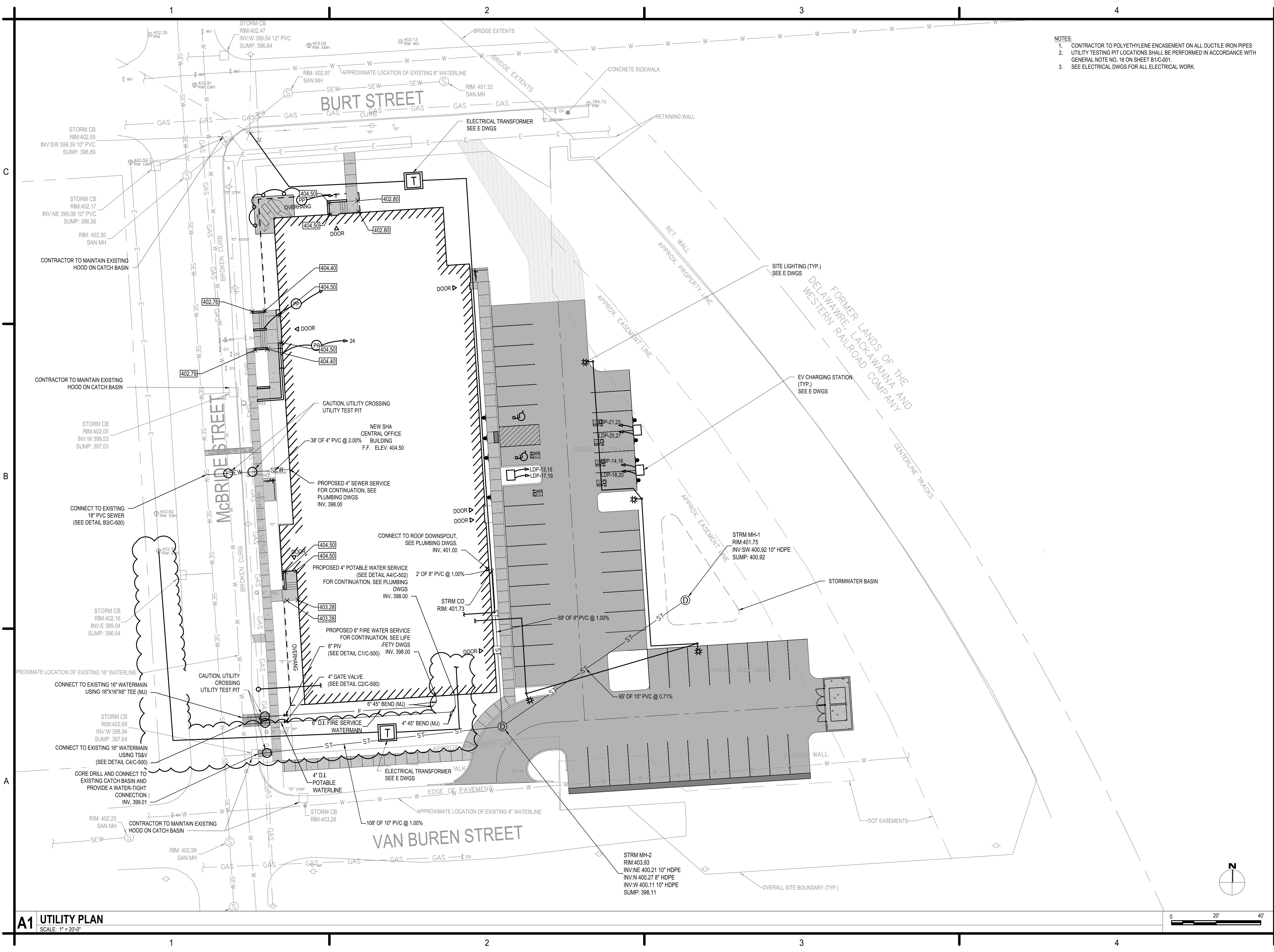
MARK	DATE	DESCRIPTION
REVISIONS		

PROJECT NO:	A23.010.001
DATE:	3 SEP 2024
DRAWN BY:	E. AVERSA, P.E.
DESIGNED BY:	E. AVERSA, P.E.
CHECKED BY:	E. AVERSA, P.E.
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.	

UTILITY PLAN

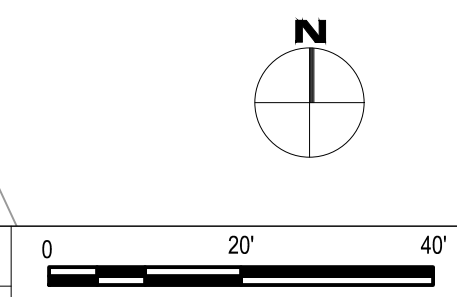
C-103

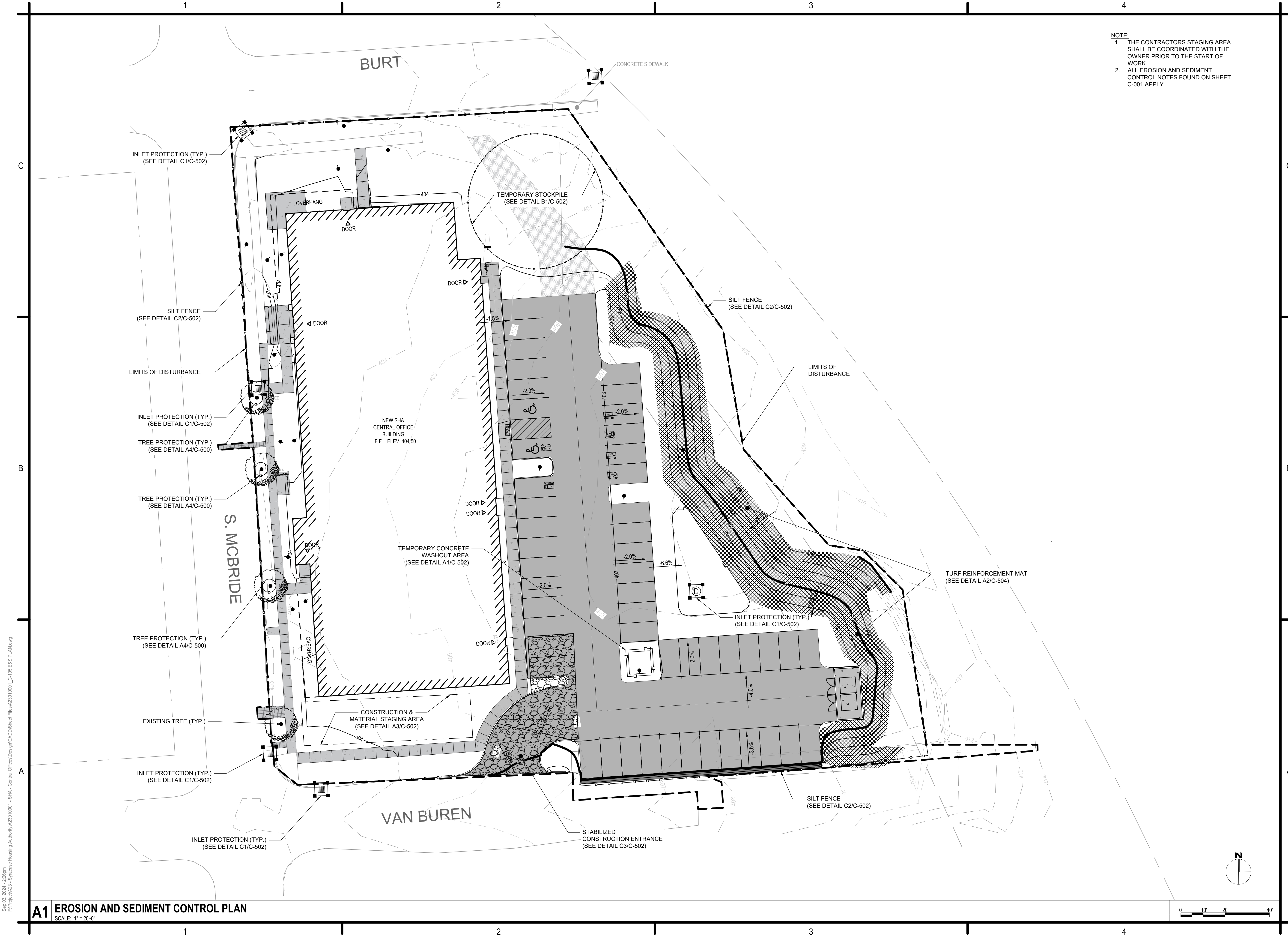
- NOTES:
1. CONTRACTOR TO POLYETHYLENE ENCASUREMENT ON ALL DUCTILE IRON PIPES
 2. UTILITY TESTING PIT LOCATIONS SHALL BE PERFORMED IN ACCORDANCE WITH GENERAL NOTE NO. 18 ON SHEET B1/C-001.
 3. SEE ELECTRICAL DWGS FOR ALL ELECTRICAL WORK.



Sep 03, 2024 - 2:25pm
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A1 UTILITY PLAN
 SCALE: 1" = 20'-0"





NOTE:
 1. THE CONTRACTORS STAGING AREA SHALL BE COORDINATED WITH THE OWNER PRIOR TO THE START OF WORK.
 2. ALL EROSION AND SEDIMENT CONTROL NOTES FOUND ON SHEET C-001 APPLY



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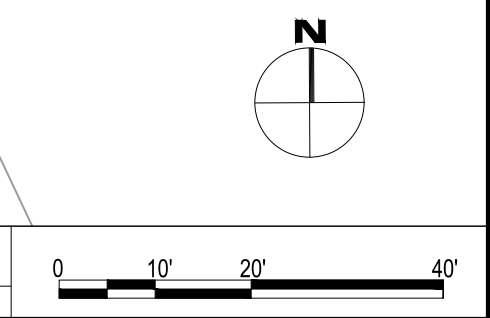
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: A23.010.001		
DATE: 3 SEP 2024		
DRAWN BY: M. GALLEGOS, E.I.T.		
DESIGNED BY: M. GALLEGOS, E.I.T.		
CHECKED BY: E. AVERSA, P.E.		
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.		

EROSION AND SEDIMENT CONTROL PLAN

C-105

Sep 03, 2024 - 2:26pm
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A1 EROSION AND SEDIMENT CONTROL PLAN
 SCALE: 1" = 20'-0"



1

2

3

4

C

B

A

C

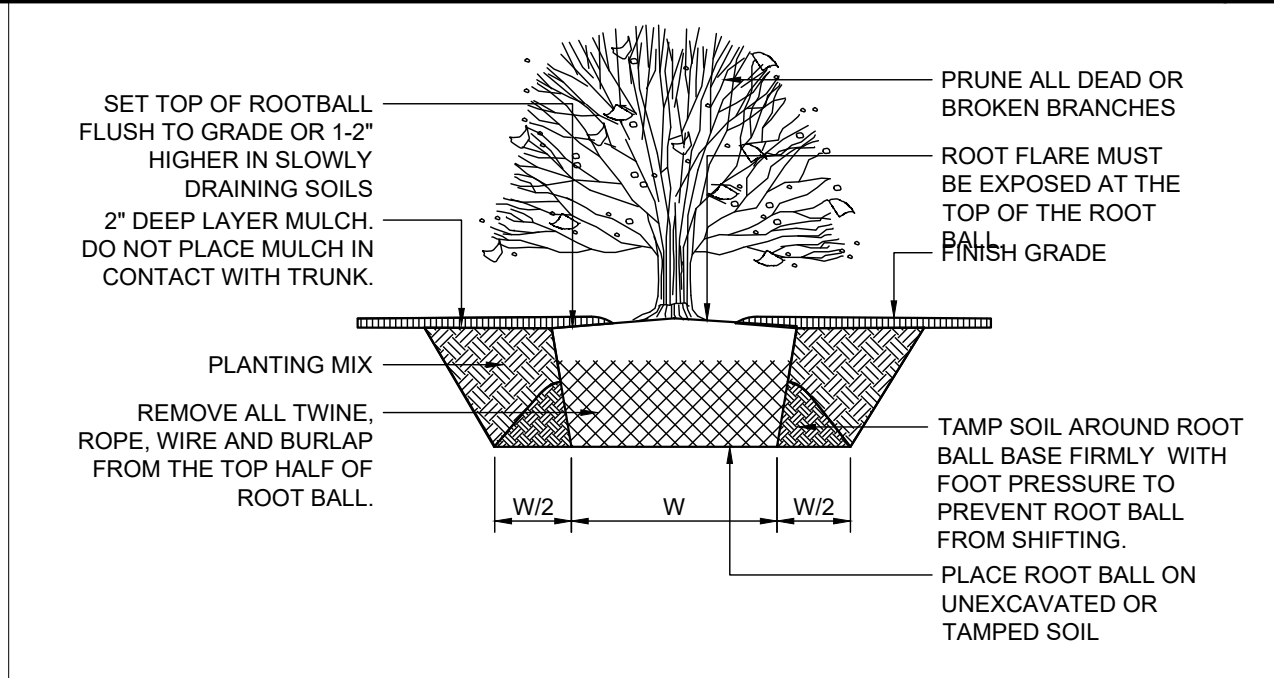
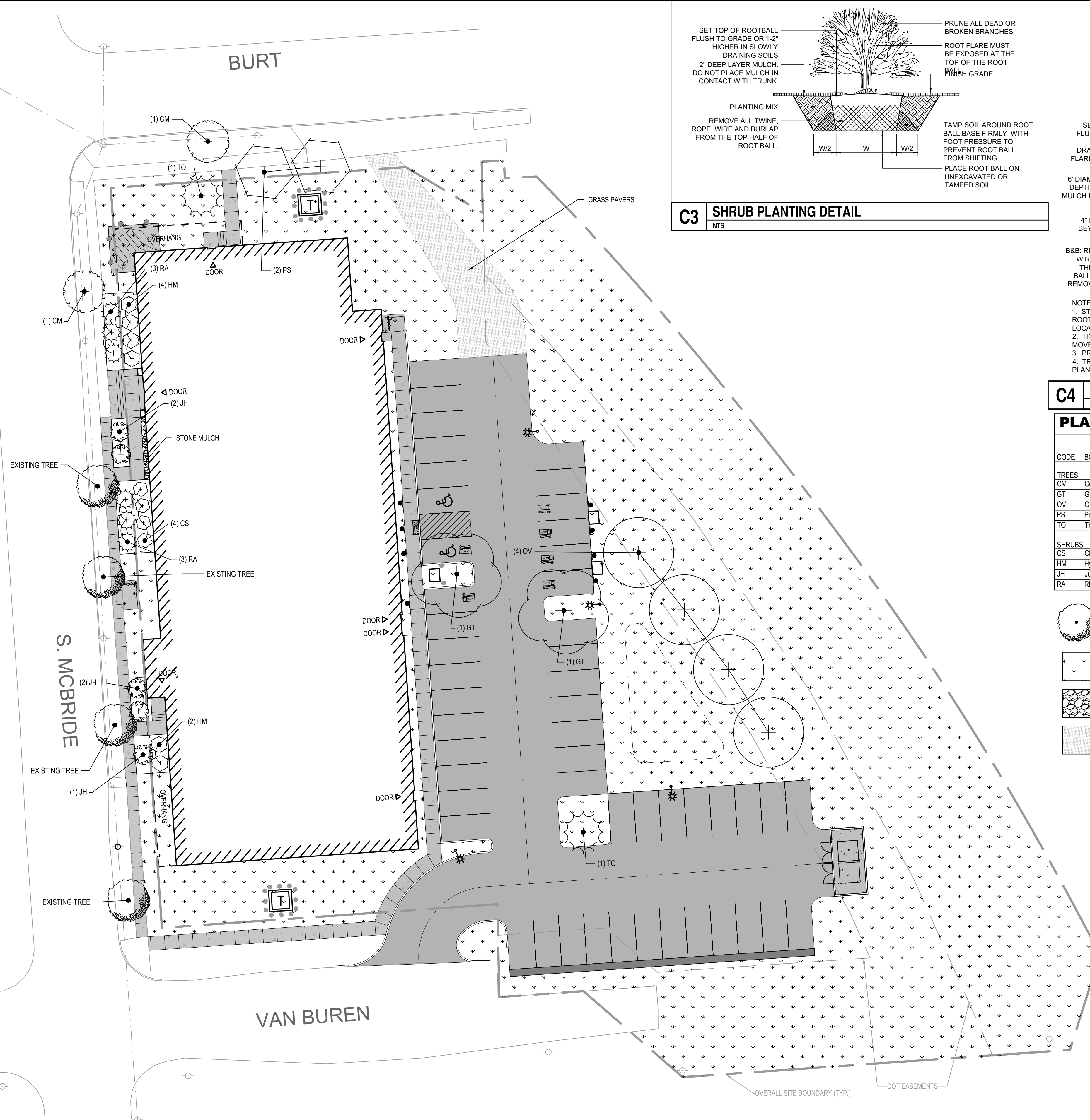
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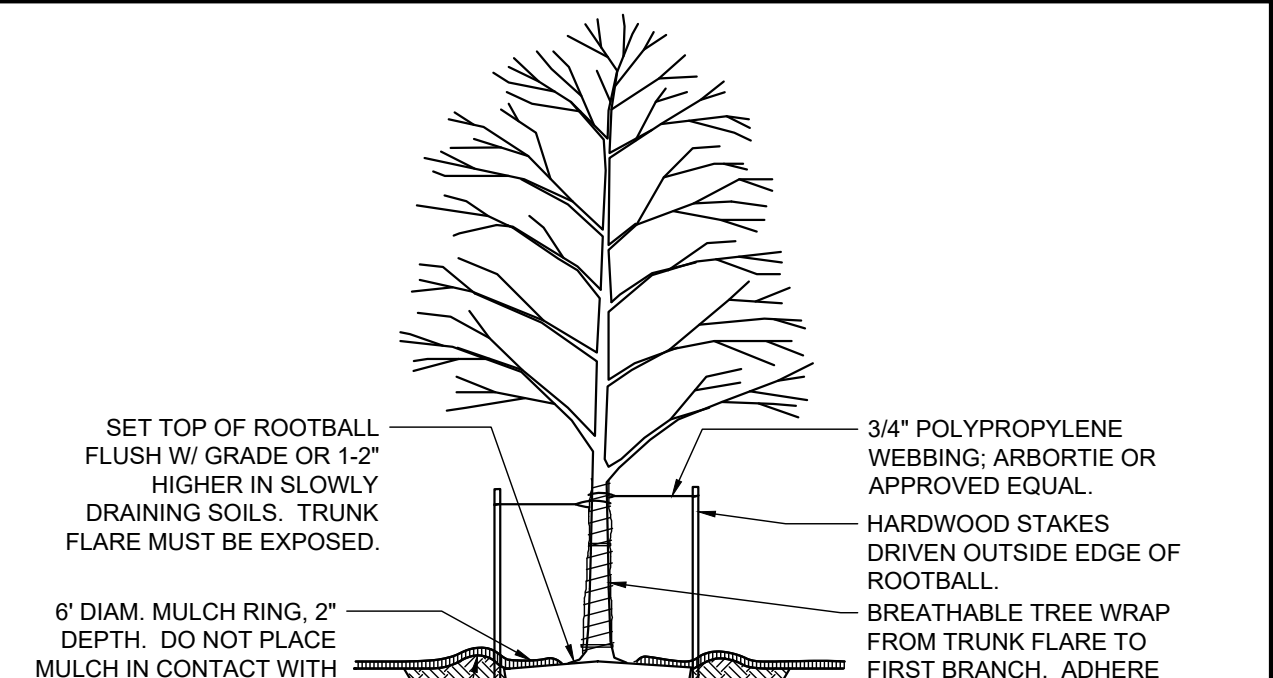
Sep 03, 2024 - 2:27pm
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A1 LANDSCAPE PLAN

SCALE: 1" = 20'-0"



C3 SHRUB PLANTING DETAIL



C4 DECIDUOUS TREE PLANTING DETAIL

NOTES:

1. STAKE TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT. STAKING WILL BE REQ'D WHEN ROOT BALLS ARE VERY SANDY OR WET CLAY, WHEN SOIL IS VERY SOFT, OR WHEN PLANTING LOCATIONS ARE WINDY.
2. TIGHTEN ARBORTIE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT.
3. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES.
4. TREE WRAP SHOULD BE INSTALLED AT TIME OF PLANTING AND REMOVED 12 MONTHS AFTER PLANTING.

PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	SIZE	ROOT	QTY
TREES				
CM	Cornus mas 'Golden Glory' / Golden Glory Cornelian Cherry	1.5" Cal.	B&B	2
GT	Gleditsia triacanthos inermis 'Skyline' / Skyline Honey Locust	2.5" Cal.	B&B	2
OV	Ostrya virginiana / American Hophornbeam	2.5" Cal.	B&B	4
PS	Prunus serrulata / Japanese Flowering Cherry	1.5" Cal.	B&B	2
TO	Thuja occidentalis / American Arborvitae	1.5" Cal.	B&B	2
SHRUBS				
CS	Chaenomeles speciosa 'Scarlet Storm' / Double Take® Scarlet Storm Flowering Quince	3 gal.	Pot	4
HM	Hydrangea macrophylla 'Big Daddy' / Big Daddy Hydrangea	3 gal.	Pot	6
JH	Juniperus horizontalis 'Hegeodus' / Good Vibrations® Gold Juniper	1" Ht.	Pot	5
RA	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.	Pot	6

C4 DECIDUOUS TREE PLANTING DETAIL

- EXISTING TREE
- PROPOSED LAWN
- PROPOSED STONE MULCH
- PROPOSED REINFORCED GRASS PAVERS



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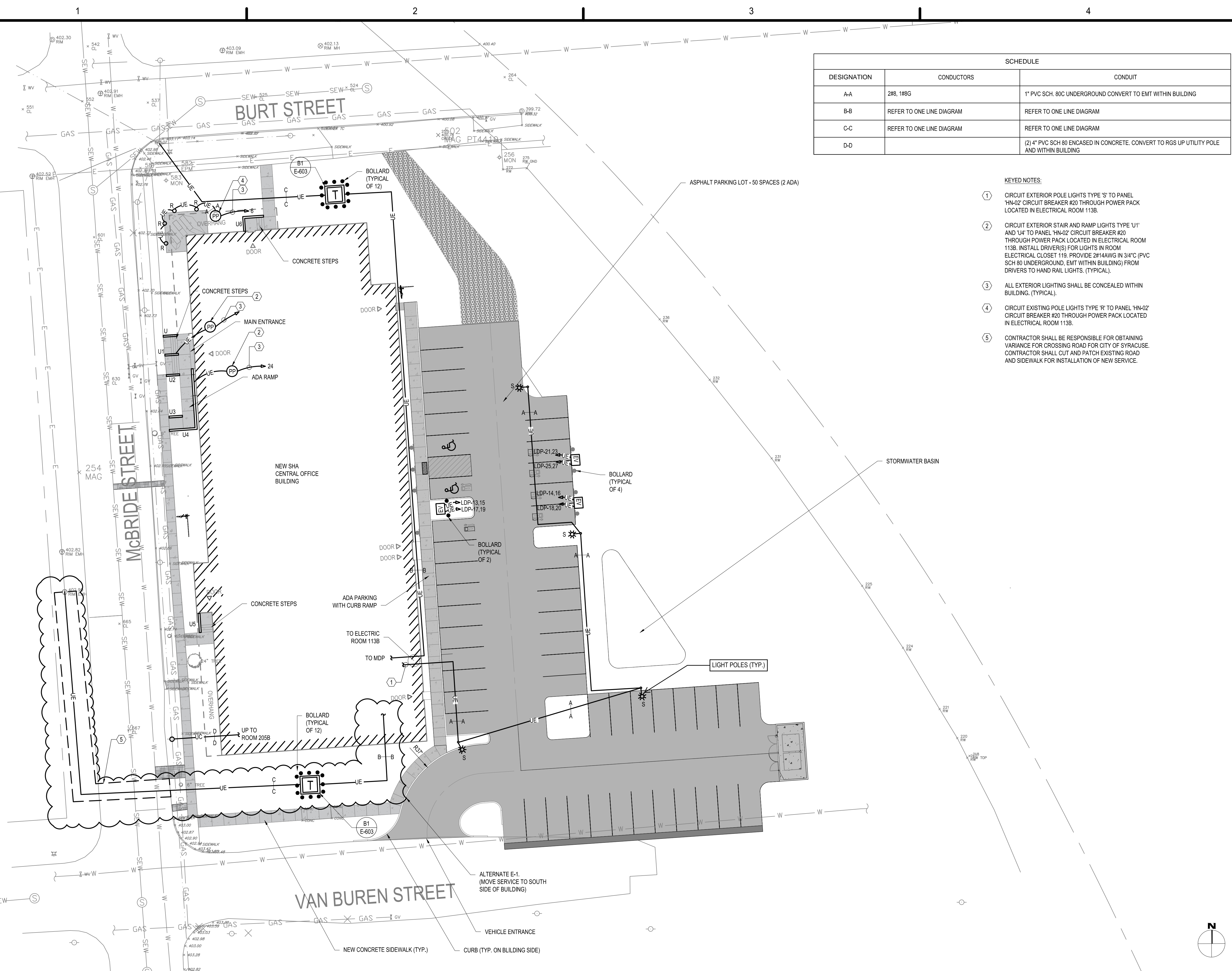
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500-02 BURT STREET
SYRACUSE, NEW YORK 13202

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	A23.010.001	
DATE:	3 SEP 2024	
DRAWN BY:	D. BALLARD	
DESIGNED BY:	M. GRIDLEY, RLA	
CHECKED BY:	M. GRIDLEY, RLA	
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.		

LANDSCAPE PLAN

C-106

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SCHEDULE		
DESIGNATION	CONDUCTORS	CONDUIT
A-A	2#8, 1#6G	1" PVC SCH. 80C UNDERGROUND CONVERT TO EMT WITHIN BUILDING
B-B	REFER TO ONE LINE DIAGRAM	REFER TO ONE LINE DIAGRAM
C-C	REFER TO ONE LINE DIAGRAM	REFER TO ONE LINE DIAGRAM
D-D		(2) 4" PVC SCH 80 ENCASED IN CONCRETE. CONVERT TO RGS UP UTILITY POLE AND WITHIN BUILDING

- KEYED NOTES:
- CIRCUIT EXTERIOR POLE LIGHTS TYPE 'S' TO PANEL 'HN-02' CIRCUIT BREAKER #20 THROUGH POWER PACK LOCATED IN ELECTRICAL ROOM 113B.
 - CIRCUIT EXTERIOR STAIR AND RAMP LIGHTS TYPE 'U1' AND 'U4' TO PANEL 'HN-02' CIRCUIT BREAKER #20 THROUGH POWER PACK LOCATED IN ELECTRICAL ROOM 113B. INSTALL DRIVER(S) FOR LIGHTS IN ROOM ELECTRICAL CLOSET 119. PROVIDE 2#14AWG IN 3/4" (PVC SCH 80 UNDERGROUND, EMT WITHIN BUILDING) FROM DRIVERS TO HAND RAIL LIGHTS. (TYPICAL).
 - ALL EXTERIOR LIGHTING SHALL BE CONCEALED WITHIN BUILDING. (TYPICAL).
 - CIRCUIT EXISTING POLE LIGHTS TYPE 'R' TO PANEL 'HN-02' CIRCUIT BREAKER #20 THROUGH POWER PACK LOCATED IN ELECTRICAL ROOM 113B.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING VARIANCE FOR CROSSING ROAD FOR CITY OF SYRACUSE. CONTRACTOR SHALL CUT AND PATCH EXISTING ROAD AND SIDEWALK FOR INSTALLATION OF NEW SERVICE.



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SYRACUSE, NEW YORK 13202

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	A23.010.001	
DATE:	23 AUG 2024	
DRAWN BY:	A. KLYMKOW	
DESIGNED BY:	P. MAHANEY	
CHECKED BY:	R. GLEASON, P.E.	

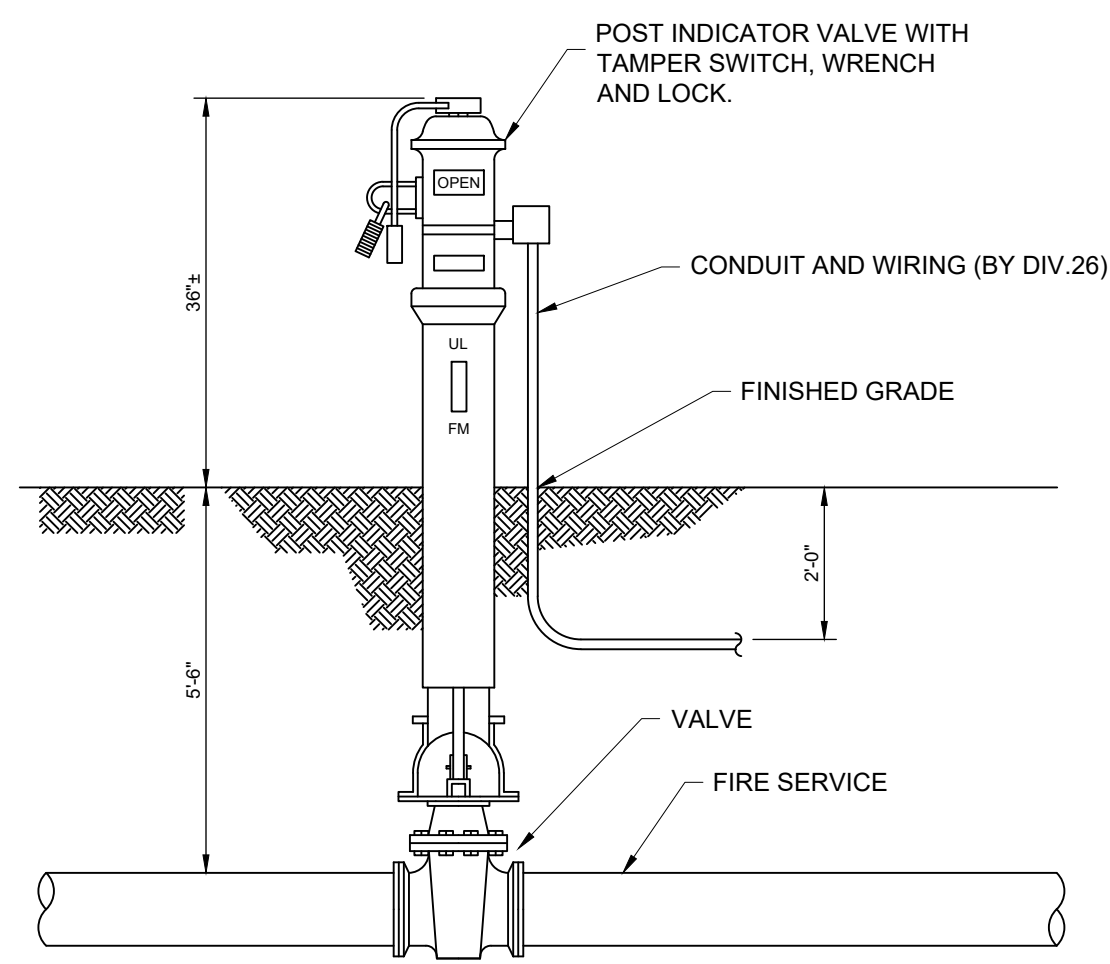
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW

ELECTRICAL SITE PLAN

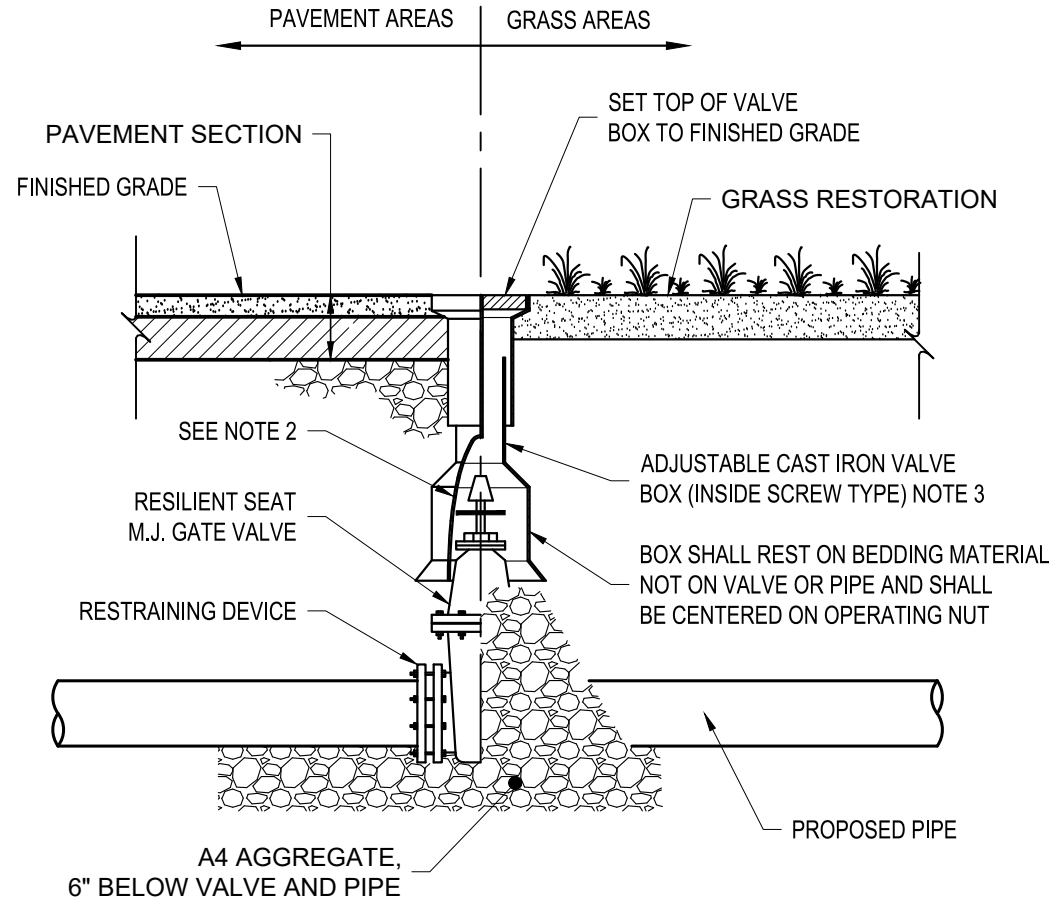
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Aug 23, 2024, 2:48pm
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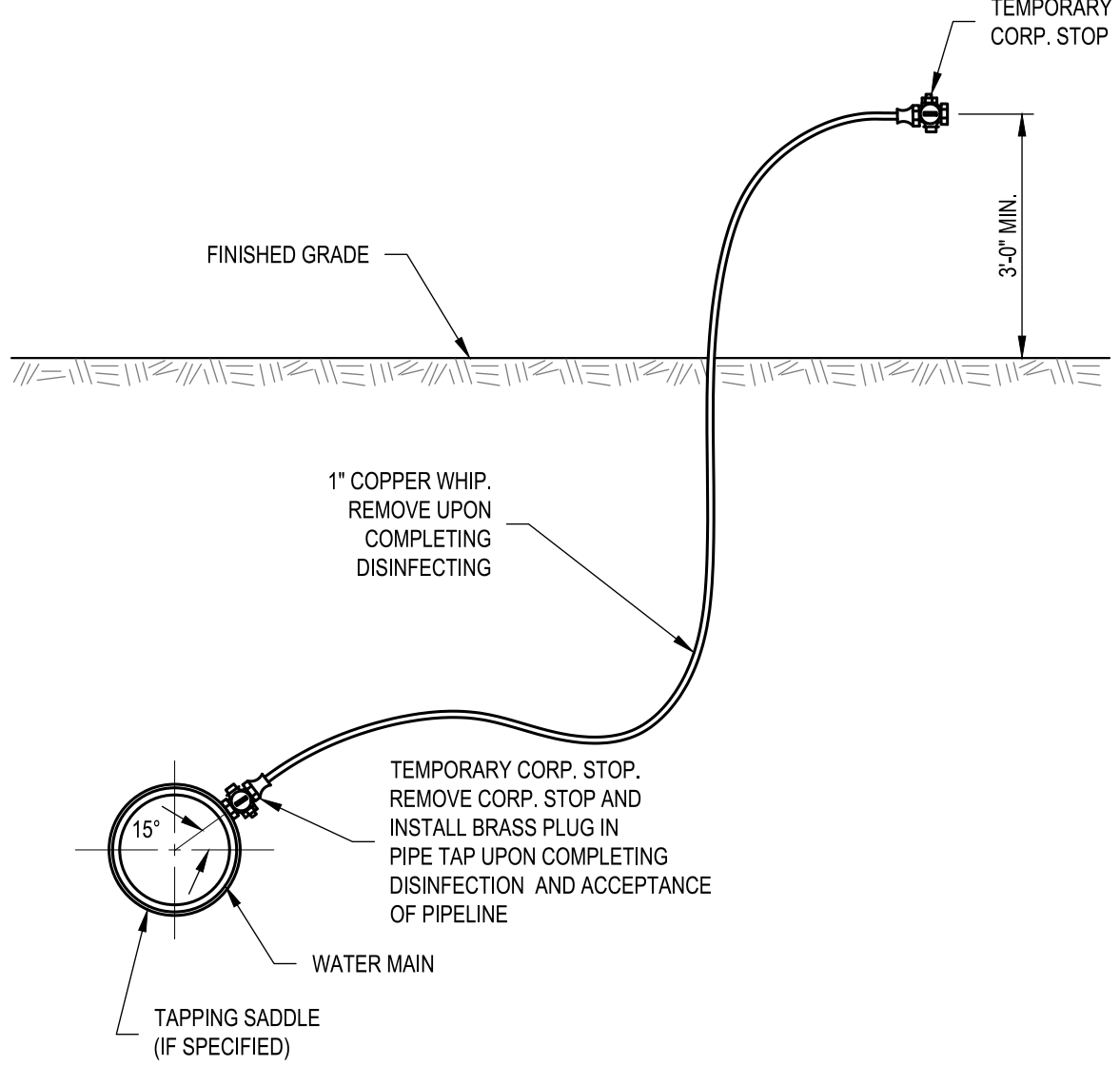
A1 SITE PLAN
 SCALE: 1" = 20'-0"



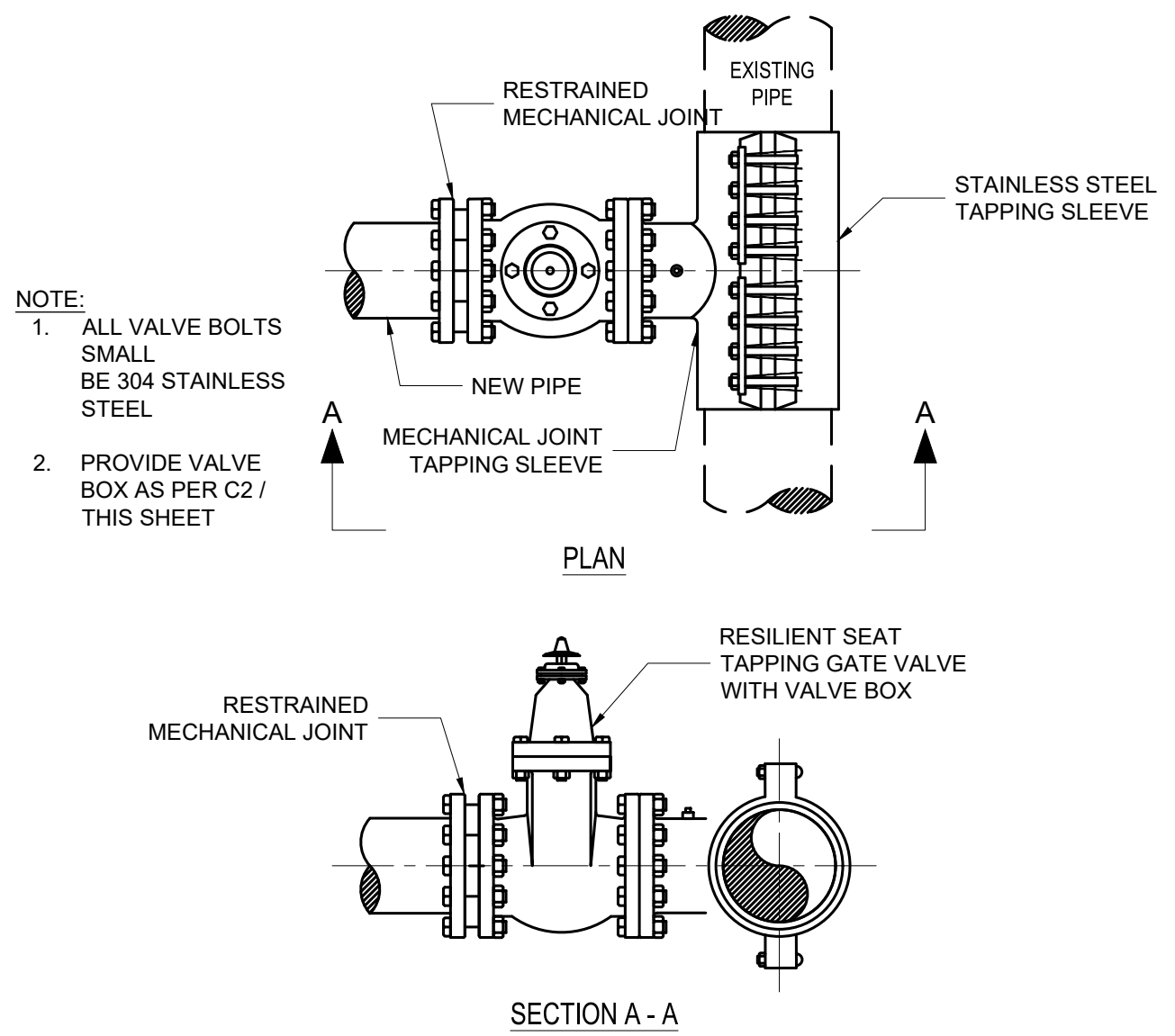
C1 POST INDICATOR VALVE
SCALE: NOT TO SCALE



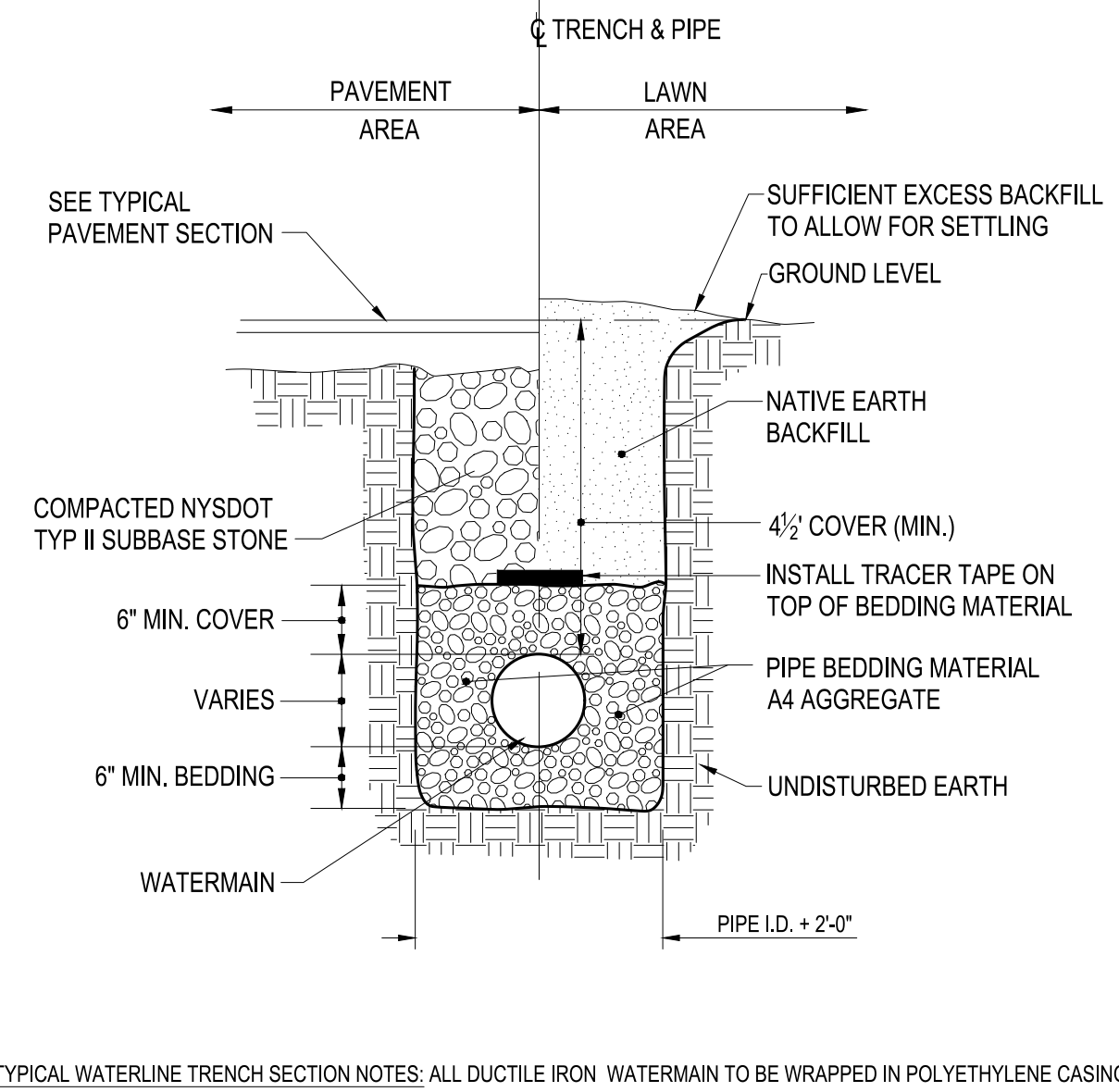
C2 GATE VALVE DETAIL
SCALE: NOT TO SCALE



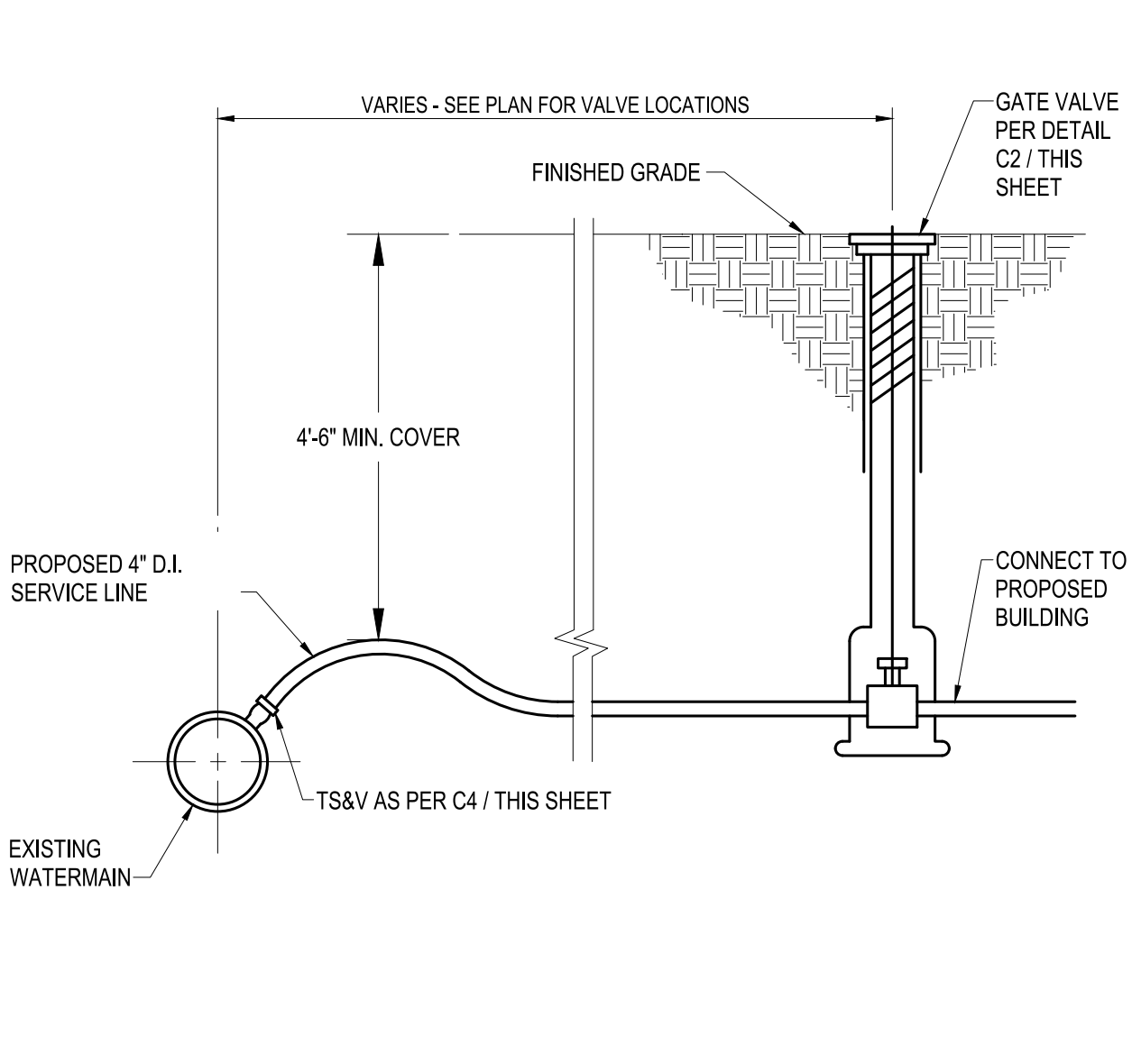
C3 SAMPLING & DISINFECTION TAP DETAIL
SCALE: NOT TO SCALE



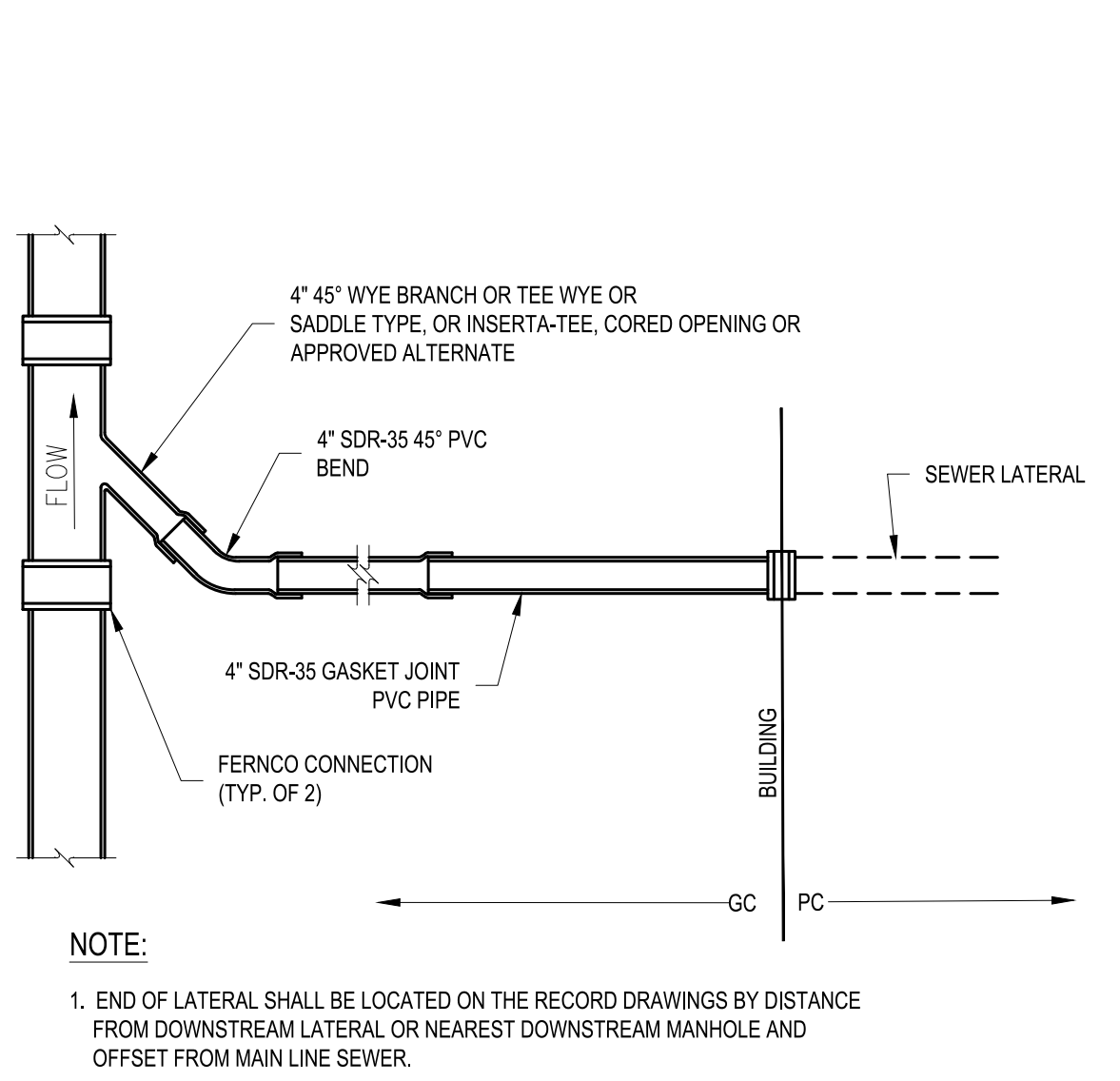
C4 TAPPING SLEEVE AND VALVE (TS&V) DETAIL
SCALE: NOT TO SCALE



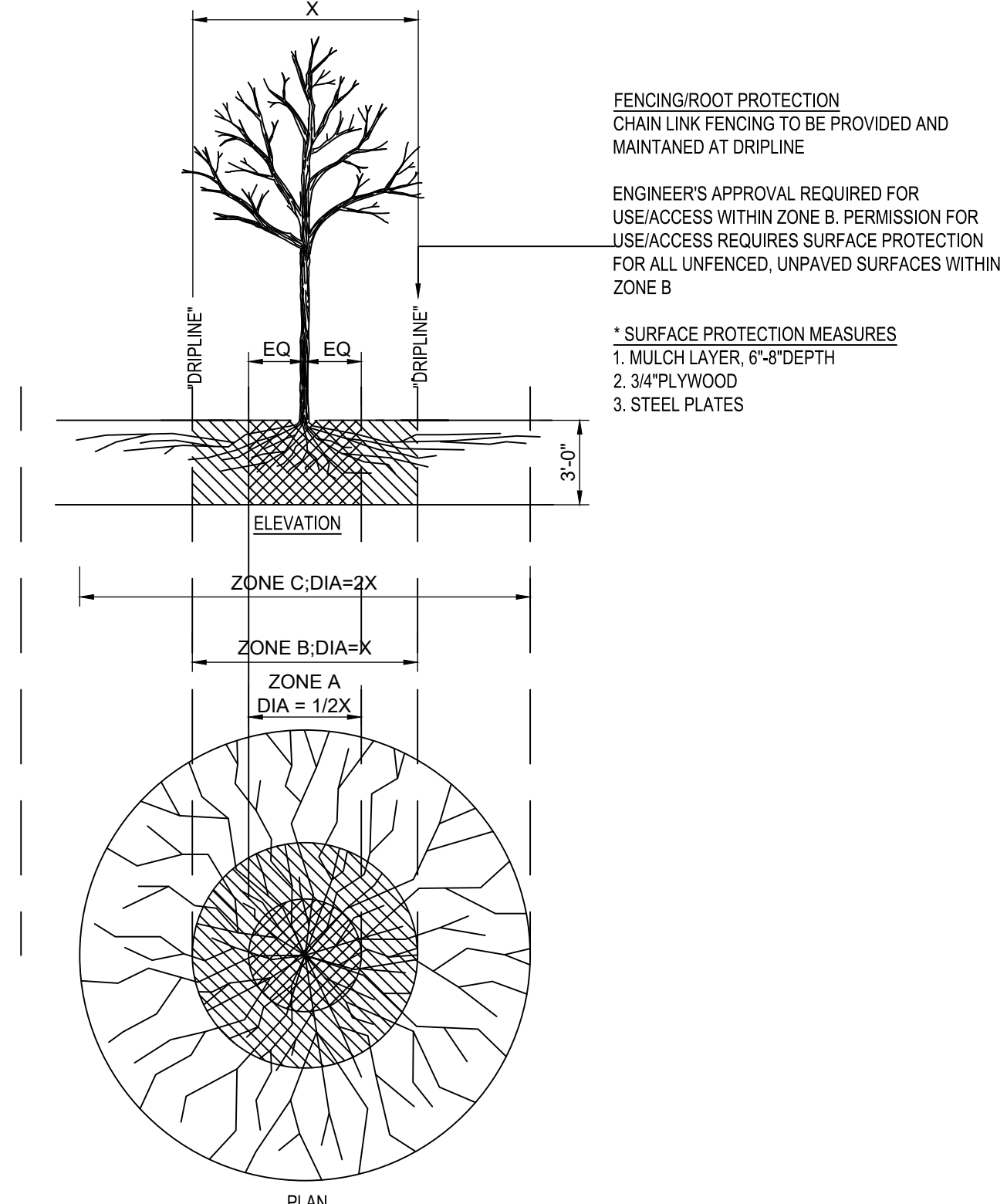
B1 TYPICAL WATERLINE TRENCH SECTION
SCALE: N.T.S.



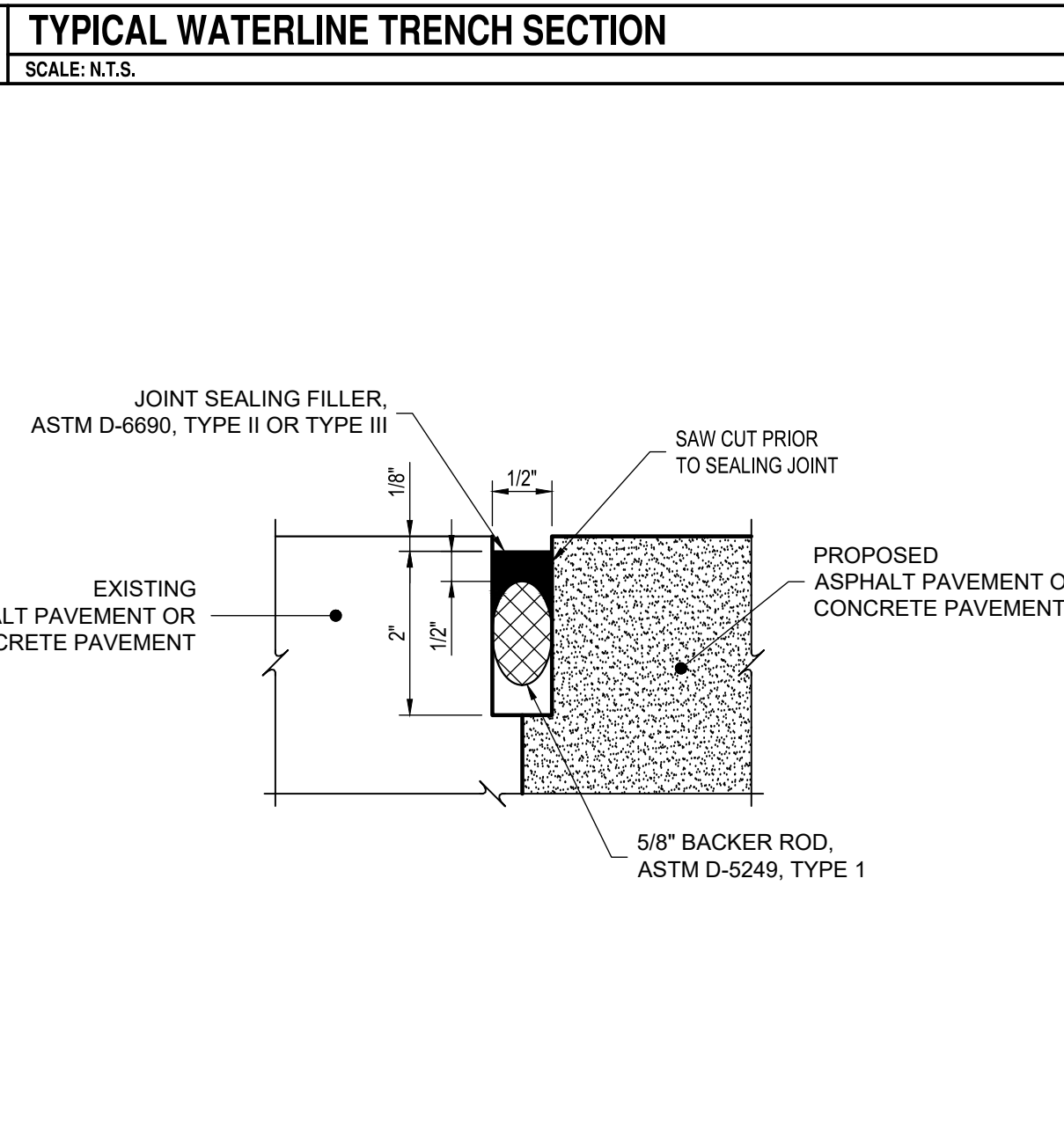
B2 TYPICAL WATER SERVICE DETAIL
SCALE: N.T.S.



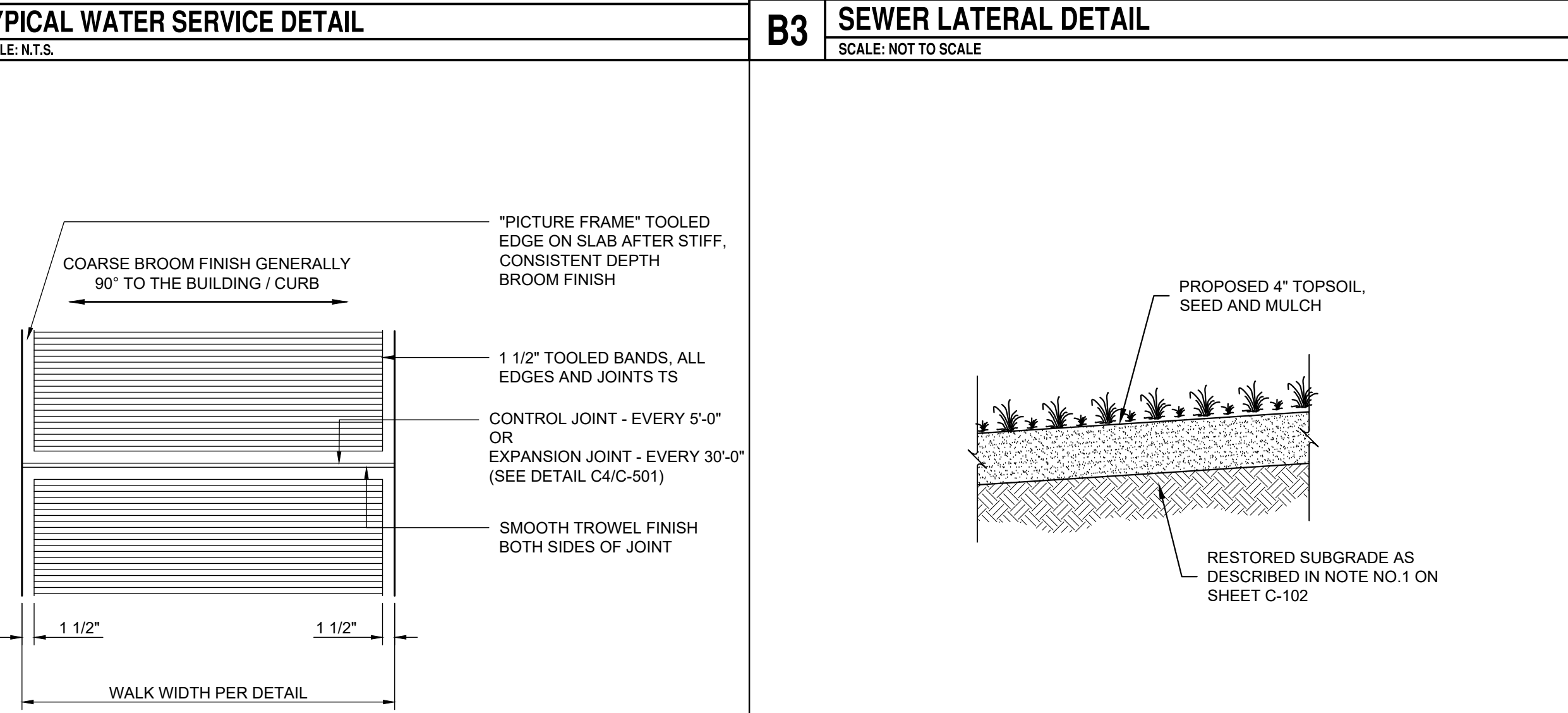
B3 SEWER LATERAL DETAIL
SCALE: NOT TO SCALE



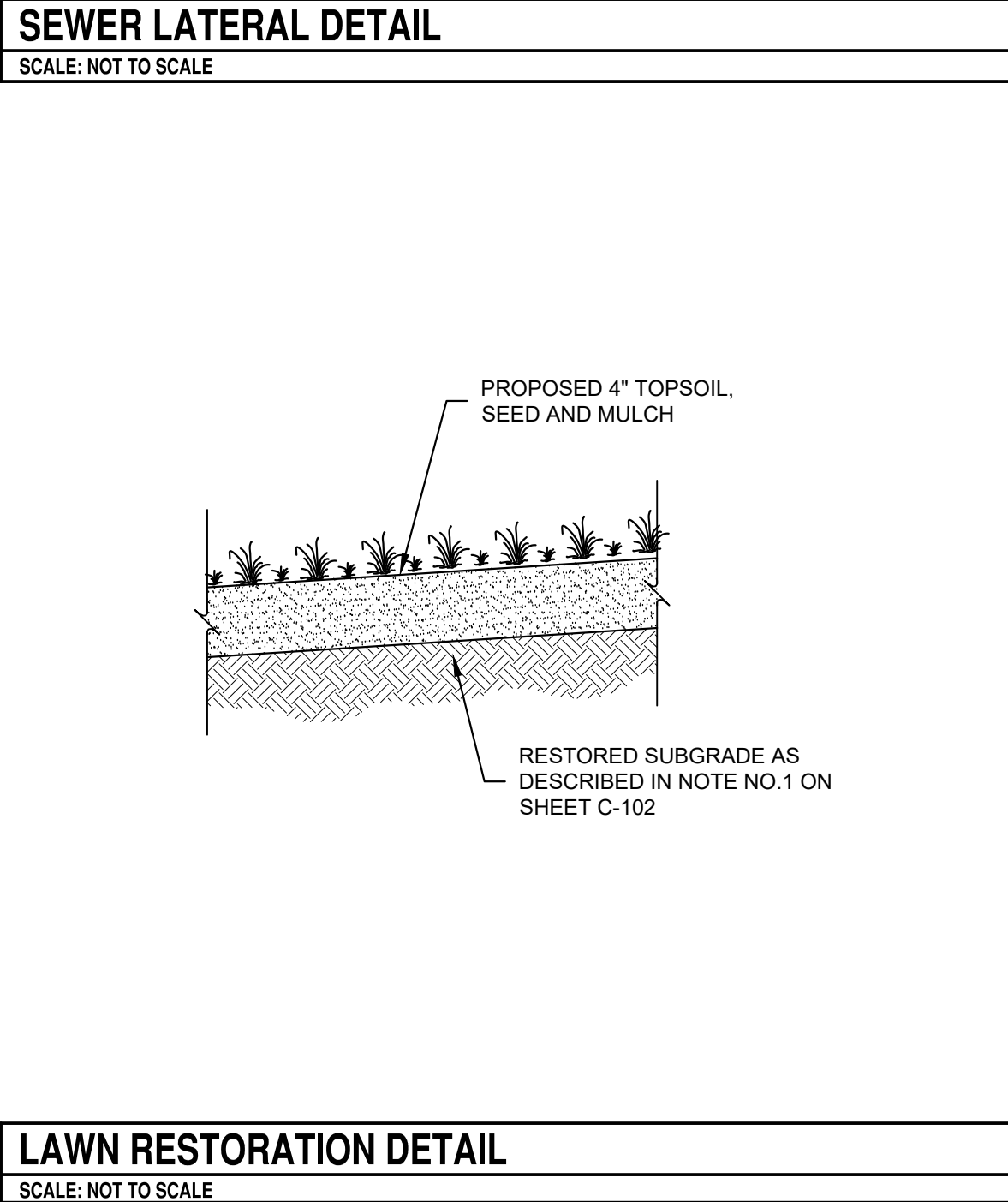
A4 TREE PROTECTION DETAIL
SCALE: NOT TO SCALE



A1 TYPICAL JOINT SEALING DETAIL
SCALE: NOT TO SCALE



A2 CONCRETE FINISH DETAIL (WALKWAYS AND EXTERIOR PADS)
SCALE: NOT TO SCALE



A3 LAWN RESTORATION DETAIL
SCALE: NOT TO SCALE

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STATE OF NEW YORK
EMMA JO AVERSA
108336
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SHA
SYRACUSE HOUSING AUTHORITY

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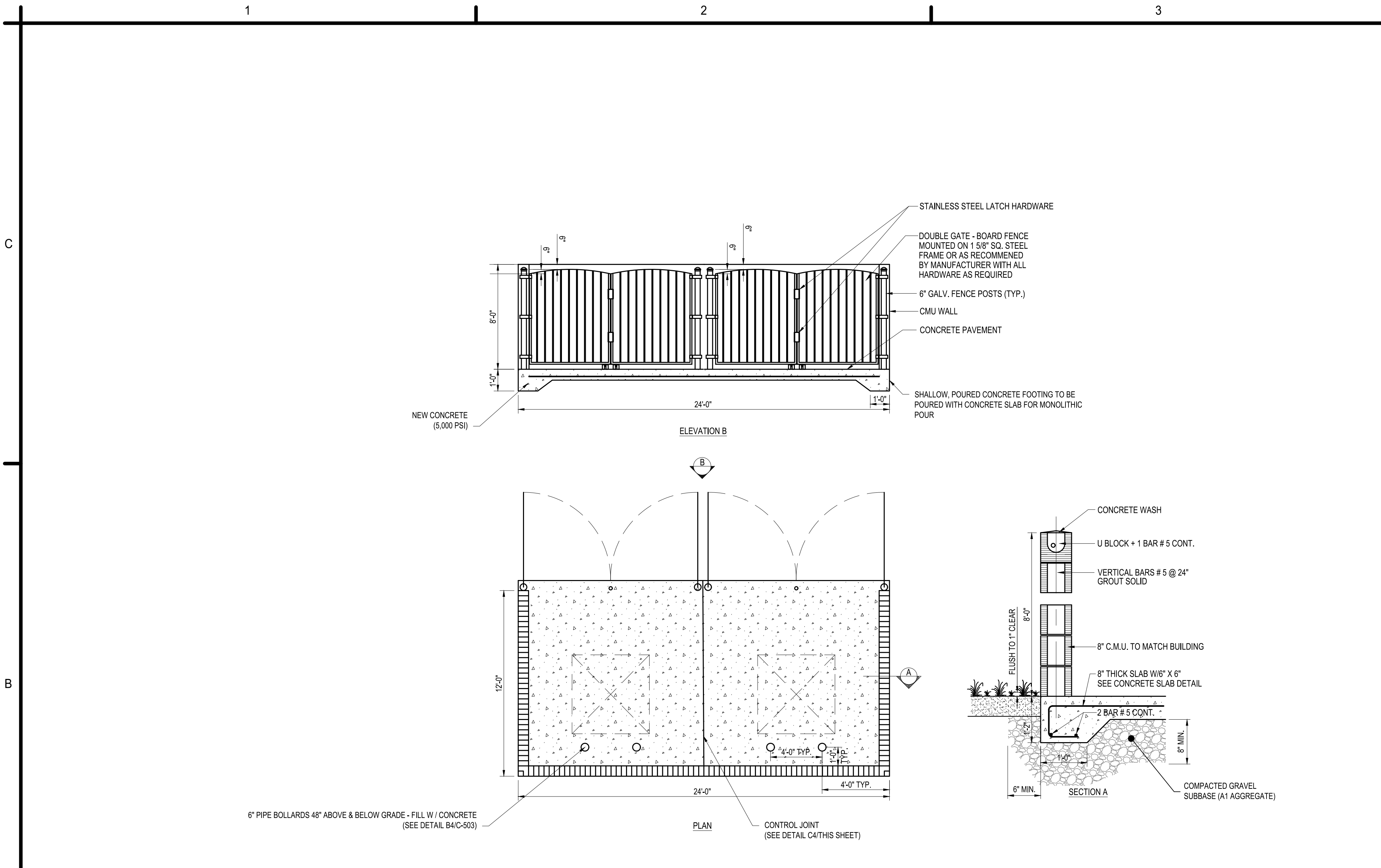
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: A23.010.001		
DATE: 25 AUG 2024		
DRAWN BY: M. GALLEGOS, E.I.T.		
DESIGNED BY: M. GALLEGOS, E.I.T.		
CHECKED BY: E. AVERSA, P.E.		
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY SITEWORK.		

SITE DETAILS

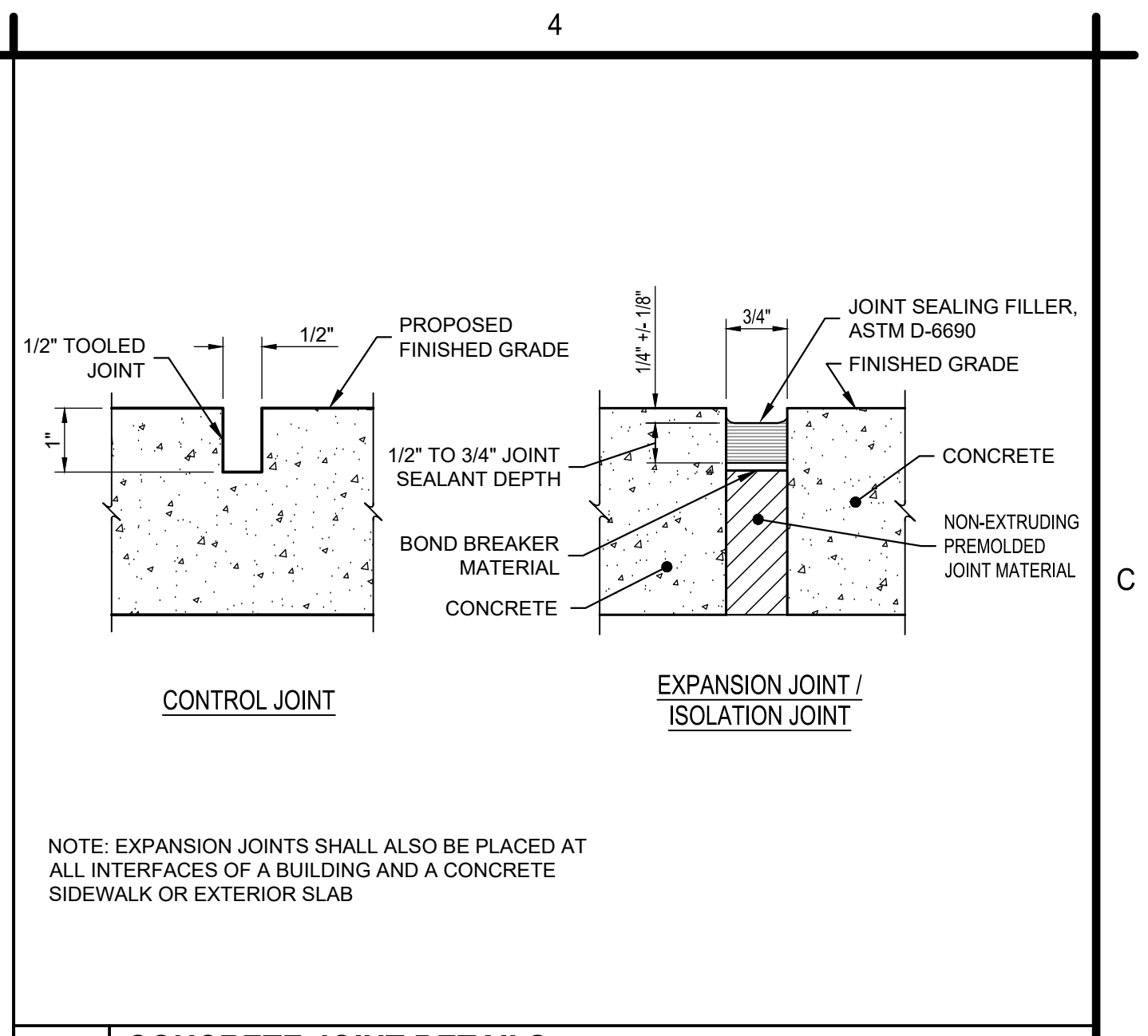
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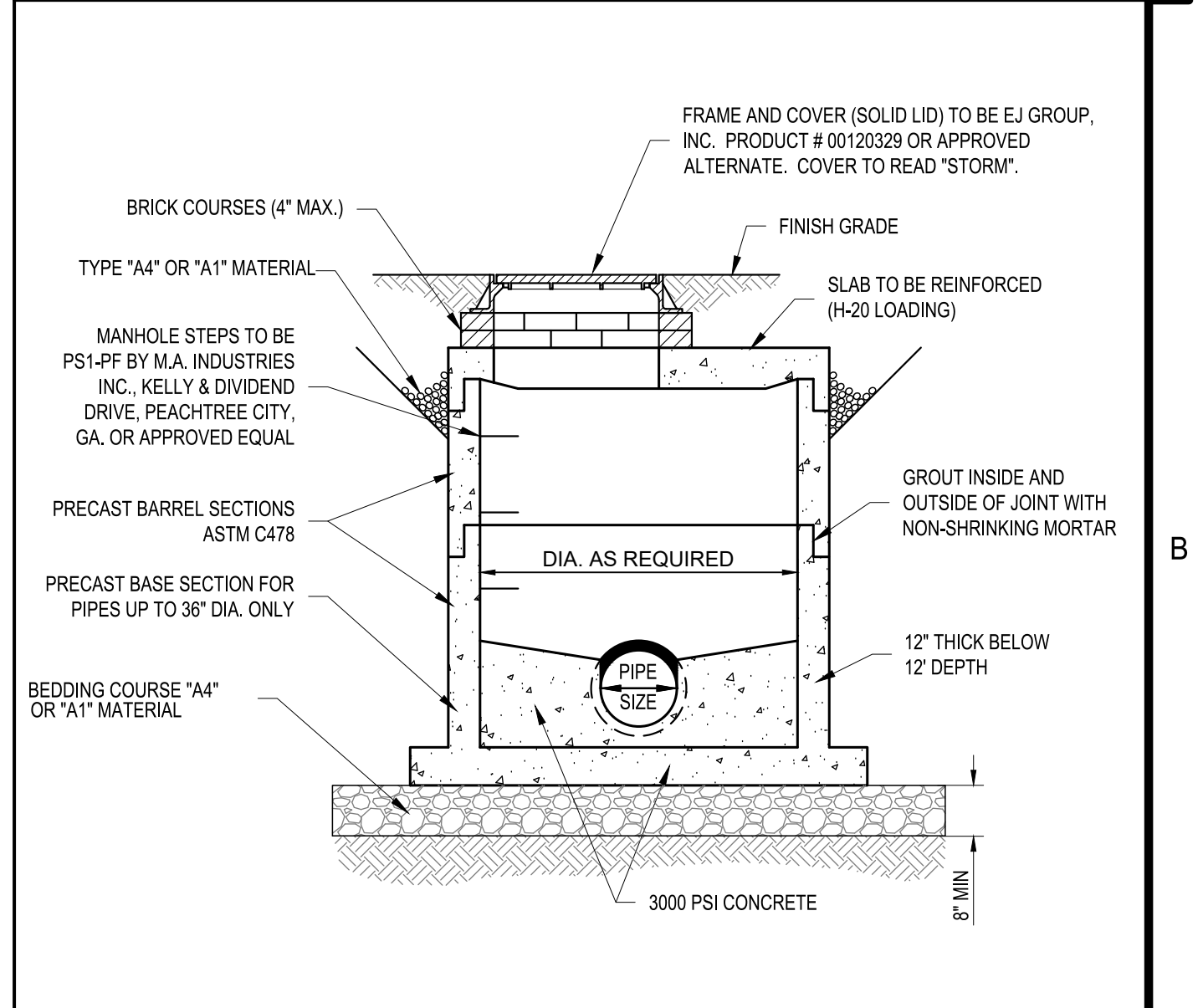
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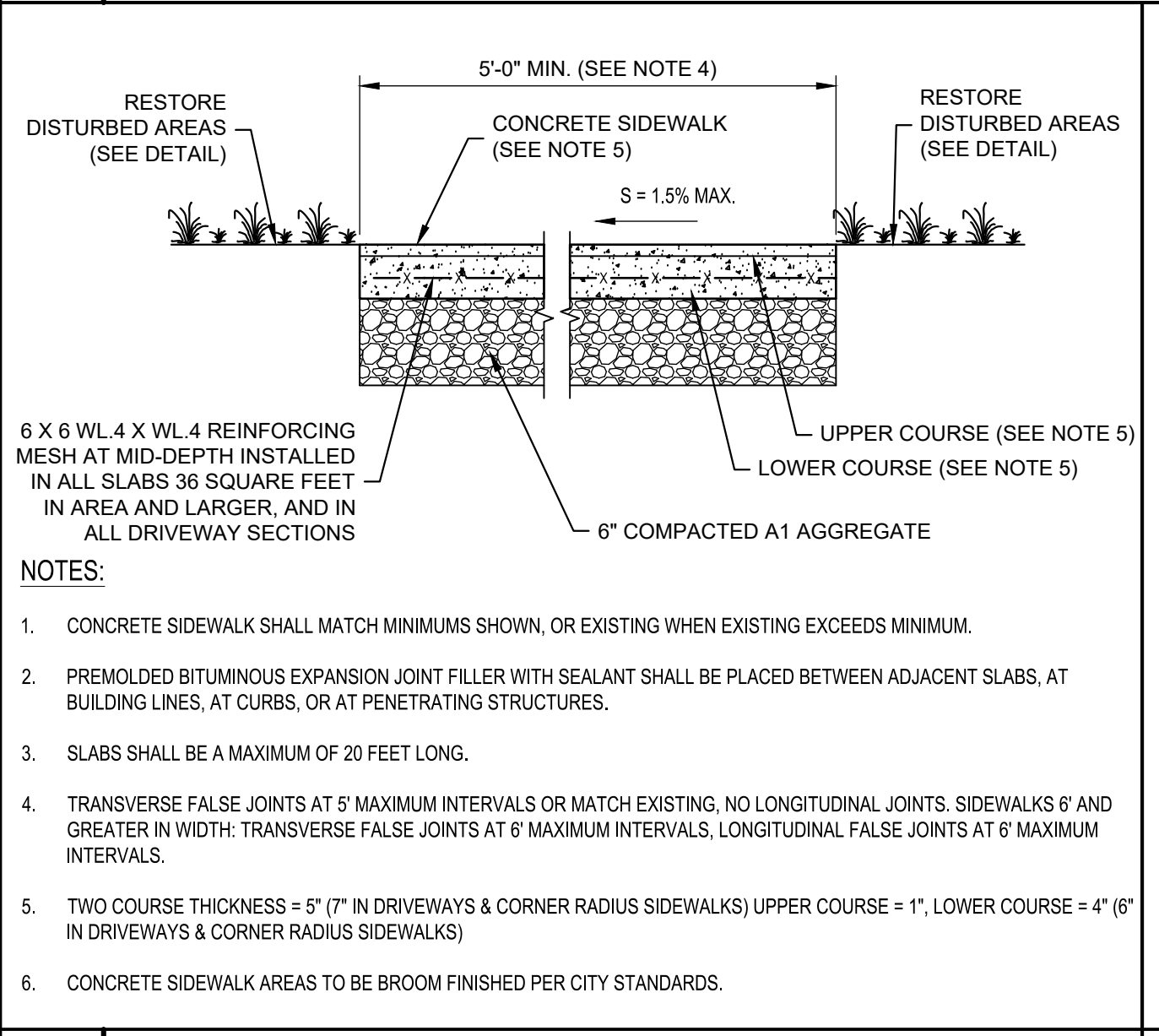
B1 TYPICAL MASONRY SINGLE/DOUBLE DUMPSTER ENCLOSURE
SCALE: NOT TO SCALE



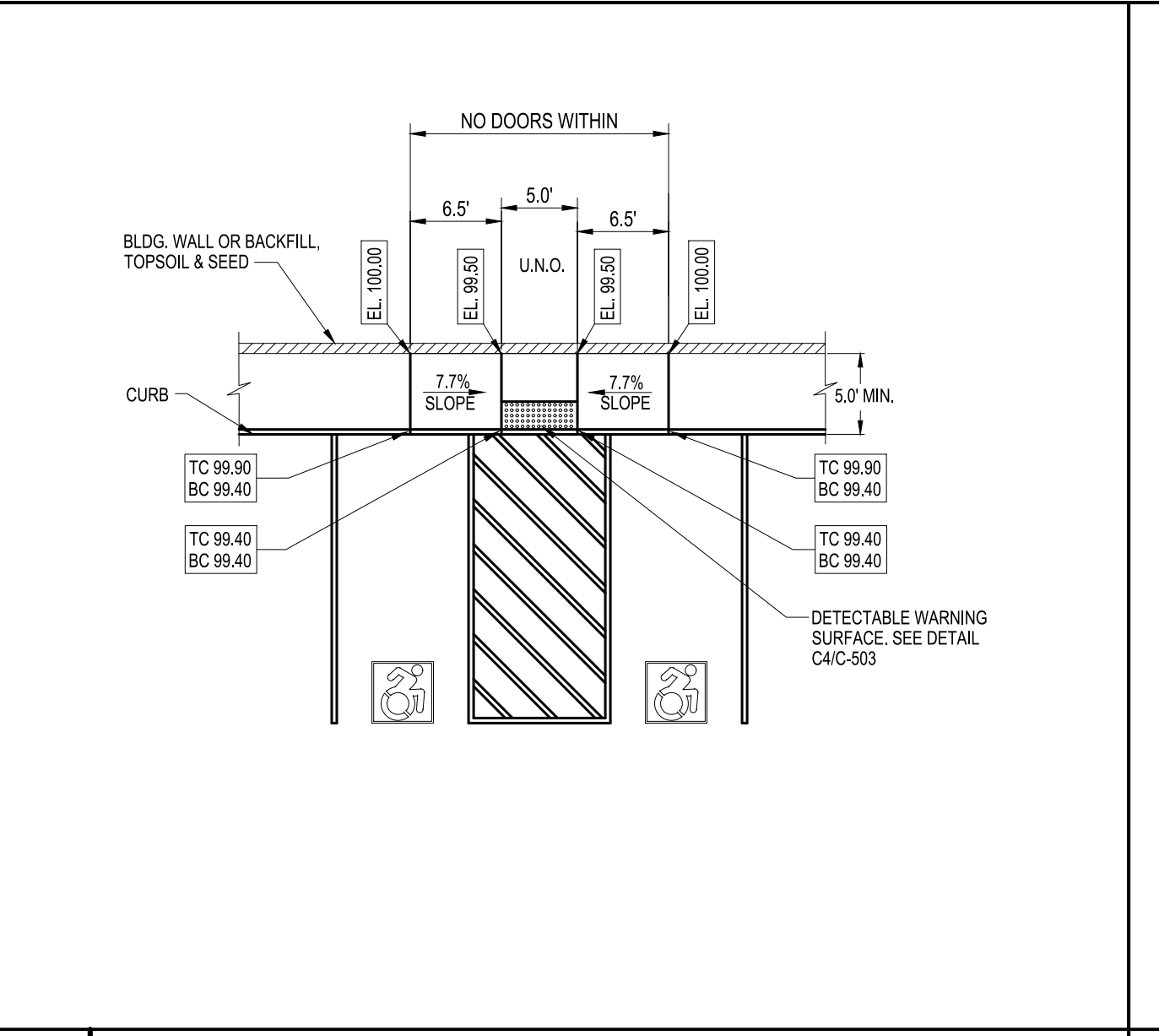
C4 CONCRETE JOINT DETAILS
SCALE: NOT TO SCALE



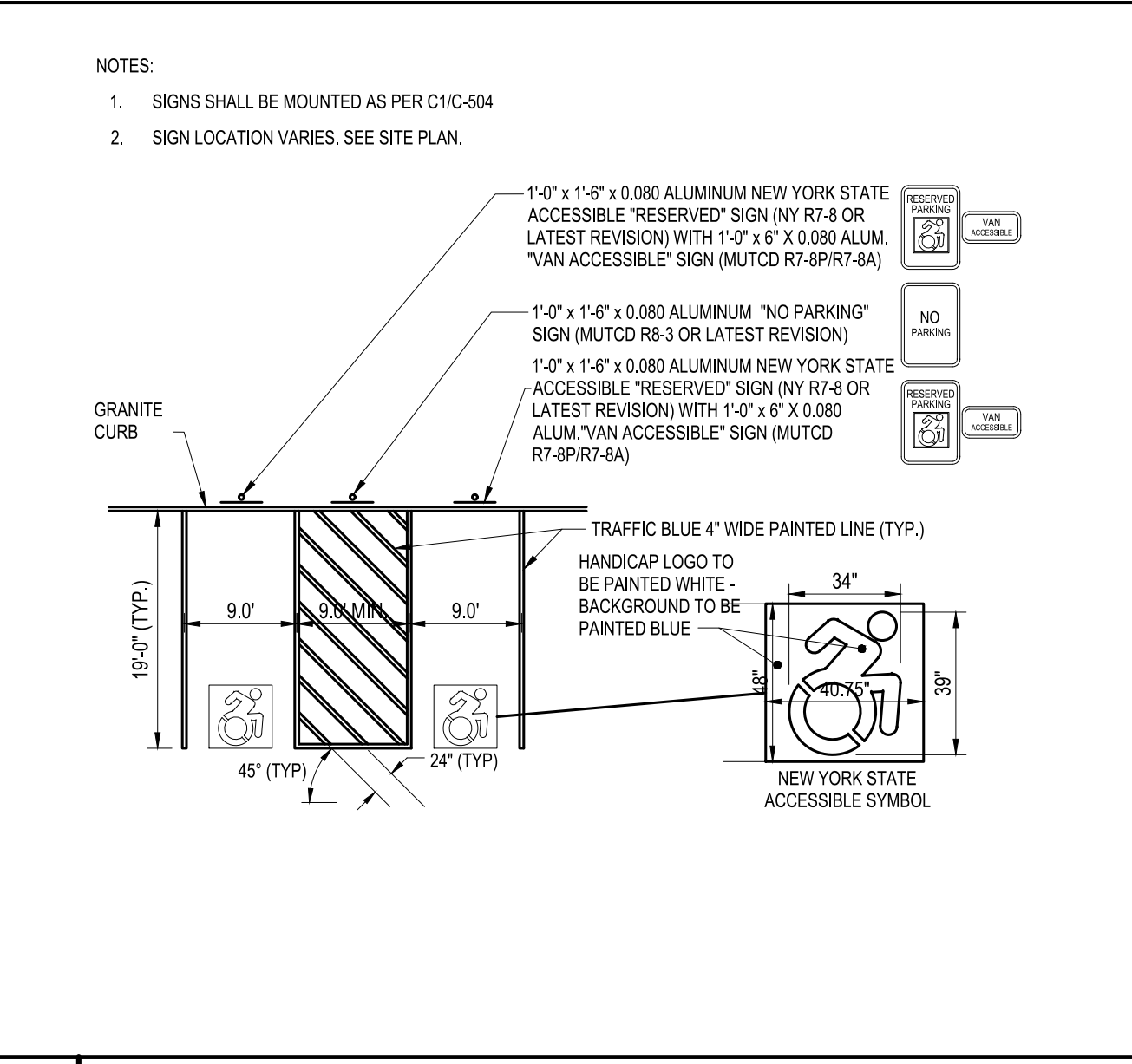
B4 DRAINAGE MANHOLE DETAIL
SCALE: NOT TO SCALE



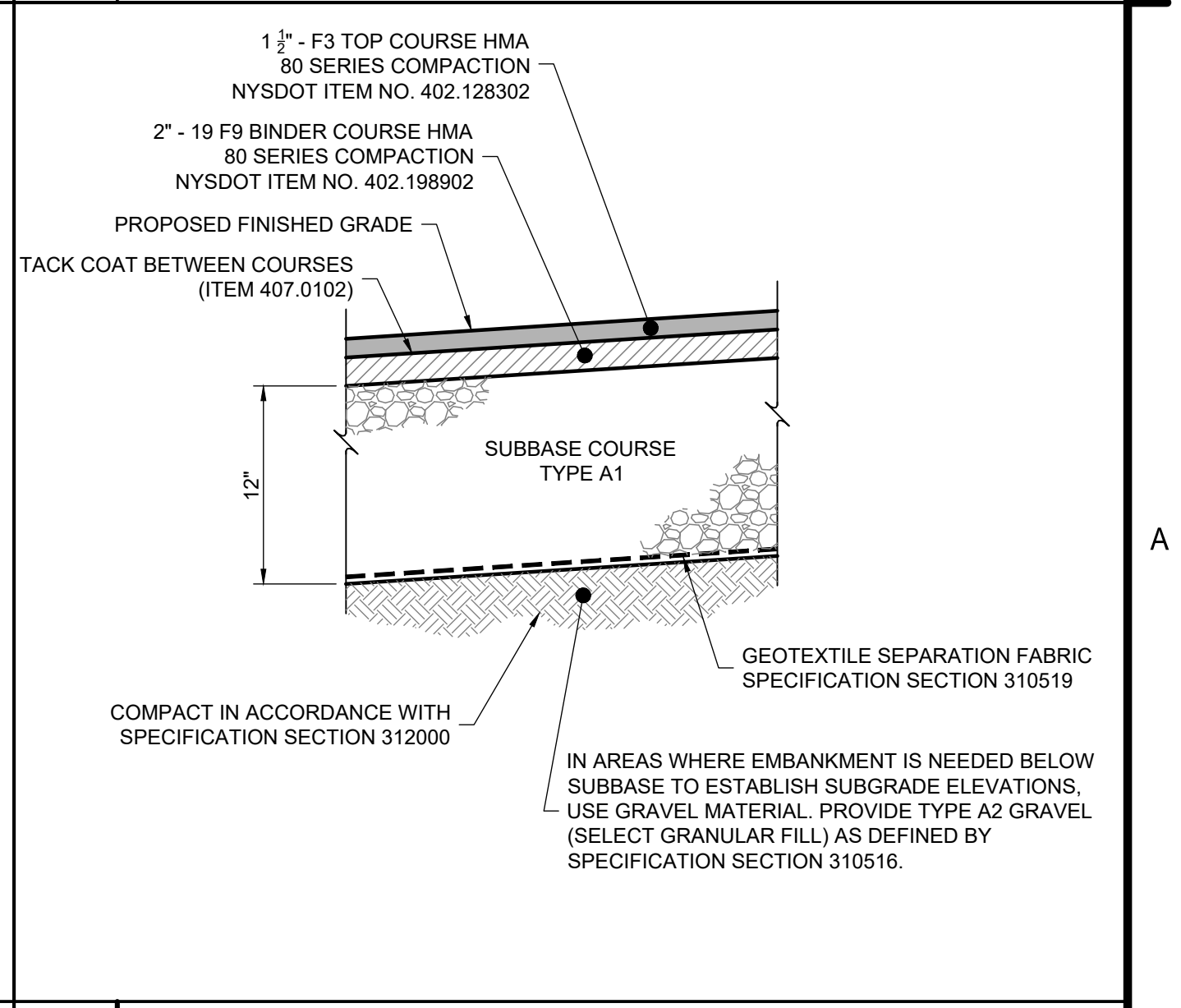
A1 TWO COURSE CONCRETE SIDEWALK
SCALE: NOT TO SCALE



A2 ACCESSIBLE CURB RAMP "B"
SCALE: NOT TO SCALE



A3 ACCESSIBLE SIGNS AND MARKERS
SCALE: NOT TO SCALE



A4 TYPICAL PAVEMENT SECTION
SCALE: NOT TO SCALE

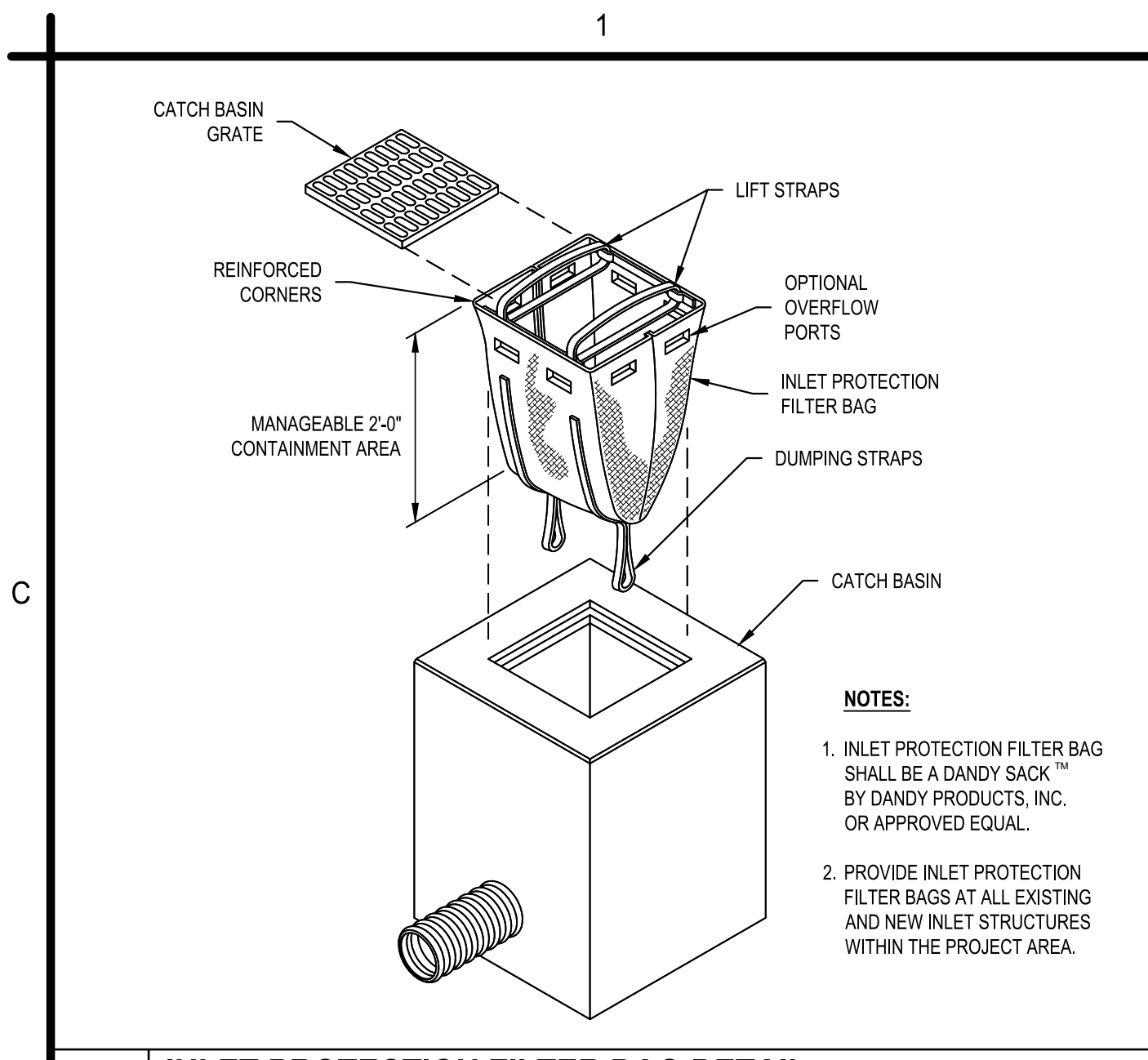
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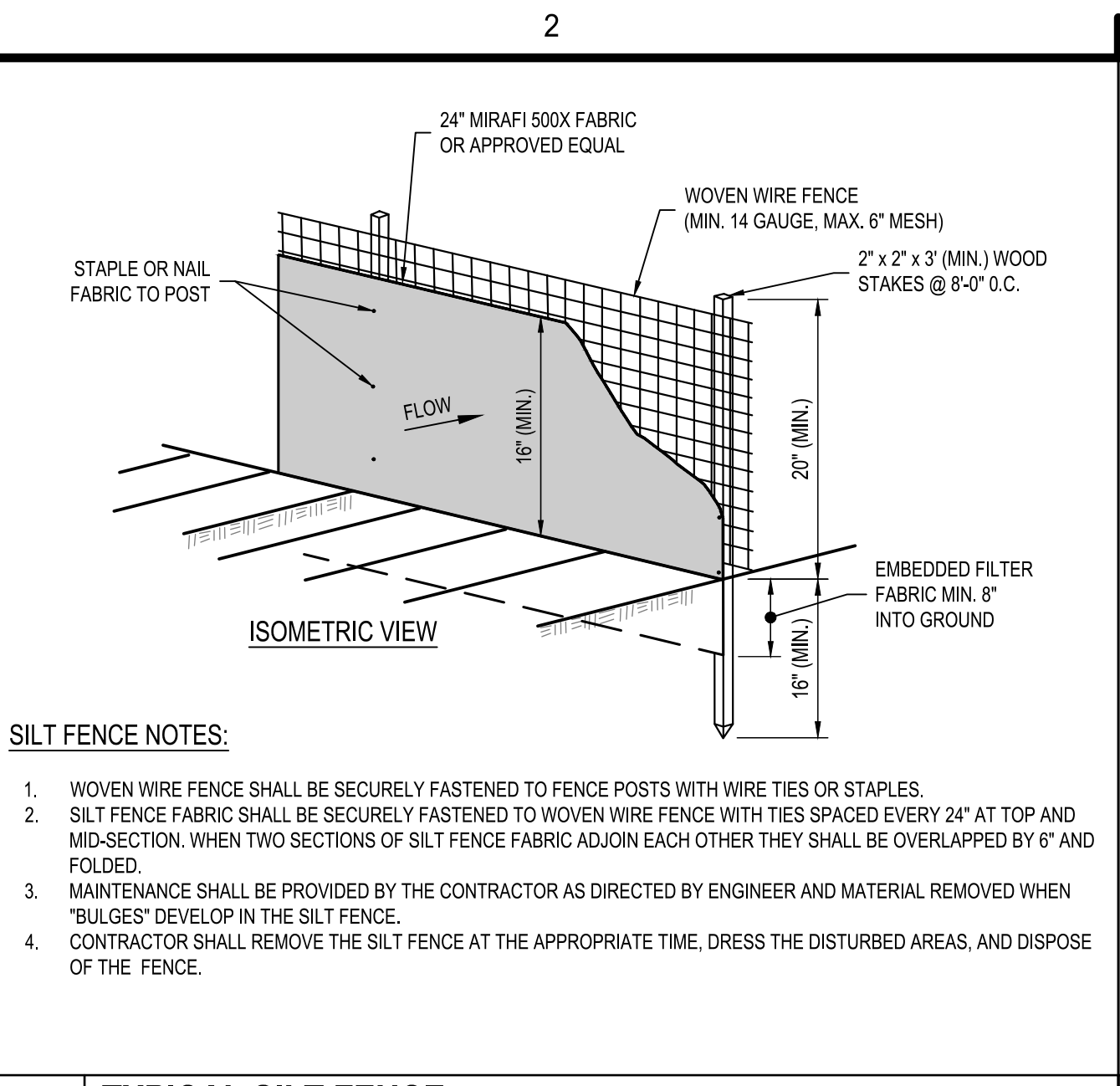
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SYRACUSE, NEW YORK 13202**

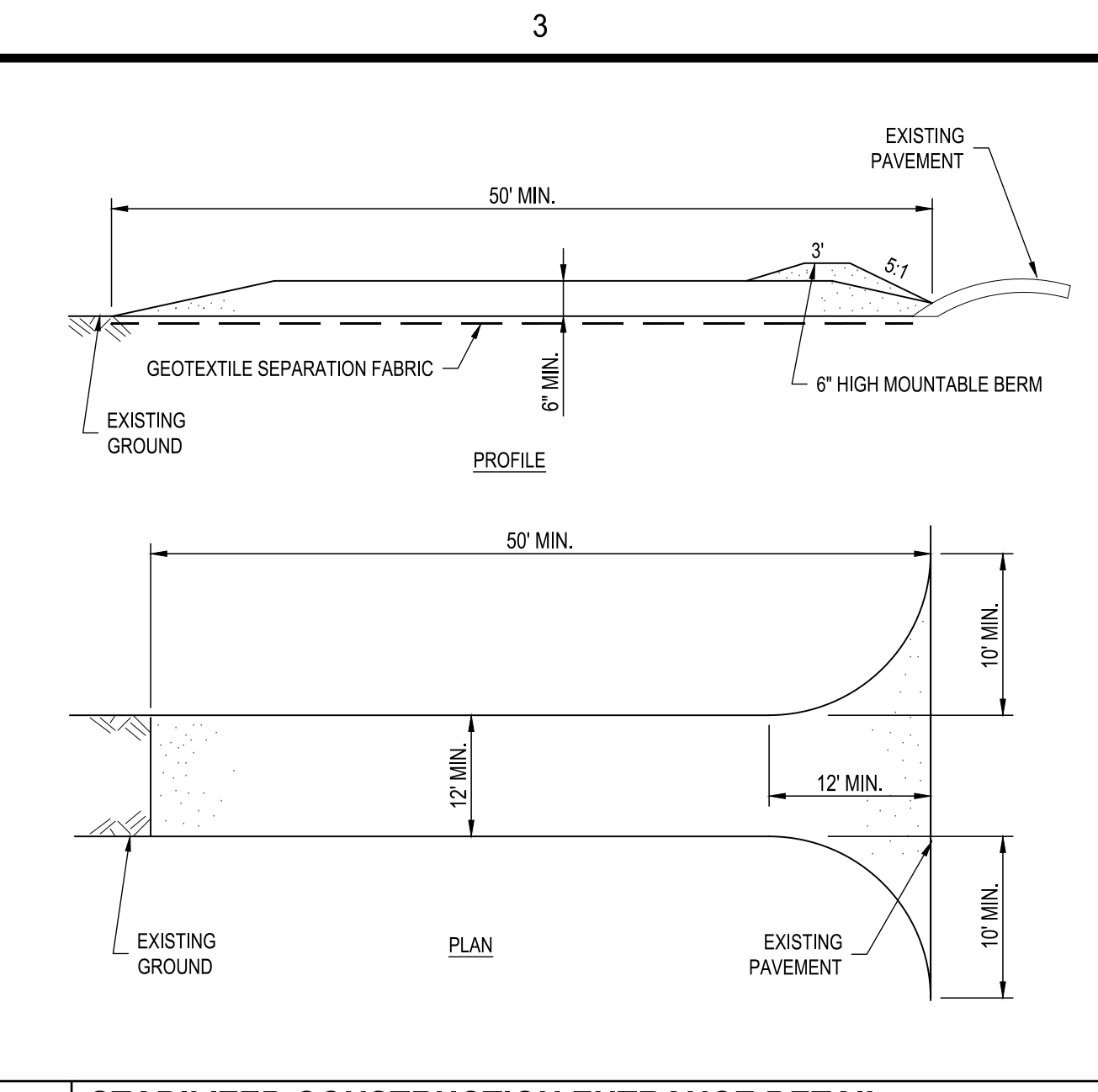
MARK	DATE	DESCRIPTION
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PROJECT NO: A23.010.001		
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DRAWN BY: E. AVERSA, P.E.		
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SITE DETAILS		
C-501		



C1 INLET PROTECTION FILTER BAG DETAIL
SCALE: NOT TO SCALE

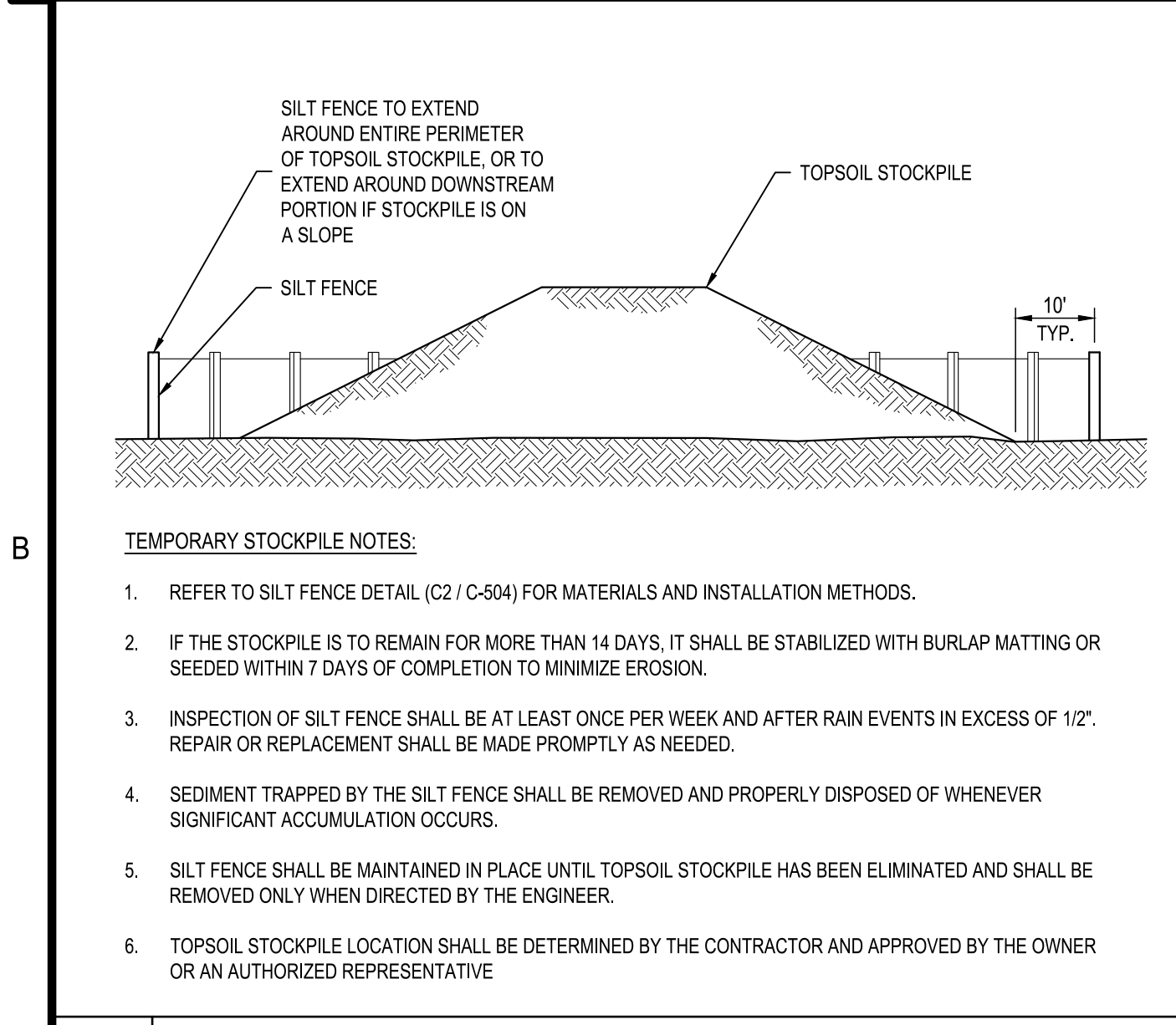


C2 TYPICAL SILT FENCE
SCALE: NOT TO SCALE

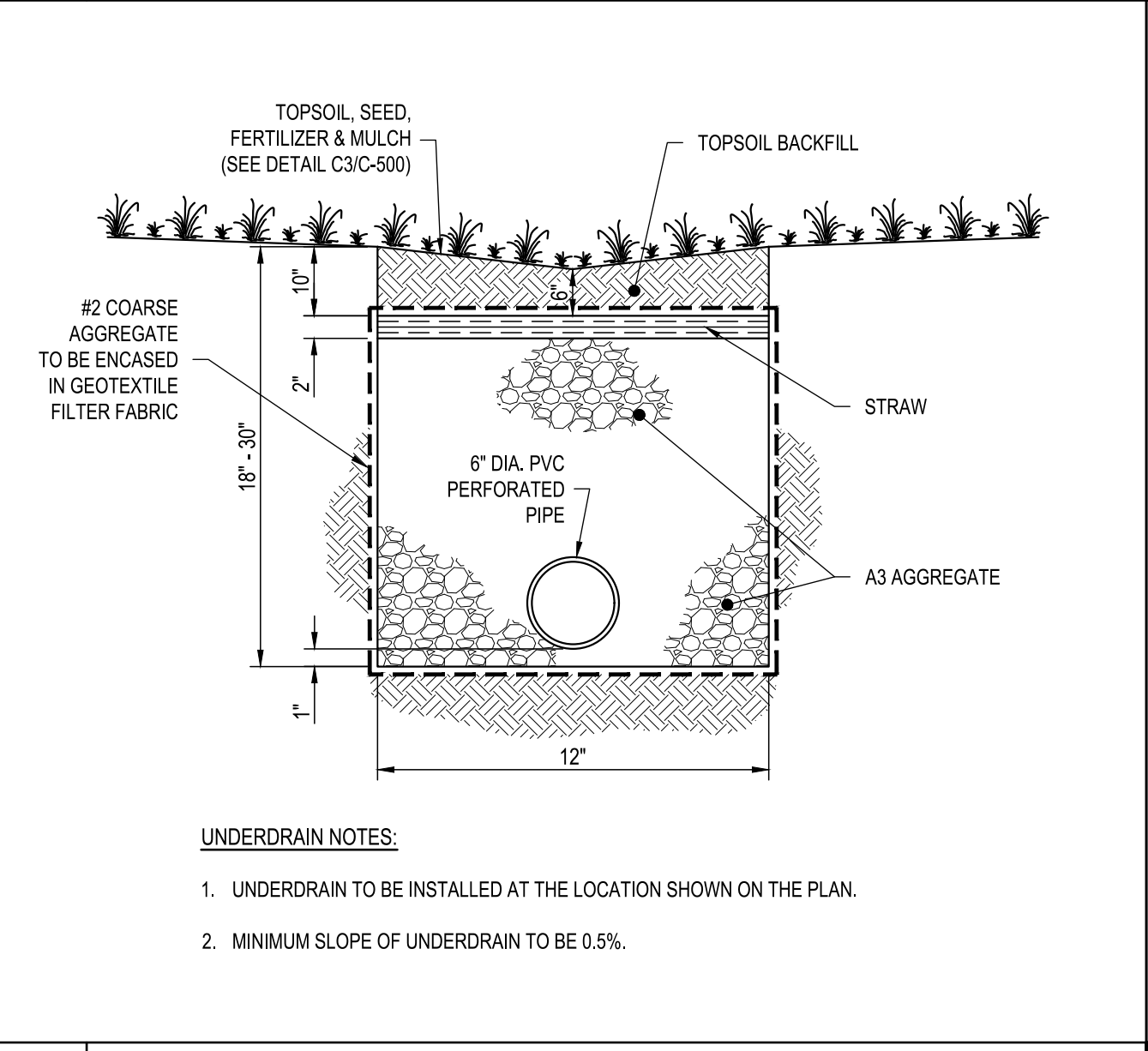


C3 STABILIZED CONSTRUCTION ENTRANCE DETAIL
SCALE: NOT TO SCALE

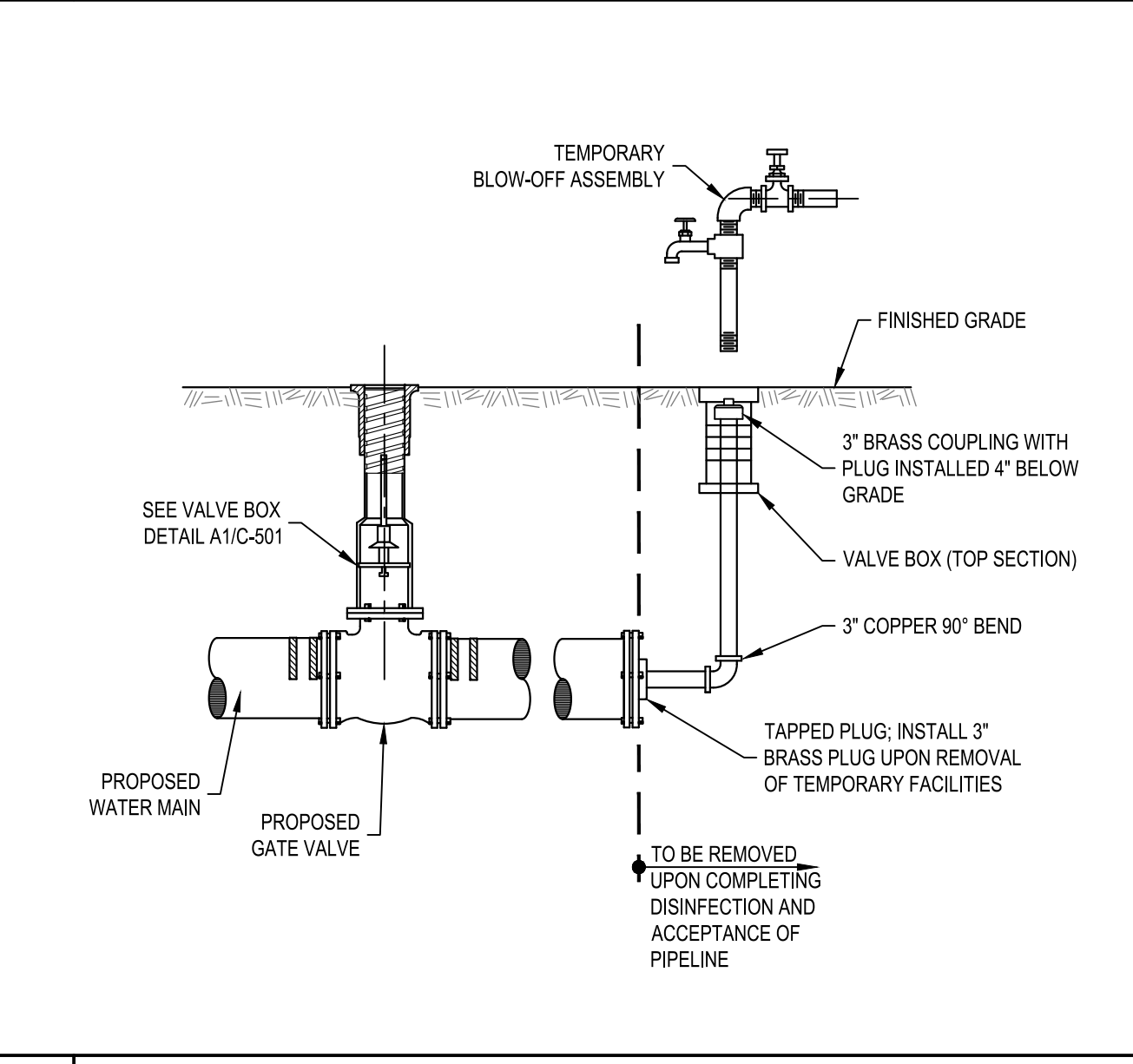
- STABILIZED CONSTRUCTION ENTRANCE NOTES:**
- STONE SIZE - USE 2" SELECT STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE FABRIC - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



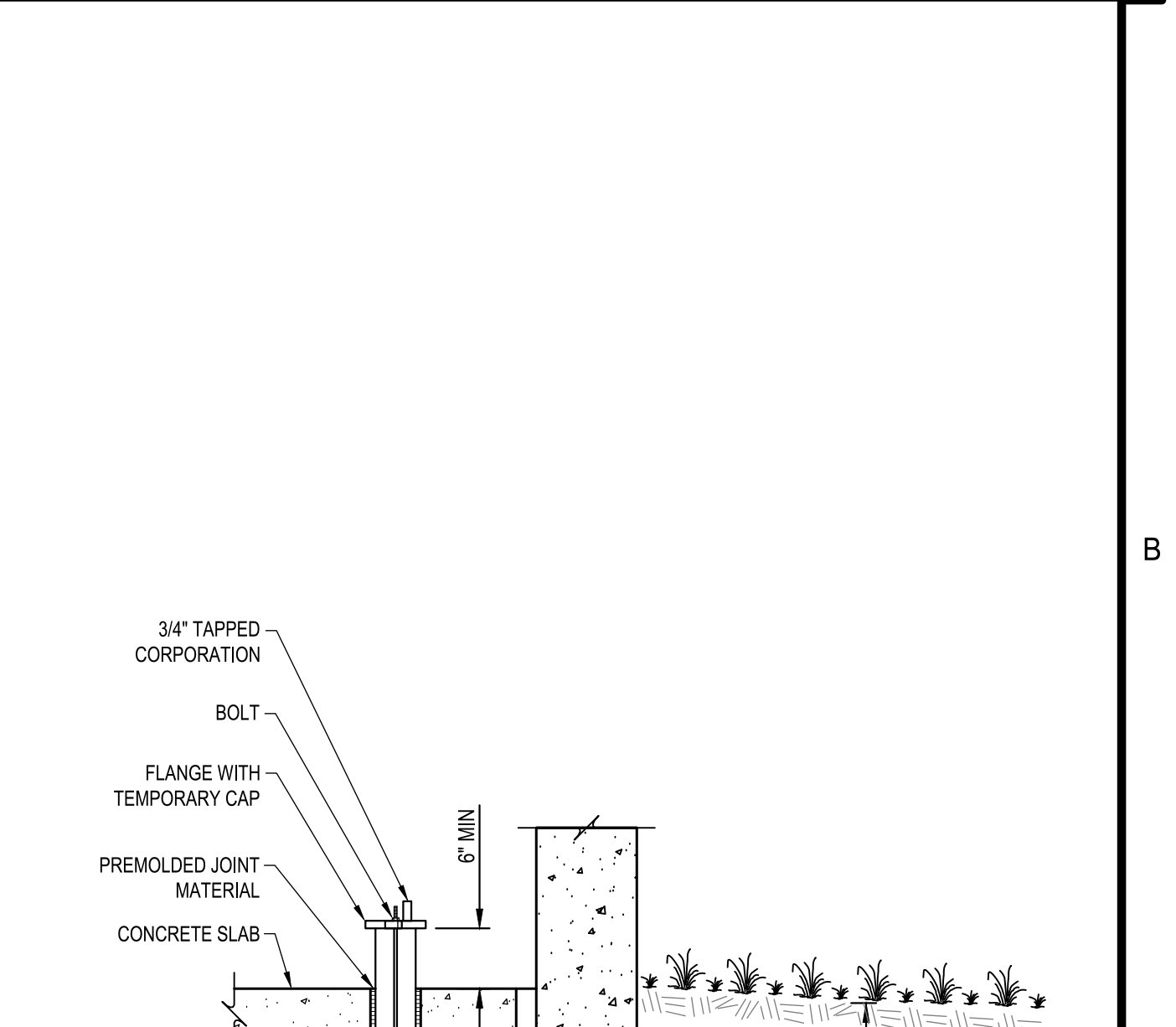
B1 TEMPORARY STOCKPILE DETAIL
SCALE: NOT TO SCALE



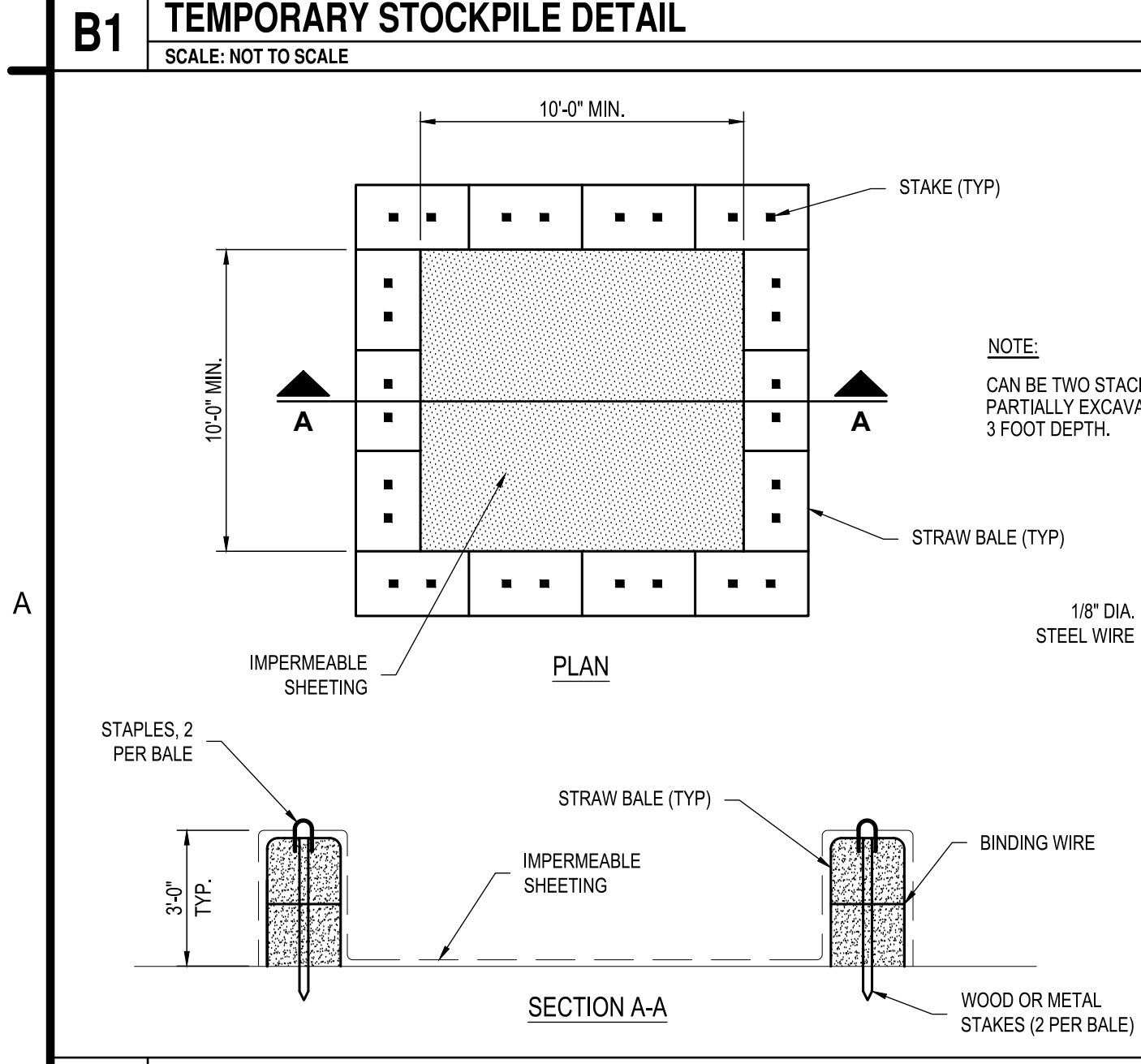
B2 UNDERDRAIN PIPE DETAIL
SCALE: NOT TO SCALE



B3 TEMPORARY BLOW-OFF DETAIL
SCALE: NOT TO SCALE



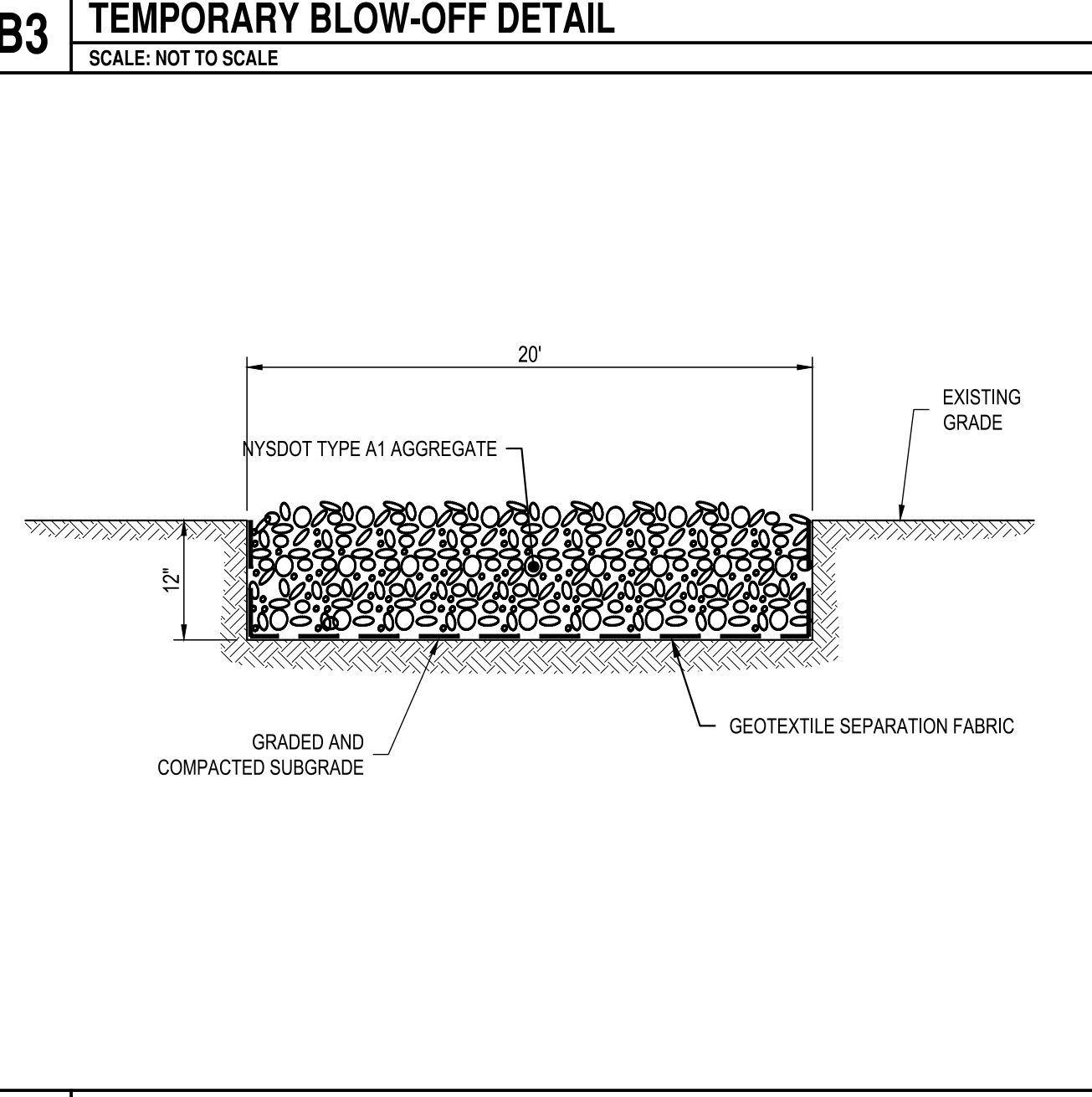
A4 WATER SERVICE BUILDING CONN. W/ FROST PROT. DETAIL
SCALE: NOT TO SCALE



A1 TEMPORARY CONCRETE WASHOUT AREA DETAIL
SCALE: NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS:**
- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS & WATER COURSES & AWAY FROM CONSTRUCTION TRAFFIC.
 - SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER & SOLIDS & MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET x 10 FEET x 3 FEET DEEP.
 - PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES & TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 - PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
 - KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED.) EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75% FULL & DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT RE-USE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED & DISPOSE OF IN AN APPROVED MANNER.
 - PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.
 - CONTRACTOR TO COORDINATE FINAL LOCATION OF CONCRETE WASHOUT WITH OWNER'S REPRESENTATIVE.

A3 CONSTRUCTION & MATERIAL STAGING AREA DETAIL
SCALE: NOT TO SCALE



A3 CONSTRUCTION & MATERIAL STAGING AREA DETAIL
SCALE: NOT TO SCALE

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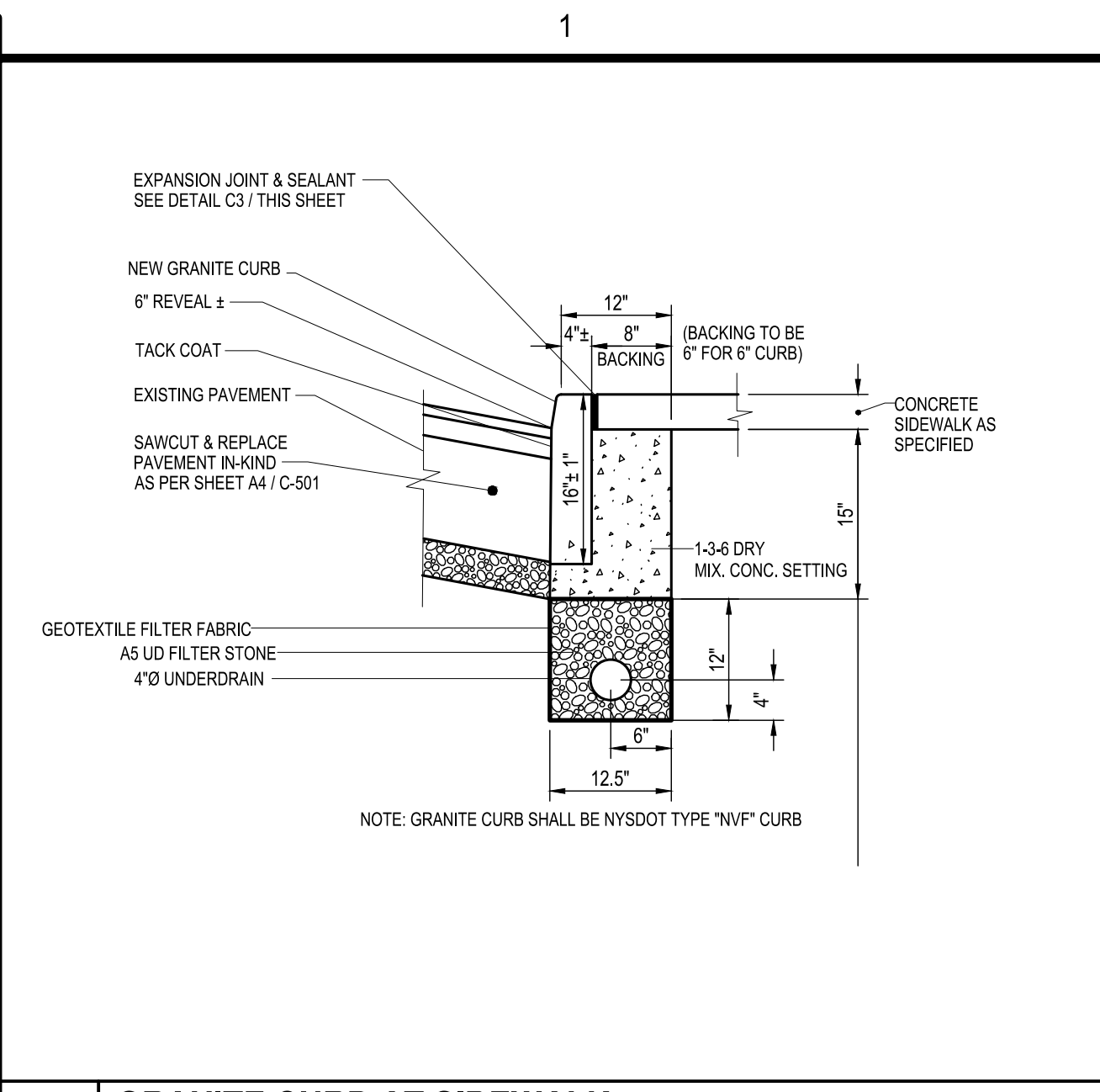
SHA - NEW CENTRAL OFFICES
500-02 BURT STREET
SYRACUSE, NEW YORK 13202

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	A23.010.001	
DATE:	25 AUG 2024	
DRAWN BY:	E. AVERSA, P.E.	
DESIGNED BY:	E. AVERSA, P.E.	
CHECKED BY:	E. AVERSA, P.E.	

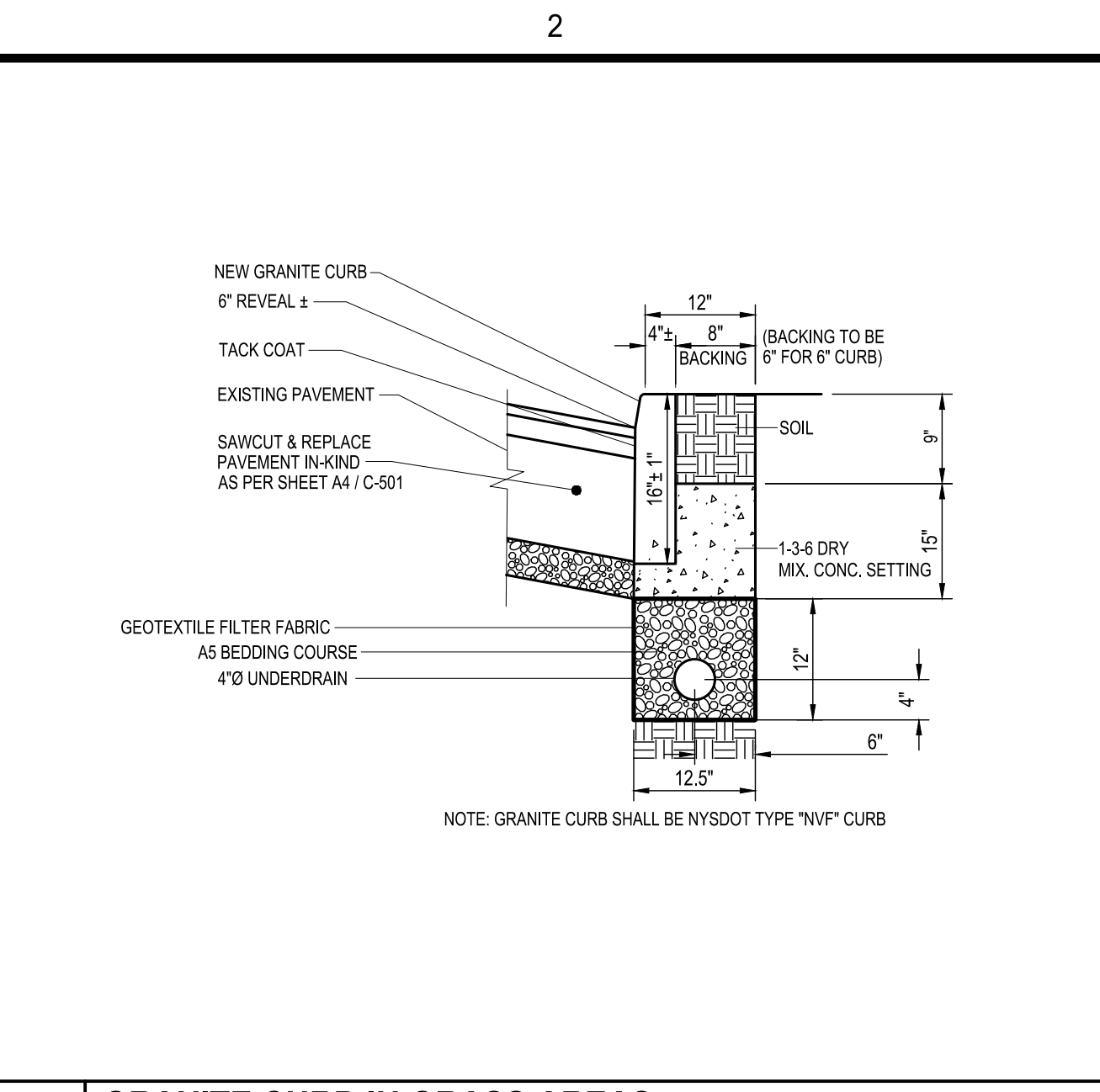
SITE DETAILS

C-502

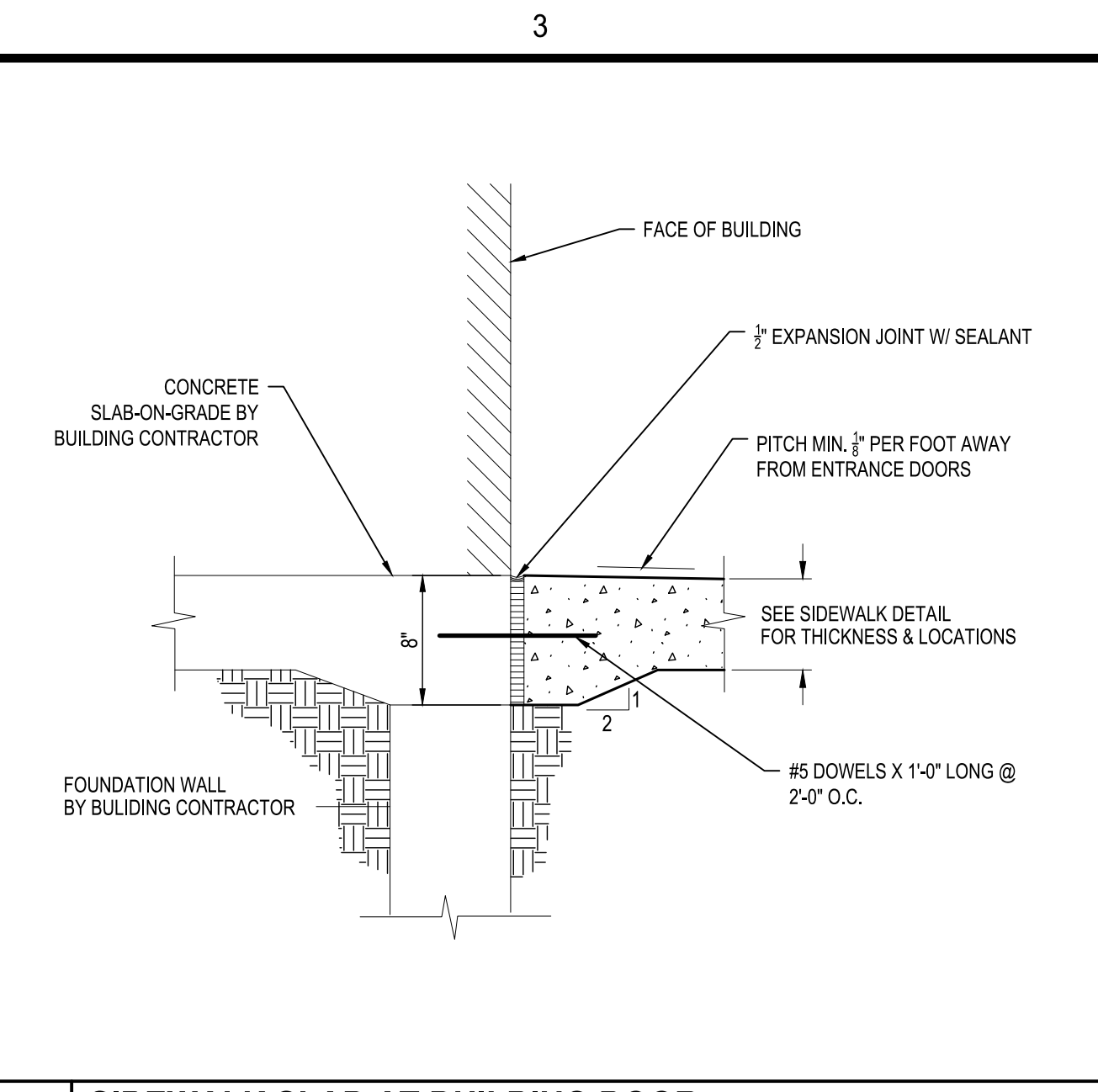
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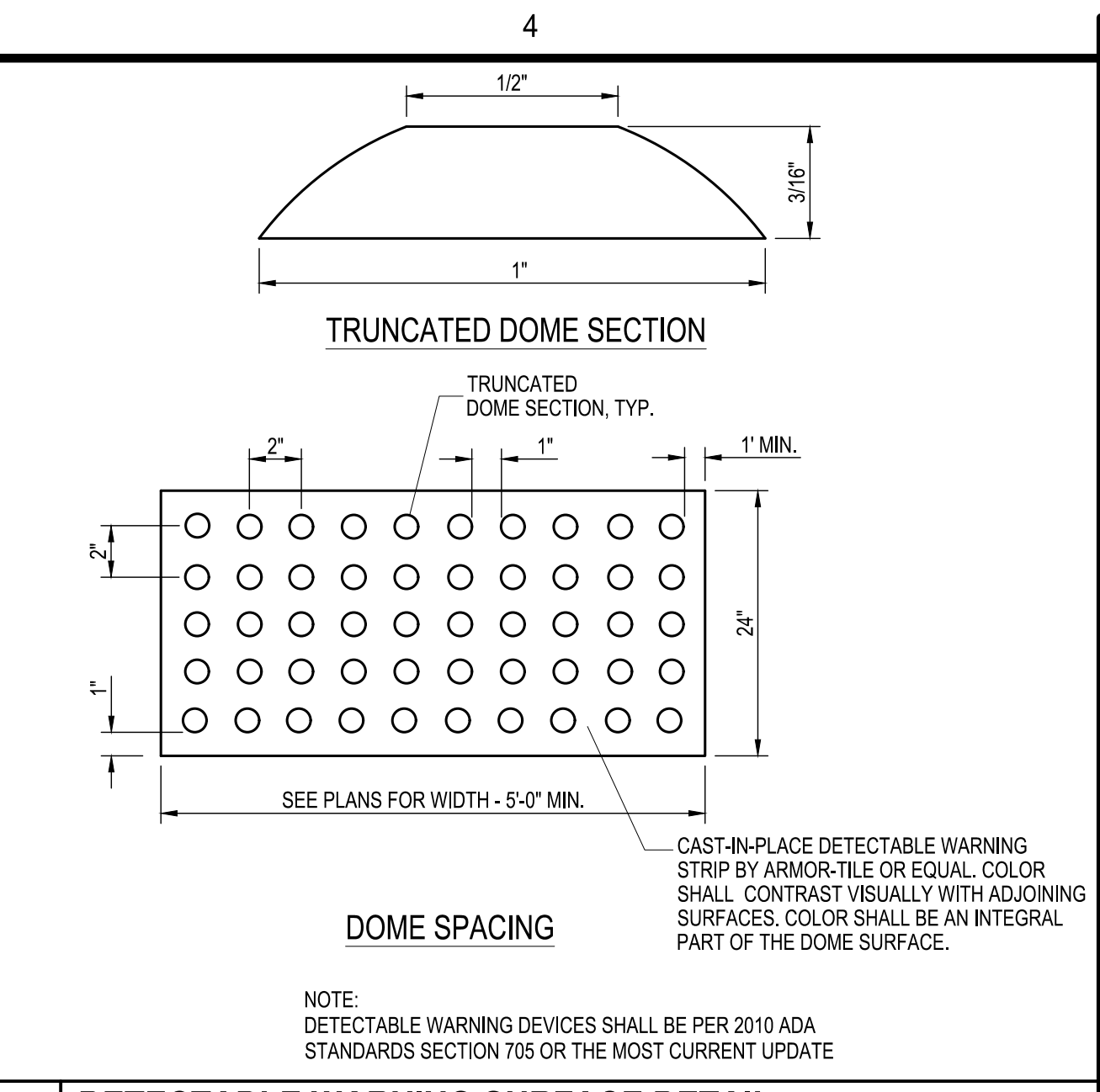
C1 GRANITE CURB AT SIDEWALK
SCALE: NOT TO SCALE



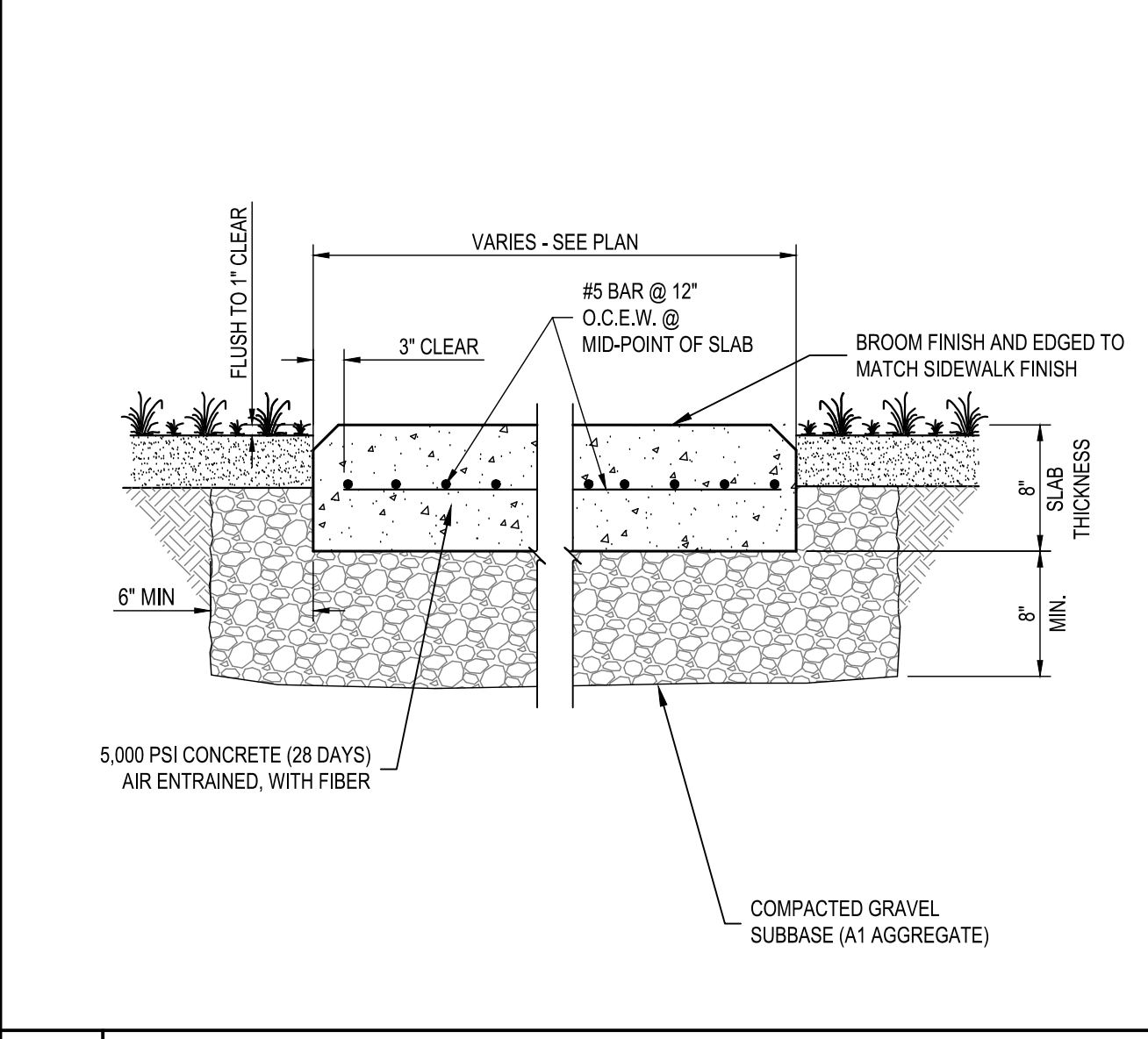
C2 GRANITE CURB IN GRASS AREAS
SCALE: NOT TO SCALE



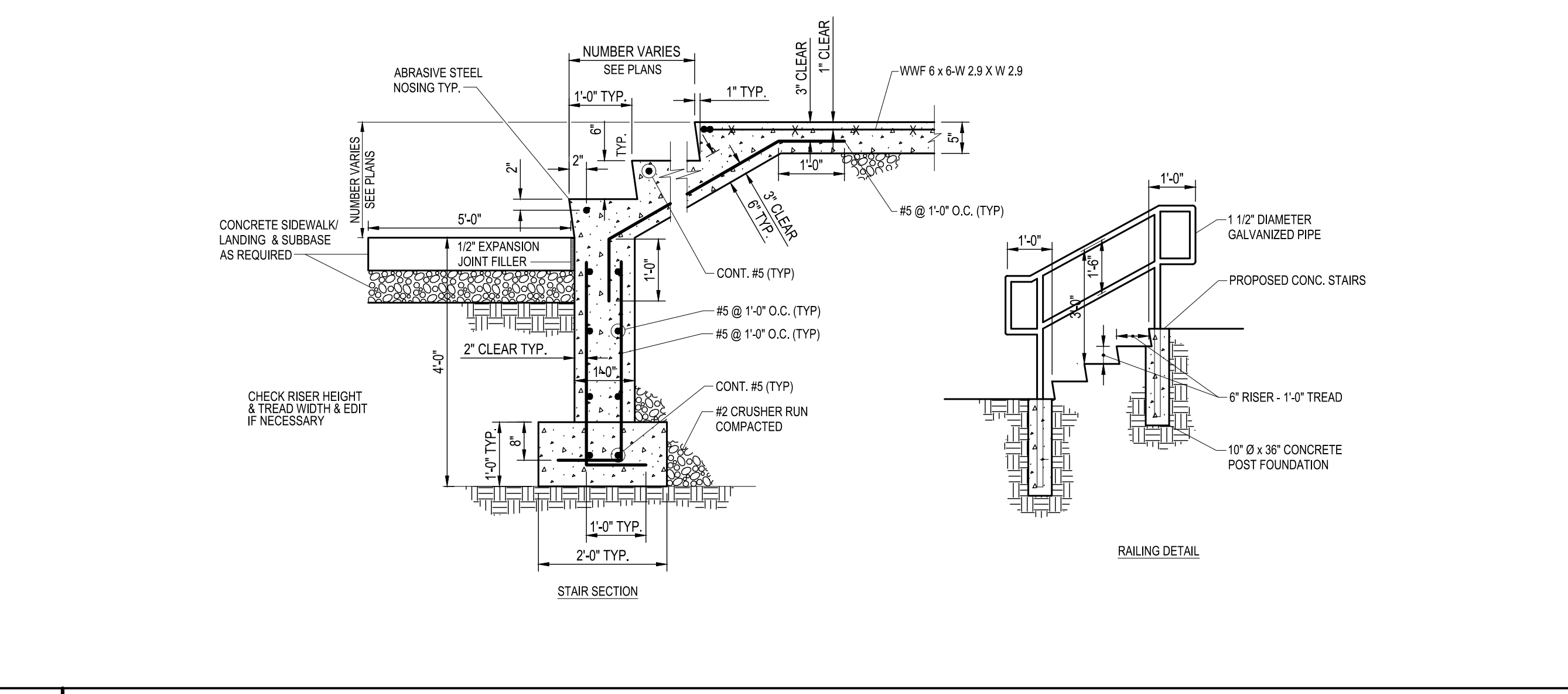
C3 SIDEWALK SLAB AT BUILDING DOOR
SCALE: NOT TO SCALE



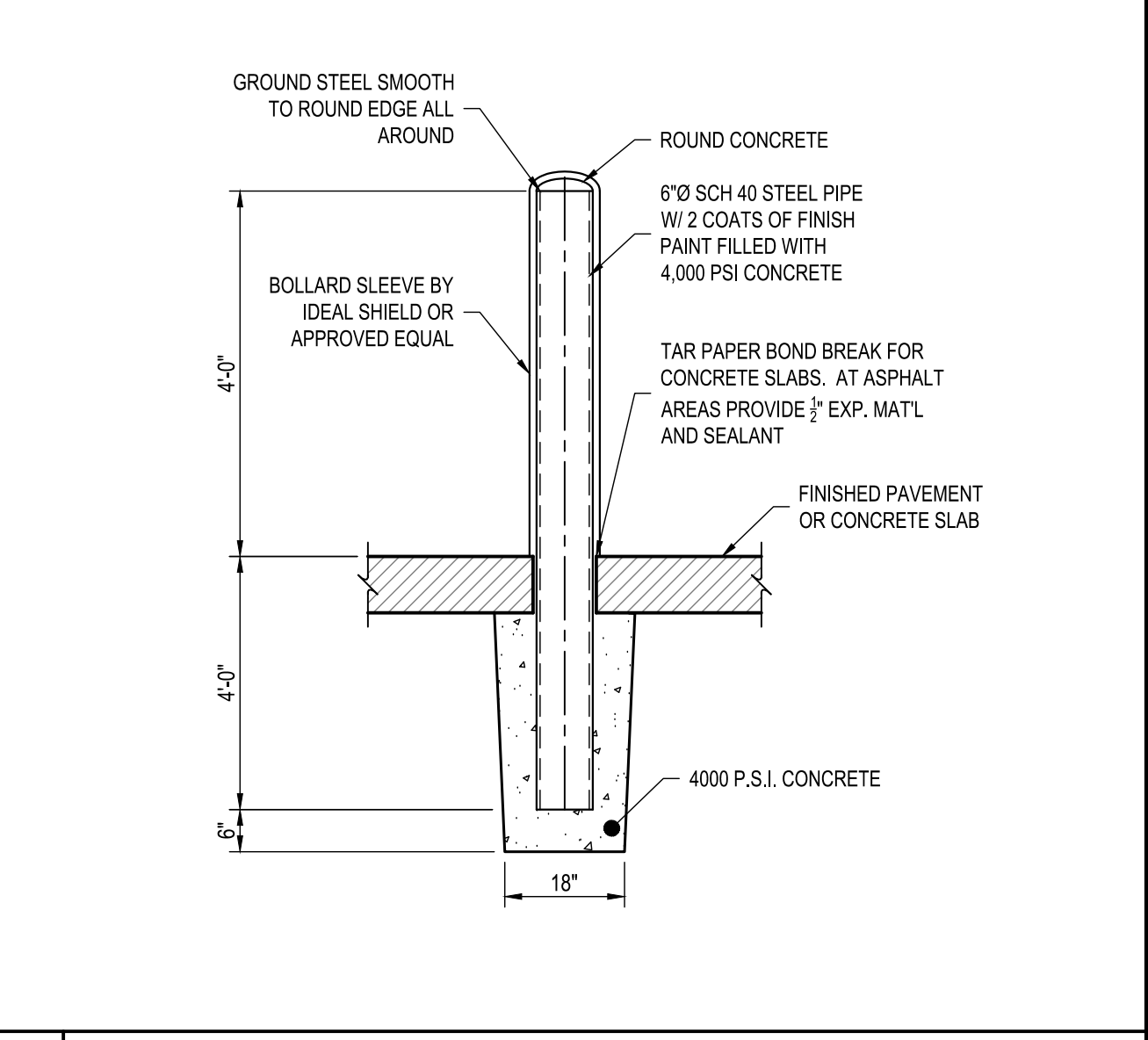
C4 DETECTABLE WARNING SURFACE DETAIL
SCALE: NOT TO SCALE



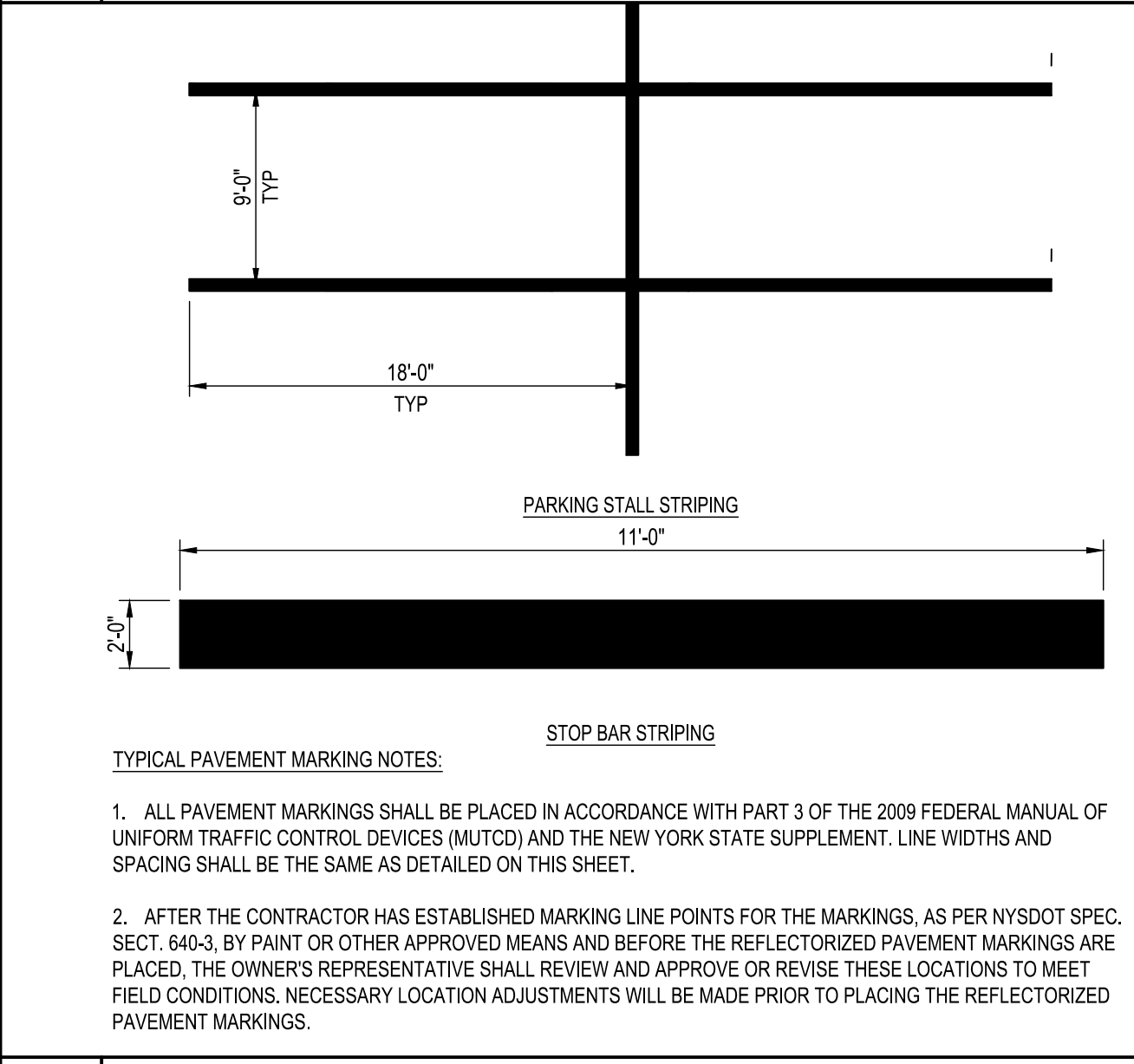
B1 TYPICAL CONCRETE SLAB / PAD DETAIL
SCALE: NOT TO SCALE



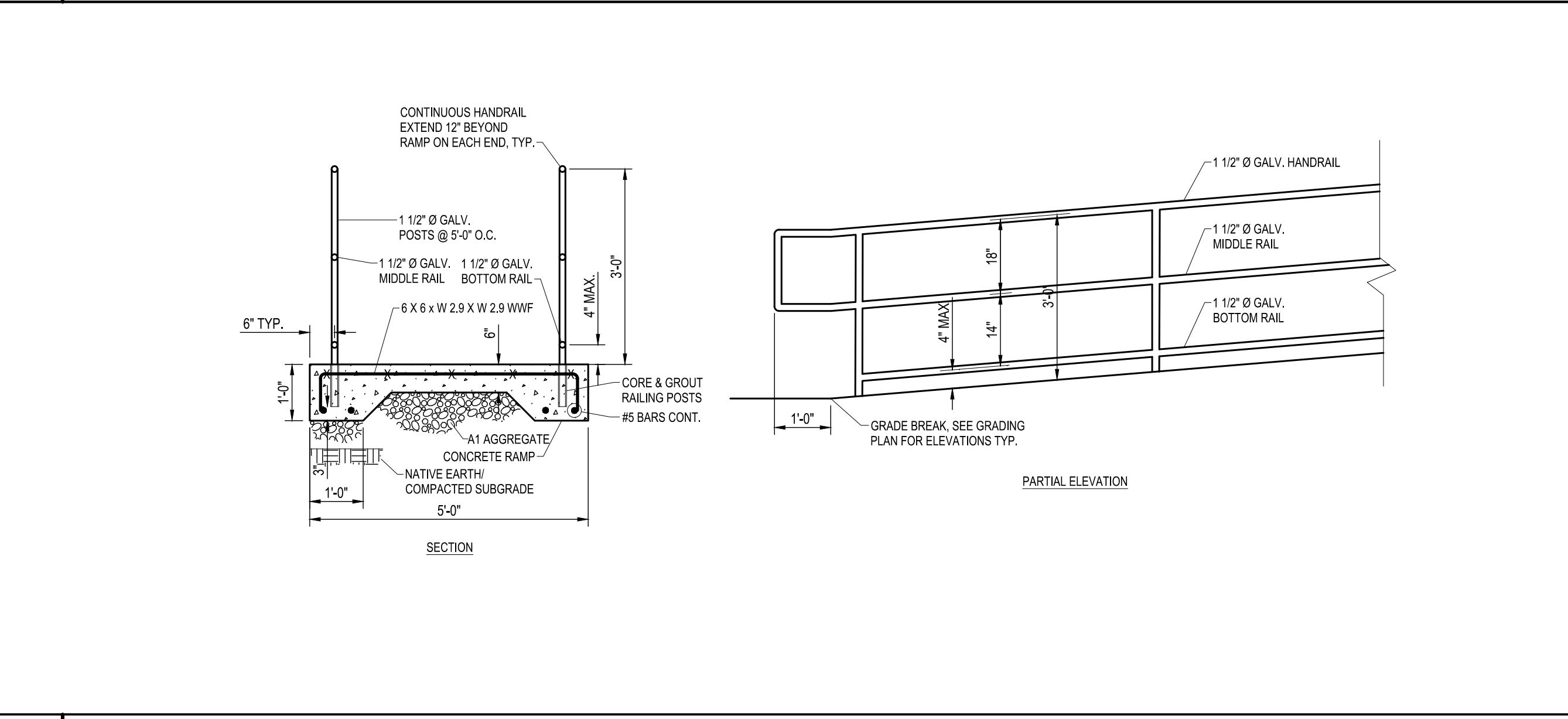
B2 TYPICAL EXTERIOR CONCRETE STAIR DETAIL
SCALE: NOT TO SCALE



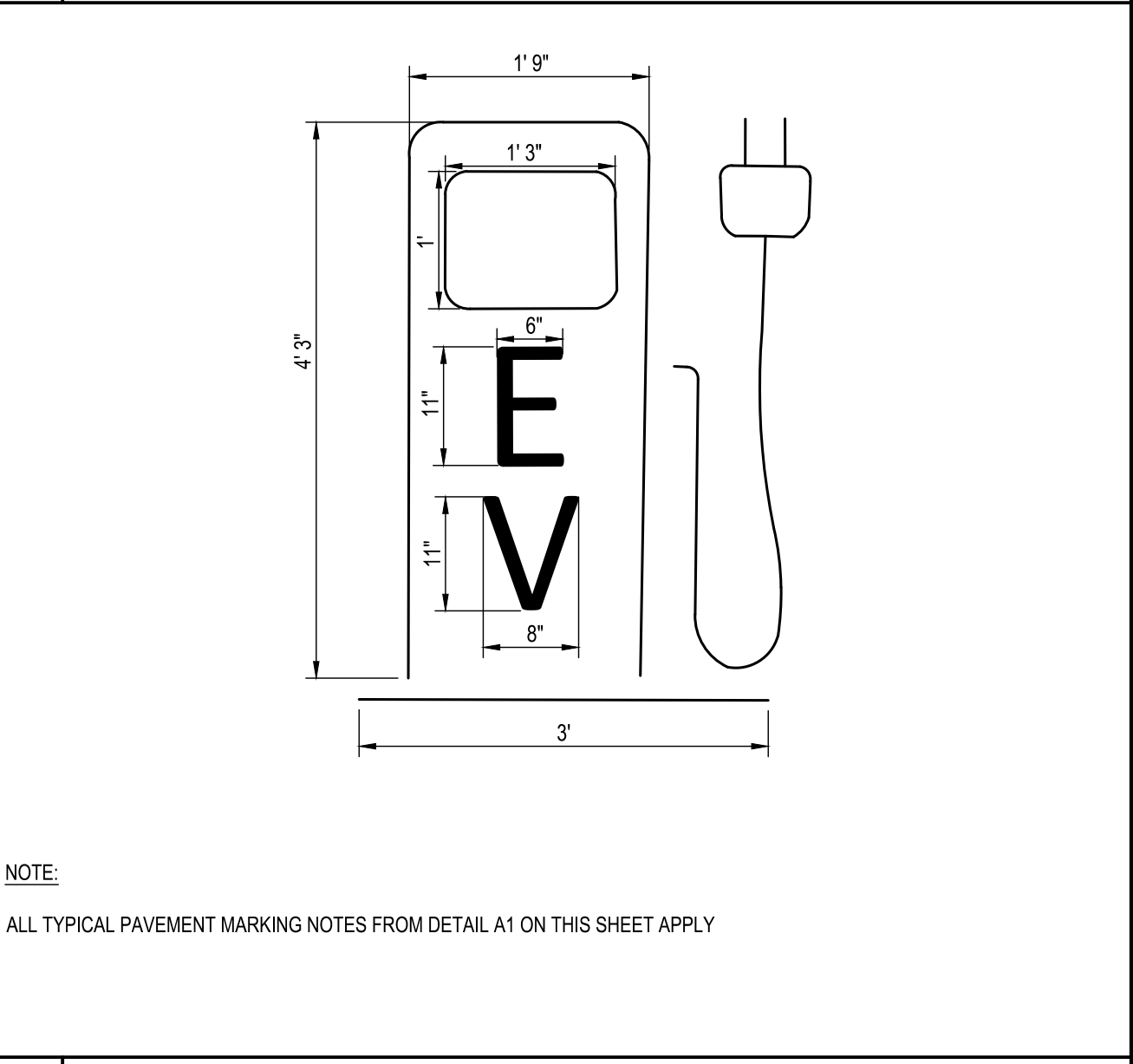
B4 TYPICAL BOLLARD DETAIL
SCALE: NOT TO SCALE



A1 PAVEMENT MARKING DETAILS & NOTES
SCALE: NOT TO SCALE



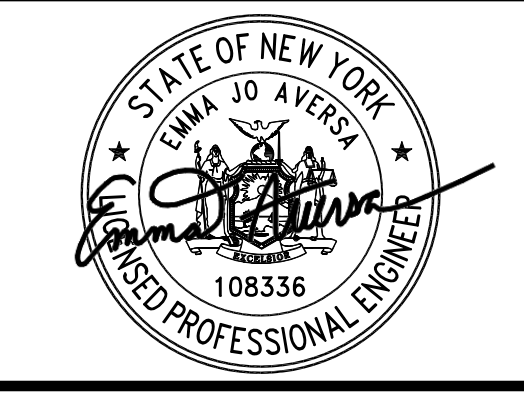
A2 TYPICAL RAMP & RAILING DETAIL
SCALE: NOT TO SCALE



A4 ELECTRIC VEHICLE MARKINGS DETAIL
SCALE: NOT TO SCALE



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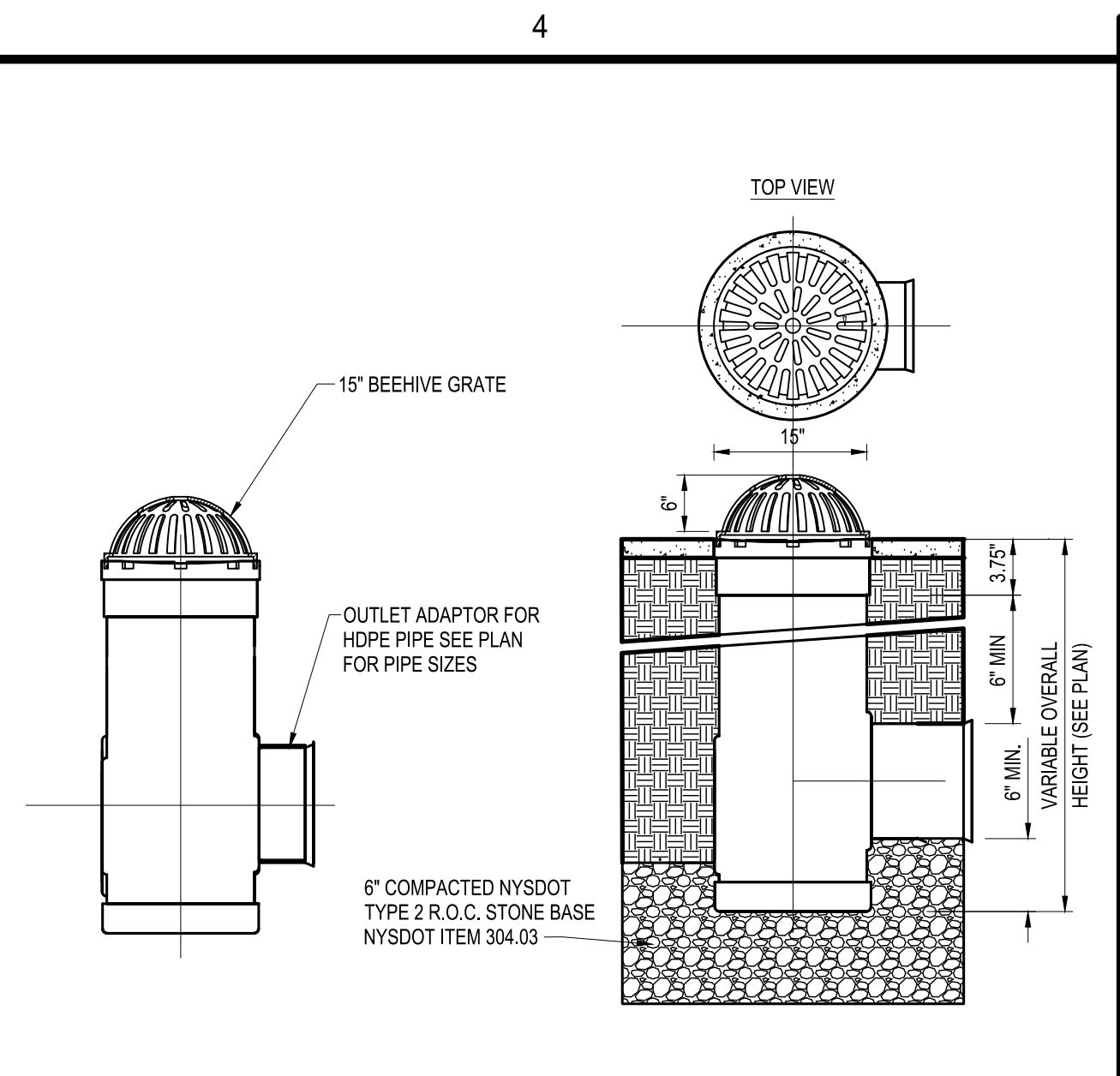
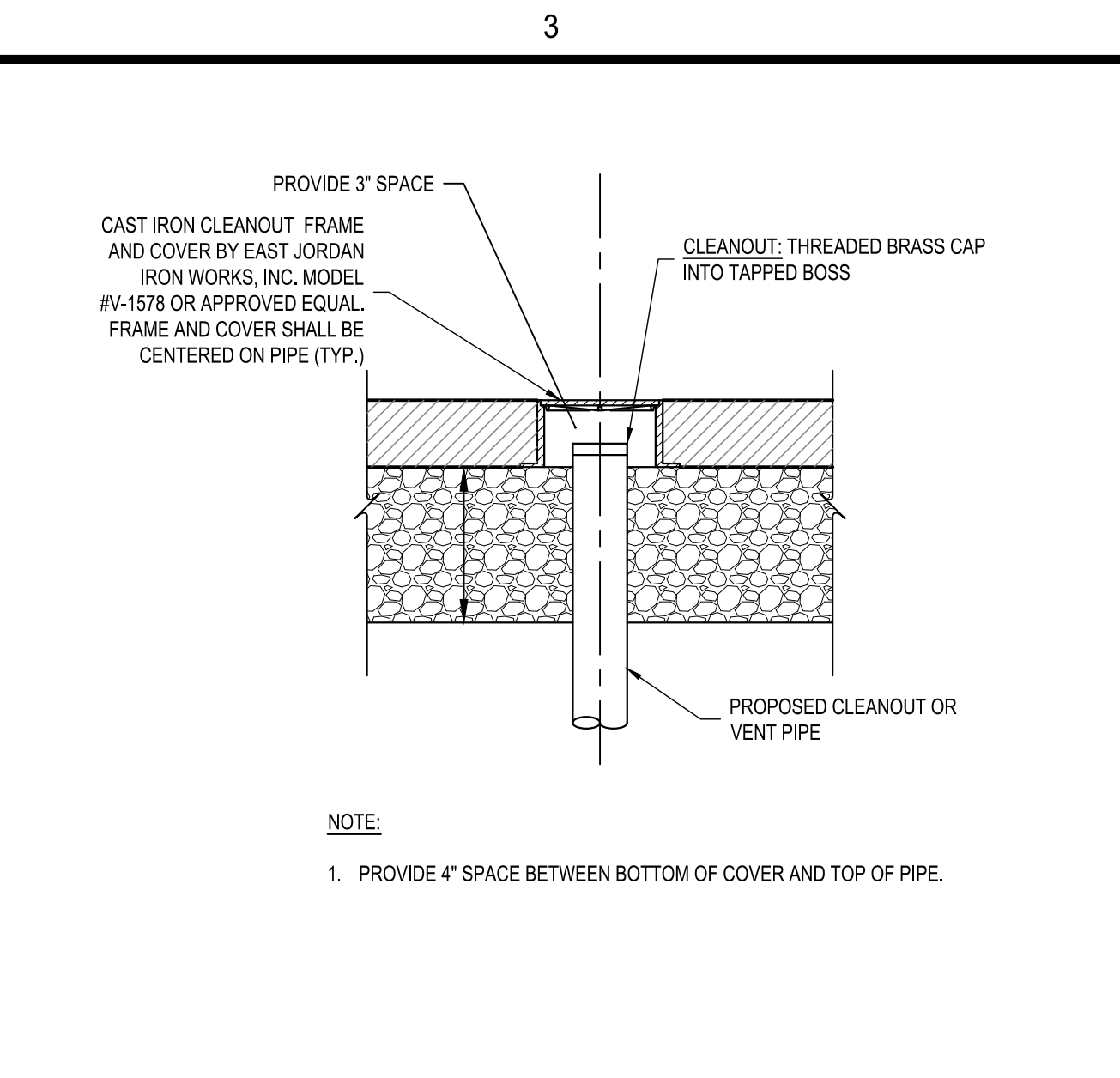
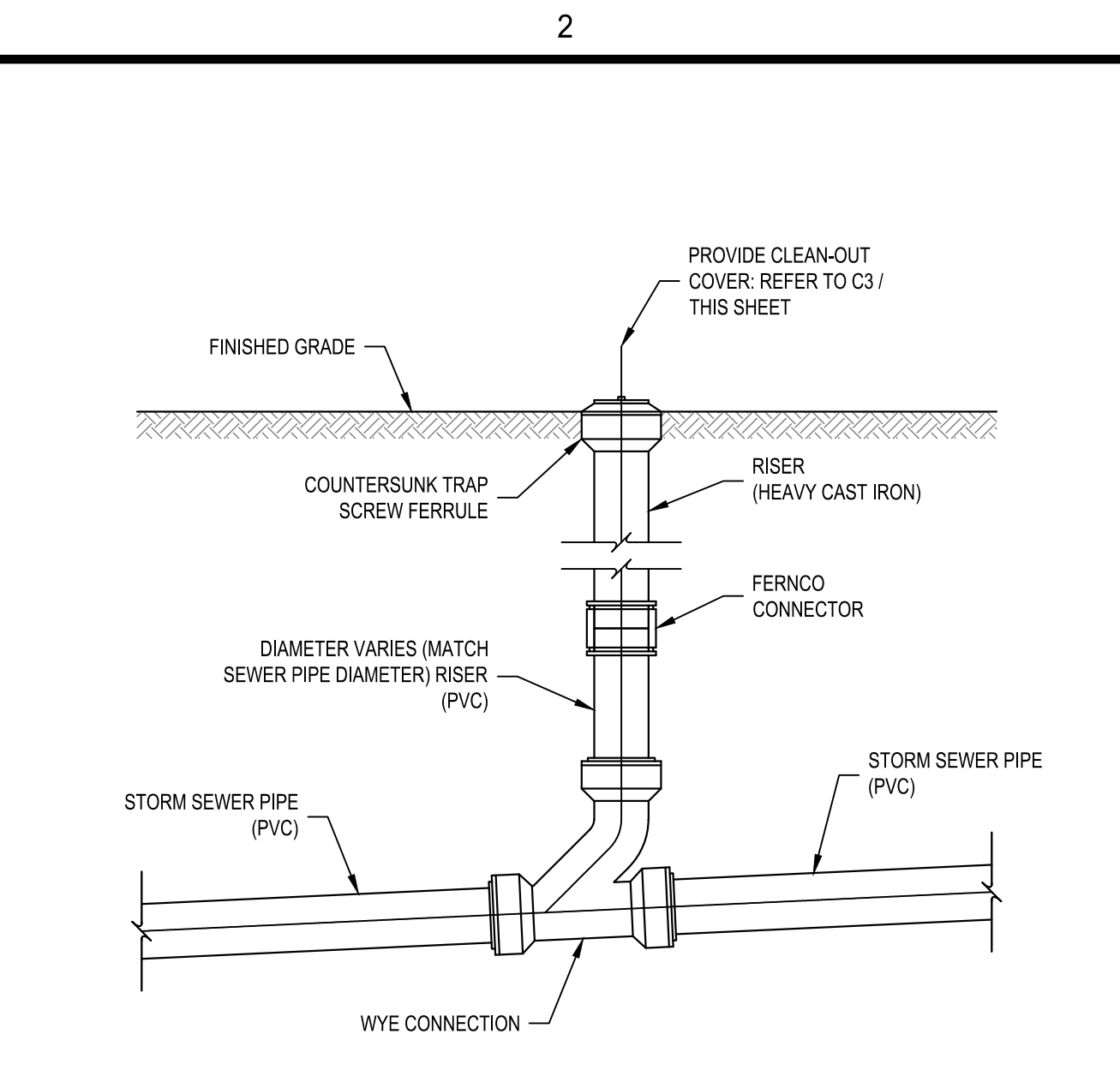
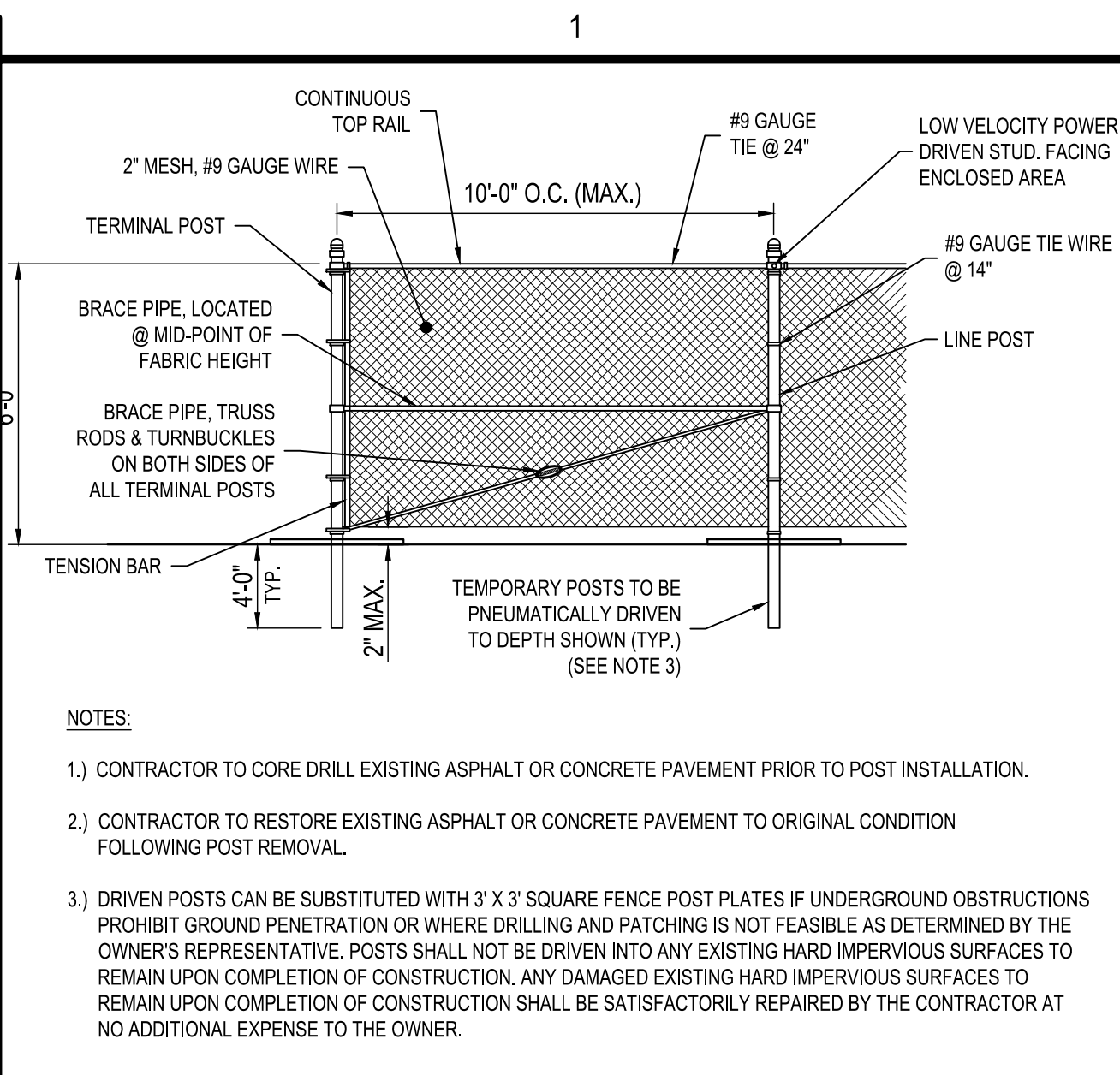
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DESIGNED BY: E. AVERSA, P.E.		
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CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.		

SITE DETAILS

C-503

Aug 15, 2024, 3:27pm P:\Projects\500-02 Syracuse Housing Authority\A23\010\001 - SHA - Central Offices\Design\CAD\Sheet Files\A23\010\001_C-503-DETAILS.dwg

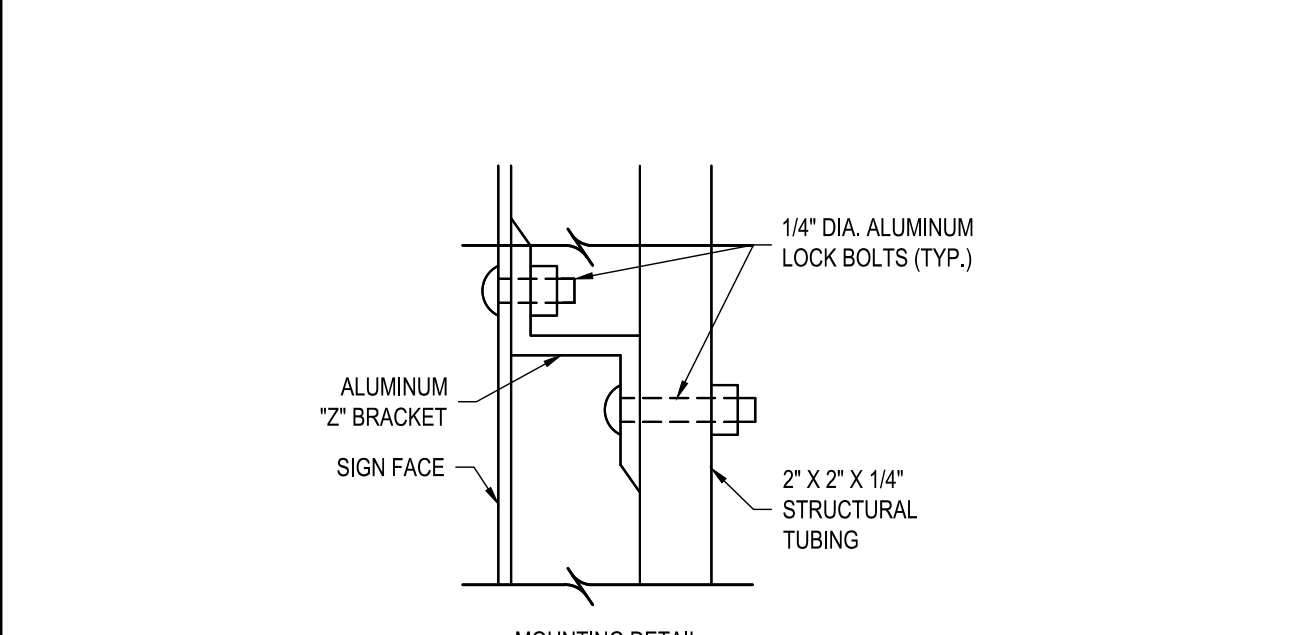


C1 TYPICAL TEMPORARY CONSTRUCTION FENCE DETAIL
SCALE: NOT TO SCALE

C2 TYPICAL STORM SEWER CLEANOUT DETAIL
SCALE: NOT TO SCALE

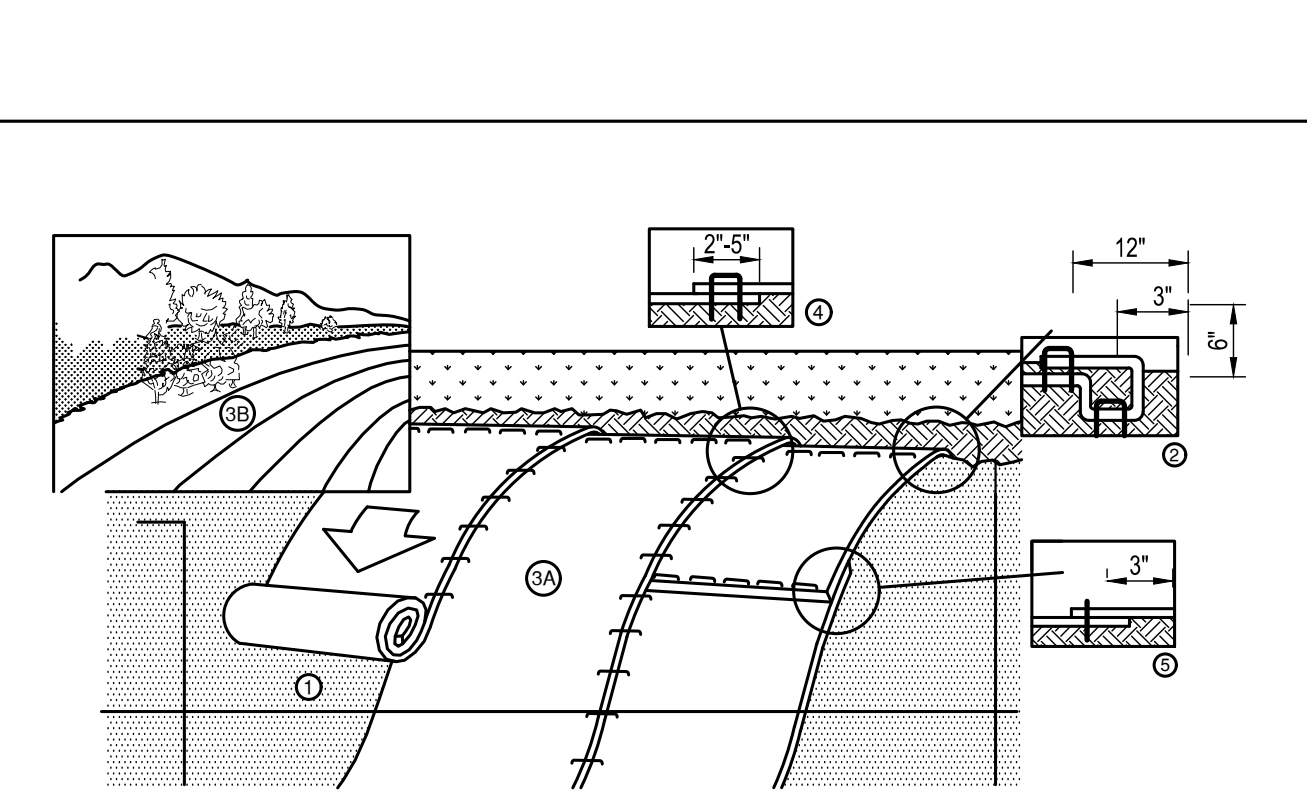
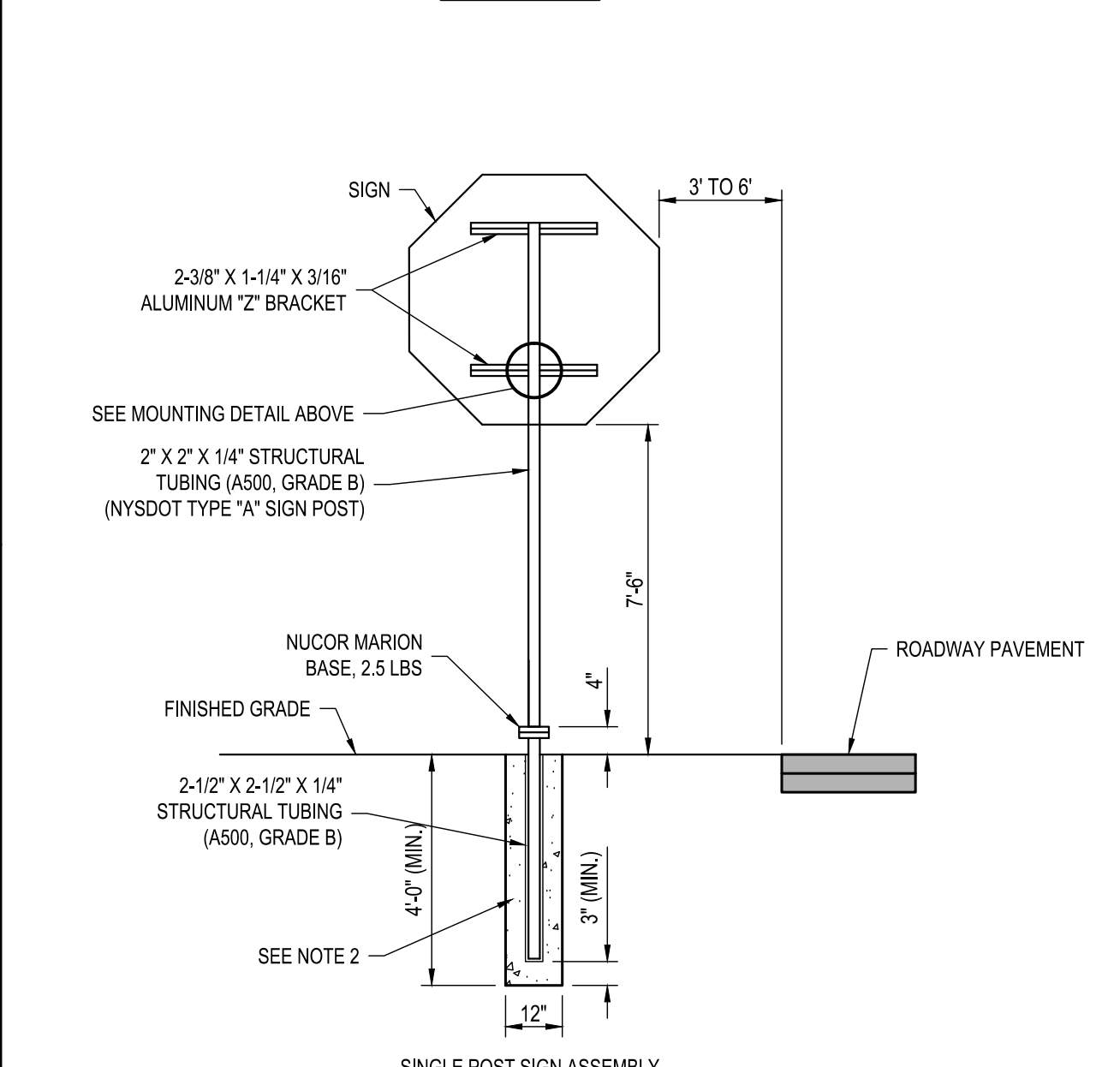
C3 CLEANOUT COVER DETAIL
SCALE: NOT TO SCALE

C4 15" NYLOPLAST YARD DRAIN
SCALE: NOT TO SCALE



SIGNAGE TABLE

SIGN (N.M.U.T.C.D. #)	BACKGROUND & LEGEND COLOR	SIGN SIZE	QTY.	LOCATION
(R7-8 MOD)	WHITE BACKGROUND GREEN LEGEND BLUE & WHITE SYMBOL	12" X 18"	2	AT DESIGNATED ADA AREAS (POST MOUNTED)
(R7-1)	WHITE BACKGROUND GREEN LEGEND BLUE & WHITE SYMBOL	12" X 18"	1	ADJACENT TO ADA PARKING SPACES (POST MOUNTED)
(D9-11b)	WHITE BACKGROUND GREEN LEGEND BLUE & WHITE SYMBOL	24" X 30"	6	AT DESIGNATED EV CHARGING AREAS (POST MOUNTED)

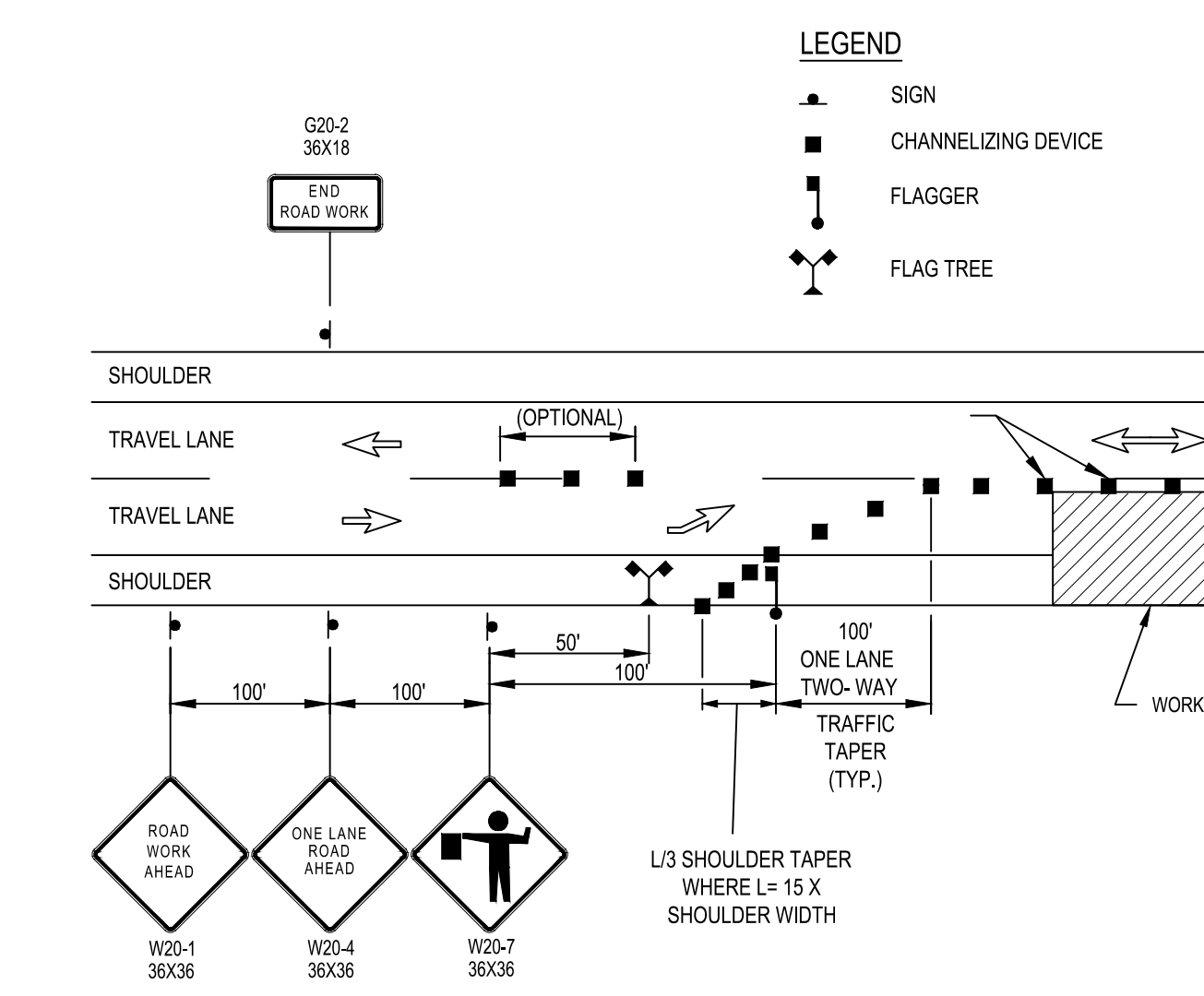


- NOTES:**
- SIGNS SHALL CONFORM IN SIZE, APPEARANCE AND REFLECTORIZATION TO THE REQUIREMENTS OF THE NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (N MUTCD), WITH NEW YORK STATE SUPPLEMENTS.
 - NYSDOT TYPE "A" SIGN POSTS SHALL BE INSTALLED INTO THE GROUND SO THAT THEY PROVIDE A MOMENT CAPACITY OF 2,100 FT-LBS PER POST/AS PER NYSDOT STANDARD SPECIFICATIONS SECTION 645-2). IF SOFT SOILS ARE ENCOUNTERED, SIGN POST BASE SHALL BE INSTALLED WITH A SOIL PLATE OR IN 2,500 PSI CONCRETE AS DIRECTED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR TO COORDINATE SIGN POST LOCATIONS WITH UNDERGROUND UTILITIES. ALL SIGNS SHALL BE STAKED AND LOCATION APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION

- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. (NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.)
- ROLLED EROSION CONTROL PRODUCTS (RECP'S) SHALL BE EITHER "TEMPORARY" OR "PERMANENT," AS CALLED FOR ON THE PLANS. TEMPORARY PRODUCTS SHALL BE SPECIFIED AS "EROSION CONTROL BLANKETS" OR "ECB'S," WHILE PERMANENT PRODUCTS SHALL BE SPECIFIED AS "TURF REINFORCEMENT MATS" OR "TRM'S." ECB'S SHALL BE TENSAR / NORTH AMERICAN GREEN "SC150" OR APPROVED EQUAL. TRM'S SHALL BE TENSAR / NORTH AMERICAN GREEN "CS50" OR APPROVED EQUAL. ALL RECP'S SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. PROVIDE ROLLED EROSION CONTROL BLANKET AT ALL SLOPES IN THE PROJECT AREA WITH A SLOPE GREATER THAN 20%.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
- ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" OVERLAP DEPENDING ON RECP'S TYPE.
- CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE RECP'S WIDTH. (NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.)

WORK ZONE TRAFFIC CONTROL NOTES:

- THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE LENGTH OF THE CONTRACT IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 619 OF THE CURRENT N.Y.S.D.O.T. STANDARD SPECIFICATIONS, THE NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), WITH THE NEW YORK STATE (NYS) SUPPLEMENT, AND THE TEMPORARY TRAFFIC CONTROL NOTES IN THE PLANS.
- THE STANDARDS OF APPLICATION NOTED THEREIN AND ON THE PLANS ARE TO BE CONSIDERED MINIMUM STANDARDS. ADDITIONAL PROTECTION SHALL BE PROVIDED WHEN ORDERED BY THE ENGINEER.
- FOR TYPICAL APPLICATIONS OF TRAFFIC CONTROL DEVICES IN CONSTRUCTION AREAS NOT SPECIFIED IN THE PLANS, THE PROVISION OF PART 6 OF THE M.U.T.C.D. WITH NYS SUPPLEMENT SHALL APPLY.
- PRIOR TO THE START OF CONSTRUCTION, ALL PROPOSED TEMPORARY TRAFFIC CONTROL RELATED WORK SHALL BE COMPLETE. THIS INCLUDES, WHERE APPLICABLE, ALL SIGNS, SIGNALS, PAVEMENT MARKINGS, BARRIERS, DELINEATION (CONES, DRUMS, ETC.) PAVEMENT MODIFICATION, AND ANY OTHER RELATED WORK.
- ALL SIGNS NECESSARY FOR WORK ZONE TRAFFIC CONTROL (INCLUDING RELOCATION AND/OR MODIFICATION AND/OR RESTORATION OF EXISTING SIGN PANELS) AS NOTED IN THE TEMPORARY TRAFFIC CONTROL DETAILS, STANDARD SPECIFICATIONS, NATIONAL M.U.T.C.D. WITH NYS SUPPLEMENT, OR AS ORDERED BY THE ENGINEER SHALL BE INCLUDED WITH THE MPT ITEM.
- ANY EXISTING SIGN IN CONFLICT WITH DETOUR SIGNS SHALL BE COVERED OR REMOVED AS ORDERED BY THE ENGINEER DURING THE DURATION OF THE CONTRACT.
- THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE DONE, DUE TO THE CONTRACTORS METHODS, TO TEMPORARILY REMOVE OR COVER SIGN PANELS OR TEXT.
- COLORS USED FOR CONSTRUCTION SIGNING SHALL BE BLACK LEGEND ON ORANGE BACKGROUND UNLESS OTHERWISE NOTED IN THE SIGNAGE TABLE, THIS SHEET.
- ALL FINAL SIGN LOCATIONS SHALL BE AS ORDERED BY THE ENGINEER.
- THE CONTRACTOR SHALL KEEP TO A MINIMUM, MOVEMENTS OF CONSTRUCTION VEHICLES AND EQUIPMENT IN AND OUT OF DESIGNATED TRAVEL LANES, ONLY NECESSARY OR AUTHORIZED VEHICLES AS DETERMINED BY THE ENGINEER SHALL BE ALLOWED TO ENTER ANY PHASE OF WORK.
- THE CONTRACTOR SHALL NOT PARK HIS EQUIPMENT OVERNIGHT NOR STORE MATERIALS WHERE IT IS DEEMED A SAFETY HAZARD TO TRAFFIC BY THE ENGINEER.
- INGRESS AND EGRESS SHALL BE MAINTAINED AT ALL TIMES AT INTERSECTIONS AND DRIVEWAYS, BOTH RESIDENTIAL AND COMMERCIAL.



- STOP/SLOW PADDLES SHALL BE USED FOR FLAGGING AND SHALL BE FABRICATED NYSDOT ASTM TYPE 1X SHEETING, SHALL BE A MINIMUM OF 2.0 FT AND SHALL CONFORM TO THE REQUIREMENTS OF STANDARD SPECIFICATION 729-05.
- THE CONTRACTOR SHALL PROVIDE FLAGGERS WHERE SIGHT DISTANCES ARE IMPAIRED BY WORK OPERATIONS OR AS ORDERED BY THE ENGINEER.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL INFORM LOCAL EMERGENCY AGENCIES AND SCHOOL DISTRICTS OF ROAD CLOSURES AND ANTICIPATED TIME PERIODS OF CLOSURE.
- CONSTRUCTION SIGNS SHALL BE MOUNTED AS SHOWN IN CHAPTER 6F OF THE NATIONAL M.U.T.C.D. AND NYS SUPPLEMENT.
- WHEN PAVED SHOULDERS HAVING A WIDTH OF 8' OR MORE ARE CLOSED, CHANNELIZING DEVICES SHALL BE USED TO CLOSE THE SHOULDER IN ADVANCE TO DELINEATE THE BEGINNING OF THE WORK AREA AND DIRECT VEHICULAR TRAFFIC TO REMAIN IN THE TRAVEL WAY.
- WHEN A SIDE ROAD OR DRIVEWAY INTERSECTS THE ROADWAY WITHIN A WORK ZONE TRAFFIC CONTROL AREA, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES AND/OR FLAGGERS SHALL BE PLACED AS NEEDED. ADDITIONAL FLAGGERS SHALL BE LOCATED AT ALL INTERSECTIONS AND COMMERCIAL DRIVEWAYS LOCATED WITHIN OR NEAR THE ACTIVE WORK SPACE.
- NO WORK ACTIVITY, EQUIPMENT, OR STORAGE OF VEHICLES, OR MATERIAL SHALL OCCUR WITHIN THE BUFFER SPACE AT ANY TIME.
- CHANNELIZING DEVICE SPACING (CENTER TO CENTER) SHALL NOT EXCEED 30' IN THE ACTIVE WORK SPACE.
- THE END ROAD WORK SIGN (G20-2) SHALL BE PLACED A MAXIMUM OF 500' PAST THE END OF THE WORK SPACE.
- WHERE DIRECTED BY THE ENGINEER, A BUFFER SPACE SHALL BE PROVIDED IN ORDER TO LOCATE THE ONE-LANE, TWO-WAY TRAFFIC TAPER PRIOR TO ANY HORIZONTAL OR VERTICAL CURVE, IN ORDER TO PROVIDE ADEQUATE SIGHT DISTANCE FOR THE FLAGGERS AND/OR A QUEUE OF STOPPED VEHICLES.
- THE FLAG TREE SHALL BE LOCATED ON THE SHOULDER, AT APPROXIMATELY 1/2 THE DISTANCE BETWEEN THE FLAGGER SIGN (W20-7A) AND THE FLAGGER.
- FLAGGER SIGN (W20-7A) AND ONE LANE ROAD AHEAD SIGN (W20-4) SHALL BE REMOVED, COVERED OR TURNED AWAY FROM ROAD USERS WHEN FLAGGING OPERATIONS ARE NOT OCCURRING.
- FLAGGER AND FLAG TREE SHALL BE ILLUMINATED TO LEVEL II ILLUMINATION DURING NIGHT TIME OPERATIONS.
- ALL FLAGGERS SHALL USE 24" (MIN.) OCTAGON SHAPED STOP/SLOW PADDLES HAVING 6' STAFF.
- CENTERLINE CHANNELIZING DEVICES ARE OPTIONAL AND MAY BE ELIMINATED WHERE SPACE CONSTRAINTS EXIST.
- CONTRACTOR SHALL RETURN THE ROAD TO TWO-WAY TRAFFIC AT THE END OF EACH WORKDAY.

A1 TRAFFIC SIGN DETAILS & SIGNAGE TABLE
SCALE: NOT TO SCALE

A2 TYPICAL ROLLED EROSION CONTROL PRODUCT DETAIL
SCALE: NOT TO SCALE

A3 WORK ZONE TRAFFIC CONTROL NOTES & DETAILS
SCALE: NOT TO SCALE

C4 15" NYLOPLAST YARD DRAIN
SCALE: NOT TO SCALE

C&S COMPANIES
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www.cscos.com

STATE OF NEW YORK
EMMA JO AVERSA
108336
REGISTERED PROFESSIONAL ENGINEER

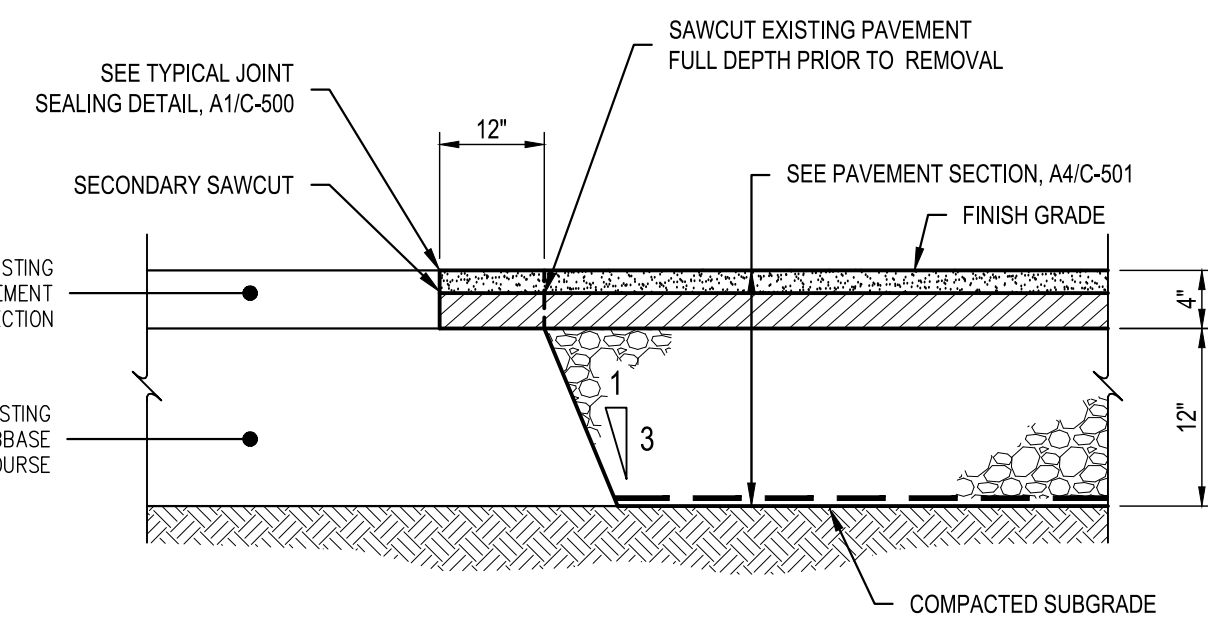
SHA
SYRACUSE HOUSING AUTHORITY

SHA - NEW CENTRAL OFFICES
500-02 BURT STREET
SYRACUSE, NEW YORK 13202

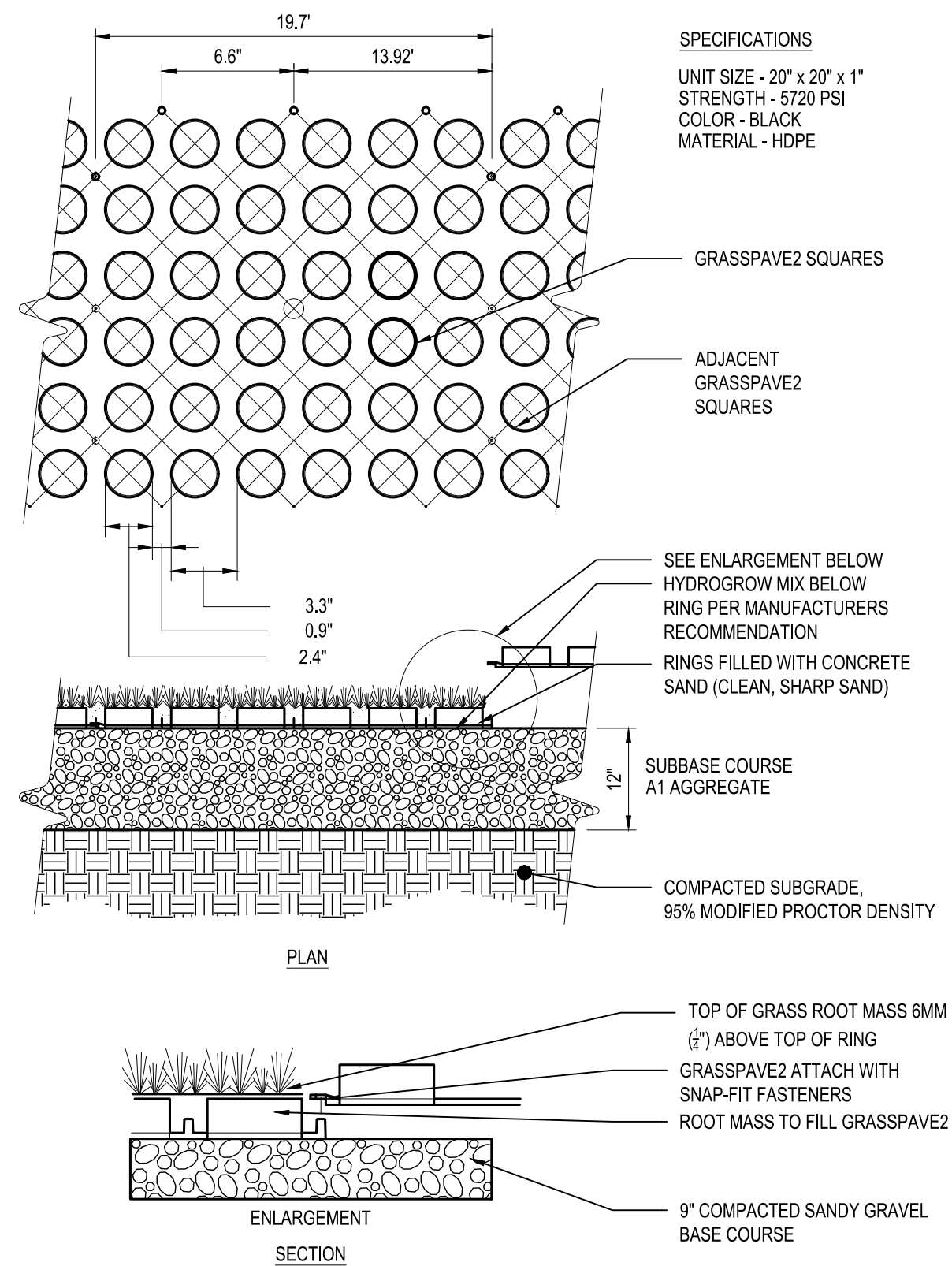
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	A23.010.001	
DATE:	25 AUG 2024	
DRAWN BY:	E. AVERSA, P.E.	
DESIGNED BY:	E. AVERSA, P.E.	
CHECKED BY:	E. AVERSA, P.E.	
CONTRACTOR SHALL VERIFY ALL CONDITIONS ON JOB SITE & NOTIFY THE OWNER OF ANY VARIATIONS FROM DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH ANY CONSTRUCTION.		

SITE DETAILS

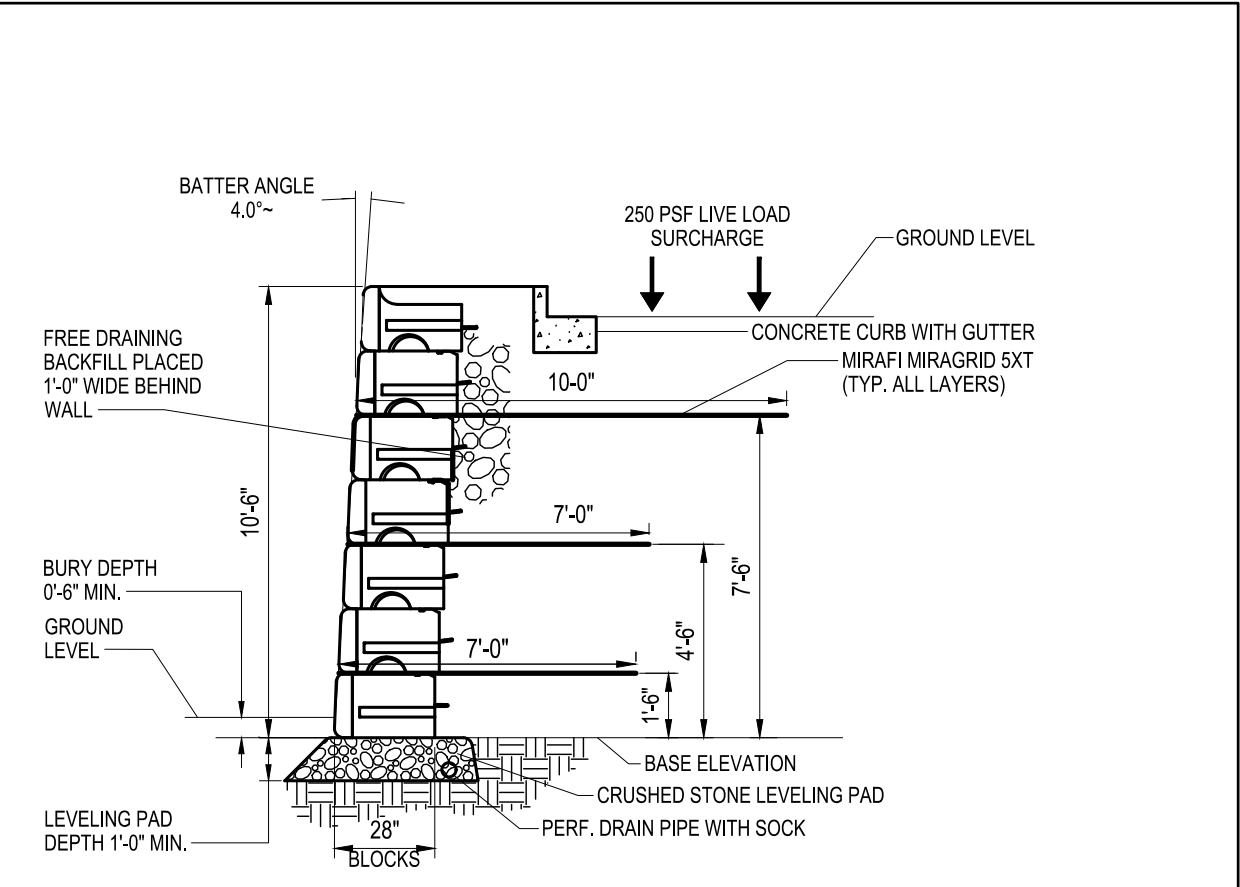
C-504



C1 TYPICAL ASPHALT KEYING DETAIL
SCALE: NOT TO SCALE



A1 TYPICAL GRASSPAVE DETAIL
SCALE: NOT TO SCALE



A2 TYPICAL REINFORCED RETAINING WALL SECTION DETAIL
SCALE: NOT TO SCALE



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SITE DETAILS

C-505

Aug 15, 2024, 3:28pm C:\Users\aversa\AppData\Local\Temp\pdp\shh_L_1226269\A23010001_C-505-DETAILS.dwg



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**SHA - CENTRAL OFFICES
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 SYRACUSE, NEW YORK 13202**

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO.: A23.010.001		
DATE: 1 AUG 2024		
DRAWN BY: M. GNYP		
DESIGNED BY: G. EURE		
CHECKED BY: N. BROWN, AIA		
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PROJECT NO.: A23.010.001

DATE: 1 AUG 2024

DRAWN BY: M. GNYP

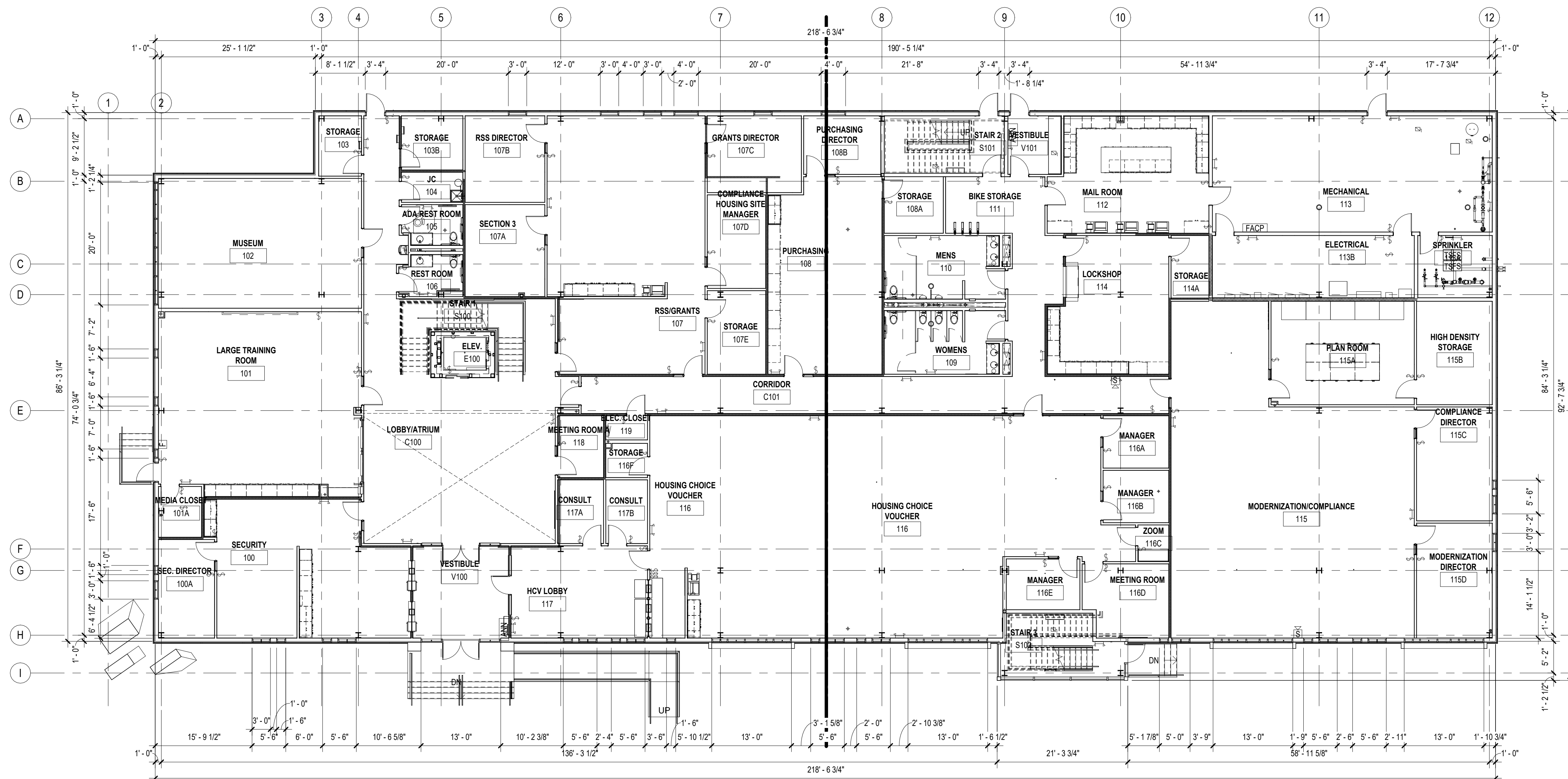
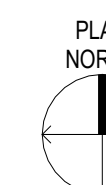
DESIGNED BY: G. EURE

CHECKED BY: N. BROWN, AIA

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**FIRST FLOOR PLAN -
 OVERALL
 DIMENSIONING**

A-003



A1 FIRST FLOOR OVERALL PLAN
 SCALE: 3/32" = 1'-0"



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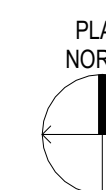
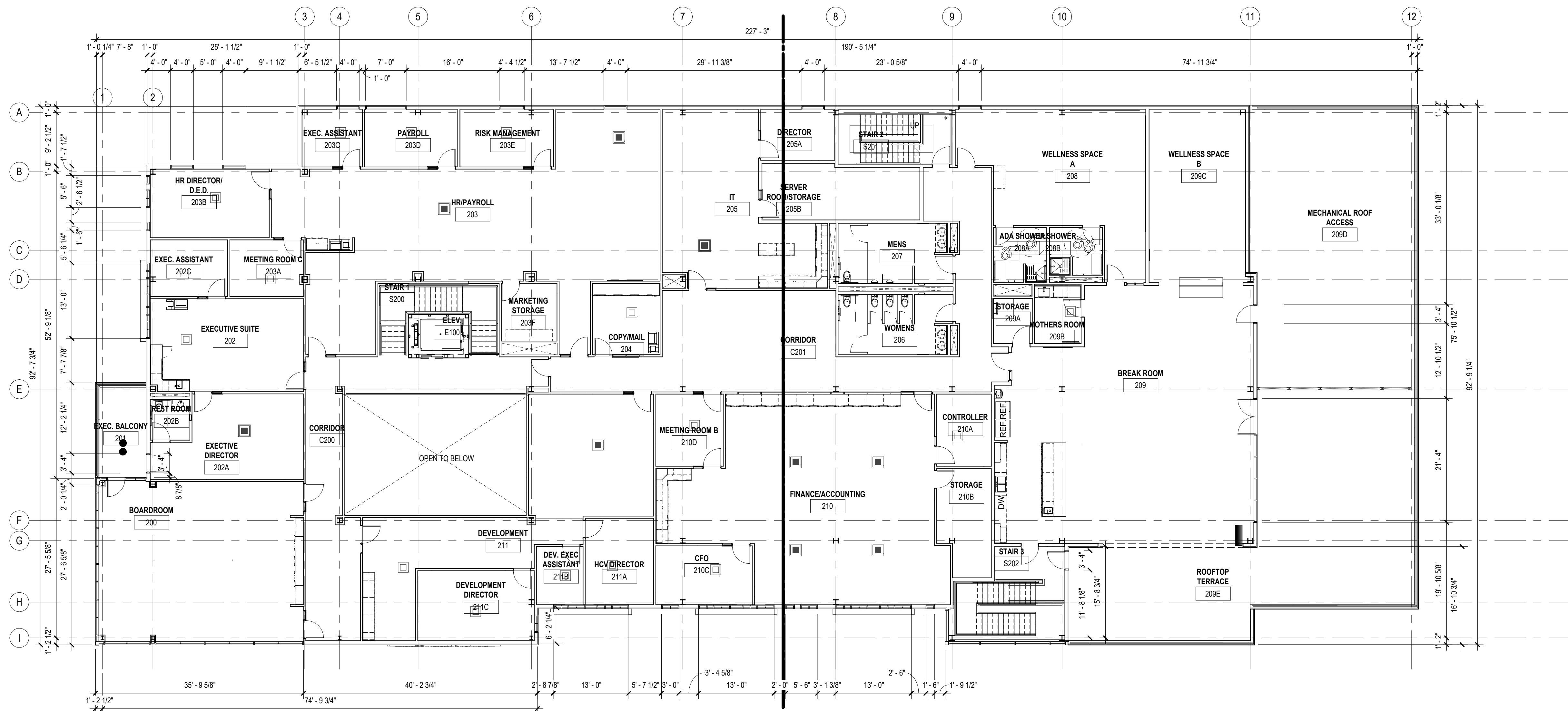


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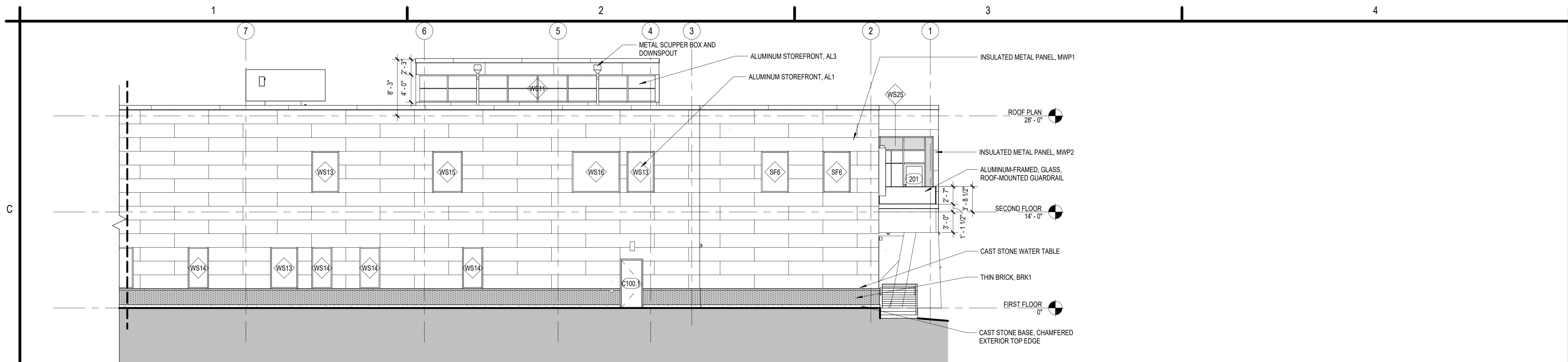
SECOND FLOOR PLAN - OVERALL DIMENSIONING

A-004

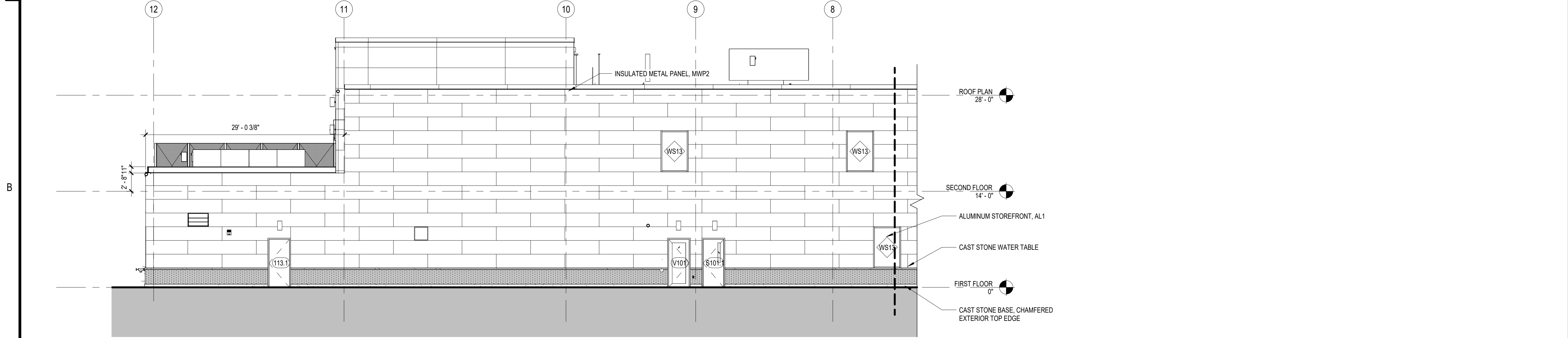


A1 SECOND FLOOR OVERALL PLAN
 SCALE: 3/32" = 1'-0"

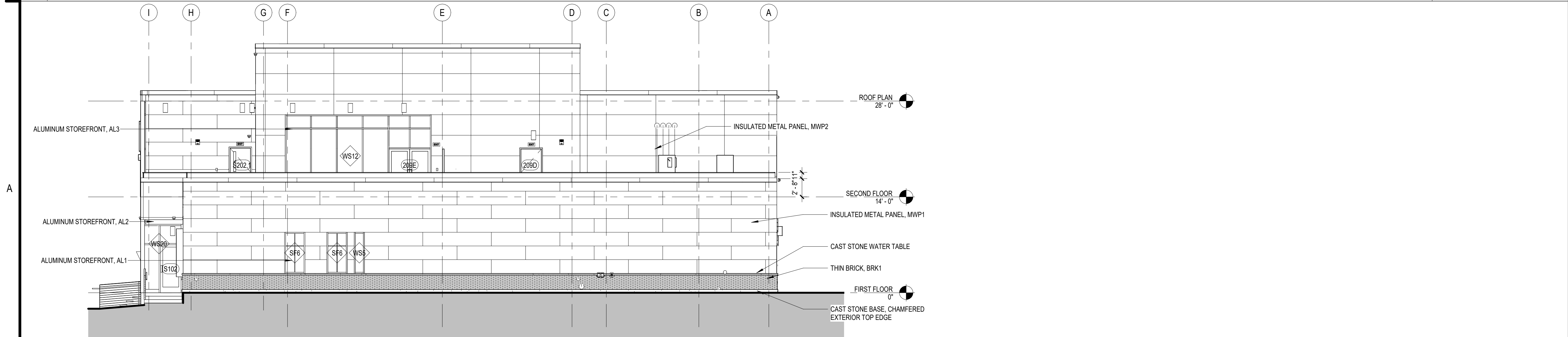




C1 NORTH ELEVATION - AREA A
SCALE: 1/8" = 1'-0"



B2 NORTH ELEVATION - AREA B
SCALE: 1/8" = 1'-0"



A1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



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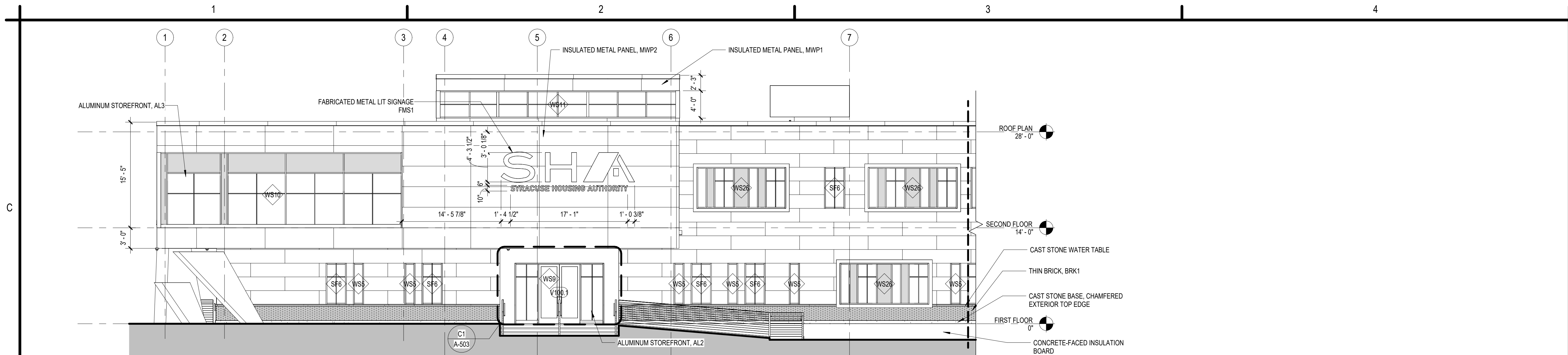


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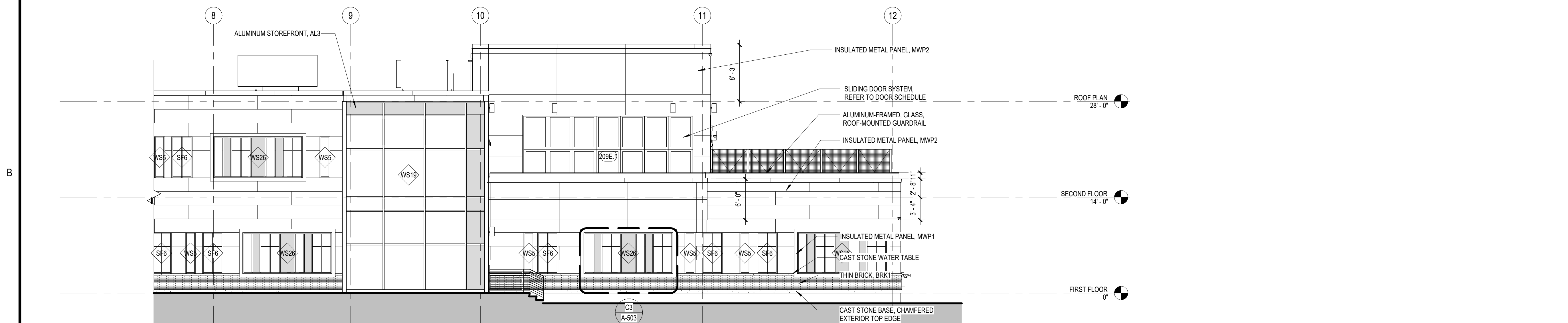
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ELEVATIONS

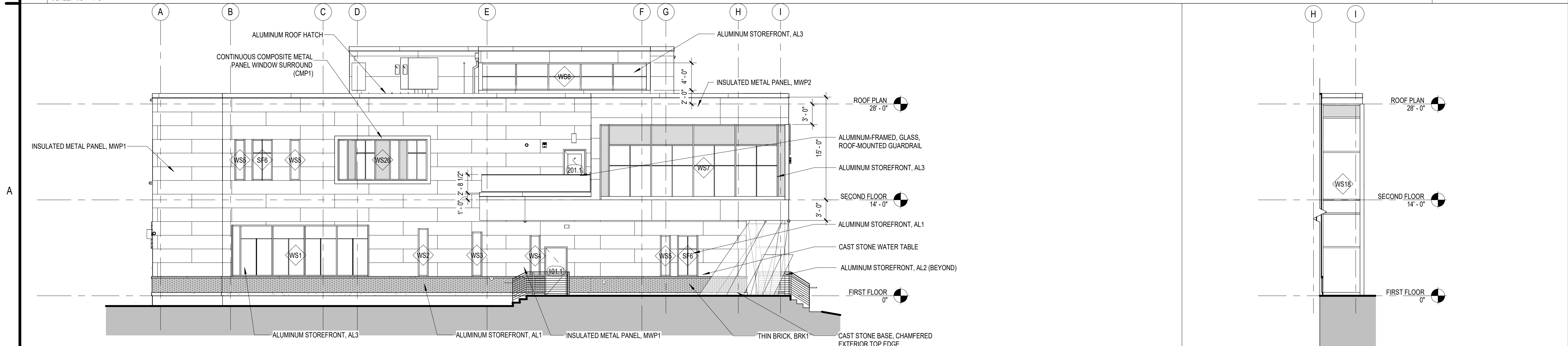
A-200



C1 SOUTH ELEVATION - AREA A
SCALE: 1/8" = 1'-0"



B1 SOUTH ELEVATION - AREA B
SCALE: 1/8" = 1'-0"



A1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

A4 WEST ELEVATION - AT STAIR
SCALE: 1/8" = 1'-0"



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ELEVATIONS

A-201

1

2

3

4

C

C

B

B

A

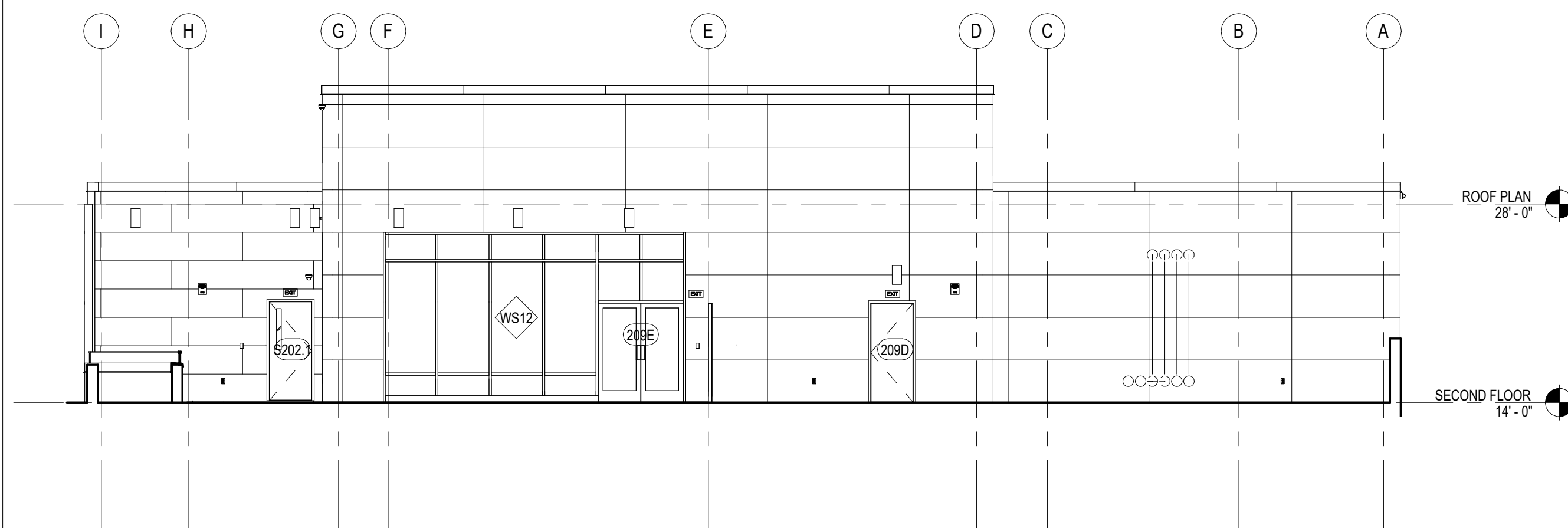
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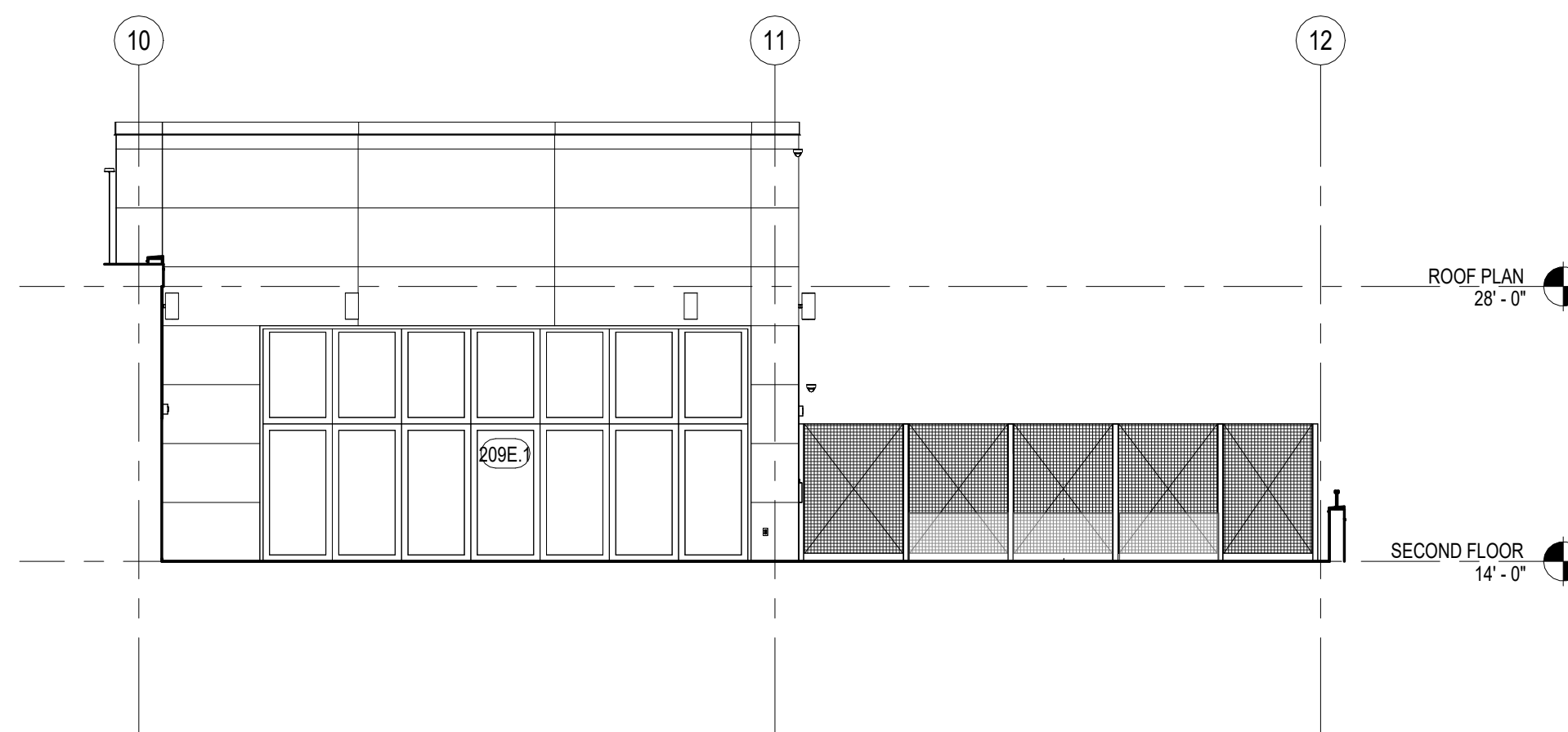
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B3 ROOFTOP TERRACE - WEST
 SCALE: 1/8" = 1'-0"



A3 ROOFTOP TERRACE - NORTH
 SCALE: 1/8" = 1'-0"



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ELEVATIONS

A-202

City of Syracuse
Office of Zoning Administration

RESUBDIVISION / LOT ALTERATION APPLICATION

One Park Place, 300 S State St *Suite 700* Syracuse, NY 13202

315-448-8640 * zoning@syr.gov *

www.syr.gov/Departments/Zoning-Administration

Office Use Filing Date: Case: Zoning District:

REQUESTED (Check applicable and provide the subdivision name, existing and proposed number of lots, and total area.)

	<u>Subdivision Name</u>	<u>Number of Lots</u>	<u>Total Area</u>
<input checked="" type="checkbox"/> Resubdivision:	Syr. Housing Authority Central Offices	13	1.70 acres
<input type="checkbox"/> Lot Alteration:			

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) See attached Tax Parcel List			
2)			
3)			
4)			

As listed in the Department of Assessment property tax records at <http://syrgov.net/Assessment.aspx> - 315-448-8280.

COMPANION ZONING APPLICATION(S) (List any related City Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

1) Project Site Review 2) 3)

PROJECT CONSTRUCTION (Check all that apply and briefly describe, as applicable.)

<input checked="" type="checkbox"/> Demolition (full and partial):	Removal of existing pavement, fence and old foundations
<input checked="" type="checkbox"/> New Construction:	New building along west side of site with associated parking area
<input type="checkbox"/> Façade (Exterior) Alterations:	
<input checked="" type="checkbox"/> Site Changes:	Site grading for building and parking lot, sidewalks, landscaping

PROJECT INFORMATION (Briefly describe, as applicable.)

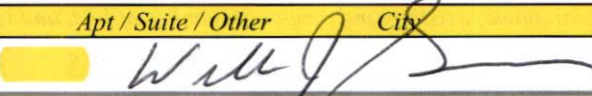
Project Name:	Syracuse Housing Authority Central Offices
Current Land Use(s):	Vacant Land
Proposed Land Use(s):	Office Building
Number of Dwelling Units:	N/A
Days and Hours of Operation:	8:30AM - 4:30PM
Number of Onsite Parking Spaces:	Proposed: 50 spaces (2 ADA)

PROJECT DESCRIPTION (Provide a brief description of the project, including purpose or need, and justification.)

Syracuse Housing Authority is proposing the construction of a new central office building within the City of Syracuse in Onondaga County, New York. The project, located at 500-02 Burt Street, Syracuse, NY 13202, is located on a 1.70-acre parcel. The purpose of the project is to replace the current facility that has exceeded its useful life. The current facility is also located in an area that will be taken for the I-81 Viaduct Project.

PROPERTY OWNER(S) (required)

As listed in Department of Assessment property tax records (<http://syrgov.net/Assessment.aspx> - 315-448-8280). If not listed as the owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a letter describing the legal arrangement. If the property owner is a Corporation or Organization, the person signing must provide member verification. **Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.**

William	Simmons	President	Syracuse Housing Authority		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>		<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>
					<i>Email:</i>
* <i>Signature:</i>				<i>Date:</i> 9/10/24	

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>		<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>
					<i>Email:</i>
* <i>Signature:</i>		<i>Date:</i>			

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>		<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>
					<i>Email:</i>
* <i>Signature:</i>		<i>Date:</i>			

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>		<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>
					<i>Email:</i>
* <i>Signature:</i>		<i>Date:</i>			

*** OWNER SIGNATURE DECLARATION**
 I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>		<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>
					<i>Email:</i>

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>		<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>
					<i>Email:</i>

REPRESENTATIVE(S)/CONTACT(S) (if applicable)

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>		<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>
					<i>Email:</i>

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>		<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>
					<i>Email:</i>

Resubdivision / Lot Alteration Application
INSTRUCTIONS AND REQUIRED SUBMITTALS

Incomplete applications will not be processed.

Applications together with the required submittals listed below must be submitted in **HARD COPY, SINGLE-SIDE** and **NOT BOUND**, to the City of Syracuse Office of Zoning Administration, One Park Place, 300 S State St, Suite 700, Syracuse, NY 13202, Syracuse, NY 13202.

Please submit **ONE (1) COPY** of the following:

- APPLICATION** – filled out completely, dated, and **signed by property owner as instructed.**
- STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR) Short Environmental Assessment Form (SEAF) - Part One** - filled out to the best of your ability, dated, and signed by preparer..
- APPLICATION FEE** – \$0.

Please submit **FIVE (5) FULL-SIZE AND TO-SCALE paper maps for review purposes, and ONE (1) REDUCED (11X17" or smaller) paper map for copying, and a PDF File to hpan@syr.gov** of the following:

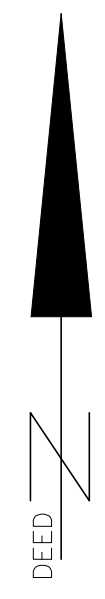
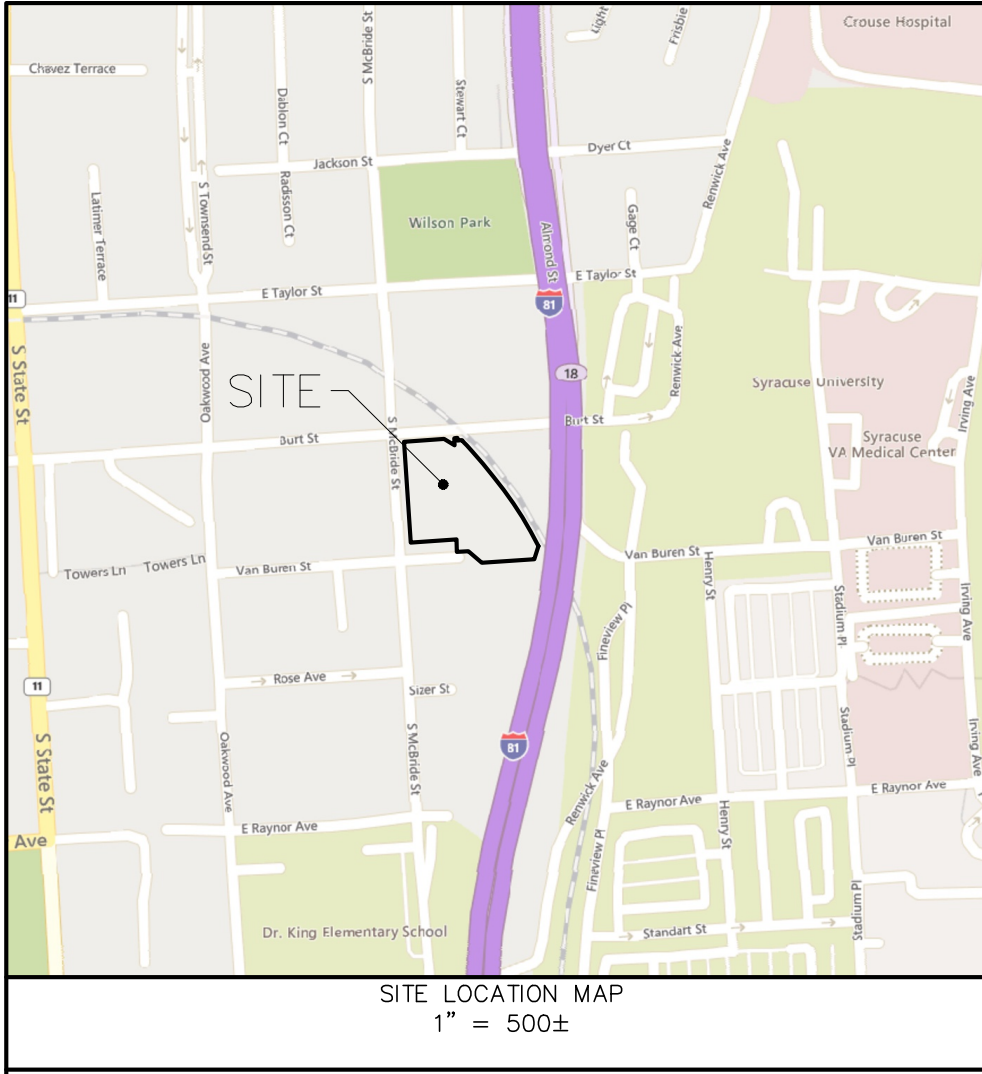
- RESUDIVSION/LOT ALTERATION MAP** (per the Syracuse-Onondaga County Guide 11-17-2011
No larger than 36"x 44"
 - **The map must indicate the Existing Address and Proposed address for the consistency between Tax parcel and 9-11 address (to be verified by Syracuse-Onondaga County Planning Agency Address Administration Certification. Tel: 315-435-2616/ DanielSmith@ongov.net)**
 - Five Signature Blocks (County Health Department, and City Planning Commission, Assessment, Finance, Engineering)
 - Tract name (cannot be Farm Lot or Military Lot)
 - Farm/Military Lot and/or block numbers
 - Municipality, Scale, Date, North arrow
 - Certificate of Licensed Land Surveyor: "We (or I) hereby certify that this is an accurate subdivision plat prepared by us (or me) on (date). This subdivision plat meets the current standards stated in the NYSAPLS Code of Practice for Land Surveys pertaining to All Boundary/Title Surveys. The subdivision boundary closure is (boundary closure precision). This map is not valid without the original seal of the surveyor."
 - Each new lot will have a definite designation number or letter per the new map.
 - Each amended lot will have a definite designation per the new map to avoid confusion with the original lot designation as shown on a previous subdivision map (e.g. Lot 10 becomes Lot 10A).
 - Existing parcels or lots to be added to or subtracted from will have a definite designation per the new map depicting all necessary conveyances.
 - Each line or curve of all new or amended lots must clearly show all necessary geometry.
 - Shorelines will have a tie line with geometry for closure.
 - The map shall have absolutely no disclaimers preventing the use of said map as a legal descriptor for any new or amended lot or lots shown.
 - All amended maps or resubdivision maps must recite which existing map # they are amending & clearly describe which lots or areas are being amended & why.
- AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries, easements, and current conditions including structures, fencing, parking surface, and retaining walls if not illustrated on the
- Resubdivision or Lot Alteration Map (signed and stamped by a licensed surveyor).**

SITE PLAN(S) illustrating site alterations and post project conditions that are/will be different from the As Built Property Survey or Resubdivision / Lot Alteration Map:

1. **Zoning Schedule** (density, setbacks, structure / parking surface coverage, screening, onsite parking, etc.)
2. **demolitions** and **post demolition** conditions
3. **structures, facilities, utilities and drainage**
4. **parking areas** including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage
5. **loading** dock and delivery areas
6. **dumpsters** and/or trash receptacles
7. **landscaping** including type, height, and number of plantings
8. **screening/fencing** including type and height for parking, dumpsters, and site
9. **lighting** including structure heights and luminaries wattage
10. **ground signs**
11. **STREET rights-of-way** conditions, existing and proposed, including curb cuts, driveways, sidewalks, and plantings
12. **ENROACHMENTS**, existing or proposed, into the City rights-of-way including stairs, signs, and awning

SYRACUSE HOUSING AUTHORITY TAX PARCEL LIST

TAX ASSESSMENT ADDRESS	TAX MAP ID	OWNER	DATE ACQUIRED
500-02 Burt St & Mcbride St S	094.-11-01.0	Syr Housing Authority	1989
504 Burt St	094.-11-02.0	Syr Housing Authority	2003
506 Burt St	094.-11-03.0	Syr Housing Authority	1989
508 Burt St Rear	094.-11-04.0	Syr Housing Authority	2003
512 Burt St To Vanburen St	094.-11-05.0	Syr Housing Authority	2003
305 Van Buren St	094.-11-08.0	Syr Housing Authority	Not in tax records
303 Van Buren St	094.-11-09.0	Syr Housing Authority	2003
1313 Mcbride St S & Van Buren	094.-11-10.0	Syr Housing Authority	1988
1311 Mcbride St S	094.-11-11.0	Syr Housing Authority	1992
1309 Mcbride St S	094.-11-12.0	Syr Housing Authority	1989
1307 Mcbride St S	094.-11-13.0	Syr Housing Authority	2001
1305 Mcbride St S	094.-11-14.0	Syr Housing Authority	2003
1303 Mcbride St S	094.-11-15.0	Syr Housing Authority	2003



- LEGEND**
- CONCRETE MONUMENT FOUND
 - IRON PIPE FOUND
 - IRON ROD FOUND
 - IRON ROD SET
 - UTILITY POLE

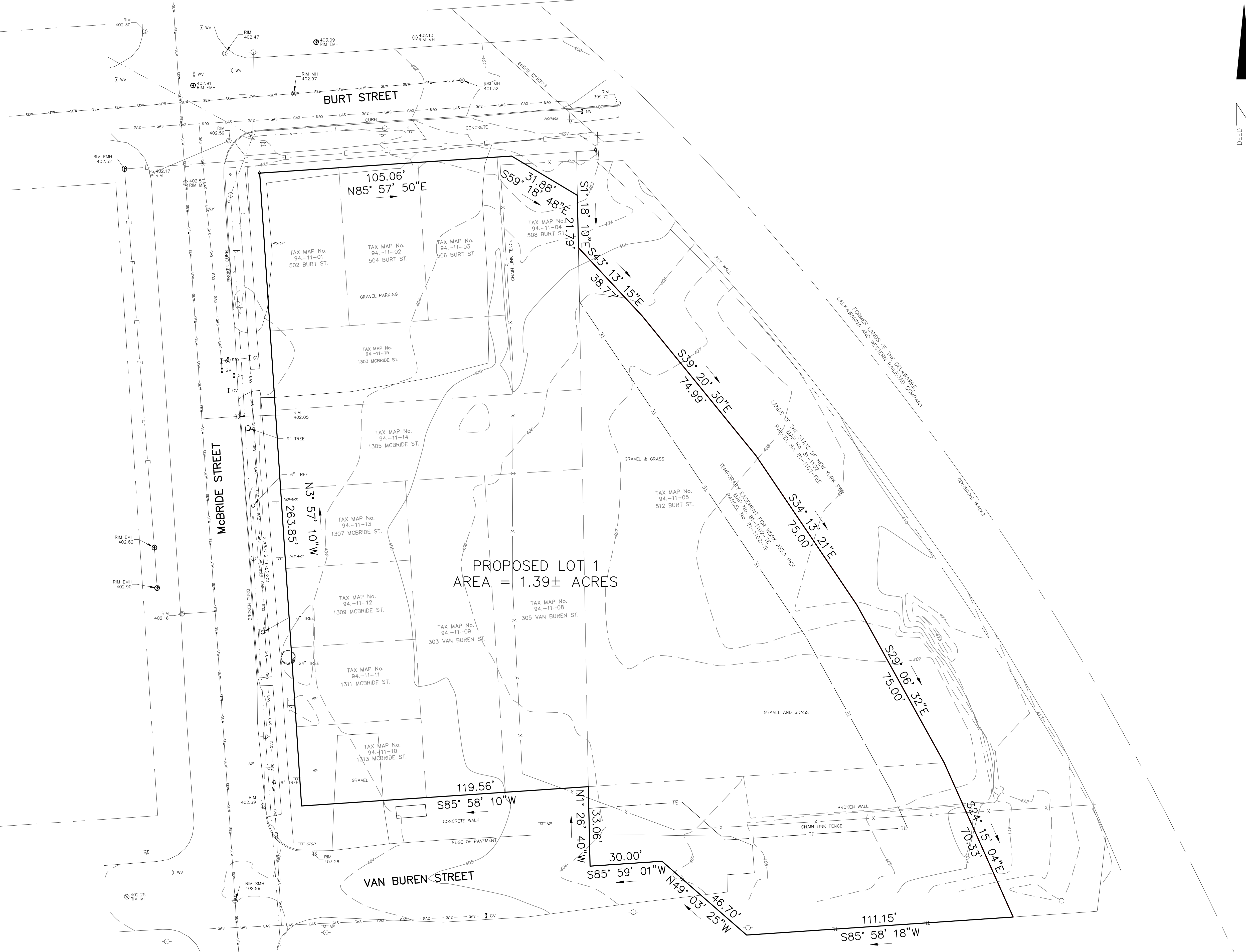
APPROVED CITY OF SYRACUSE PLANNING COMMISSION
 DATE: _____ BY: _____

APPROVED CITY OF SYRACUSE ASSESSMENT DEPARTMENT
 DATE: _____ BY: _____

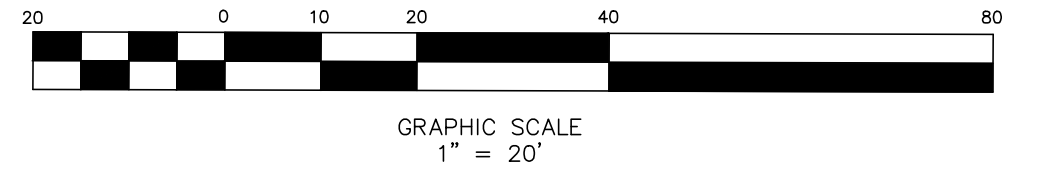
APPROVED CITY OF SYRACUSE FINANCE DEPARTMENT
 DATE: _____ BY: _____

APPROVED CITY OF SYRACUSE ENGINEERING DEPARTMENT
 DATE: _____ BY: _____

APPROVED SYRACUSE HOUSING AUTHORITY (DEVELOPER)
 DATE: _____ BY: _____



I HEREBY CERTIFY THAT THIS IS AN ACCURATE SUBDIVISION PLAT PREPARED BY ME ON SEPTEMBER 4, 2024. THIS SUBDIVISION PLAT MEETS THE CURRENT STANDARDS STATED IN THE NYSARL'S CODE OF PRACTICE FOR LAND SURVEYS PERTAINING TO ALL BOUNDARY/TITLE SURVEYS. THE SUBDIVISION BOUNDARY CLOSURE MEETS THOSE STANDARDS. THIS MAP IS NOT VALID WITHOUT THE ORIGINAL SEAL OF THE SURVEYOR."



NOTE: VERTICAL DATUM - NAVD 1988

ONONDAGA COUNTY HEALTH DEPARTMENT	SURVEY SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE WILL SHOW.	RE-SUBDIVISION MAP SYRACUSE HOUSING AUTHORITY BLOCK 384
	THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS IS AN ACCURATE MAP OF AN ACTUAL SURVEY COMPLETED 09-03-2024.	CITY OF SYRACUSE STATE OF NEW YORK
		COUNTY OF ONONDAGA
	PAUL J. OLSZEWSKI/P.L.S. LICENSE No. 50212	STATE OF NEW YORK
		PAUL JAMES OLSZEWSKI, P.L.S., PLLC 1326 NEW SENECA TPKE, SUITE B1 SKANEATELES NEW YORK, 13152 315-488-5552 pjosurvey.com
	DATE: OCTOBER 26, 2024	SCALE: 1" = 20 FEET PROJECT No. SY94-11-05

I-81 VIADUCT PROJECT
 Interstate Route 505-3-2.11
 (Sizer Street - Burt Street)
 Interstate Route 505: City of Syracuse,
 Sizer - Burt - Jefferson Streets
 F.I.C. 64-22

NEW YORK STATE
 DEPARTMENT OF TRANSPORTATION
 ACQUISITION MAP

PIN 3501.98

MAP NO. 81-1102-TE
 PARCEL NO. 81-1102-TE
 SHEET 1 OF 2 SHEETS

MAP REFERENCE INFORMATION:

Part of Block 384, Farm Lot 203
 of the Onondaga Salt Springs Reservation

Parcel Locator Point:
 Parcel No: 81-1102-TE
 N: 1107058.02
 E: 937881.47

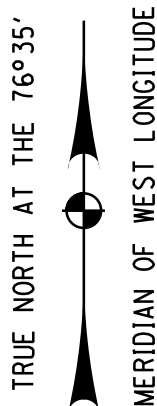
SYRACUSE HOUSING AUTHORITY
 (REPUTED OWNER)

CCD L. 4787 P. 16
 TRN 1102

PARCEL NO. 81-1102-TE

PARCEL SUMMARY

Type: TEMPORARY EASEMENT
 Portion of 2023 Tax Map
 Ref. No. 94-11-05
 City of Syracuse
 County of Onondaga
 State of New York



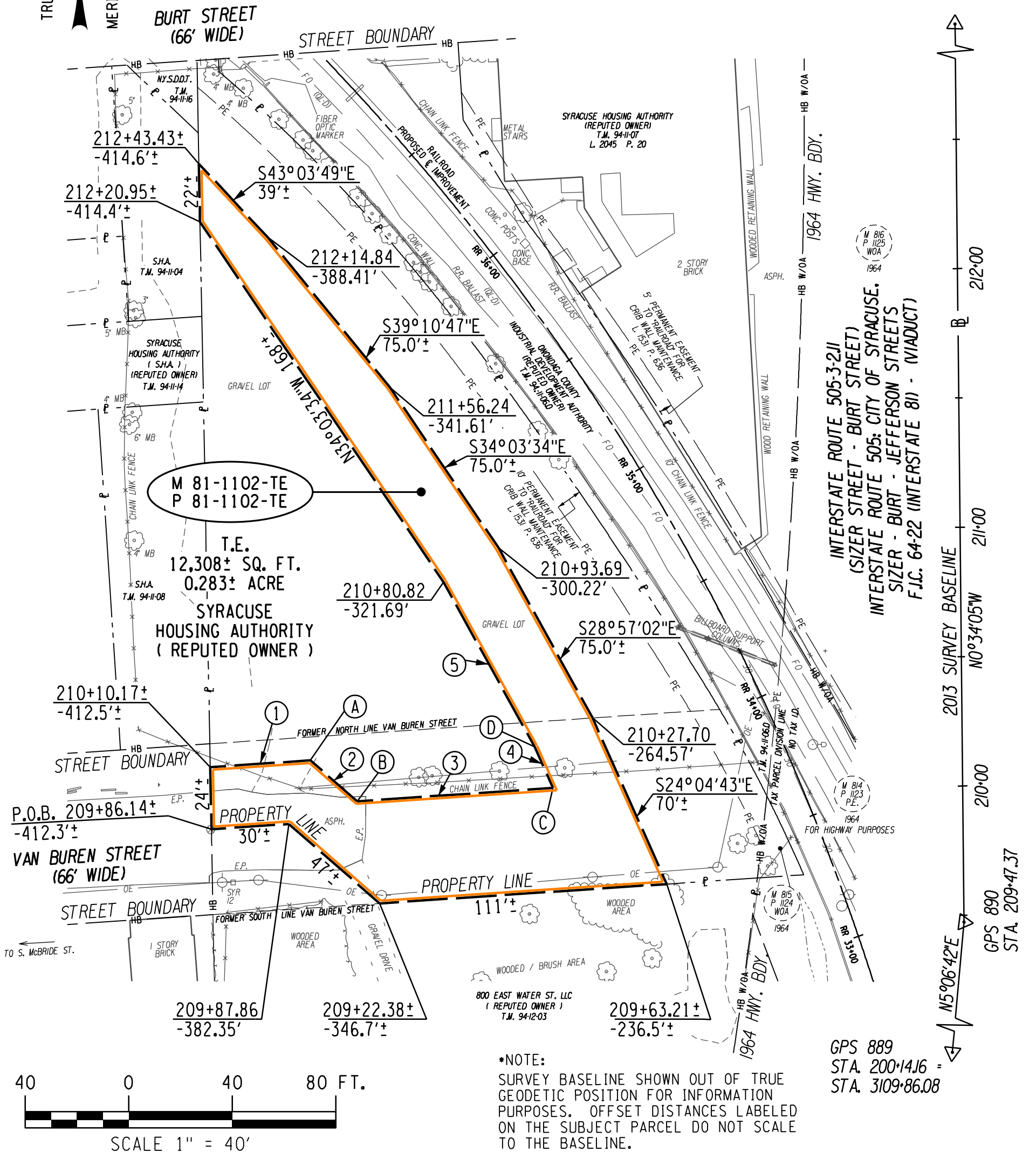
COURSE TABLES

ID	BEARING	DISTANCE
1	N86°08'10"E	39'±
2	S48°51'50"E	24.0'±
3	N86°08'10"E	75.9'±
4	N24°04'43"W	17.4'±
5	N28°57'02"W	72.8'±

STATION / OFFSET TABLES

ID	STATION	OFFSET
A	210+12.40	-373.80'
B	209+96.40	-355.86'
C	210+00.76	-280.12'
D	210+16.75	-287.07'

BLP-37
 STA. 215+65.83



*NOTE:

SURVEY BASELINE SHOWN OUT OF TRUE GEODETIC POSITION FOR INFORMATION PURPOSES. OFFSET DISTANCES LABELED ON THE SUBJECT PARCEL DO NOT SCALE TO THE BASELINE.

GPS 889
 STA. 200+14.16 =
 STA. 3109+86.08

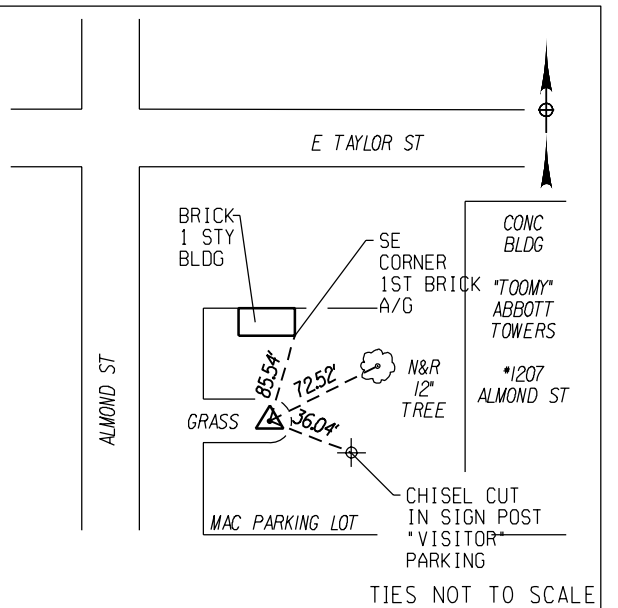
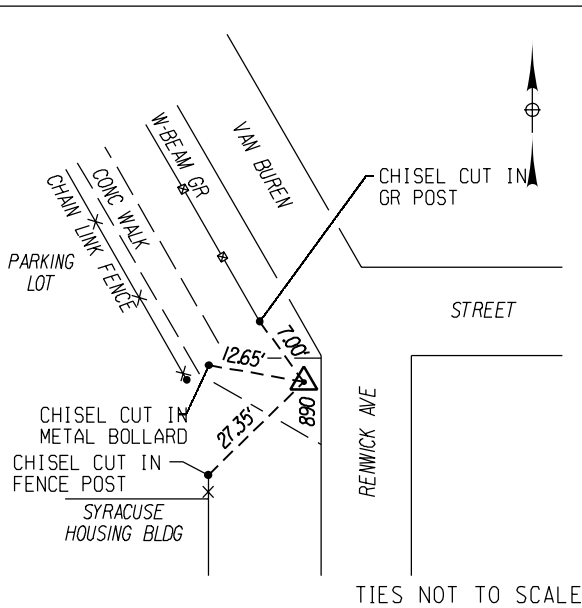
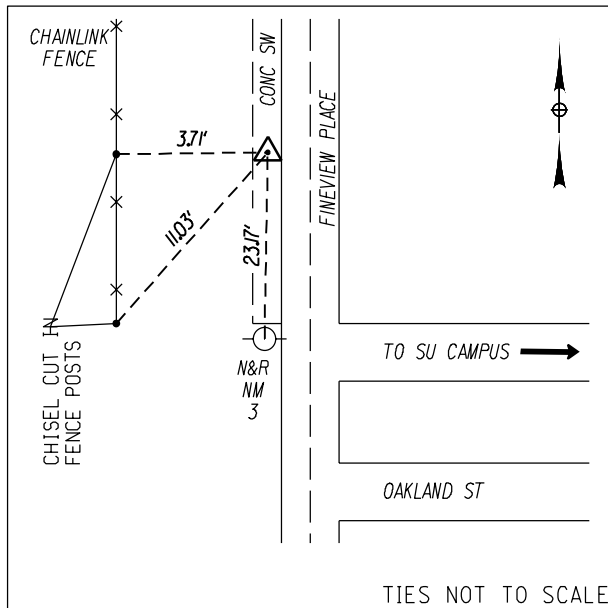
I-81 VIADUCT PROJECT
 Interstate Route 505-3-2.11
 (Sizer Street - Burt Street)

NEW YORK STATE
 DEPARTMENT OF TRANSPORTATION
 ACQUISITION MAP

Interstate Route 505: City of Syracuse,
 Sizer - Burt - Jefferson Streets
 F.I.C. 64-22

PIN 3501.98

MAP NO. 81-1102-TE
 PARCEL NO. 81-1102-TE
 SHEET 2 OF 2 SHEETS



I-81 - B STA. 200+14.16 =
 MLK - B STA. 3109+86.08
 DESCRIPTION: GPS 889 IS 400 FT± NORTH
 OF THE INTERSECTION OF FINEVIEW PLACE
 AND OAKLAND ST.
 NYSPCS CENTRAL ZONE NAD 83/CORS 2011
 N: 1106093.8426
 E: 938210.9859

I-81 - B STA. 209+47.37
 DESCRIPTION: GPS 890 IS A MAG NAIL SET
 IN THE CONCRETE SIDEWALK IN THE
 SOUTHWEST QUADRANT OF THE INTERSECTION OF
 VAN BUREN ST. AND RENWICK AVE.
 NYSPCS CENTRAL ZONE NAD 83/CORS 2011
 N: 1107023.3376
 E: 938294.1332

I-81 - B STA. 215+65.83
 DESCRIPTION: B POINT 37 IS 130 FT± SOUTH
 OF THE INTERSECTION OF ALMOND ST.
 AND E. TAYLOR ST.
 NYSPCS CENTRAL ZONE NAD 83/CORS 2011
 N: 1107641.7673
 E: 938288.0014

TEMPORARY EASEMENT FOR WORK AREA

A temporary easement to be exercised in, on and over the property delineated above for the purpose of a work area in connection with the construction or reconstruction of the highway and appurtenances for use and exercisable during the construction or reconstruction of the highway and terminated once deemed no longer necessary for highway purposes and released by the Commissioner of Transportation or other authorized representative acting for the People of the State of New York, or its assigns by the filing of a certificate pursuant to Highway Law Section 30 (20). Such easement shall be exercised in and to all that piece or parcel of property designated as Parcel No. 81-1102-TE, as shown on the accompanying map.

RESERVING, however, to the owner of any right, title or interest in and to the property above delineated and such owner's successors or assigns, the right of access and the right of using said property and such use shall not be further limited or restricted under this easement beyond that which is necessary to effectuate its purposes for the construction or reconstruction of the herein identified project.

"Unauthorized alteration of a survey map bearing a licensed land surveyor's seal is a violation of the New York State Education Law."

I hereby certify that the property mapped above is necessary for this project, and the acquisition thereof is recommended.

Date OCTOBER 13, 2023

Robert W. Rugg
 Robert W. Rugg, P.E.
 Regional Design Engineer
 for the Regional Director of Transportation
 Region No. 3



I hereby certify that this map was prepared in accordance with current NYSDOT policies, standards and procedures.

Date OCTOBER 9, 2023

Jeffrey F. Phillips
 Popli Design Group
 By: Jeffrey F. Phillips, Land Surveyor
 P.L.S. License No. 50773

SYRACUSE HOUSING AUTHORITY
 (REPUTED OWNER)

Map of property in and to which an easement as herein above defined is deemed necessary by the Commissioner of Transportation to be acquired by appropriation in the name of the People of the State of New York for purposes connected with the highway system of the State of New York pursuant to Sections 30 and 349-C of the Highway Law and the Eminent Domain Procedure Law.

There is excepted from this appropriation all the right, title and interest, if any, of the United States of America in or to said property.

Pursuant to the statute(s) set forth above and the authority delegated to me by Official Order of the Commissioner of Transportation, this acquisition map is hereby approved and filed in the main office of the New York State Department of Transportation.

I have compared the foregoing copy of the map with the original thereof, as filed in the Office of the State Department of Transportation, and I do hereby certify the same to be a true and correct copy of the original and the whole thereof.

Date _____ 20 _____

_____, Office of Right-of-Way

_____, Office of Right-of-Way



J.Ryan McMahon, II
COUNTY EXECUTIVE

Onondaga County Planning Board

RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: October 23, 2024

OCPB Case # Z-24-289

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a SITE PLAN from the City of Syracuse Planning Commission at the request of Diane Bollard for the property located at 500-502 Burt Street; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Interstate Route 81, a state highway; and
- WHEREAS, the applicant is proposing to construct a 30,000 sf office building on a vacant 1.39-acre area in a Neighborhood Center (MX-2) zoning district to house the new Syracuse Housing Authority offices; and
- WHEREAS, the Board is concurrently reviewing a subdivision referral (S-24-46) to combine the 13 parcels comprising the site into one new lot; and
- WHEREAS, the site is located in a transitional area near the east side of downtown of the City of Syracuse, located adjacent to Interstate 81, between areas of low-income housing and Syracuse University; surrounding uses include the University's Steam Station, the Boys and Girls Club of Syracuse, Syracuse Housing Authority offices, and Toomey Abbott senior facility; and
- WHEREAS, the site is a vacant group of 13 contiguous parcels bound by Burt Street to the north, South McBride Street to the west, a stub of Van Buren Street along part of the site's southern boundary, and Interstate 81 and railroad tracks belonging to the New York, Susquehanna & Western Railway Co to the east; and
- WHEREAS, the applicant is proposing construction of a 30,000 sf, 2-story building and parking lot on site; per the local application, the building will contain office space for Syracuse Housing Authority (approximately 217 employees), with a large training room, board room, meeting spaces, wellness areas, and storage; per the Site Plan dated 9/3/24, the building will be constructed along the South McBride Street frontage with driveway access from Van Buren Street to a 59-space parking lot to be located behind the proposed building, adjacent to the railroad tracks; and
- WHEREAS, per the Re-Subdivision Map Syracuse Housing Authority dated 10/1/24, the applicant is proposing the combination of the 13 parcels comprising the site to create Proposed Lot 1, 1.39 acres; and
- WHEREAS, per the Re-Subdivision Map, a "Temporary Easement for Work Area" occurs along the eastern and southeastern boundaries of the site; and
- WHEREAS, per aerial imagery, the site is a mix of lawn, scattered trees, and broken asphalt; per the Landscape Plan dated 9/3/24, shrubs will be planted along the South McBride Street frontage, trees will be planted along the Burt Street entrance and around the parking lot, and lawn will be installed between the building and sidewalks and around the parking lot; and

WHEREAS, per the New York State Department of Transportation, the applicant's current and proposed parking and the proposed design footprint for grading, limits of disturbance, turf, and fencing encroaches into NYS right-of-way and easements; and

WHEREAS, per the Environmental Assessment Form (EAF) dated 9/10/24, 1.70 acres of the site will be disturbed by the proposed project and the land will be graded to direct "water away from the proposed building and parking lot"; the Site Plan shows a stormwater basin will be constructed between the parking lot and the railroad tracks;

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the referral notice, the site is served by public drinking water and new connections are proposed for the new building; per the referral, the site is served by public sewers and new connections are proposed for the new building; the site is located in the Metropolitan Wastewater Treatment Plant service area;

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division in order to connect into the public sewer system; additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online: <http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and

WHEREAS, this project is located adjacent to Interstate 81 which will be substantially altered during the NYSDOT I-81 Community Grid project; per the local application, the proposed building will replace the current Syracuse Housing Authority building which is located in an area to "be taken for the I-81 Viaduct Project"; and

WHEREAS, the project is within 2,000 feet of multiple sites (IDs: C734140, C734144A, C734161, C734162, C734163, E734086) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board recommends the following MODIFICATION(S) to the proposed action prior to local board approval of the proposed action:

1. The applicant is required to coordinate with New York State Department of Transportation (NYSDOT) regarding coordinating construction plans and upcoming changes to the area related to the Interstate 81 Viaduct/Community Grid Project.
2. The applicant must resolve any encroachments with the New York State Department of Transportation (NYSDOT) prior to, or as a condition of, municipal approval of the plans.



Martin E. Voss, Chairman
Onondaga County Planning Board



Onondaga County Planning Board

RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

J.Ryan McMahon, II
COUNTY EXECUTIVE

Meeting Date: October 23, 2024
OCPB Case # S-24-46

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- WHEREAS, General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of Interstate Route 81, a state highway; and
- WHEREAS, the applicant is proposing to combine 13 parcels into one new lot, Proposed Lot 1 (1.39 acres), in a Neighborhood Center (MX-2) zoning district; and
- WHEREAS, the Board is concurrently reviewing a site plan referral (Z-24-289) to construct a 30,000 sf office building on the vacant site; and
- WHEREAS, the site is located in a transitional area near the east side of downtown of the City of Syracuse, located adjacent to Interstate 81, between areas of low-income housing and Syracuse University; surrounding uses include the University's Steam Station, the Boys and Girls Club of Syracuse, Syracuse Housing Authority offices, and Toomey Abbott senior facility; and
- WHEREAS, the site is a vacant group of 13 contiguous parcels bound by Burt Street to the north, South McBride Street to the west, a stub of Van Buren Street along part of the site's southern boundary, and Interstate 81 and railroad tracks belonging to the New York, Susquehanna & Western Railway Co to the east; and
- WHEREAS, the applicant is proposing construction of a 30,000 sf, 2-story building and parking lot on site; per the local application, the building will contain office space for Syracuse Housing Authority (approximately 217 employees), with a large training room, board room, meeting spaces, wellness areas, and storage; per the Site Plan dated 9/3/24, the building will be constructed along the South McBride Street frontage with driveway access from Van Buren Street to a 59-space parking lot to be located behind the proposed building, adjacent to the railroad tracks; and
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- WHEREAS, per the Re-Subdivision Map, a "Temporary Easement for Work Area" occurs along the eastern and southeastern boundaries of the site; and
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- WHEREAS, per the New York State Department of Transportation, the applicant's current and proposed parking and the proposed design footprint for grading, limits of disturbance, turf, and fencing encroaches into NYS right-of-way and easements;

and

WHEREAS, per the Environmental Assessment Form (EAF) dated 9/10/24, 1.70 acres of the site will be disturbed by the proposed project and the land will be graded to direct “water away from the proposed building and parking lot”; the Site Plan shows a stormwater basin will be constructed between the parking lot and the railroad tracks;

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the referral notice, the site is served by public drinking water and new connections are proposed for the new building;
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WHEREAS, the project is within 2,000 feet of multiple sites (IDs: C734140, C734144A, C734161, C734162, C734163, E734086) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); and

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2. The applicant must resolve any encroachments with the New York State Department of Transportation (NYSDOT) prior to, or as a condition of, municipal approval of the plans.



Martin E. Voss, Chairman
Onondaga County Planning Board

SITE PLAN REVIEW RESPONSE LETTER

305 Van Buren Street - SHA Central Offices

To: The City Planning Commission (CPC)

From: C&S Companies (On behalf of the Syracuse Housing Authority)

Date: November 7, 2024

The Syracuse Housing Authority (SHA) is proposing to construct an office building on vacant land located on the west side of I-81 at the intersection of Burt Street and McBride Street. This new facility is necessary because SHA's current building will be impacted by the I-81 Viaduct Project. This letter addresses the site plan review comments that this project has received from the Office of Zoning Administration.

Department of Public Works (DPW) – Transportation Planner

Neil Milcarek-Burke, transportation planner for DPW, has provided the following comments (in italics). A response to each comment follows.

1. *"Sidewalk along Burt Street is to be two flags wide appx 10' with patterned hardscape treatment within the snow storage area, as has been established in front of the existing SHA office to the East, and McBride St to the North."*

Figure 1 shows the existing conditions of the proposed snow storage area. Construction in this area would be obstructed by two utility poles, a fire hydrant, and two traffic signs.

In addition, patterned hardscape would decrease stormwater infiltration because lawn is more pervious than brick pavers. Maintaining the existing lawn area is preferable.



Figure 1: Snow storage area, existing conditions. Image Source: Google Street View

If maintaining the existing lawn is not possible, clarification on where the Zoning Ordinance states that the applicant is required to provide snow storage outside the owner's property lines would be appreciated.

2. *"Bike rack as shown does not meet City standards per bike plan. Parking is to utilized individual staple-style racks (no Wave or School Yard style racks) in a well-lit and covered area."*

The revised site plan (see civil sheet C-102.B) shows staple-style racks located by the southwest corner of the building, where the building overhang provides cover. This configuration would provide 6 exterior bike spaces, in addition to 4 interior bike spaces (see architectural sheet A-003), for a total of 10 bike parking spaces. On 11/5/2024, Mr. Milcarek-Burke provided written confirmation that indoor parking can be included in the count, and that two bike spaces can be counted for each rack.

If the building overhang is not an acceptable form of cover, clarification on where the Zoning Ordinance states that bike covers are required for an office building would be appreciated. The Zoning Ordinance states that bike covers are required for intermodal transportation facilities (ReZone, Art. 4, Sec. 4.4H(2f)); please clarify if this is also the case for office buildings.

3. *"Extant curb-cuts along each frontage are to be properly abandoned and replaced with full reveal granite curbing."*

This curb cut is in the location of a new drop off area (see DPW comment #8). Because new access is being provided, a new full height curb will be constructed here.

4. *"Van Buren street frontage is to be curbed as part of proposed work."*

It appears that Van Buren is an uncurbed street in its existing condition. Our intent is to provide curbing at our new entrance drive and tie into the existing edge of pavement elevation.

5. *"All parking areas and drive isles are to be curbed as part of proposed work."*



To provide stormwater treatment, the parking lot is graded to direct water to the infiltration basin (see Figure 2). Curbing would impede sheet flow to the basin.

Instead, curb stops have been provided (see civil sheet C-102.B).



Figure 2: Grading plan annotated to show proposed sheet flow from parking lot area to infiltration basin.

6. *Proposed entrance to/from Burt Street is not permissible and is to be removed, including curb-cut and apron."*

This is only for emergency fire access. The lawn within the delineated area will be stabilized with grass pavers (see Figure 3), which are designed to support the weight of vehicles.

Also, there is a state ROW to the future railroad ROW access gate which will need vehicle access to be preserved. The NYSDOT will thus need the existing curb-cut and apron to remain.

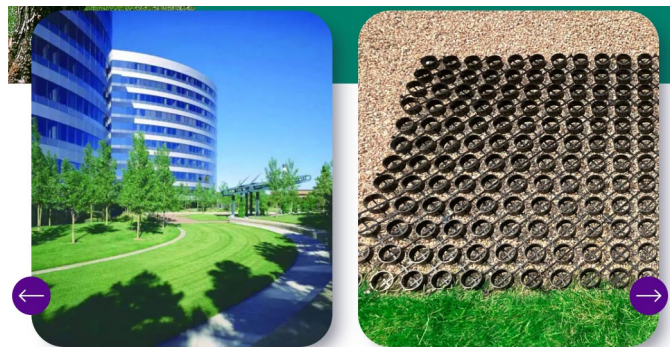


Figure 3: An "invisible" grass paver will be specified. Image Source: Invisible Structures

7. *"Nose-in parking stalls adjacent to sidewalk must incorporate fixed vertical objects centered in each stall to protect ADA walkways from encroachment/overhang from parked vehicles., or sidewalk expanded to 8' or greater to accommodate for overhang and reduction of usable walk."*

Curb stops have been added to prevent overhang and reduction of usable sidewalk (see civil sheet C-102.B).

8. *"Main entrance area should make use of expanded hardscape area between property line and curb to identify and accommodate ingress/egress."*

Hardscape drop off area has been added to the revised site plan (see civil sheet C-102.B).

Onondaga County Planning Board (OCPB) – NYSDOT Concurrence

The project has received the following comments from the Onondaga County Planning Board:

1. The applicant is required to coordinate with New York State Department of Transportation (NYSDOT) regarding coordinating construction plans and upcoming changes to the area related to the Interstate 81 Viaduct/Community Grid Project.
2. The applicant must resolve any encroachments with the New York State Department of Transportation (NYSDOT) prior to, or as a condition of, municipal approval of the plans.

The NYSDOT has two easements located along the east side of the project site. The eastmost easement is a FEE acquisition that will be transferred to the railroad after the new rail alignment for the I-81 Viaduct Project is completed. The second is a temporary easement for construction, which is expected to be completed in mid-2027.

The proposed development for the SHA Central Office Project includes new hardscape, landscaping, and a dumpster enclosure located within the temporary easement. A grass-pave access drive partially encroaches the FEE acquisition.

The above comments from the OCPB were received on October 23, 2024. C&S and SHA met with the NYSDOT to coordinate construction plans within their easements on October 30, 2024. NYSDOT confirmed that grading for the SHA Central Office Project conflicts with the design of the embankment for the railroad. NYSDOT also confirmed that any development for the SHA project within the temporary easement may be damaged during rail construction.

C&S agreed to update the SHA grading plan to tie into the design of the embankment at the FEE line. The grass-pave access drive will be reduced so that it does not cross the FEE line. In addition, construction for the SHA project will be divided into two phases. In Phase 1, anything within the temporary easement will not be constructed. This plan will show a reduced parking area, a relocated dumpster, and no trees within the easement. Phase 2 will occur after construction of the new rail alignment is completed in mid-2027.

This plan will show the full buildout of the originally proposed parking, dumpster enclosure, and trees.

During the October 30 meeting, it was also discovered that construction vehicle access into the temporary easement conflicts with the proposed main entrance drive for the SHA project. NYSDOT agreed to investigate options for resolving this.

See civil sheet C-102.A for the proposed site changes in Phase 1. The updated SHA grading plan is in progress. C&S, SHA, and NYSDOT will reconvene in 10-14 days after the first meeting to discuss progress and next steps.

Status of Conditionally Approved Items

The following items are in progress and will be completed prior to request for building permit approval:

1. SWPPP
2. Road Cut Permit
3. Stormwater Access & Maintenance Agreements
4. Plumbing Permit
5. MUTCD compliant WZTP

Finally, the project received a comment with regards to Onondaga County's 1:1 offset program. C&S submitted existing and proposed sewer flow data for the proposed development to the City on August 1st, 2024 and is awaiting response. It is understood that the project is subject to the 1:1 offset program, and the applicant is prepared to comply with the requirements once direction is provided.

We thank the board for their consideration, and we look forward to your response.

Regards,

C&S COMPANIES, INC.

Diane Ballard

Diane Ballard
Landscape Designer

PARKING REDUCTION REQUEST LETTER

305 Van Buren Street - SHA Central Offices

To: The Office of Zoning Administration

From: C&S Companies (On behalf of the Syracuse Housing Authority)

Date: November 7, 2024

This letter constitutes a formal request to apply for a parking requirement reduction for the SHA project.

The gross floor area of the proposed SHA office building is 34,932 SF. The zoning code requires 1 parking space per 500 SF. Therefore, the required number of parking spaces before the reduction is 70.

However, according to the Zoning Ordinance, this project is eligible for a reduction:

ReZone, Art. 4, Sec. 4.4E(6) "Proximity to Transit": "Proposed uses within 1,000 linear feet of an existing bus stop shall be eligible for a reduction in the required parking spaces up to 30 percent."

Multiple existing bus stops are located within 1000 linear feet from the project site; therefore, this project qualifies for this reduction. **After a 30% reduction, the required number of parking spaces is 49.**

The NYSDOT has easements along the east side of the project site. The NYSDOT requires full unimpeded access to these easements until construction of the new rail alignment is completed in mid-2027. To accommodate this, the project is split into two phases so that nothing is built within the easements until after rail construction is completed. This resulted in a loss of parking spaces in Phase 1.

There are 9 on-street spaces along the street frontage of the project site. Phase 1 provides 42 off-street spaces for a total of 51 spaces. Phase 2 provides 50 off-street spaces for a total of 59 spaces (see C-102.A and C-102.B).

Both phases comply with the reduced parking requirement. The table below provides a summary.

Parking Reduction Summary Table

GROSS FLOOR AREA	34,932
REQUIRED SPACES BEFORE REDUCTION	70
30% OF REQUIRED SPACES	21
REQUIRED SPACES AFTER REDUCTION	49
PHASE 1 PARKING SPACES	51*
PHASE 2 PARKING SPACES	59*

* INCLUDES 9 ON-STREET PARKING SPACES

We thank the Zoning Office for their consideration, and we look forward to your response.

Regards,

C&S COMPANIES, INC.

Diane Ballard

Diane Ballard
Landscape Designer

Project:	R-24-60 & MaSPR-24-35
Date:	11/7/2024

Short Environmental Assessment Form Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: R-24-60 & MaSPR-24-35

Date: 11/12/2024

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse City Planning Commission	11/12/2024
Name of Lead Agency	Date
Steven Kulick	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

City of Syracuse

Parcel History

01/01/1900 - 11/04/2024

Tax Map #: 094.-11-05.0

Owners: Syr Housing Authority

Zoning: MX-2

Address	Date	Transaction	Transaction Type	Status	Description
512 Burt St To Vanburen St	06/14/04	Project	Project Site Review	Approved	PR-04-11 DEMOLITION



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Syr Housing Authority
From: Zhitong Wu, Zoning Planner
Date: 11/8/2024 10:11:14 AM
Re: Major Site Plan Review MaSPR-24-35
305 Van Buren St, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	10/03/2024	Vinny Esposito	The City Engineer must approve the drainage plan. Sewer laterals must be constructed to the main sewer. Street cut and plumbing permits are required.
DPW - Transportation Planner	On Hold	10/22/2024	Neil Milcarek-Burke	<ul style="list-style-type: none">- Sidewalk along Burt Street is to be two flags wide appx 10' with patterned hardscape treatment within the snow storage area, as has been established in front of the existing SHA office to the East, and McBride St to the North.- Bike rack as shown does not meet City standards per bike plan. Parking is to utilized individual staple-style racks (no Wave or School Yard style racks) in a well-lit and covered area.- Extant curb-cuts along each frontage are to be properly abandoned and replaced with full reveal granite curbing.- Van Buren street frontage is to be curbed as part of proposed work- All parking areas and drive isles are to be curbed as part of proposed work- Proposed entrance to/from Burt Street is not permissible and is to be removed, including curb-cut and apron.- Nose-in parking stalls adjacent to sidewalk must incorporate fixed vertical objects centered in each stall to protect ADA walkways from encroachment/overhang from parked vehicles., or sidewalk expanded to 8' or greater to accommodate for overhang and reduction of usable walk.- Main entrance are should make use of expanded hardscape area between property line and curb to

identify and accommodate ingress/egress.

Zoning Planner	On Hold	10/09/2024	Zhitong Wu	No concerns. pending on decision from CPC.
Parks - Forestry	Approved	11/06/2024	Jeff Romano	Forestry requires (2) tree pits along Burt Street incorporated with the new 10' sidewalk and tree lawn treatment; 10x15x3'd CU soils (Gleditsia) Along Van Buren St, within the tree lawn, provide new soils (15" excavation) and plant (2) trees within this section (Ostrya). Within parking lot, replace arborvitae with large shade tree (Gleditsia) to avoid sight line conflicts. Place additional tree planting along McBride, approx. 20' north of ex. utility pole (species- Cornus Mas or Prunus serrulata as is in the plant schedule)
Planning Commission	Pending	10/24/2024		
Eng. Design & Cons. - Zoning	Conditionally Approved	10/18/2024	Mirza Malkoc	<ul style="list-style-type: none"> • All construction in the R.O.W. will require a road cut permit, all construction in the R.O.W. to be per City standards and specifications. • Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review. • Applicant shall verify who owns the easement that's within their property. Is this project allowed to plant trees, add pavement, grade inside the easement, etc.? <p>Applicant shall provide proof to the City that this project is allowed to perform the proposed work inside the easement before any permits are issued.</p> <ul style="list-style-type: none"> • Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf. • Stormwater Access & Maintenance Agreements shall be submitted for review. • Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W. • The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council Approval. • Onondaga County Plumbing Control shall review and approve the plans as well.
Eng. Mapping - Zoning	Approved	10/11/2024	Ray Wills	The work shown should have no impact on Mapping Division assets in the area.
Water Engineering - Zoning	Pending	10/02/2024		
Fire Prevention - Zoning	Pending	10/02/2024		
DPW Traffic Control- Zoning	Conditionally Approved	10/11/2024	Charles Gafrancesco	10.4.24 Conditionally Approved. No sidewalk closures or obstructions or road or lane closures in the public ROW will be allowed as part of this work unless MUTCD compliant WZTP is submitted and approved in permit process.
Onondaga Co Planning Board	Conditionally Approved	10/23/2024	Zhitong Wu	<p>Conditions:</p> <ol style="list-style-type: none"> 1. The applicant is required to coordinate with New York State Department of Transportation (NYSDOT) regarding coordinating construction plans and upcoming changes to the area related to the Interstate 81 Viaduct/ Community Grid Project. 2. The applicant must resolve any encroachments with the New York State Department of Transportation (NYSDOT) prior to, or as a condition of, municipal approval of the plans.



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Syr Housing Authority
From: Amber Dillon, Zoning Planner
Date: 11/4/2024 10:17:34 AM
Re: Resubdivision R-24-60
305 Van Buren St, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov.net if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Zoning Planner	Pending	10/28/2024		pending comments
City Engineer - Zoning	Pending	10/03/2024		
Eng. Mapping - Zoning	Conditionally Approved	10/28/2024	Ray Wills	<p>***10/28/24*** Status changed from Denied to Conditionally approved.</p> <p>The revised drawings submitted and posted into IPS on 10/28/24 have been modified and now agree with City Records for the area. Please ensure this revised version is the version that is circulated for final approval. No other version can be signed.</p> <p>***10/15/24*** -The bearings for the streets in question DO NOT AGREE with the Official City Records for the area. These bearings must be corrected & resubmitted for review. No mylar/final drafts for filing will be signed by the City Engineer without these required changes being made under any circumstances. City Plat# 147-141</p> <p>The Bearing for Van Buren is plated as N85°58'10"E, a distance of 119.56 on the North Side of Van Buren, this distance is reflected on both the plates and tax maps for the area.</p>
Finance - Zoning	Internal Review Complete	10/07/2024	Veronica Voss	All properties: 500-02 Burt, 504 Burt, 506 Burt, 508 Burt Rear, 512 Burt, 305 Van Buren, 303 Van Buren, 131 McBride, 1311 McBride, 1309 McBride, 1307 McBride, 1305 McBride and 1303 McBride are due for

CS 24/25 October, all other bills paid.

Eng Stormwater (SWPPP)- Zoning	Internal Review Complete	10/10/2024	Romeo Kpolo	Proposed site shall be graded appropriately to prevent stormwater runoff/sheet flow from rooftops/driveways and other similar impervious surfaces from impacting adjacent properties or the City R.O.W. A Stormwater Pollution Prevention Plan (SWPPP) is required for review if the total soil disturbance is greater than 10,000sf.
Eng. Design & Cons. - Zoning	Conditionally Approved	10/10/2024	Romeo Kpolo	Future construction/development on the lots will be subject to the City plan review, approval and permitting process as applicable.
Planning Commission	Pending	10/03/2024		
Onondaga Co Planning Board	Approved	10/25/2024	Amber Dillon	No position with comment
Eng Sewers- Zoning	Internal Review Complete	10/10/2024	Romeo Kpolo	Future project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. All installation & restoration work to be done to City of Syracuse specifications & details.