



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>MaSPR-24-34</i>	<i>Staff Report – October 21, 2024</i>
<i>Application Type:</i>	Major Site Plan Review – New Street Construction
<i>Project Address:</i>	915 South State Street (to be known as McKinney Street)
<i>Summary of Proposed Action:</i>	New road and utility work to support the East Adams redevelopment.
<i>Owner/Applicant</i>	Syracuse Housing Authority (Owner) McCormack Baron Salazar Development, Inc. (Applicant)
<i>Existing Zone District:</i>	Neighborhood Center, MX-1, Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north, east, and south are within the Urban Neighborhood, MX-1, Zone District. To the west the neighboring properties are within the Open Space, OS, Zone District and the Central Business District, MX-5, Zone District.
<i>Scope of Work:</i>	Zoning does not regulate the Right-of-way; however, Zoning does manage the procedural process for all Street Actions including creating projects to send to City Departments for review. Pursuant to ReZone, Art. 5, Sec. 5.4A(2)b, table 5.2, the construction of a new street is considered a street action and requires major site plan review. The scope of work will occur on lot 2 of the approved resubdivision map (attached) concurrently with the redevelopment of Lot 1. There will be excavation, grading, paving, installation of new sidewalks, new utility connections, new tree planting, and installing street signs and stripping. The new street on lot 2 will become known as McKinney Street and will be dedicated to the City after construction has occurred.
<i>Staff Analysis:</i>	<u>Factors:</u> <ul style="list-style-type: none"> - Resubdivision, R-23-70 approved dividing one lot into three new lots, which includes development of lot 2 which will be the location of the new street. - Major Site Plan Review, MaSPR-23-07, considered the impact of the new street construction in the SEQR review and issued a negative declaration for SEQR. - The placement of utilities and hardscapes will not impact any zone district regulations and after the dedication of the street to the City, the road will become a public street. - This major site plan review is to allow City Departments to review the dimensions and placement of infrastructure systems to ensure that the street and subsequent utility connections, tree placement etc. are compliant with their codes, best practices, and standards. - There are no Zoning concerns or violations.
<i>Zoning Procedural History:</i>	<u>R-23-70</u> : Approved 3/25/24 divide one lot into three lot <u>MaSPR-23-07</u> : Approved 3/25/24 demolition of Angelou Terrae and redevelopment of 133 units across six multi-unit residential buildings <u>V-23-23</u> : Approved 4/4/24 Building 2 to exceed 180 feet
<i>Summary of Zoning History:</i>	N/A
<i>Code Enforcement History:</i>	N/A
<i>Summary of Changes:</i>	This is not a continued application.
<i>Property Characteristics:</i>	<u>Existing characteristics:</u> There are three buildings over where the proposed street will be (see survey).

	<p><u>Proposed characteristics:</u> Lot 2 is a 27,189 SF lot with 66 feet of frontage along South State Street, 411.94 feet along the northern property line, 66 feet of frontage along South Townsend Street, and 411.97 feet along the southern property line. The new street will have bump-outs at the street entrance and midblock to add parking spaces, there will be new sidewalks installed along with underground stormwater catch basins, sewer, water, gas, electrical and fiber optic ducts, as well as street signs, trees, streetlights, fire hydrants and road striping.</p>
<i>SEQR Determination:</i>	A negative declaration was issued on 3/25/24 (see attached Neg. Dec. resolution).
<i>Onondaga County Planning Board Referral:</i>	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board on November 21, 2023, with no position.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review Application
- Alta/NSPS Land Title Survey; Judge Langston C. McKinney Manor, Block A & B, East Adams – Phase 1; Block 151 & 251, Onondaga County, City of Syracuse, New York, Tax Map # 95-08-01; Dated: October 16, 2023; Stamped and Sealed by: John M. Adams, Licensed Land Surveyor; Scale: as noted.
- Resubdivision Map: Resubdivision of Block 151, Judge Langston C. McKinney Manor, East Adams – Phase 1; Block 151 & 251, Onondaga County, City of Syracuse, New York, Tax Map # 95-08-01; Dated: October 23, 2023, Revisited: 11/06/23; Stamped and Sealed by: John M. Adams, Licensed Land Surveyor; Scale: as noted.
- Road Sections, Plan and Profiles, Utility Plan, & Signage and Placement Markings: (Sheets C-102, C-106, C-110, C-111, C-112) East Adams I – Public Infrastructure; Project Number: 07-0978; Scale: as indicated; Dated: 9/09/24; Stamped and Sealed by: Steven Barbur, Licensed Professional Engineer.
- Landscape Plan (Sheet L-101):) East Adams I – Public Infrastructure; Project Number: 01-0978; scale: as shown; Dated 08/30/23; Checked by V. Pietrzak.
- Electrical Plan and Site Lighting (Sheet E101): East Adams I – Public Infrastructure; Project Number: 23070; Scale: as indicated; Dated: 08/24/24; Checked by: JW.
- Sewer, Water, Fire and Stormwater Profiles (Sheet C-201, 202, 203, 204): East Adams I – Public Infrastructure; Project Number: 07-0978; Scale: as indicated; Dated: 9/09/24; Stamped and Sealed by: Steven Barbur, Licensed Professional Engineer.

Attachments:

Major Site Plan Review Application
Reasons Supporting Determination of significance
Negative Declaration Resolution

OCPB Comments
IPS Comments from City Departments

Context Maps:

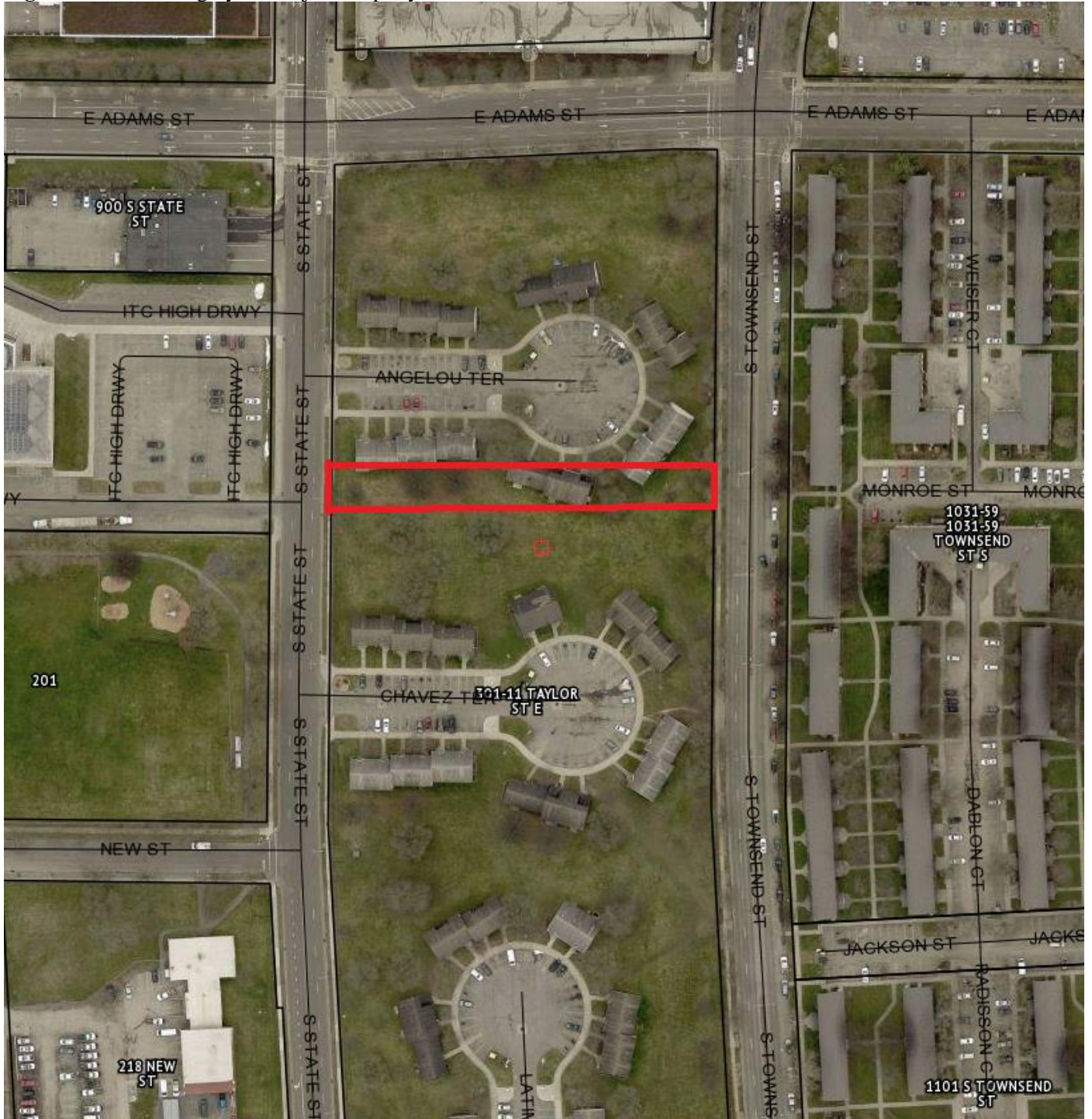
Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.
Image Source: ConnectExplorer™, Eagle View Technology Corporation



For Office Use Only	
Zone District:	_____
Application Number:	_____ - _____ - _____
Date:	_____

Office of Zoning Administration
 300 S State St, Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syrgov.net

Site Plan Review Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name: East Adams - ROW / New Street	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 915 South State Street	
Tax Map ID#:095.-08-1.2	Lot size (sq. ft.):27,181+/-
Current use of property:SHA Residential	Proposed:New ROW
Current number of dwelling units (if applicable):	Proposed:
Current number of affordable dwelling units (if applicable):	Proposed:
Current onsite parking (if applicable):n/a	Proposed:n/a
Zone District (base and any overlay) of property:MX-2	
Companion zoning applications (if applicable, list any related zoning applications):	
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor	
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes	
Detailed description of the project (required): This application is for a Major Site Plan review for a new road and utility work to support the East Adams development. This scope and land will eventually be dedicated to the City of Syracuse and to become a public right of way.	



Site Plan Review Application

Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

Print owner's name: Syracuse Housing Authority	
Signature: <i>William J. Quinn</i>	Date:
Mailing address: SHA - 516 Burt St, Syracuse, NY 13202	
Phone: 315.475.6181	Email: lmadill@syrhousing.org
Print authorized agent's name:	
Date:	
Signature:	
Mailing address:	
Phone:	Email:

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. **If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney.** Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- **APPLICATION** – filled out completely, dated, and signed by property owner as instructed
- STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR)** – Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
- PHOTOGRAPHS (COLOR) of the PROJECT SITE** – keyed to a property survey or site plan
- PHOTOGRAPHS (COLOR) of the STREETScape** – including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
- **APPLICATION FEE** – \$0

*Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, **separate site plan review applications must be submitted for each project site.** Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation.*

- **AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
- **SITE PLAN(S)** illustrating site alterations and post project conditions that are/will be different from the as built property survey including:

NOTES:

- SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE MAY SHOW.
- UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- THIS MAP MAY NOT BE USED IN CONNECTION WITH A "SURVEY AFFIDAVIT" OR SIMILAR DOCUMENT, STATEMENT OR MECHANISM TO OBTAIN INSURANCE FOR ANY SUBSEQUENT GRANTEE.
- THE SURVEYED PROPERTY IS ZONED "RB" - RESIDENTIAL DISTRICT, CLASS B, CITY OF SYRACUSE.
- SURVEYED PARCELS ARE SUBJECT TO ANY EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

NOTES:

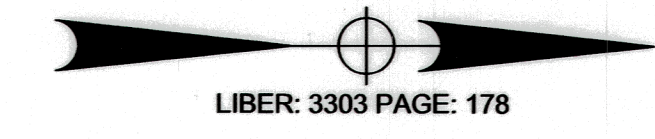
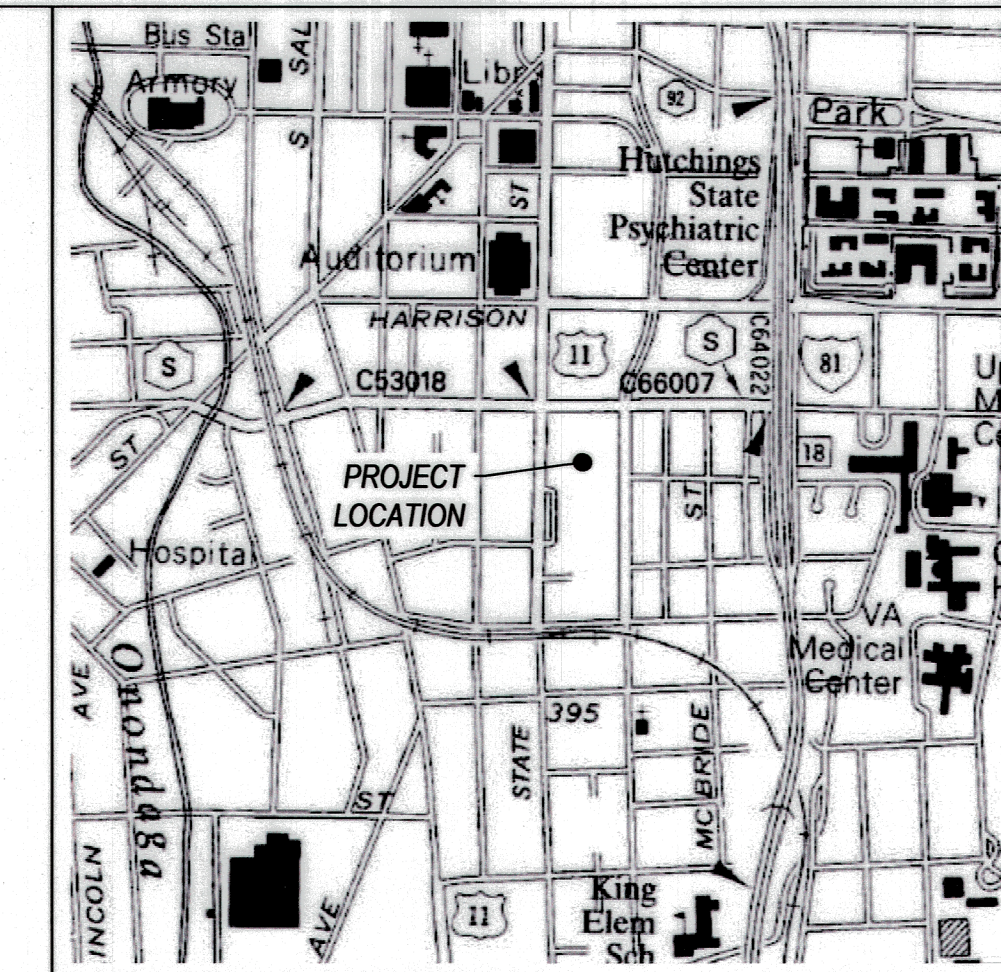
- SURVEY WAS PERFORMED BY BRYANT ASSOCIATES, P.C. IN SEPTEMBER AND OCTOBER 2022.
- HORIZONTAL DATUM IS CITY OF SYRACUSE BLOCK PLATES.
- THE SYRACUSE HOUSING AUTHORITY IS THE CURRENT REPUTED OWNER OF THE ENTIRE SURVEYED PARCEL BY BARGAIN AND SALE DEED 3303 PAGE 178.
- TOTAL ACREAGE OF LOTS 1, 2, & 3 = 11.067 ACRES.
- EXISTING CONDITIONS SHOWN AS PER THE CLIENTS REQUEST.

DEED REFERENCES:

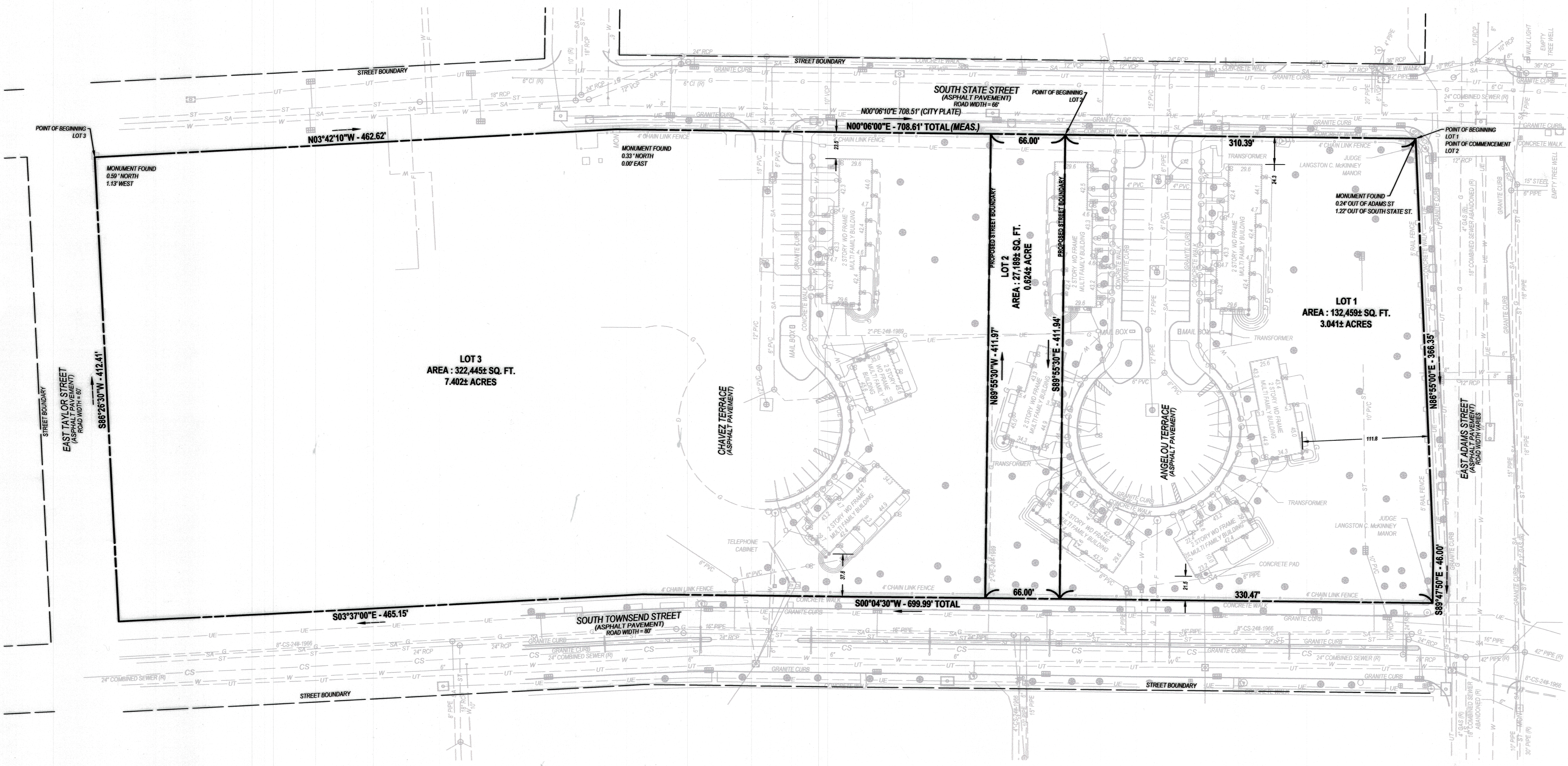
- BARGAIN AND SALE DEED FROM SAMUEL R. PIERCE, JR., SECRETARY OF HOUSING AND URBAN DEVELOPMENT TO THE SYRACUSE HOUSING AUTHORITY DATED OCTOBER 27, 1986 AND RECORDED IN THE ONONDAGA COUNTY CLERK'S OFFICE ON OCTOBER 31, 1986 IN LIBER 3303 PAGE 178.

MAP REFERENCES:

- SURVEY MAP MADE BY D.W. HANNING AND ASSOCIATES ENTITLED AS BUILTS MULBERRY SQUARE APARTMENTS, DATED OCTOBER 31, 1989.

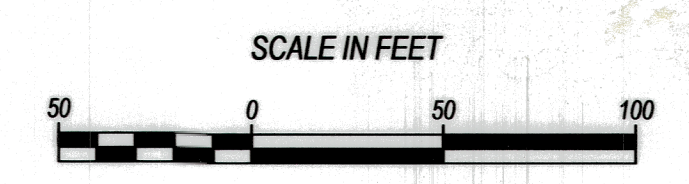


LIBER: 3303 PAGE: 178



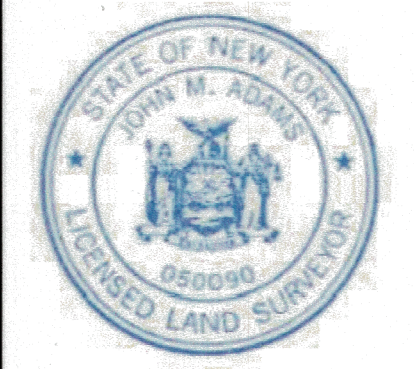
LEGEND	
△	CBP BASELINE POINT
□	MON MONUMENT
⊕	BM BENCHMARK
⊙	S1 1 POST SIGN
⊕	STR STREET INTERSECTION
⊕	LARGE SIGN
○	POST POST
⊕	MB MAILBOX
⊕	HC HANDICAP PARKING
⊕	HH HAND HOLE
⊕	UP UTILITY POLE
⊕	LP UTILITY POLE WITH LIGHT
⊕	LP LIGHT POLE
⊕	LP DOUBLE LIGHT POLE
⊕	GW GUY WIRE
⊕	EMH ELECTRIC MANHOLE
⊕	EM ELECTRIC METER
⊕	ER ELECTRIC RISER
⊕	CPT GAS CATHODIC PROTECTION TEST
⊕	GM GAS METER
⊕	GR GAS RISER
⊕	GV GAS VALVE
⊕	SMH SANITARY SEWER MANHOLE
⊕	SAC SANITARY SEWER CLEAN OUT
⊕	SVE SANITARY SEWER VENT
⊕	CB CATCH BASIN
⊕	CB CATCH BASIN
⊕	DMH STORM SEWER MANHOLE
⊕	DCO STORM SEWER CLEAN OUT
⊕	TMH TELEPHONE MANHOLE
⊕	TRI TELEPHONE RISER
⊕	TPC TRAFFIC POLE WITH CONTROLLER
⊕	HYD FIRE HYDRANT
⊕	WS WATER SERVICE
⊕	WV WATER VALVE
⊕	GATE GATE POST
⊕	TRD DECIDUOUS TREE
---	CHAIN LINK FENCE
---	IRON FENCE
---	UT UNDERGROUND TELEPHONE
---	UE UNDERGROUND ELECTRIC
---	SL STREET LIGHT CONDUIT
---	SA SANITARY SEWER
---	ST STORM SEWER
---	G GAS LINE
---	W WATER LINE
---	STREET BOUNDARY

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 Recorded: 05/24/2024 at 10:56:41 AM
 Fee Amt: \$10.00 Page 1 of 1
 Onondaga County, NY
 Emily Esti Bersani County Clerk
 File 13661



<p>City of Syracuse Assessor</p> <p>Date Reviewed: <u>5-24-24</u></p> <p><i>Ann E. Gallagher</i></p> <p>Ann E. Gallagher 1st Deputy Commissioner of Assessment</p>	<p>City of Syracuse Planning Commission Secretary</p> <p>Syracuse Planning Commission SYRACUSE, NEW YORK APPROVED <u>3/25/2024</u> BY <u>Zhiteng Wu</u></p>
<p>Onondaga County Health Department</p> <p>ONONDAGA COUNTY HEALTH DEPARTMENT DIVISION OF ENVIRONMENTAL HEALTH MAY 24 2024</p> <p>This Plan has been reviewed by the Onondaga County Health Department. Subdivision approval by this Department is not required.</p> <p><i>[Signature]</i> P.E. Bureau of Public Health Engineering</p>	<p>City of Syracuse Department of Public Works</p> <p>The City of Syracuse hereby certifies that all property taxes due on this property have been paid as of this date: <u>5/24/24</u></p> <p><i>[Signature]</i> Veronica H. Voss, Deputy Commissioner</p>
<p>City of Syracuse Engineer</p> <p>CITY OF SYRACUSE, NY DEPARTMENT OF ENGINEERING</p> <p>FINAL TRACT PLAN APPROVED: 5/24/24</p> <p><i>[Signature]</i> P.E.</p>	<p>I hereby certify that this is an accurate subdivision plat prepared by me on October 23, 2023. This subdivision plat meets the current standards stated in the NYSAPLS Code of Practice for Land Surveys. This map is not valid without the original seal of the surveyor. The fieldwork was completed in September and October 2022.</p>

REVISIONS	
11/08/2023	ADDED THE CITY PLATE BEARING AND DISTANCE TO SOUTH STATE STREET.



BRYANT ASSOCIATES
 Improving lives through infrastructure

I HEREBY CERTIFY THAT THIS IS AN ACCURATE MAP MADE FROM AN ACTUAL SURVEY PREPARED UNDER MY DIRECTION.

October 23, 2023

John M. Adams

JOHN M. ADAMS, L.S.
NYS LICENSE NO. 050090
FOR BRYANT ASSOCIATES, P.C.

**RESUBDIVISION OF BLOCK 151
 JUDGE LANGSTON C. MCKINNEY MANOR
 EAST ADAMS - PHASE I**

BLOCK 151 & 251
 CITY OF SYRACUSE

TAX MAP # 95-08-01

ONONDAGA COUNTY,
 NEW YORK

PROJECT: 2023-11-15TH WARD - PHASE 1 SUBDIVISION/RECONSTRUCTION SUBDIVISION/RECONSTRUCTION

REASONS SUPPORTING DETERMINATION OF SIGNIFICANCE
ATTACHMENT TO FULL ENVIRONMENTAL ASSESSMENT FORM - PART 3

Summary of Proposed Action

East Adams Phase I, LP, East Adams Phase IIA, LP, and East Adams Phase IIB, LP (collectively, “Applicant”) proposes to redevelop two sites owned by the Syracuse Housing Authority (the “SHA”) located at 1301-11 E. Taylor Street, Syracuse NY 13202 (Tax Map #95-08-02) & 1105-1117 S State Street (516 Burt Street), Syracuse 13202 (Tax Map # 94-08-04) (collectively, the “Property”). The proposed redevelopment project (the “Project”) would be completed in two phases.

Phase One of the Project would demolish an existing sixty-three (63) units of SHA housing (the “Phase One Area”) to allow the construction of 158,620 gross-square-foot of new mixed-income residential development containing 133 units of multifamily housing. The 133 units would comprise one efficiency unit and a mix of one-, two-, three-, and four-bedroom units. Sixty-three (63) of the proposed units would be replacements for the existing SHA units. The remaining 69 units will be Low-Income Housing Tax Credit (LIHTC) units reserved for households earning up to 80 percent of the Area Median Income (AMI). The proposed residential units would be located across two (one three-story and one four-story) multifamily residential buildings and four groupings of townhomes. The four-story building would contain residential amenities and office space for resident support services. Accessory surface parking would be provided. The development also includes a future new street, along with utility connections, connecting S. State and S. Townsend Streets.

Phase Two of the Project would demolish a vacant parking lot (the “Phase Two Area”) to construct 125 income-restricted dwelling units across two residential buildings. Phase Two will be bifurcated to account for distinct resident programs: seniors and domestic violence survivors being served by the Young Women’s Christian Association (YWCA). Phase 2A consists of seventy-six (76) one-bedroom dwelling units to be made available to senior households earning 60 percent of the AMI or below. These units will have amenities such as a community room and lounge, computer lab, indoor bike storage, fitness center, laundry rooms, library, parking, and an outdoor terrace. Phase 2B consists of forty-nine (49) total dwelling units, all of which will be made available by the YWCA to households at or below sixty percent (60%) of the AMI that are also survivors of domestic violence.

The Project will support the vision set forth in strategic plans developed by the City of Syracuse, including the City of Syracuse Five-Year Consolidated Plan, the East Adams Street Neighborhood Transformation Plan, the Syracuse Housing Plan, and the City of Syracuse Consolidated Plan 2040.

The City of Syracuse Planning Commission (the “Commission”) determined that the Project is an action (the “Action”) subject to review under the State Environmental Quality Review Act (“SEQRA”) set forth at Article 8 of the New York State Environmental Conservation Law and adopted a resolution preliminarily classifying the Action as a

Type 1 Action under SEQRA and declaring its intention to serve as “Lead Agency” for the purpose of conducting a coordinated environmental review of the Project pursuant to SEQRA. The Commission has identified the City of Syracuse, SHA, City of Syracuse Central Permit Office, Onondaga County Planning Board New York State Department of Transportation, New York State Homes and Community Renewal, New York State Department of Environmental Conservation, and the United States Department of Housing and Urban Development as involved agencies under SEQRA. All involved agencies have consented to the Commission acting as Lead Agency for purposes of SEQRA. On March 25, 2024, the Commission declared itself Lead Agency for purposes of undertaking a SEQRA review of the Action.

In making its determination of significance, the Commission has considered the Application, Part 1 of the Full Environmental Assessment Form (“FEAF”), the Traffic Impact Study prepared by GTS Consulting dated June 16, 2023 (the “TIS”), Phase II Environmental Site Assessments for each of the properties, dated June 2023 (collectively the “ESA”), and the Memorandum prepared by Langan Engineering dated March 20, 2024 (the “Memorandum”).

The Commission has thoroughly analyzed the Action and its environmental setting, utilizing the criteria specified in 6 N.Y.C.R.R. § 617 of the SEQRA regulations for determining the environmental significance of the Action. The Commission has evaluated the potential environmental impacts identified on Part 2 of the Full EAF for the Action, including examining comments received from involved and interested agencies, and the public. For the reasons set forth below, the Commission has determined that the Action will result in no significant adverse impacts on the environment. Accordingly, an environmental impact statement need not be prepared and the Commission issues a Negative Declaration for the Action.

Analysis of Potential Impacts

1. Impact on Land

The Action will involve construction and the physical alteration of the land surface of the Property. However, the Action will not result in any moderate or large impacts on land. The Commission considered the following information when making this determination:

- a. Part 1, E2d, concerning the depth to the water table on the Property was left blank by the Applicant. However, table 14 of the ESA states that the groundwater on the Property is found at a depth between 7.29 feet and 10.29 feet. Thus, the Project is unlikely to involve construction on land where the depth to the water table is less than three feet. In addition, the Project will not involve the use of groundwater or a septic system.
- b. Part 1, E2f, states that the Property does not contain slopes of more than 10%.

- c. Part 1, E2a, concerning the depth to bedrock was left blank by the Applicant. However, the ESA states that multiple soil borings were taken to a depth of five feet and did not encounter bedrock.
- d. Part 1, D2a, states that the Project will not include the removal of natural material from the Property. This question is intended to explore whether any mining is proposed to take place. The Project does not involve mining.
- e. Part 1, D1e, states that construction is anticipated to last for approximately 2 years and shall take place in two phases. The anticipated construction is expected to result an overall level of activity will not be substantially different from a single phase project.
- f. The Project will require a Storm Water Pollution Prevention Plan (“SWPPP”).
- g. The Project is not located within a coastal erosion hazard area.

2. Impact on Geological Features

There are no unique geological features on the Property, nor are there any designated National Natural Landmarks according to the database maintained by the NYSDEC. Therefore, the Action will not result in the modification, destruction, or inhibition of access to any unique or unusual landforms on the Property. Accordingly, the Action will have no impact on geological features.

3. Impacts on Surface Water

The Action will not affect any wetland or surface water body. The Project is not located in proximity to any wetland or surface water body and the Applicant will be required to develop and abide by a SWPPP.

4. Impact on Groundwater

The Action will not result in any new or additional use of groundwater. The Property has access to public water. The use of the Property for residential development will not introduce contaminants to ground water or an aquifer.

5. Impact on Flooding

The Action will not result in development on lands subject to flooding and will not have an impact on flooding. The Property is not located in a designated floodway or 100-year or 500-year floodplain. The Project will not change existing drainage patterns.

6. Impacts on Air

The Action will not include a state regulated air emission source and will not require federal or state air emission permits. The Action will have no impacts on air during the operation of the Project. Reciprocating Internal Combustion Engine (RICE) generators that require an air permit or registration from any government agency will not be used during construction. Small portable generators that do not require a permit or registration may be used intermittently during construction. The Applicant intends on using a temporary electric hookup as soon as possible to reduce or eliminate the need

for generators. Best management practices such as spraying water or temporarily stopping work will be used to reduce dust on and around the construction site.

7. Impact on Plants and Animals

The Action will not result in a loss of flora or fauna. No threatened or endangered species or species of special concern or conservation need will be impacted by the Action, nor will the habitats of any such species be impacted by the Action. There are no registered National Natural Landmarks on the Property, and the Action will not require conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Accordingly, the Action will not adversely impact plants and animals.

8. Impact on Agricultural Resources

The Action will have no impact on agricultural resources because the Property is located in an urban area. The property is not located in an agricultural district, nor does it contain prime soils.

9. Impact on Aesthetic Resources

The Action will have no impact on aesthetic resources because the proposed use is similar to current land use patterns and is not located in close proximity to any scenic or aesthetic resources. The nearest aesthetic resource is the former Central Technical High School building located approximately two blocks away. The Project will not interfere with any viewshed of the Central Technical High School building.

10. Impact on Historic and Archeological Resources

The Action will have no impact on historic or archaeological resources. No resources are identified in Part 1 of the FEAF. The nearest building listed on the historic list is the former Central Technical High School building located approximately two blocks away. The Project will not interfere with any viewshed of the Central Technical High School building. The Project is proposed to be built in a long developed urban area. There is no concern about the disturbance of archeological resources due to the history of development on the site.

A review request letter was sent to the New York State Historic Preservation Office (SHPO) on May 1, 2023, as part of the National Environmental Policy Act (NEPA) review. By letters dated June 1, 2023, the New York State Parks, Recreation and Historic Preservation stated that no historic properties, including archaeological and/or historic resources, will be affected by the construction of the Phase One Area or Phase Two Area.

11. Impact on Open Space and Recreation

The Action will not result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan.

There are no designated open space or recreational resources displaced by this Project. Open space is considered under SEQRA to be land that is left in a natural, undeveloped state for conservation, recreation, scenic, or even agricultural purposes devoted to preserving unique sites. Additionally, recreational resources are those that provide opportunities for hunting, fishing, hiking, bird watching, and similar nature themed activities. Open space and recreational resources are typically publicly owned or operated. While the Property is owned by SHA, it is not undeveloped land and is not used for conservation, scenic or other similar purposes and therefore does not qualify as a recreational resource or open space as contemplated under SEQRA.

12. Impact on Critical Environmental Areas

The Property does not contain a Critical Environmental Area (“CEA”). The Action will not be located within or adjacent to a CEA. The Action will have no impact on any CEA.

13. Impact on Transportation

The Project may result in a change to existing transportation systems. However, the Project will not result in a significant adverse impact on existing transportation systems or traffic patterns. The Commission reviewed the TIS in order to assess the potential for traffic impacts.

The TIS evaluated impacts that would result from not only the Project, but also anticipated future residential development of nearby parcels. The TIS included data collection, site visits, evaluation of existing operations, an accident analysis, a trip generation estimate, net trip distributions, anticipated road improvement projects and conclusions provided by GTS Consulting. The TIS states that all proposed development access driveways are projected to operate at levels of service level “C” or better during both peak hours under either existing roadway or Community Grid roadway network options. The Project will have no significant impact on traffic operations in the study area regardless of whether the existing roadway network is maintained or the I-81 Community Grid option is completed. The additional traffic generated by the Project will largely be offset by removal of the existing traffic that is currently being generated by the existing residential development in the study area.

14. Impact on Energy

The Action will not have an impact on energy. The Action does not require a new substation or upgrades to an existing substation, nor does the Action require the creation or extension of transmission lines. The Action will use the existing power connection at the Property.

15. Impact on Noise, Odor, and Light

The Project will not result in a significant adverse impact on the environment due to increases in noise, odor or light.

The sensitive receptors nearest to both areas are SHA residences. For the Phase One Area, Chavez Terrace is about 60 feet to the south and Weiser Court and Dablon Court are about 100 feet to the east across South Townsend Street. For the Phase Two Area, the nearest residences are located in the Almus Olver Tower, about 80 feet to the south across Burt Street. Latimer Terrace is about 100 to the north, across the elevated railway. Hopps Memorial CME Church is about 60 feet to the west across South State Street.

The construction phase of the Project will generate noise for a limited period of time that may have some impact on a relatively small number of residential receptors. However, the noise generated by construction will be relatively short in duration and will not result in significant impacts on neighboring residential uses due to time limitations placed on construction activities. Impacts related to construction noise will be similar to typical multiple-family residential construction projects in urban environments. The project plan includes the following measures intended to minimize impacts:

- Generally, construction will take place Monday through Friday from 7 am to 5 pm. With prior permission from the Code Enforcement Office, construction activities may take place on Saturdays between 7 am and 5pm, but only when done in accordance with approved permits issued by the City of Syracuse.
- Demolition is anticipated to take about one month in the Phase One Area. Since only two small structures currently exist at the Phase Two Area, only minor demolition is anticipated, which will take approximately three days. The existing paved parking area would be milled and removed over about one week.
- Trucks will be prohibited from idling outside of the construction sites.
- Construction equipment will be placed as far as possible from nearby sensitive receptors that have a direct line-of-sight to the construction area pursuant to the terms of the building permits.
- In the Phase Two Area, the rail line to the north is on top of a berm, which precludes direct line-of-sight between the Phase Two Area and areas to the north. This berm can be used as a noise barrier and reduces the potential for air emissions and noise to impact areas to the north.

16. Impact on Human Health

The Action will not adversely impact human health from exposure to new or existing sources of contaminants. In fact, the ESA indicates that the Property includes historic contamination that will be removed and properly disposed of as part of the Project. The Project will result in a reduction of contaminants on the Property and will improve environmental conditions.

The Phase One Area was a junk yard until 1961. Several off-site locations were determined to pose a potential environmental risk to the Property. Analytical testing did not identify impacts associated with the former use of the property or surrounding properties. Soil and groundwater sample results were below applicable regulatory standards for residential use. Trichloroethylene, a volatile organic compound (VOC) was detected at a concentration that may warrant mitigation; therefore, a soil gas mitigation system has been designed for the Project. Any excess soil being removed from the site will be sampled, characterized, and properly disposed of in accordance with applicable local, state, and federal regulations.

The Phase Two Area has been developed for multiple industrial, commercial, and residential uses dating back to the 1890s. Uses included a stone yard, carriage manufacturing and painting, bridge manufacturing, a scrap metal yard, a retail gasoline station and a paper baling facility. Petroleum impacts attributed to former underground storage tanks were identified in soil on the northwestern and southwestern parts of the site, and semi-volatile organic compounds (SVOCs) and metals were also identified in soil across the site at concentrations above applicable guidance values. Petroleum-related volatile organic compounds (VOCs) were also identified in groundwater above applicable standards and guidance values. The Applicant will complete additional investigation pursuant to NYSDEC regulations and the Brownfield Cleanup Program to determine the nature and extent of contamination at the Property and a Remedial Action Work Plan (RAWP) will be prepared outlining how cleanup at the site will be achieved. The Applicant shall comply with the RAWP protocols for the removal of contaminated soil and the design of a vapor mitigation system.

17. Consistency with Community Plans

The Action is consistent with adopted land use plans. The Action will support the vision set forth in numerous strategic plans developed by the City of Syracuse, including the City of Syracuse Five-Year Consolidated Plan, the East Adams Street Neighborhood Transformation Plan, the Syracuse Housing Plan, and the City of Syracuse Consolidated Plan 2040.

18. Consistency with Community Character

The Action will not have a significant adverse impact on community character. The Property is currently used for residential purposes. The Project will replace dated residential units with new more desirable housing stock.

Both the Phase One and Phase Two areas are in “environmental justice areas,” as defined by the NYSDEC. The East Adams Transformation Plan was initiated by the City of Syracuse to provide a comprehensive approach to the revitalization of the East Adams neighborhood, an area that includes five SHA communities. Community members have been notified about the Transformation Plan through fact sheets and community meetings held by the City of Syracuse.

To date, public participation focus groups, workshops, and presentations hosted by SHA have provided an opportunity for stakeholders to participate. During the planning process, the City identified and studied reasonable alternatives.

The Transformation Plan identified a need to renovate and repair SHA properties and to expand affordable housing options. The plan seeks to incorporate a variety of housing types in the neighborhood within the larger mixed-use commercial and residential neighborhood of the 13th Ward.

A community needs survey completed by SHA determined that Phase One Area – currently occupied by 24 housing units that comprise McKinney Manor – would require more than \$17 million dollars in deferred maintenance. The SHA concluded that redevelopment of the Property with new townhomes and a multifamily building was the preferred alternative to achieve the goals of the Transformation Plan.

Phase Two Area is vacant and the City of Syracuse determined that the area is suitable for affordable and supportive housing. Multi-story apartment buildings and mixed-use development along East Adams Street were selected to accommodate the community's need for more housing.

The Project does not conflict with environmental justice goals of the state or the United States Environmental Protection Agency.

Conclusion

The Commission, as lead agency in this coordinated review under SEQRA, has thoroughly reviewed all relevant materials and analyzed all aspects of the Action. For all the reasons set forth above, the Commission determines that the Action will not have any significant adverse impacts on the environment. Consequently, a negative declaration will be filed and notice of the negative declaration will be provided pursuant to all applicable laws and regulations.

RESOLUTION OF THE CITY OF SYRACUSE PLANNING COMMISSION

March 25, 2024

WHEREAS, East Adams Phase I, LP, East Adams Phase IIA, LP, and East Adams Phase IIB, LP (collectively, “Applicant”) has submitted an application (the “Application”) to the City of Syracuse Planning Commission (the “Commission”) in connection with a proposed project (the “Project”) to redevelop two sites owned by the Syracuse Housing Authority (the “SHA”) located at 1301-11 E. Taylor Street, Syracuse NY 13202 (Tax Map #95-08-02) and 1105-1117 S State Street (516 Burt Street), Syracuse 13202 (Tax Map # 94-08-04); and

WHEREAS, the Application seeks project site review approval from the Commission; and

WHEREAS, the work to be performed during the first phase of the Project (“Phase One”) involves demolition of the existing sixty-three (63) units of SHA housing at the “Phase One Area” and construction of 158,620 gross-square-feet of new mixed-income residential development containing 133 units of multifamily housing comprised of efficiency units and a mix of one-, two-, three-, and four-bedroom units, of which sixty-three (63) of the proposed units will replace the existing SHA units and the remaining sixty-nine (69) units will be Low-Income Housing Tax Credit units; and

WHEREAS, the work to be performed during the second phase of the Project (“Phase Two”) involves demolition of a vacant parking lot at the “Phase Two Area” and construction of two residential buildings containing a total of 125 income-restricted dwelling units in two stages; and

WHEREAS, the work to be performed during the first stage of Phase Two (“Phase 2A”) involves construction of seventy-six (76) one-bedroom dwelling units to be made available to senior households earning sixty percent (60%) of the Area Median Income or below; and

WHEREAS, the work to be performed during the second stage of Phase Two (“Phase 2B”) involves construction of forty-nine (49) dwelling units to be made available by the Young Women’s Christian Association to households at or below sixty percent (60%) of the Area Median Income that are survivors of domestic violence; and

WHEREAS, the Project will support the vision set forth in strategic plans developed by the City of Syracuse, including the City of Syracuse Five-Year Consolidated Plan, the East Adams Street Neighborhood Transformation Plan, the Syracuse Housing Plan, the City of Syracuse Consolidated Plan 2040, and the Community Grid Vision Plan; and

WHEREAS, the Project will require permits and/or approvals from several agencies, including the Commission, City of Syracuse, SHA, City of Syracuse Central

Permit Office, Onondaga County Planning Board New York State Department of Transportation, New York State Homes and Community Renewal, New York State Department of Environmental Conservation, and the United States Department of Housing and Urban Development; and

WHEREAS, the Project is an action (the “Action”) subject to review under the State Environmental Quality Review Act (“SEQRA”) set forth at Article 8 of the New York State Environmental Conservation Law; and

WHEREAS, the Commission preliminarily classified the Action as a Type 1 Action under SEQRA and declared its intention to serve as “Lead Agency” for the purpose of conducting a coordinated environmental review of the Action pursuant to SEQRA; and

WHEREAS, the Commission distributed notice of its intent to act as Lead Agency (the “Notice of Intent”) along with materials related to the Action to all identified involved and interested agencies; and

WHEREAS, the Notice of Intent instructed all recipients to direct any comments or questions concerning the Action to the Commission; and

WHEREAS, none of the involved agencies objected to the Commission’s designation as Lead Agency within the statutory 30-day period under SEQRA; and

WHEREAS, the Commission has thoroughly reviewed all information provided in Part 1 of the Full Environmental Assessment Form (“FEAF”) and the additional materials submitted by the Applicant regarding the activities proposed in connection with the Project and the potential effects of the Action; and

WHEREAS, pursuant to the Regulations, the Commission has considered the significance of the potential environmental impacts of the Action by (1) using the criteria specified in Section 617.7(c) of the Regulations, and (2) examining the FEAF for the Action, including the information in Parts 1 of the FEAF and completing the analyses for Parts 2 and 3 of the FEAF, together with examining other available supporting information relevant to the Action, to identify the relevant areas of environmental concern, and (3) thoroughly analyzing the identified areas of relevant environmental concern;

NOW, THEREFORE, BE IT RESOLVED THAT the Commission confirms and adopts the following conclusions with respect to SEQRA:

1. The Action is subject to SEQRA.
2. The Action is a Type 1 Action under SEQRA and the Commission hereby declares itself “Lead Agency” (as said quoted term is defined in SEQRA) for purposes of the coordinated SEQRA review of this Action.

3. The Commission has compared the impacts that that may reasonably be expected to result from the Action to the criteria for determining significance identified in Section 617.7(c)(1) of the Regulations and evaluated the issues of causation and significance in light of the standards under the same Section of the Regulations.
4. The Commission has not identified any significant adverse environmental impacts associated with the Action and none are known to the Commission. Based upon its review, and for the reasons set forth more fully in the FEA and its supporting written elaboration, the Commission hereby determines that the Action will not have any significant adverse impacts on the environment and reaches the following further conclusions:
 - (A) The Action will not result in (i) substantial adverse change in existing air quality; ground or surface water quality or quantity, traffic or noise levels; a substantial increase in solid waste production; or a substantial increase in potential for erosion, flooding, leaching or drainage problems; (ii) the removal or destruction of large quantities of vegetation or fauna; substantial interference with the movement of a resident or migratory fish or wildlife species; impacts on a significant habitat area; substantial adverse impacts on threatened or endangered species of animal or plant, or the habitat of such species; or (iii) other significant adverse impacts to natural resources;
 - (B) The Action will not affect a critical environmental area as designated pursuant to 6 NYCRR § 617.14(g);
 - (C) The Action will not conflict with the community's current plans or goals as officially approved or adopted;
 - (D) The Action will not result in the impairment of the character or quality of important historical, archeological, architectural, or aesthetic resources or of existing community or neighborhood character;
 - (E) The Action will not result in a major change in the use of either the quantity or type of energy;
 - (F) The Action will not result in the creation of a hazard to human health;
 - (G) The Action will not result in a substantial change in the use, or intensity of use, of land including architectural, open space or recreational resources, or in its capacity to support existing uses;
 - (H) The Action will not result in encouraging or attracting of a large number of people to a place or places for more than a few days, compared to the number of people who would come to such place absent the action;

- (I) The Action will not result in the creation of a material demand for other actions that would result in one or more of the above consequences;
 - (J) The Action will not result in changes in two or more elements of the environment, no one of which has a significant impact on the environment, but when considered together result in a substantial adverse impact on the environment; and
 - (K) The Action will not result in two or more related actions undertaken, funded or approved by an agency, none of which has or would have a significant impact on the environment, but when considered cumulatively would meet one or more of the criteria in 6 NYCRR § 617.7(c).
5. The information available concerning the Action was sufficient for the Commission to make its determination.
 6. The Commission hereby approves and adopts the FEAF for the Action (Parts 1, 2, and 3) with its supporting written elaboration, issues a Negative Declaration, and will not require the preparation of an environmental impact statement for the Action.
 7. The Commission hereby directs Zoning Staff to execute the FEAF and arrange for execution by its preparer, and to make any filing(s) and publication required by law of the Negative Declaration, including publishing notice of the Negative Declaration in the Environmental Notice Bulletin.
 8. The Commission hereby authorizes Zoning Staff to take such other steps as may be necessary to carry out this Resolution.
 9. This Resolution shall take effect immediately.

The resolution was thereupon declared duly adopted.

Dated: March 25, 2024



J.Ryan McMahon, II
County Executive

Onondaga County Planning Board

RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: November 21, 2023

OCPB Case # Z-23-287

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a SITE PLAN from the City of Syracuse Planning Commission at the request of East Adams Phase I / Michael Saunders for the property located at 301-311 East Taylor Street and South State Street; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of the Oncenter and Oncenter parking facility, all county-owned properties; and
- WHEREAS, the applicant is proposing to demolish existing residential units and construct 133 mixed-income units across 6 multi-unit buildings on a proposed 3.041-acre parcel in a Neighborhood Center (MX-2) zoning district, as part of the redevelopment of the 15th Ward; and
- WHEREAS, the Board is concurrently reviewing a subdivision referral (S-23-32) to subdivide the project area from two existing apartment complexes contained in the same parcel; and
- WHEREAS, the site is in an area of dense townhouse-style apartments belonging to the Syracuse Housing Authority on the eastern edge of Downtown Syracuse; adjacent parcels contain additional apartment complexes, a fire station, the OnCenter and its parking garage, and an Upstate Medical University Residence Hall; and
- WHEREAS, the parcel contains Angelou Terrace, Chavez Terrace, and Latimer Terrace, cul de sacs surrounded by townhouse-style apartments belonging to Syracuse Housing Authority with frontage on East Adams Street, South State Street, South Townsend Street, and East Taylor Street; and
- WHEREAS, the applicant is proposing to subdivide Angelou Terrace from the remaining lands, demolish the cul de sac and apartments, extend Monroe Street west to South State Street, and construct 133 mixed-income units in 6 multi-unit buildings along with a playground and central parking lot; and
- WHEREAS, per the referral materials, the proposed project is Phase 1 of a revitalization of the Old 15th Ward and will seek Enterprise Green Communities (EGC) certification and will certify under Energy Star for Multifamily High Rise (MFHR) Building's rating system; per the Environmental Assessment Form (EAF) dated 10/18/23, the project has funding from the NYS Agency of Homes and Community Renewal (HCR), the US Department of Housing and Urban Development (HUD), and HUD's Rental Assistance Demonstration; and
- WHEREAS, the proposal is to construct six new buildings: building 1 will be an L-shaped 4-story, multi-use building to be placed in the northeast corner of the site, building 2 will be a 3-story, multi-use building in the northwest corner of the lot, and buildings 3, 4, 5, and 6 will be grouped two-story townhouse-style apartments

consisting of 3 and 4-bedroom units placed along the southern lot boundary; a driveway from South Townsend Street will enter the site between buildings 1 and 6, leading to a central 93-space parking lot; 2 playgrounds will be constructed near the northwest corner of the parking lot; and

WHEREAS, the proposal will create 113 dwelling units; referral materials do not include a breakdown of how many apartments will be in each building; Floor Plans show the ground floor of building 1 to house offices, a community space, fitness room, computer lab, a business incubator, and bike storage; no mixed use details for building 2; per the Planting Plan dated 9/11/23, trees, shrubs, perennials, and grasses will be planted along the perimeter of buildings, walkways, and the parking lots;

ADVISORY NOTE: The proposed work within the state right-of-way is subject to a work permit from the NYS Department of Transportation; and

WHEREAS, Site Plan notes roadway work on Lot 2 to occur under separate public infrastructure contract; no details were provided with current referrals, other than coordination is to occur; and

WHEREAS, per the Environmental Assessment Form (EAF) dated 10/18/23, 3.50 acres of the site will be disturbed by the proposed project; per the Drainage Plan dated 9/11/23, stormwater infrastructure will be placed under the parking lot, draining to stormwater storage tanks under the western side of the parking lot; per the EAF, stormwater will be managed with an “internal stormwater management system with underground chambered storage that will discharge to established public stormwater system”;

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the referral notice, a new connection to public drinking water is proposed to serve the apartment complex; and

WHEREAS, per the referral notice, a new connection to the public sewers is proposed to serve the new apartment complex; the site is located within the Metropolitan Wastewater Treatment Plan service area;

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects; the applicant must contact Plumbing Control to ensure appropriate permits are obtained;

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division in order to connect into the public sewer system; additionally, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:

<http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and

WHEREAS, the project is within 2,000 feet of multiple sites (IDs: 734140, C734144, C734140, C734144A, E734086) in the NYS Department of Environmental

Conservation Environmental Site Remediation database (per EAF Mapper); and
NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has
determined that said referral will have no significant adverse inter-community or county-wide
implications and may consequently be acted on solely by the referring board.



Martin E. Voss, Chairman
Onondaga County Planning Board



J.Ryan McMahon, II
County Executive

Onondaga County Planning Board

RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: November 21, 2023

OCPB Case # S-23-32

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a SUBDIVISION from the City of Syracuse Planning Commission at the request of Syracuse Housing Authority / William Simmons for the property located at 301-311 East Taylor Street and South State Street; and
- WHEREAS, General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of the Oncenter and Oncenter parking facility, all county-owned properties; and
- WHEREAS, the applicant is proposing to subdivide an 11.068-acre parcel into three new lots, Lot 1 (3.041 acres), Lot 2 (0.624 acres) and Lot 3 (7.402 acres) in a Neighborhood Center (MX-2) zoning district, as part of the 15th Ward Revitalization project; and
- WHEREAS, the Board is concurrently reviewing a site plan referral (Z-23-187) to demolish the existing apartments, parking and cul-de-sac street to construct 133 apartments in 6 buildings; and
- WHEREAS, the site is in an area of dense townhouse-style apartments belonging to the Syracuse Housing Authority on the eastern edge of Downtown Syracuse; adjacent parcels contain additional apartment complexes, a fire station, the OnCenter and its parking garage, and an Upstate Medical University Residence Hall; and
- WHEREAS, the parcel contains Angelou Terrace, Chavez Terrace, and Latimer Terrace, cul de sacs surrounded by townhouse-style apartments belonging to Syracuse Housing Authority with frontage on East Adams Street, South State Street, South Townsend Street, and East Taylor Street; and
- WHEREAS, the applicant is proposing to subdivide Angelou Terrace from the remaining lands, demolish the cul de sac and apartments, extend Monroe Street west to South State Street, and construct 133 mixed-income units across 6 multi-unit buildings along with a playground and central parking lot; and
- WHEREAS, per the referral materials, the proposed project is Phase 1 of a revitalization of the Old 15th Ward and will seek Enterprise Green Communities (EGC) certification and will certify under Energy Star for Multifamily High Rise (MFHR) Building's rating system; per the Environmental Assessment Form (EAF) dated 10/18/23, the project has funding from the NYS Agency of Homes and Community Renewal (HCR), the US Department of Housing and Urban Development (HUD), and HUD's Rental Assistance Demonstration; and
- WHEREAS, per the survey dated 10/16/23, the parcel will be split into 3 lots; Lot 1 will be 3.041 acres and is the subject of the concurrent site plan referral (Z-23-287); Lot 2 will be 0.624 acres and will be converted to an extension of Monroe Street, connecting the street to South State Street; Lot 3 will be 7.402 acres and contains the existing apartment complexes on Chavez Terrace and Latimer Terrace culs de

sac; and

WHEREAS, the proposal is to construct six new buildings: building 1 will be an L-shaped 4-story, multi-use building to be placed in the northeast corner of the site, building 2 will be a 3-story, multi-use building in the northwest corner of the lot, and buildings 3, 4, 5, and 6 will be grouped two-story townhouse-style apartments consisting of 3 and 4-bedroom units placed along the southern lot boundary; a driveway from South Townsend Street will enter the site between buildings 1 and 6, leading to a central 93-space parking lot; 2 playgrounds will be constructed near the northwest corner of the parking lot; and

WHEREAS, the proposal will create 113 dwelling units; referral materials do not include a breakdown of how many apartments will be in each building; Floor Plans show the ground floor of building 1 to house offices, a community space, fitness room, computer lab, a business incubator, and bike storage; no mixed use details for building 2; per the Planting Plan dated 9/11/23, trees, shrubs, perennials, and grasses will be planted along the perimeter of buildings, walkways, and the parking lots;

ADVISORY NOTE: The proposed work within the state right-of-way is subject to a work permit from the NYS Department of Transportation; and

WHEREAS, Site Plan notes roadway work on Lot 2 to occur under separate public infrastructure contract; no details provided with current referrals, other than coordination is to occur; and

WHEREAS, per the Environmental Assessment Form (EAF) dated 10/18/23, 3.50 acres of the site will be disturbed by the proposed project; per the Drainage Plan dated 9/11/23, stormwater infrastructure will be placed under the parking lot, draining to stormwater storage tanks under the western side of the parking lot; per the EAF, stormwater will be managed with an “internal stormwater management system with underground chambered storage that will discharge to established public stormwater system”;

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the referral notice, a new connection to public drinking water and public sewers is proposed to serve new lot 1; the site is located within the Metropolitan Wastewater Treatment Plan service area;

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects; the applicant must contact Plumbing Control to ensure appropriate permits are obtained;

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division in order to connect into the public sewer system; additionally, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:

<http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and

WHEREAS, the project is within 2,000 feet of multiple sites (IDs: 734140, C734144, C734140, C734144A, E734086) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has determined that said referral will have no significant adverse inter-community or county-wide implications and may consequently be acted on solely by the referring board.



Martin E. Voss, Chairman
Onondaga County Planning Board



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Syr Housing Authority
From: Cristian Toellner, Zoning Planner
Date: 10/17/2024 11:24:15 AM
Re: Major Site Plan Review MaSPR-24-34
301-11 Taylor St E & State St S, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	10/07/2024	Vinny Esposito	The City Engineer must approve all plans associated with this new street. My comments will be that of the City Engineers Office
DPW - Transportation Planner	Conditionally Approved	10/07/2024	Neil Milcarek-Burke	No concern with project as proposed
Zoning Planner	On Hold	10/11/2024	Zhitong Wu	No concerns. Pending on decision from CPC and CC.
Parks - Forestry	On Hold	10/11/2024	Jeff Romano	Townsend Street southern median; tree / streetlight LP-B2 conflict should be reviewed. Gingko tree at southern end of Townsend St, east side should be reconsidered. Spacing seems tight. Detail 1/L101 - Revise hose and double strand wire guys for "arbotie" as standard for tree staking. Add Alt. 1 - depicting structural soils under new, realigned walk may be counterintuitive and be damaging to existing tree's root systems.
Planning Commission	Pending	09/25/2024		
Eng. Design & Cons. - Zoning	Conditionally Approved	10/11/2024	Mirza Malkoc	<ul style="list-style-type: none"> No objection to the proposed development. Engineering Department submitted review comments to the designer which need to be addressed before the road cut permit is issued to the applicant. All construction in the R.O.W. will require a road cut permit, all construction in the R.O.W. to be per City standards and specifications. This is just a reminder that Common Council has to approve the Right-Of-Way improvements as well before any permits are issued.
City Engineer - Zoning	Pending	09/25/2024		
Eng. Mapping - Zoning	Conditionally	10/01/2024	Ray Wills	10/1/2024 HOLD REMOVED

Approved

The bearing for State St. has been modified to the accepted City Bearings.

There is stationing the runs down the approx. center of the parcel that will become McKinney St., it shows a bearing of S89°53'50E which would be a right angle from State St.

I am assuming the stationing is set as a centerline (CL) for the limits of work (LOW) and not representing the CL for the proposed ROW, which has a different bearing, forming a right angle off of Townsend St.

While this is not a requirement, traditionally in a scenario as this the stationing would be parallel to ROW to avoid confusion, and ensure accurate placement of infrastructure and occupation.

9/26/2024 HOLD PLACED

This site plan is based off of a 2023 Survey (which is attached) and filed in the County Clerks office as #13661 during the initial review of this map it was determined that the bearings for a section of State St disagreed with the City Plats for the area. The Surveyor was permitted to show their contested bearing as measured while displaying the City Engineer Plats bearing as the official/primary bearings.

The City Plats being the officially accepted and used bearings is an extremely important detail, particularly in a scenario such as this where subsequent streets are being created, these streets must be tied to City Bearings, in this particular case the newly created street is being tied off of the bearings for Townsend St which does agree with City Plats.

However, the site plan work for the State St portion is to agree with City bearings.

In the case of State St. the ONLY OFFICIALLY ACCEPTED bearing for the eastern side of State St, North of the angle point is N0°06'10"E, using and building off of any other bearing may cause utility conflict, deed and property tax errors and encroachment waivers to be required, along with further issues down the road.

Please modify all drawings to the correct bearing.

Water Engineering - Zoning	Pending	09/25/2024		
Fire Prevention - Zoning	Conditionally Approved	10/16/2024	Elton Davis	<p>Installation of hydrant on the northwest corner of McKinney and South Townsend.</p> <p>The location of any hydrants on the plans. Hydrants are required to be located within 400 feet of all portions of the exterior of the building measured along a natural path of travel (FCNYS §507.5.1). Hydrants are also required to be located within 100 feet of Fire Department Connections serving any standpipe systems. FDC's should be located close to the main entrance of a building.</p> <p>The roadway shall be constructed of with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds per §D101.1 of the FCNYS. Documentation indicating the surface material meets</p>

these requirements shall be provided. Bridges and elevated surfaces (such as over storm water detainment systems) shall be designed for a live load sufficient to carry the imposed loads of fire apparatus.

All work must comply with applicable sections of the NYS Uniform Code.

DPW Traffic Control- Zoning	Conditionally Approved	10/07/2024	Charles Gafrancesco	10.7.24 Conditionally Approved. Site review complete. Contractor shall submit WZTP during permit process for review and approval.
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