

CITY OF SYRACUSE, MAYOR BEN WALSH 300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development Jake Dishaw, Zoning Administrator Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>MaSPR-24-34</u>	Staff Report – October 21, 2024
Application Type:	Major Site Plan Review – New Street Construction
Project Address:	915 South State Street (to be known as McKinney Street)
Summary of Proposed Action:	New road and utility work to support the East Adams redevelopment.
Owner/Applicant	Syracuse Housing Authority (Owner) McCormack Baron Salazar Development, Inc. (Applicant)
Existing Zone District:	Neighborhood Center, MX-1, Zone District
Surrounding Zone Districts:	The neighboring properties to the north, east, and south are within the Urban Neighborhood, MX-1, Zone District. To the west the neighboring properties are within the Open Space, OS, Zone District and the Central Business District, MX-5, Zone District.
Scope of Work:	Zoning does not regulate the Right-of-way; however, Zoning does manage the procedural process for all Street Actions including creating projects to send to City Departments for review. Pursuant to ReZone, Art. 5, Sec. 5.4A(2)b, table 5.2, the construction of a new street is considered a street action and requires major site plan review. The scope of work will occur on lot 2 of the approved resubdivision map (attached) concurrently with the redevelopment of Lot 1. There will be excavation, grading, paving,
	installation of new sidewalks, new utility connections, new tree planting, and installing street signs and stripping. The new street on lot 2 will become known as McKinney Street and will be dedicated to the City after construction has occurred.
Staff Analysis:	 Factors: Resubdivision, R-23-70 approved dividing one lot into three new lots, which includes development of lot 2 which will be the location of the new street. Major Site Plan Review, MaSPR-23-07, considered the impact of the new street construction in the SEQR review and issued a negative declaration for SEQR. The placement of utilities and hardscapes will not impact any zone district regulations and after the dedication of the street to the City, the road will become a public street. This major site plan review is to allow City Departments to review the dimensions and placement of infrastructure systems to ensure that the street and subsequent utility connections, tree placement etc. are compliant with their codes, best practices, and standards. There are no Zoning concerns or violations.
Zoning Procedural History:	<u>R-23-70</u> : Approved 3/25/24 divide one lot into three lot <u>MaSPR-23-07</u> : Approved 3/25/24 demolition of Angelou Terrae and redevelopment of 133 units across six multi-unit residential buildings <u>V-23-23</u> : Approved 4/4/24 Building 2 to exceed 180 feet
Summary of Zoning History:	N/A
Code Enforcement History:	N/A
Summary of Changes:	This is not a continued application.
Property Characteristics:	Existing characteristics: There are three buildings over where the proposed street will be (see survey).

	Proposed characteristics: Lot 2 is a 27,189 SF lot with 66 feet of frontage along South State Street, 411.94 feet along the northern property line, 66 feet of frontage along South Townsend Street, and 411.97 feet along the southern property line. The new street will have bump-outs at the street entrance and midblock to add parking spaces, there will be new sidewalks installed along with underground stormwater catch basins, sewer, water, gas, electrical and fiber optic ducts, as well as street signs, trees, streetlights, fire hydrants and road striping.
SEQR Determination:	A negative declaration was issued on 3/25/24 (see attached Neg. Dec. resolution).
Onondaga County Planning Board Referral:	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board on November 21, 2023, with no position.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review Application
- Alta/NSPS Land Title Survey; Judge Langston C. McKinney Manor, Block A & B, East Adams Phase 1; Block 151 & 251, Onondaga County, City of Syracuse, New York, Tax Map # 95-08-01; Dated: October 16, 2023; Stamped and Sealed by: John M. Adams, Licensed Land Surveyor; Scale: as noted.
- Resubdivision Map: Resubdivision of Block 151, Judge Langston C. McKinney Manor, East Adams Phase 1; Block 151 & 251, Onondaga County, City of Syracuse, New York, Tax Map # 95-08-01; Dated: October 23, 2023, Revisited: 11/06/23; Stamped and Sealed by: John M. Adams, Licensed Land Surveyor; Scale: as noted.
- Road Sections, Plan and Profiles, Utility Plan, & Signage and Placement Markings: (Sheets C-102, C-106, C-110, C-111, C-112) East Adams I Public Infrastructure; Project Number: 07-0978; Scale: as indicated; Dated: 9/09/24; Stamped and Sealed by: Steven Barbur, Licensed Professional Engineer.
- Landscape Plan (Sheet L-101):) East Adams I Public Infrastructure; Project Number: 01-0978; scale: as shown; Dated 08/30/23; Checked by V. Pietrzak.
- Electrical Plan and Site Lighting (Sheet E101): East Adams I Public Infrastructure; Project Number: 23070; Scale: as indicated; Dated: 08/24/24; Checked by: JW.
- Sewer, Water, Fire and Stormwater Profiles (Sheet C-201, 202, 203, 204): East Adams I Public Infrastructure; Project Number: 07-0978; Scale: as indicated; Dated: 9/09/24; Stamped and Sealed by: Steven Barbur, Licensed Professional Engineer.

Attachments:

Major Site Plan Review Application Reasons Supporting Determination of significance Negative Declaration Resolution OCPB Comments IPS Comments from City Departments

MaSPR-24-34

Context Maps:

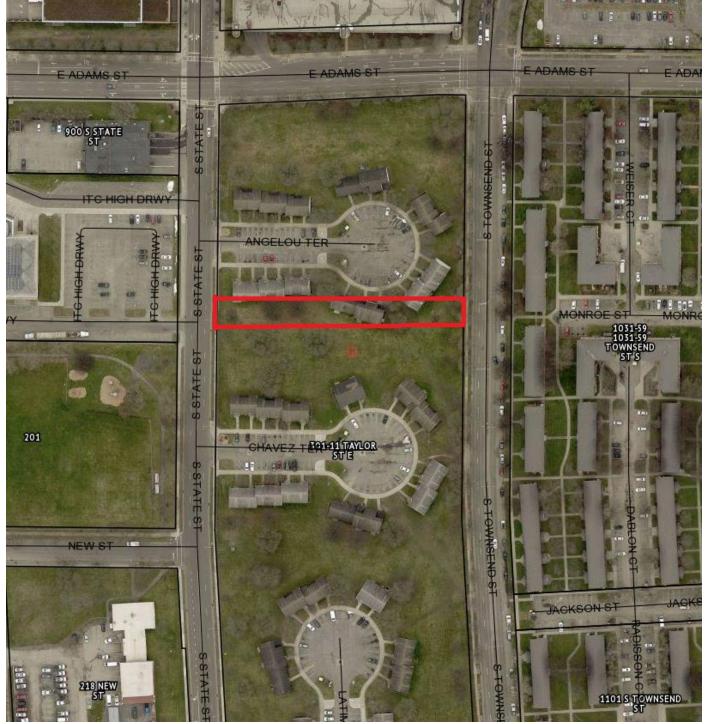
Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property. Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

MaSPR-24-34

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property. Image Source: ConnectExplorerTM, Eagle View Technology Corporation



For	Office	Use	Only
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Zone District:

Application Number: _____- _ ____-

Date: ___

Office of Zoning Administration 300 S State St, Suite 700 Syracuse, NY 13202 Phone: (315) 448-8640 Email: zoning@syrgov.net

Lot size (sq. ft.):27,181+/-

Proposed:

Proposed:

Proposed:n/a

Proposed:New ROW

Site Plan Review Application

This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method**. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.

General Project Information

Business/project name:

East Adams - ROW / New Street

Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 915 South State Street

Tax Map ID#:095.-08-1.2

Current use of property:SHA Residential

Current number of dwelling units (if applicable):

Current number of affordable dwelling units (if applicable):

Current onsite parking (if applicable):n/a

Zone District (base and any overlay) of property:MX-2

Companion zoning applications (if applicable, list any related zoning applications):

Type of Site Plan: ■ Major □ Minor

Project construction (check all that apply):

 \Box Demolition (full or partial) \Box New construction \Box Exterior alterations \blacksquare Site changes

Detailed description of the project (required):

This application is for a Major Site Plan review for a new road and utility work to support the East Adams development. This scope and land will eventually be dedicated to the City of Syracuse and to become a public right of way.



Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the application.	property under revi	ew give my endorsement of this			
Print owner's name: Syracuse Housing Authority					
Signature: Willer Sum		Date:			
Mailing address: SHA - 516 Burt St, Syracuse, NY 13202					
Phone: 315.475.6181 Email: Imadill@syrhousing.org					
Print authorized agent's name:	Date:				
Signature:					
Mailing address:					
Phone:	Email:				
The names, addresses, and signatures of all owners of	the property are re	quired. Please attach additional			
sheets as needed. If a property owner designates ar	n authorized agent	as a legal representative to			
apply on their behalf or to present the project at the City Planning Commission, please attach an					
executed power of attorney. Faxed or photocopied signatures will not be accepted.					

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- APPLICATION filled out completely, dated, and signed by property owner as instructed
- □ **STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR)** Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
- □ **PHOTOGRAPHS (COLOR) of the PROJECT SITE** keyed to a property survey or site plan

□ PHOTOGRAPHS (COLOR) of the STREETSCAPE – including properties adjacent to and across the street

from the project site, labeled with addresses and keyed to a property survey or site plan

■ APPLICATION FEE – \$0

Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, **separate site plan review applications must be submitted for each project site.** Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation.

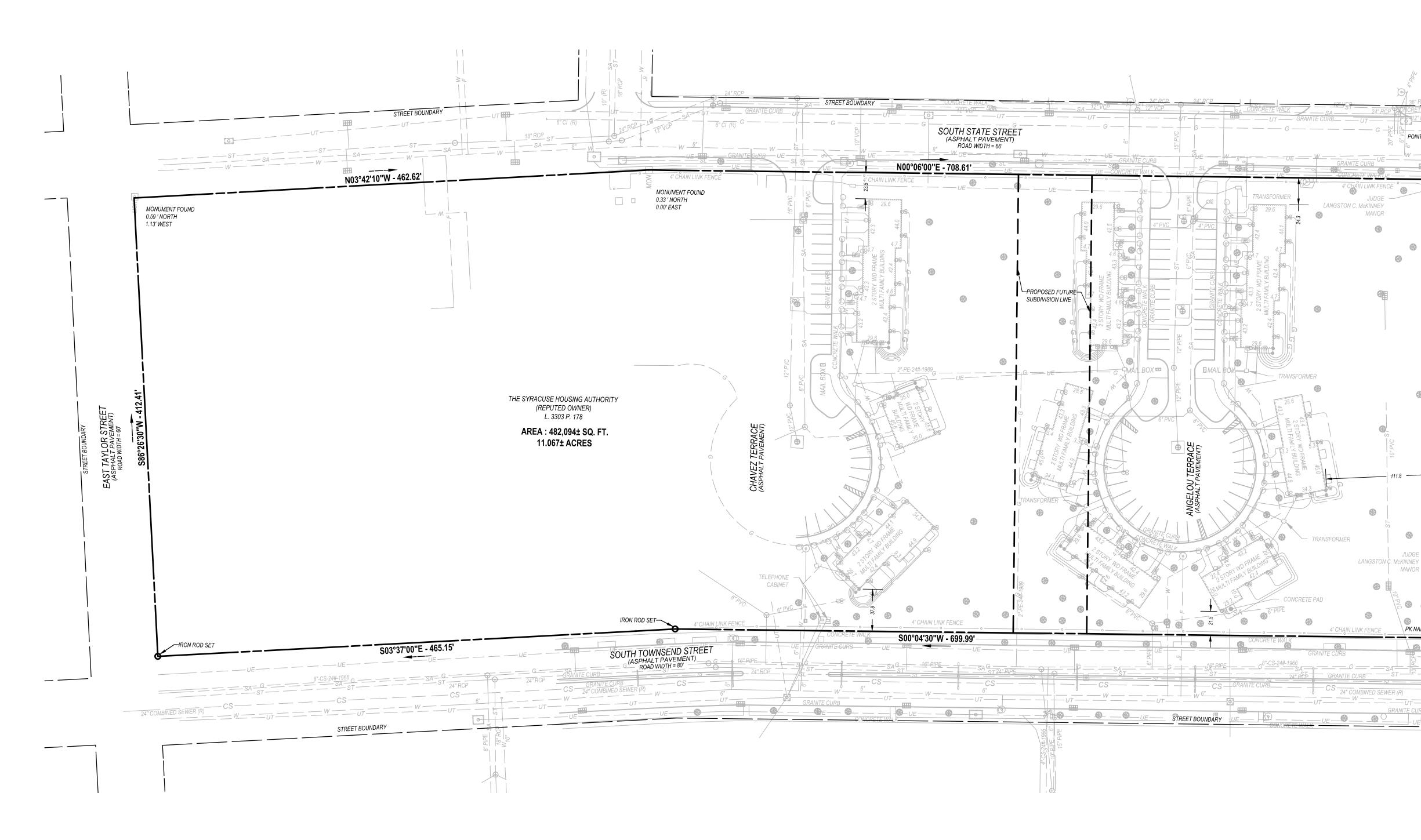
■ AS BUILT PROPERTY SURVEY(S) of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)

■ SITE PLAN(S) illustrating site alterations and post project conditions that are/will be different from the as built property survey including:

NOTES:

- 1. SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE MAY SHOW.
- 2. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- 3. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- 4. THIS MAP MAY NOT BE USED IN CONNECTION WITH A "SURVEY AFFIDAVIT" OR SIMILAR DOCUMENT. STATEMENT OR MECHANISM TO OBTAIN INSURANCE FOR ANY SUBSEQUENT GRANTEES.
- 5. THE SURVEYED PROPERTY IS ZONED "RB" RESIDENTIAL DISTRICT, CITY OF SYRACUSE.
- 6. SURVEYED PARCELS ARE SUBJECT TO ANY EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

- NOTES:
- 7. SURVEY WAS PERFORMED BY BRYANT ASSOCIATES, P.C. IN SEPTEMBER AND OCTOBER 2022.
- 8. HORIZONTAL DATUM IS CITY OF SYRACUSE BLOCK PLATES.
- 9. AT THE TIME OF THE SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- STREET RIGHT OF WAY LINES OR OBSERVABLE EVIDENCE OF STREET OR SIDEWALK REPAIRS.
- 11.AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A BURIAL GROUND OR CEMETERY.
- 12. EXISTING CONDITIONS SHOWN AS PER THE CLIENTS REQUEST.



RECORD DESCRIPTION

All that tract or parcel of land, situate in the City of Syracuse, County of Onondaga, and State of New York, being part of Block No.151 and No. 251 and being part of Jackson Street and Star Avenue (both now abandoned) and being more particularly described as follows:

Beginning at the intersection of the easterly line of South State Street and southerly line of East Adams Street; Thence North 86° 55' 00" East measured along the southerly line of East Adams Street a distance of 366.35 feet to a point in the southerly line of East Adams Street; Thence South 89° 47' 50" East measured along said southerly line of East Adams Street a distance of 46.00 feet to a point in the westerly line of South Townsend Street; Thence South 0° 04' 30" West measured along said line of South Townsend Street a distance of 699.99 feet to a point of defection in same; Thence South 3° 37' 00" East continuing along said westerly line of South Townsend Street a Distance of 465.15 feet to a point in the northerly line of East Taylor Street; Thence South 86° 26' 30" West measured along said northerly line of East Taylor Street a distance of 412.41 feet to a point in the easterly line of South State Street; Thence North 3° 42' 10" West measured along the easterly line of South State Street a distance of 462.62 feet to a point of deflection in same; Thence North 0° 06' 00" East continuing along the easterly line of South State Street a distance of 708.61 feet to the place of beginning.

Containing 482, 060.24 square feet of land, more or less.

10. AT THE TIME OF THE SURVEY, THE SURVEYOR WAS UNAWARE OF ANY PROPOSED CHANGES IN

DEED REFERENCES:

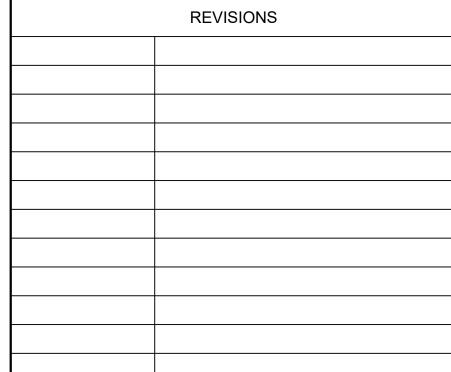
1. BARGAIN AND SALE DEED FROM SAMUEL R. PIERCE, JR., SECRETARY OF HOUSING AND URBAN DEVELOPMENT TO THE SYRACUSE HOUSING AUTHORITY DATED OCTOBER 27, 1986 AND RECORDED IN THE ONONDAGA COUNTY CLERK'S OFFICE ON OCTOBER 31, 1986 IN LIBER 3303 PAGE 178.

FLOOD ZONE DESIGNATION:

FLOOD ZONE CLASSIFICATION X FROM MAP NUMBER 36067C0217F, EFFECTIVE DATE NOVEMBER 4, 2016, DEPICTED BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY.

EASEMENTS:

1. THERE ARE EASEMENTS OF RECORD IN THE ABSTRACT OF TITLE HOWEVER THESE EASEMENTS ARE NOT PLOTTABLE.





APARTMENTS, DATED OCTOBER 31, 1989.

LIBER: 3303 PAGE: 178

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-MONUMENT FOUND

0.24' OUT OF ADAMS ST.

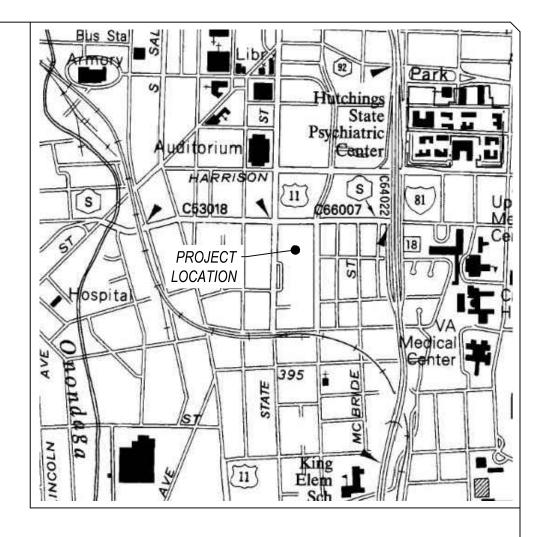
1.22' OUT OF SOUTH STATE ST.

POINT OF BEGINNING 7 24

MANOR

____ G ____

DNCRETE WALK



▲ CBP BASELINE PONT ● MON MONUMENT ◆ BM BENCHMARK ╼ S1 1 POST SIGN ◄ STR STREET INTERSECTION ■ LARGE SIGN ○ POST ■ MB MAILBOX ▲ HC HANDICAP PARKING ➡ HH HH HAND HOLE - UP UTILITY POLE - LP UTILITY POLE - LP UGHT POLE - LP OUBLE LIGHT POLE ▲ GW GUY WIRE ④ EMH ELECTRIC MANHOLE E EM	
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TMH TELEPHONE MANHOLE	
TRI TELEPHONE RISER	
TPC TRAFFIC POLE WITH CONTROLLEF	!
O HYD FIRE HYDRANT	
S WATER SERVICE	
WV WATER VALVE	
GATE GATE POST	
R DECIDUOUS TREE	

••	CHAIN LINK FENCE
o	IRON FENCE
UT	UNDERGROUND TELEPHONE
———UE———	UNDERGROUND ELECTRIC
SL	STREET LIGHT CONDUIT
——————————————————————————————————————	SANITARY SEWER
CS	COMBINED SEWER
ST	STORM SEWER
——— G ———	GAS LINE
W	WATER LINE
	STREET BOUNDARY

ALTA / NSPS LAND TITLE SURVEY

JUDGE LANGSTON C. McKINNEY MANOR

BLOCK A & B

EAST ADAMS - PHASE I

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6a, 7a, 8, 9, 11b, 13, 14, 17, AND 18 OF TABLE A THEREOF.



I HEREBY CERTIFY THAT THIS IS AN ACCURATE MAP MADE FROM AN ACTUAL SURVEY PREPARED UNDER MY DIRECTION.

October 16, 2023

John M. adams

JOHN M. ADAMS, L.S. NYS LICENSE NO. 050090 FOR BRYANT ASSOCIATES, P.C. 108 WEST JEFFERSON STREET, SUITE 400 315-479-7565

BLOCK 151 & 251 CITY OF SYRACUSE ONONDAGA COUNTY, **NEW YORK**

TAX MAP # 95-08-01



SHOW.

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- 6. SURVEYED PARCELS ARE SUBJECT TO ANY EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

6" CI (R) POINT OF BEGIN N03°42'10"W - 462.62' INT 0 MONUMENT FOUND 0.59 ' NORTH 1.13' WEST LOT 3 AREA : 322,445± SQ. FT. 7.402± ACRES TAYLOR PHALT PAV SOUTH TOWNSEND STREET (ASPHALT PAVEMENT) ROAD WIDTH = 80' S03°37'00"E - 465.15' المحصية المشيين STREET BOUNDA City of Syracuse Assessor Date Reviewed: 5-24-24 Unn & Dallagher Ann E. Gallagher 1st Deputy Commissioner of Assessment Onondaga County Health Department City of Syracuse Department of Public Works ONONDAGA COUNTY HEALTH DEPARTMENT DIVISION OF ENVIRONMENTAL HEALTH The City of Syracuse hereby certifies that all This Plan has been reviewed by the property taxes due on this property have Onondaga County Health Department. Subdivision approval by this Department is been paid as of this date: 5|24|24not required. Willer-Veronica H. Voss, Deputy Commissione Bureau of Public Health Engineering

NOTES

- 7. SURVEY WAS PERFORMED BY BRYANT ASSOCIATES, P.C. IN SEPTEMBER AND OCTOBER 2022.
- 8. HORIZONTAL DATUM IS CITY OF SYRACUSE BLOCK PLATES.
- 9. THE SYRACUSE HOUSING AUTHORITY IS THE CURRENT REPUTED OWNER OF THE ENTIRE SURVEYED PARCEL BY BARGAIN AND SALE DEED 3303 PAGE 178.

10. TOTAL ACREAGE OF LOTS 1, 2, & 3 = 11.067 ACRES.

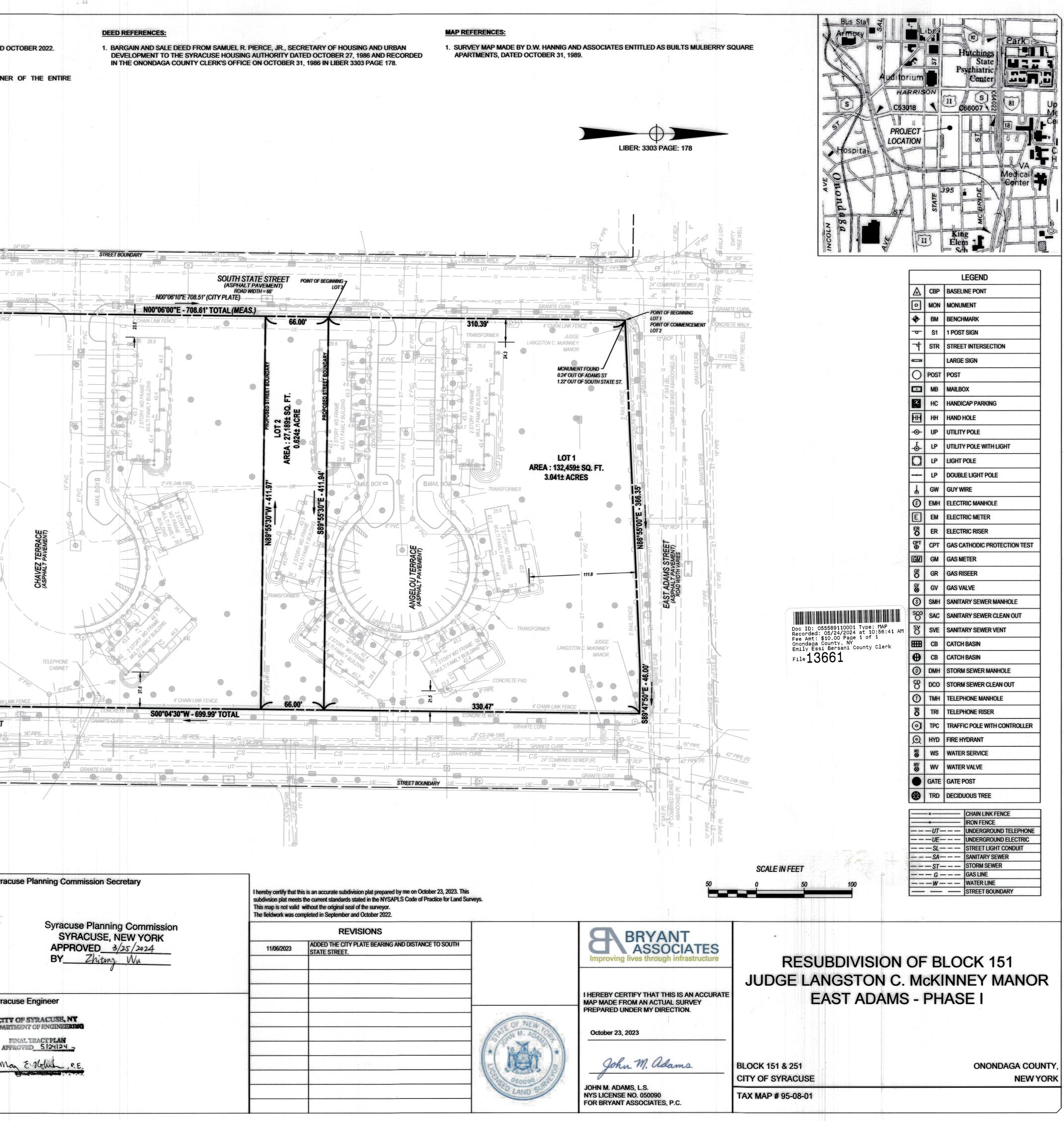
11.EXISTING CONDITIONS SHOWN AS PER THE CLIENTS REQUEST.

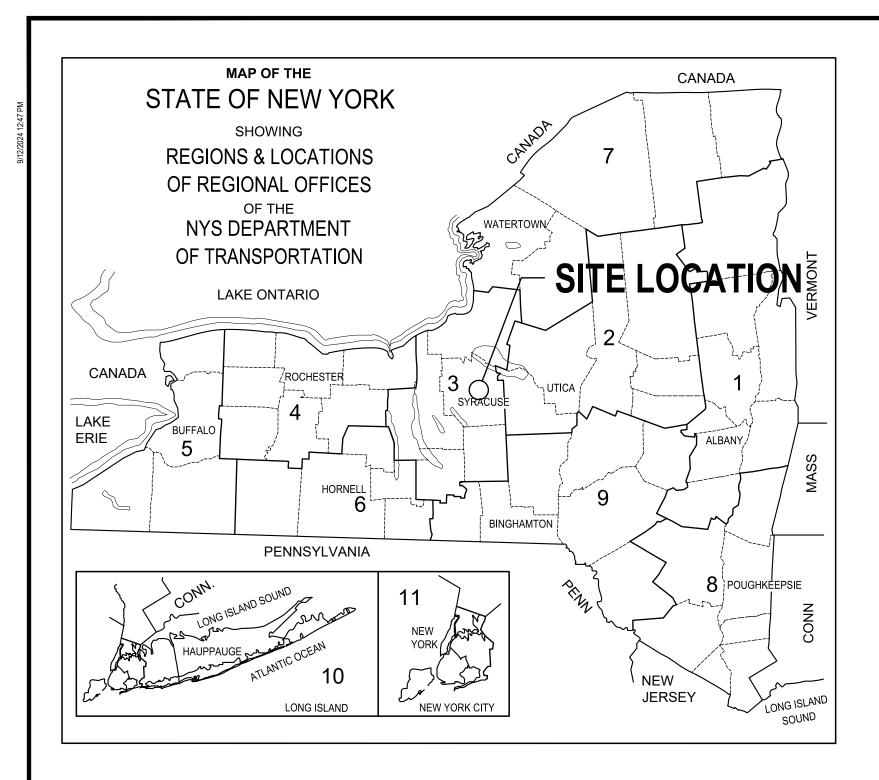
IN THE ONONDAGA COUNTY CLERK'S OFFICE ON OCTOBER 31, 1986 IN LIBER 3303 PAGE 178.

6" CI IRI G SOUTH STATE STREET (ASPHALT PAVEMENT) ROAD WIDTH = 66' N00°06'10"E 708.51' (CITY PLATE) N00°06'00"E - 708.61' TOTAL (MEAS.) 66.00' MONUMENT FOUND 0.33 ' NORTH - 68 0.00' EAST TELEPHONE CABINET

4' CHAINTINK FEMCI 66 00 330.47 S00°04'30"W - 699.99' TOTAL -<u>SAG _____16" PIPE</u>___ --@E----STREET BOUNDARY

City of Syracuse Planning Commission Secretary I hereby certify that this is an accurate subdivision plat prepared by me on October 23, 2023. This subdivision plat meets the current standards stated in the NYSAPLS Code of Practice for Land Surveys. This map is not valid without the original seal of the surveyor. The fieldwork was completed in September and October 2022. Syracuse Planning Commission REVISIONS SYRACUSE, NEW YORK ADDED THE CITY PLATE BEARING AND DISTANCE TO SOUTH APPROVED 3/25/2024 11/06/2023 TATE STREET. Zhitony Wu BY___ City of Syracuse Engineer CITY OF SYRACUSE, NY DEPARTMENT OF ENGINEERID APPROVED 5124124 Lan E. Hybrin.





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AWARD DATE

COMPLETION DATE

FINAL ACCEPTANCE DATE

ENGINEER IN CHARGE

CITY OF SYRACUSE REVIEW	RC RELE
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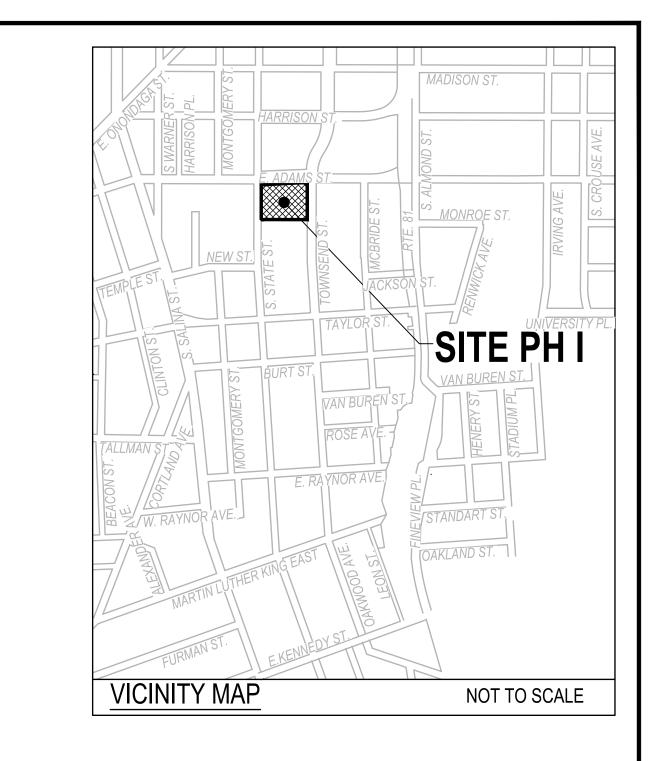
PUBLIC INFRASTRUCTURE IMPROVEMENTS

EAST ADAMS - PHASE I **PROJECT No. 07-0978**

BY

EAST ADAMS PHASE I, LLP c/o McCORMACK BARON SALAZAR DEVELOPMENT 100 N. BROADWAY ST. SUITE 100 **ST. LOUIS, MO 61302**

ROW ELEASE	HIGHWAY DESIGN	BRIDGES	DRAINAGE	LIGHTING	CONDUIT	SEDIMENT AND EROSION CONTROL	TRAFFIC ENGINEERING	WASTEWATER ENGINEERING	WATER ENGINEERING	SIGNAL ENGINEERING



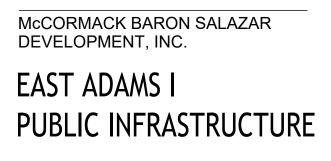
SHEET NO.	DESCRIPTION
C-001	LEGEND & GENERAL NOTES
C-101	TYPICAL SECTIONS
C-102	TYPICAL SECTIONS
C-103	GEOMETRY LAYOUT PLAN
C-104	BASELINE TIES & MAINTANANCE OF JURISDICTIO
C-105	GENERAL PLAN & PROFILE - S TOWNSEND STREE
C-106	GENERAL PLAN & PROFILE - MCKINNEY STREET
C-107	GENERAL PLAN - S STATE STREET
C-108	EAST ADAMS STREET SIDEWALKS ADD ALT 1
C-109	UTILITY PLAN - S TOWNSEND ST
C-110	UTILITY PLAN - MCKINNEY ST
C-111	SIGNING AND PAVEMENT MARKINGS
C-112	SIGN DATA & MISCELANEOUS SIGN TABLES
C-113	CME BORING LOGS
L- 101	LANDSCAPING PLAN
C-201	SANITARY SEWER PROFILES
C-202	STORIWWATER PROFILES
C-203	WATER AND FIRE PROFILES
C-204	WATER AND FIRE PROFILES
C-205	SIDEWALKPROFILES
C-501	MISCELLANEOUS DETAILS
C-502	MISCELLANEOUS DETAILS
C-503	MISCELLANEOUS DETAILS
C-504	MISCELLANEOUS DETAILS
C-505	MISCELLANEOUS DETAILS
C-506	ADA CURB RAMP DETAILS
Ċ-507	S TOWNSEND ST MANHOLE ALTERATIONS
C-801	EROSION & SEDIMENT CONTROL PLAN
C-802	EROSION & SEDIMENT CONTROL DETAILS
C-803	EROSION & SEDIMENT CONTROL DETAILS
WZTC-101	WORKZONE TRAFFIC CONTROL PLAN
WZTC-102	WORKZONE TRAFFIC CONTROL PLAN
WZTC-103	WORKZONE TRAFFIC CONTROL PLAN
TSP-101	TRAFFIC SIGNAL PLANS - ADD ALT 2
E-001	DRAWING INDEX, SYMBOLS & ABBREVS.
ED-101	ELECTRICAL - SITE LIGHTING - DEMOLITION PLAN
E-101	ELECTRICAL - SITE LIGHTING - INSTALLATION PLA
E-103	ELECTRICAL - LIGHT LEVEL CALCULATIONS PLAN

OWNER East Adams Phase I, LLP c/o McCormack Baron Salazar Development 100 N. Broadway St, Suite 100 St. Louis, MO 61302 p. 314.425.0750

CIVIL ENGINEERS Bryant Associates 108 W. Jefferson St, Suite 400 Syracuse, NY 13202 p. 315.741.3053 f. 315.474.2834

LANDSCAPE ARCHITECT Appel Osborne Landscape Architecture 102 W Division St, Suite 100 Syracuse, NY 13204 p. 315.476.1022

MEP ENGINEER FS Engineering 721 E. Genesee St Syracuse, NY 13210 p. 315.471.4013



BRYAN

Syracuse, NY





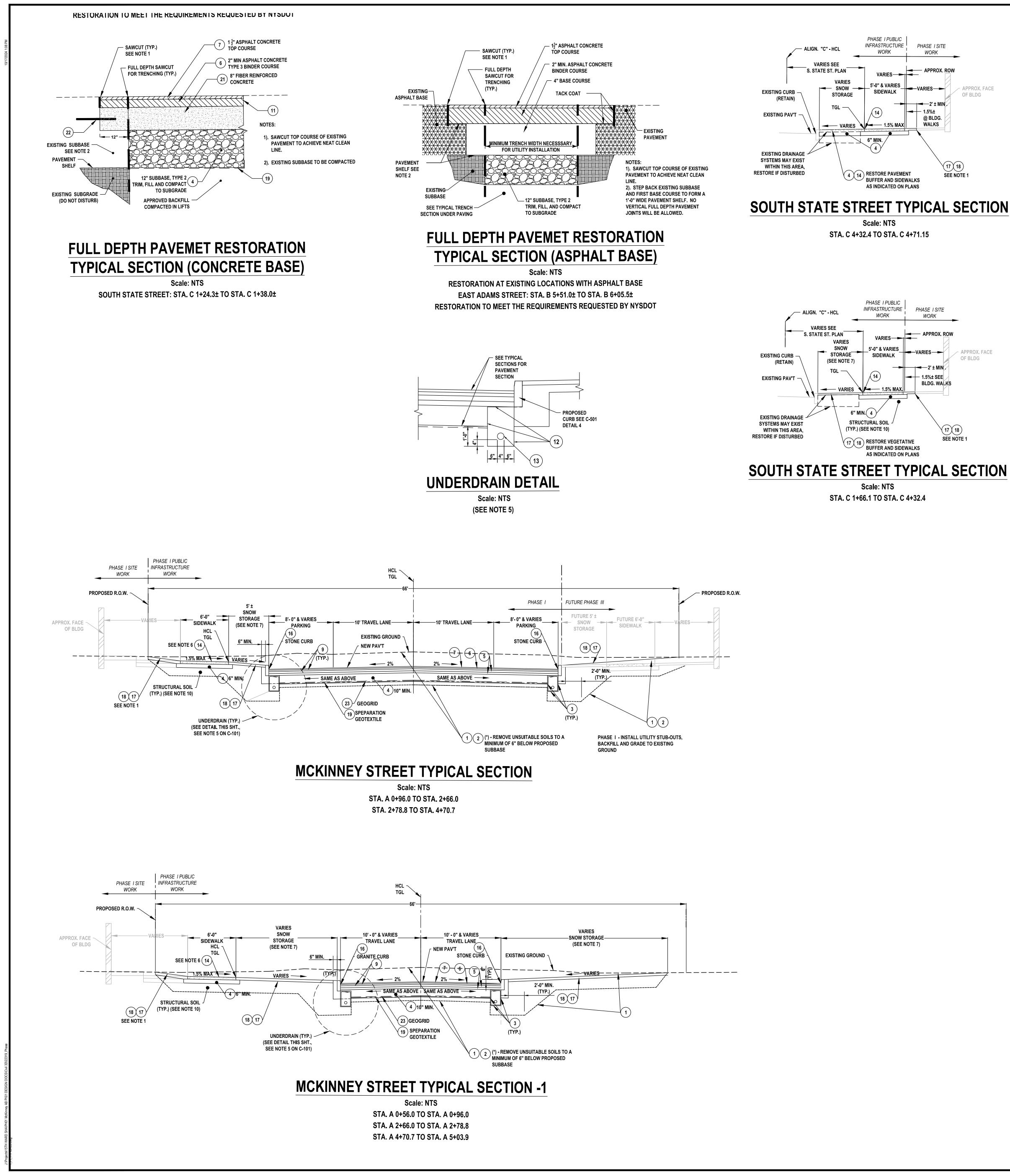
PROJECT MANAGER: STEVEN M. BARBUR, P.E. NY LICENSE NO. 077767

NEW YORK STATE EDUCATION LAW SECTION 7209 STATES THAT IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE/SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY.

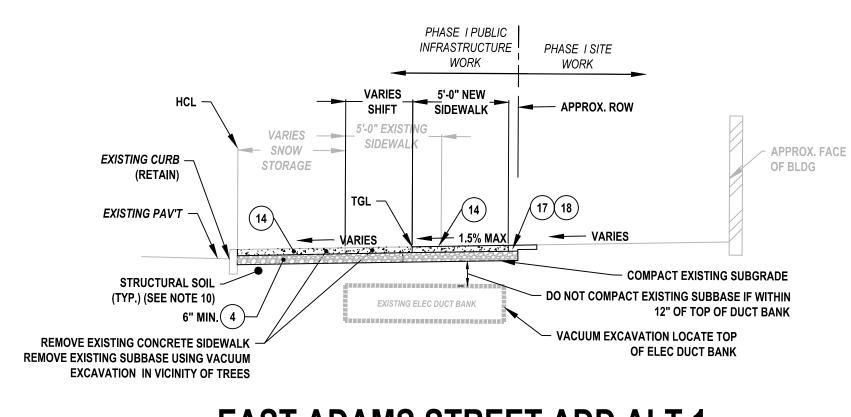
IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS/HER SEAL AND HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DESIGNED BY S. BARBUR J. MCGIBBON DRAWN BY P. GOSBEE CHECKED BY S. BARBUR _____ ____ _____ ___ ____ ____ _____ _____ _____ _____ ____ _____ ____ _____ ____ _____ _____ _____ no. date revision Project Name EAST ADAMS I - PUBLIC INFRASTRUCTURE Project Number 07-0978 Date 09.09.2024 Scale Drawing



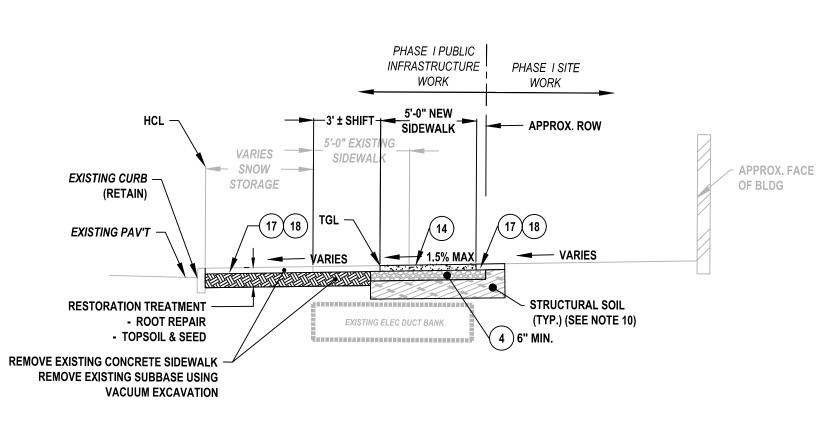


		TYPICAL SECTION KEY LEGEND	
	KEY	DESCRIPTION	SPECIFICATION
	(1)	UNCLASSIFIED EXCAVATION AND DISPOSAL	203.02
	2	EMBANKMENT IN PLACE	203.03
APPROX. FACE OF BLDG	3	TRENCH AND CULVERT EXCAVATION	206.02
	4	SUBBASE COURSE, TYPE 2 (12")	304.12
	5	37.5 F9 BASE COURSE ASPHALT, 70 SERIES COMPACTION (2 LIFTS @ 4" EACH)	404.3779
	6	19 F9 BINDER COURSE ASPHALT, 70 SERIES COMPACTION (2")	404.1979
	7	9.5 F2 TOP COURSE ASPHALT, 70 SERIES COMPACTION (1 $\frac{1}{2}$ ")	404.0972
	8	TRUE & LEVELING F9, ASPHALT 70 SERIES COMPACTION	404.017901
18 NOTE 1	9	DILUTED TACK COAT	407.0102
	10	MISC COLD MILLING OF BITUMINOUS CONCRETE	490.30
SECTION		ASPHALT PAVEMENT JOINT ADHESIVE	418.7603
SECTION	12	UNDERDRAIN FILTER - TYPE 2	605.1001
	13	PERFORATED CORRUGATED POLYETHYLENE UNDERDRAIN TUBING, 4 INCH DIAMETER	605.1501
	14	CONCRETE SIDEWALKS AND DRIVEWAYS [SIDEWALKS 5" THICK , DRIVEWAYS 7" THICK]	608.0101
	(15)	ASPHALT CONCRETE SIDEWALKS, DRIVEWAYS AND BICYCLE PATHS	608.020102
	16	STONE CURB - NEAR VERTICAL FACE (NVF)	609.0212
	17	ESTABLISHING TURF	610.1602
	(18)	TOPSOIL (3")	610.1403
	(19)	GEOTEXTILE SEPERATION	207.21
-	20	GEOTEXTILE DRAINAGE	207.22
	21	FIBER-REINFORCED PORTLAND CEMENT CONCRETE - 3500 PSI (8")	608.02
APPROX. FACE	22	# 6 REBAR 24" LONG @ 18" O.C. 12" EMBEDMENT WITH GROUT	556.01
OF BLDG	23	GEOTEXTILE STABILIZATION (GEOGRID)	207.24



EAST ADAMS STREET ADD ALT 1 SIDEWALK TYPICAL SECTION WITH **CONCRETE SNOW STORAGE**

Scale: NTS STA. D 0+27.0± TO STA. D 0+63.4± STA. D 3+78.0± TO STA. D 4+51.0±



EAST ADAMS STREET ADD ALT 1 SIDEWALK TYPICAL SECTION WITH **GRASS SNOW STORAGE**

Scale: NTS STA. D 0+63.4± TO STA. D 3+78.0±

NOTES

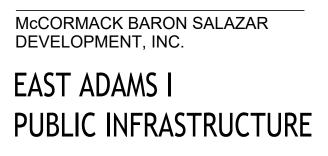
- 1. COORDINATE ALL TEMPORARY AND PERMANENT GRADING, SIDEWALKS AND LANDSCAPING WITH PHASE 1 SITE WORK CONTRACT
- 2. TACK COAT SHALL BE APPLIED BETWEEN ALL LIFTS OF ASPHALT AND ON MILLED SURFACES PER NYSDOT STANDARD SPECIFICATIONS.
- 3. LIMITS FOR ESTABLISHING TURF SHALL BE FROM THE OUTSIDE EDGE OF SIDEWALK TO THE POINT WHERE THE PROPOSED WORK MEETS THE EXISTING GROUND AS DETERMINED BY THE ENGINEER.
- 4. TOPSOIL PLACEMENT LIMITS SHALL BE DETERMINED BY THE ENGINEER. REFER TO UNDERDRAIN TABLES ON SHEETS C-109 & C-110.
- SIDEWALKS SHALL BE 7" THICK AT DRIVEWAYS AND AT ADA RAMPS. SEE LANDSCAPING PLANS FOR TREE REMOVALS AND REPLACEMENTS. EXISTING
- TREES WITHIN SNOW STORAGE LIMITS DAMAGED OR REMOVED BY THE CONTRACTOR SHALL BE REPLACED AT NO COST TO THE DEVELOPER.
- 8. JOINT ADHESIVE SHALL BE PLACED ON ALL VERTICAL FACES FOR ALL JOINTS AND AT FACE OF CURB FOR TOP COURSES ONLY. 9. LIMITS OF MISCELANEOUS COLD MILLING SHALL MATCH EXISTING PAVEMENT
- WIDTH. 10. SEE LANDSCAPING PLANS FOR LOCATIONS OF STRUCTURAL SOIL BENEATH CONCRETE WALKS.

OWNER East Adams Phase I, LLP c/o McCormack Baron Salazar Development 100 N. Broadway St, Suite 100 St. Louis, MO 61302 p. 314.425.0750

CIVIL ENGINEERS Bryant Associates 108 W. Jefferson St, Suite 400 Syracuse, NY 13202 f. 315.474.2834 p. 315.741.3053

LANDSCAPE ARCHITECT Appel Osborne Landscape Architecture 102 W Division St, Suite 100 Syracuse, NY 13204 p. 315.476.1022

MEP ENGINEER FS Engineering 721 E. Genesee St Syracuse, NY 13210 p. 315.471.4013



Syracuse, NY





PROJECT MANAGER: STEVEN M. BARBUR, P.E. NY LICENSE NO. 077767

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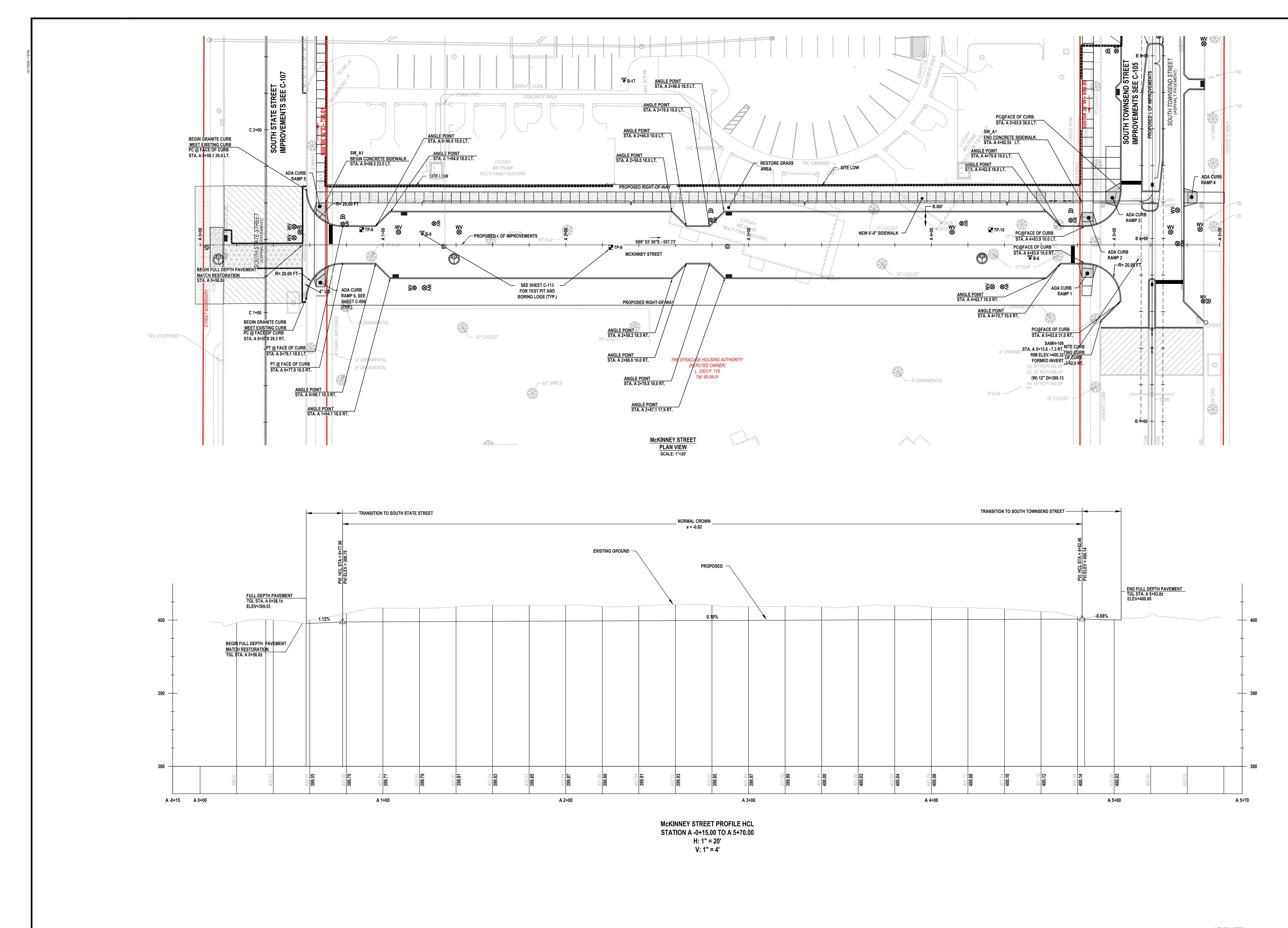
07-0978

Date 09.09.2024

Scale AS SHOWN

Drawing TYPICAL SECTIONS





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PUBLIC INFRASTRUCTURE SCOPE OF WORK

PUBLIC INFRASTRUCTURE CONTRACT INCLUDES ALL UTILITIES, ROADWAY AND RESTORATION OF EXISTING FEATURES.

- 2. RESTORATION AREAS SHOWN ON THE PLAN ARE APPROXIMATE, RESTORATION AREA SHALL BE THE REQUIRED AREA TO ACCOMPLISH THE INDICATED UTILITY CONNECTION WORK AND RESTORATION ACCORDING TO CITY OF SYRACUSE DEPARTMENT OF ENGINEERING CURRENT
- STREET CUT PAVEMENT RESTORATION DETAILS, SEE SHEETS C-506 & C-507.
 PUBLIC INFRASTRUCTURE CONTRACTOR SHALL COORDINATE ALL WORK WITH SITE CONTRACTOR FOR CONNECTION OF UTILITIES AND RESTORATION ITEMS..
- UTILITY NOTES: 1. EXISTING UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE PLANS, RECORDS AND SURVEYS. THEIR LOCATION MUST THEREFORE BE CONSIDERED APPROXIMATE & NO GUARANTEE IS MADE BY BRYANT ASSOCIATES, P.C. TO THE HORIZONTAL OR VERTICAL LOCATION OF SUCH FACILITIES, STRUCTURES AND UTILITIES, THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY UNKNOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE HORIZONTAL & VERTICAL LOCATIONS OF ALL FACILITIES, STRUCTURES & UTILITIES IN THE FIELD PRIOR TO COMMENCING WORK.
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- VERTICAL DATUM IS NAVD88.
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 BENCHMARK ELEVATIONS SHOULD BE VERIFIED PRIOR TO
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- 7. NO WETLAND DELINEATION EXISTS WITHIN THE PROJECT AREA.

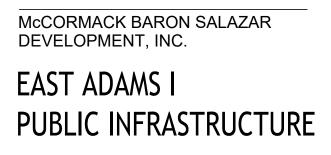
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Syracuse, NY



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no. date revision
Project Name
EAST ADAMS I - PUBLIC INFRASTRUCTURE

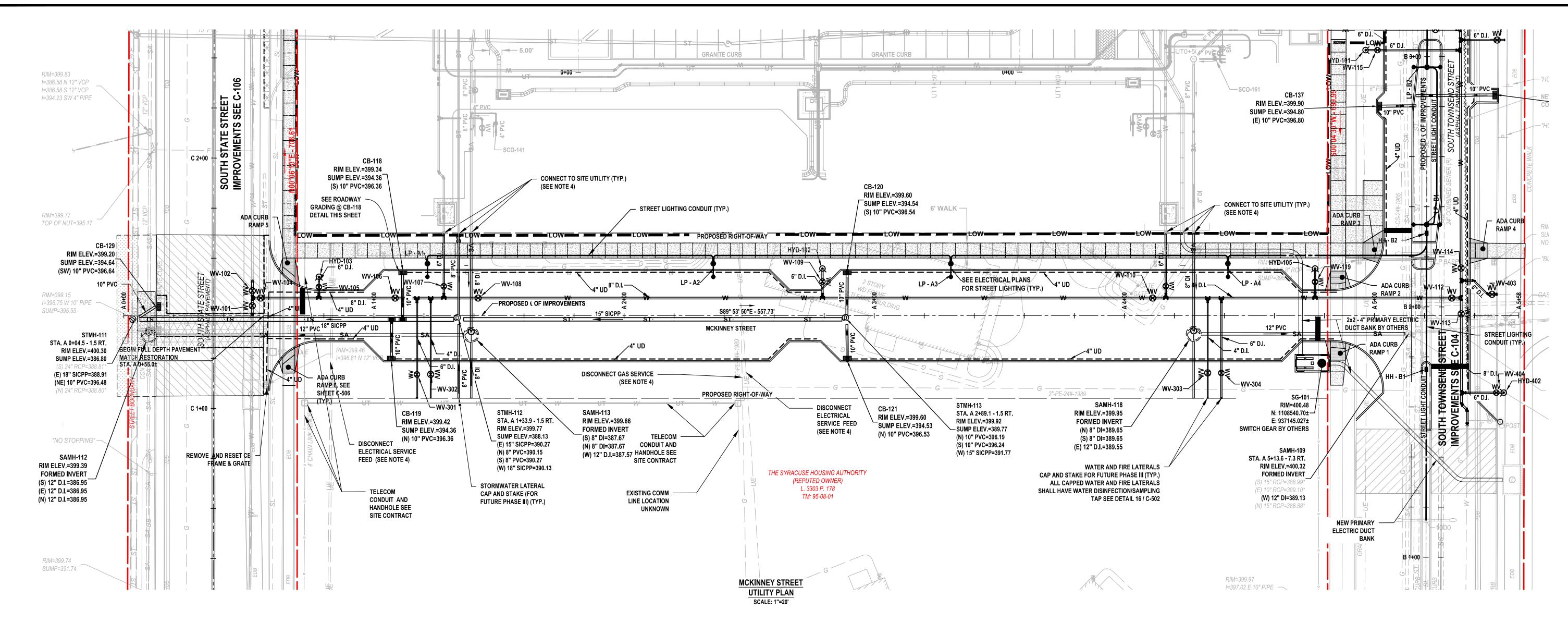
Project Number 07-0978

Date 09.09.2024

Scale AS SHOWN

Drawing GENERAL PLAN & PROFILE - MCKINNEY STREET





ID	DESCRIPTION	DETAIL	STATION	LOCATION
WV-101	8" GATE VALVE	<u>40</u> C-505	A 0+51.4 3.9 LT,	N. 1108564.39 E. 936717.32
WV-102	8" GATE VALVE	<u>40</u> C-505	A 0+51.4 9.9 LT,	N. 1108570.40 E. 936717.36
WV-104	8" GATE VALVE	<u>40</u> C-505	A 0+54.7 7.0 LT,	N. 1108567.49 E. 936720.66
WV-105	6" GATE VALVE	<u>40</u> C-505	A 0+78.0 11.4 LT,	N. 1108571.84 E. 936743.95
WV-106	8" GATE VALVE	<u>40</u> C-505	A 1+08.5 7.0 LT,	N. 1108567.40 E. 936774.44
WV-107	6" GATE VALVE	<u>40</u> C-505	??? ??? ??? ???T,	N. 1108572.05 E. 936793.89
WV-108	8" GATE VALVE	<u>40</u> C-505	A 1+41.7 7.0 LT,	N. 1108567.34 E. 936807.59
WV-109	6" GATE VALVE	<u>40</u> C-505	A 2+79.3 13.6 LT,	N. 1108573.66 E. 936945.28
WV-110	8" GATE VALVE	<u>40</u> C-505	A 4+11.3 7.0 LT,	N. 1108566.85 E. 937077.26
WV-119	6" GATE VALVE	<u>40</u> C-505	A 4+76.3 13.5 LT,	N. 1108573.21 E. 937142.20
WV-301	6" GATE VALVE	<u>40</u> C-505	A 1+17.2 23.5 RT,	N. 1108536.86 E. 936783.07
WV-302	4" GATE VALVE	<u>40</u> C-505	A 1+22.7 23.5 RT,	N. 1108536.87 E. 936788.58
WV-303	4" GATE VALVE	<u>40</u> C-505	A 4+33.3 22.9 RT,	N. 1108536.91 E. 937099.22
WV-304	6" GATE VALVE	<u>40</u> C-505	A 4+38.8 22.9 RT,	N. 1108536.87 E. 937104.69

FIRE HYDRANTS MCKINNEY STREET							
ID	DESCRIPTION	DETAIL	STATION	LOCATION			
HYD-102	KENNEDY K-81 HYDRANT	<u>31</u> C - 504	A 2+79.3 18.8 LT,	N. 1108578.89 E. 936945.28			
HYD-103	KENNEDY K-81 HYDRANT	<u>31</u> C-504	A 0+78.0 15.5 LT,	N. 1108575.95 E. 936743.97			
HYD-105	KENNEDY K-81 HYDRANT	<u>31</u> C - 504	A 4+76.3 18.8 LT,	N. 1108578.54 E. 937142.21			
ALL LOCATIONS ARE ON NAD83 NEW YORK STATE CENTRAL COORDINATE ZONE. LOCATION IS CENTER OF HYDRANT.							

SANITARY SEWER STRUCTURES						
STRUCTURE	TYPE	DETAIL	LOCATION			
SAMH-112	ECCENTRIC CYLINDRICAL STRUCTURE	<u>26</u> C-503	N. 1,108,552.68 E. 936,675.92			
SAMH-113	ECCENTRIC CYLINDRICAL STRUCTURE	<u>26</u> C-503	N. 1,108,552.65 E. 936,804.81			
SAMH-118	ECCENTRIC CYLINDRICAL STRUCTURE	<u>26</u> C-503	N. 1,108,552.47 E. 937,093.65			
ALL LOCATIONS ARE ON NAD83 NEW YORK STATE COORDINATE ZONE. LOCATION IS CENTER OF STRUCTURE						

UNDEF	LE - MCKINI	
CL ST.	SIDE	
FROM	TO	SIDE
C 1+11.0	C 1+46.5	RT
A 0+58.0	A 0+96.0	LT/RT
A 1+13.0	A 2+77.0	LT/RT
A 2+91.0	A 4+85.0	LT/RT

	LIGHT POLE LOCATION TABLE						
LIGHT POLE ID	STATION	OFFSET TO CENTER OF BASE (FT)	SIDE	DESCRIPTION			
LP - A1	A 1+21.4	20.75	LT	SITE LIGHTING POLE BASE - SINGLE LIGHT			
LP - A2	A 2+35.7	20.75	LT	SITE LIGHTING POLE BASE - SINGLE LIGHT			
LP - A3	A 3 + 30.7	20.75	LT	SITE LIGHTING POLE BASE - SINGLE LIGHT			
LP - A4	A 4 + 41.5	20.75	LT	SITE LIGHTING POLE BASE - SINGLE LIGHT			

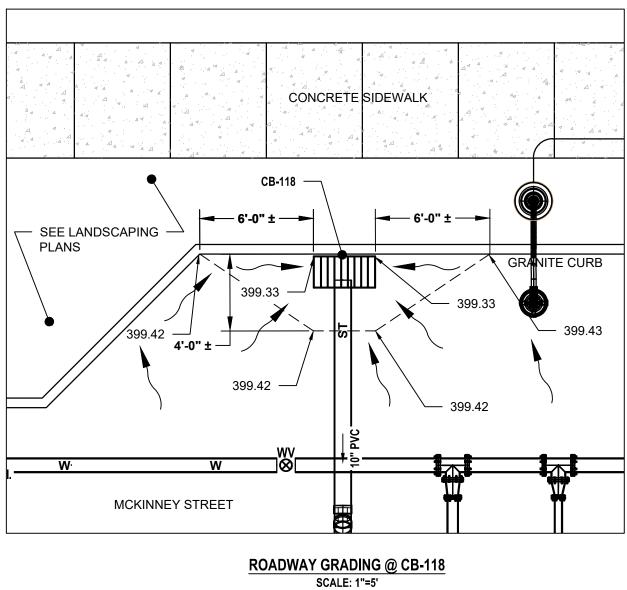
IE,	Y STREET	
	LENGTH (LF)	
	35.5	
	76	
	328	
	388	

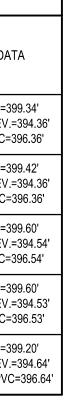
	STORMWATER MANHOLES MCKINNEY STREET							
DS NO.	STATION	OFFSET AT CENTER OF DS (FT)	SIDE	STRUCTURE TYPE	DESCRIPTION	DS DATA		
STMH-111	A 0+04.46	1.51	RT	CITY STORMWATER MANHOLE DETAIL 20 C-503	CYLINDRICAL MANHOLE	RIM ELEV.=400.30' SUMP ELEV.=386.80' (S 24" RCP=388.81' (E 18" SICPP=388.91' (NE 10" PVC=396.48' (N) 24" RCP=388.80'		
STMH-112	A 1+33.91	1.51	RT	CITY STORMWATER MANHOLE DETAIL 20 C-503	CYLINDRICAL MANHOLE	RIM ELEV.=399.77' SUMP ELEV.=388.13' (E 15" SICPP=390.27' (N 8" PVC=390.15' (S 8" PVC=390.27' (W) 18" SICPP=390.13'		
STMH-113	A 2+89.11	1.51	RT	CITY STORMWATER MANHOLE DETAIL 20 C-503	CYLINDRICAL MANHOLE	RIM ELEV.=399.92' SUMP ELEV.=389.77' (N 10" PVC=396.19' (S 10" PVC=396.24' (W) 15" SICPP=391.77'		
			RK STATE	E CENTRAL COORDINATE ZONE.				

LOCATION ARE CENTER OF STRUCTURE. RIM ELEVATIONS AT CL GRATE, FACE OF CURB.

	STORMWATER CATCH BASINS MCKINNEY STREET						
DS NO.	STATION	OFFSET AT CENTER OF DS (FT)	SIDE	STRUCTURE TYPE	NOTES	DS DATA	
CB-118	A 1+11.54	18.23	LT	CITY CB DETAIL 21/22 C-503	INSTALL CITY CB WITH WELDED FRAME AND GRATE WITH 24" SUMP AND TRAP. CONNECT 10" PVC PIPE TO NEW STORMWATER PIPE WITH SICPP TEE, REFER TO STORMWATER PROFILES ON C-202.	RIM ELEV.=399. SUMP ELEV.=39 (S) 10" PVC=396	
CB-119	A 1+07.00	18.23	RT	CITY CB DETAIL 21/22 C-503	INSTALL CITY CB WITH WELDED FRAME AND GRATE WITH 24" SUMP AND TRAP. CONNECT 10" PVC PIPE TO NEW STORMWATER PIPE WITH SICPP TEE, REFER TO STORMWATER PROFILES ON C-202.	RIM ELEV.=399. SUMP ELEV.=39 (N) 10" PVC=396	
CB-120	A 2+89.21	18.23	LT	CITY CB DETAIL 21/22 C-503	INSTALL CITY CB WITH WELDED FRAME AND GRATE WITH 24" SUMP AND TRAP. CONNECT 10" PVC PIPE TO NEW STORMWATER MANHOLE , REFER TO STORMWATER PROFILES ON C-202.	RIM ELEV.=399. SUMP ELEV.=39 (S) 10" PVC=396	
CB-121	A 2+89.27	18.23	RT	CITY CB DETAIL 21/22 C-503	INSTALL CITY CB WITH WELDED FRAME AND GRATE WITH 24" SUMP AND TRAP. CONNECT 10" PVC PIPE TO NEW STORMWATER MANHOLE , REFER TO STORMWATER PROFILES ON C-202.	RIM ELEV.=399. SUMP ELEV.=39 (N) 10" PVC=396	
CB-129	A 0+12.81	3.62	LT	CITY CB DETAIL 21/22 C-503	INSTALL CITY CB WITH WELDED FRAME AND GRATE WITH 24" SUMP AND TRAP. CONNECT 10" PVC PIPE TO NEW STORMWATER MANHOLE , REFER TO STORMWATER PROFILES ON C-202.	RIM ELEV.=399. SUMP ELEV.=39 (SW) 10" PVC=3	

ALL LOCATIONS ARE ON NAD83 NEW YORK STATE CENTRAL COORDINATE ZONE. LOCATION ARE CENTER OF STRUCTURE. RIM ELEVATIONS AT CL GRATE, FACE OF CURB.





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- RESTORATION ACCORDING TO CITY OF SYRACUSE DEPARTMENT OF ENGINEERING CURRENT STREET CUT PAVEMENT RESTORATION DETAILS, SEE SHEETS C-506 & C-507. 3. PUBLIC INFRASTRUCTURE CONTRACTOR SHALL COORDINATE ALL WORK WITH SITE CONTRACTOR
- FOR CONNECTION OF UTILITIES AND RESTORATION ITEMS.
 SITE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF UTILITIES AND INSTALLATION OF NEW
- UTILITIES UP TO ROW LINE. PUBLIC INFRASTRUCTURE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND AND INSTALLATION OF UTILITIES WITHIN THE ROW AND SHALL COORDINATE ALL ACTIVITIES WITH SITE CONTRACTOR.
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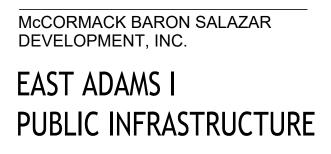
OWNER East Adams Phase I, LLP c/o McCormack Baron Salazar Development 100 N. Broadway St, Suite 100 St. Louis, MO 61302 p. 314.425.0750

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Syracuse, NY



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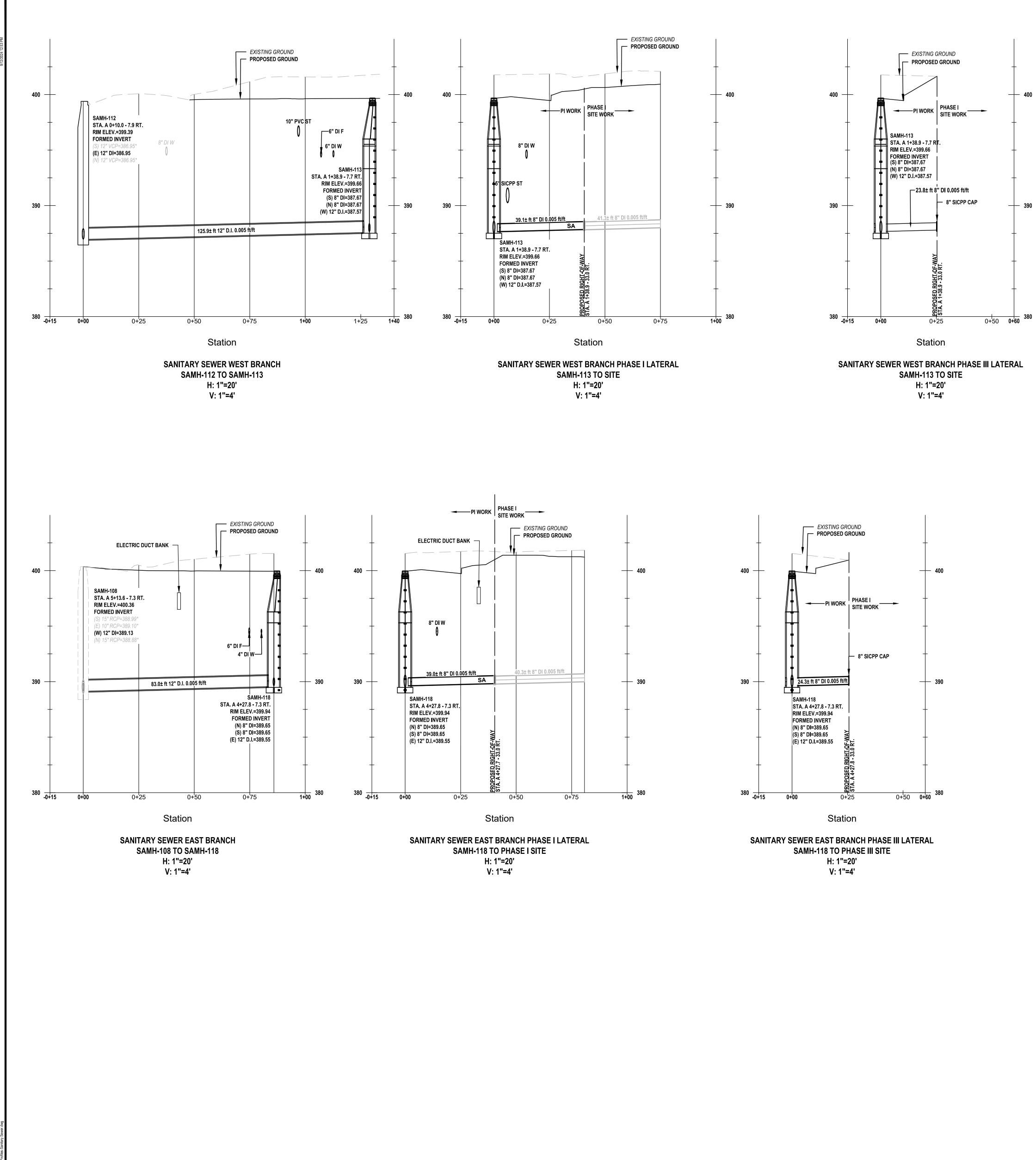
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SPECIFIC DESCRIPTION OF THE ALTERATION. DESIGNED BY S. BARBUR J. MCGIBBON DRAWN BY P. GOSBEE CHECKED BY S. BARBUR _____ ____ _____ ___ ___ _____ _____ _____ _ _____ ____ _____ ____ _____ _____ ___ ___ ___ ___ ___ ___ ___ _____ ____ ____ _____ ___ ___ _____ ·____ ·____ no. date revision Project Name EAST ADAMS I - PUBLIC INFRASTRUCTURE Project Number 07-0978 09.09.2024 AS SHOWN UTILITY PLAN - MCKINNEY





SCALE IN FEET

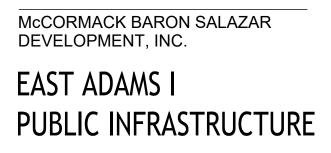
NOTES: (*) LOCATION OF EXISTING PIPE(S) HAVE NOT BEEN VERIFIED AND ARE APPROXIMATE. FIELD VERIFY POSITION PRIOR TO COMMENCING WORK. PROFILES ARE THROUGH THE CENTER OF PIPE / STRUCTURE. STATION / OFFSET VALUES ARE OFF THE CENTER OF IMPROVEMENTS BASELINE.

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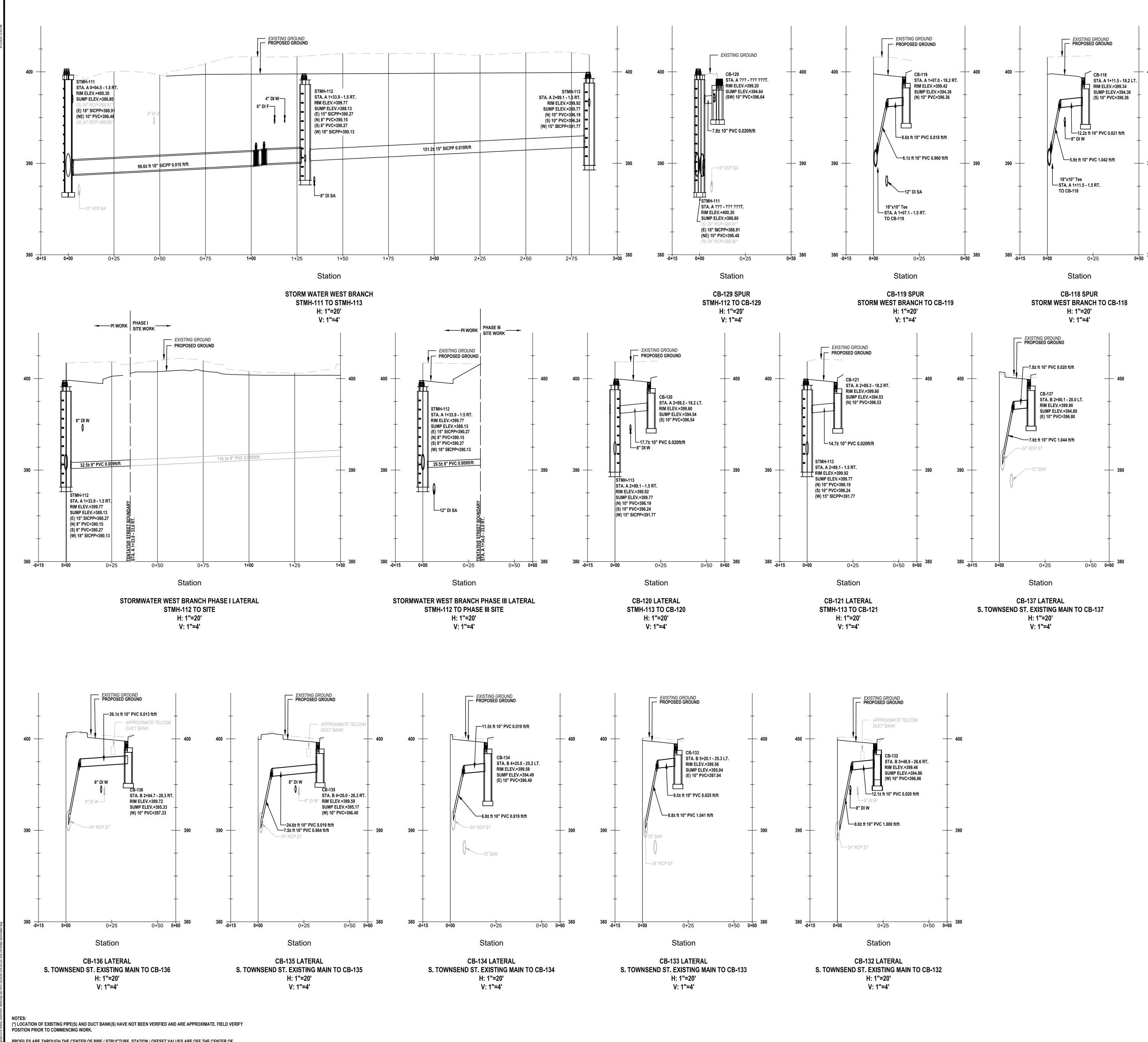
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Drawing SANITARY SEWER PROFILES





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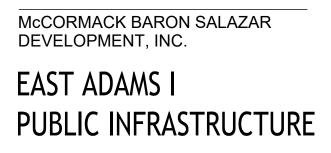
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MEP ENGINEER FS Engineering 721 E. Genesee St Syracuse, NY 13210 p. 315.471.4013



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PROJECT MANAGER: STEVEN M. BARBUR, P.E. NY LICENSE NO. 077767

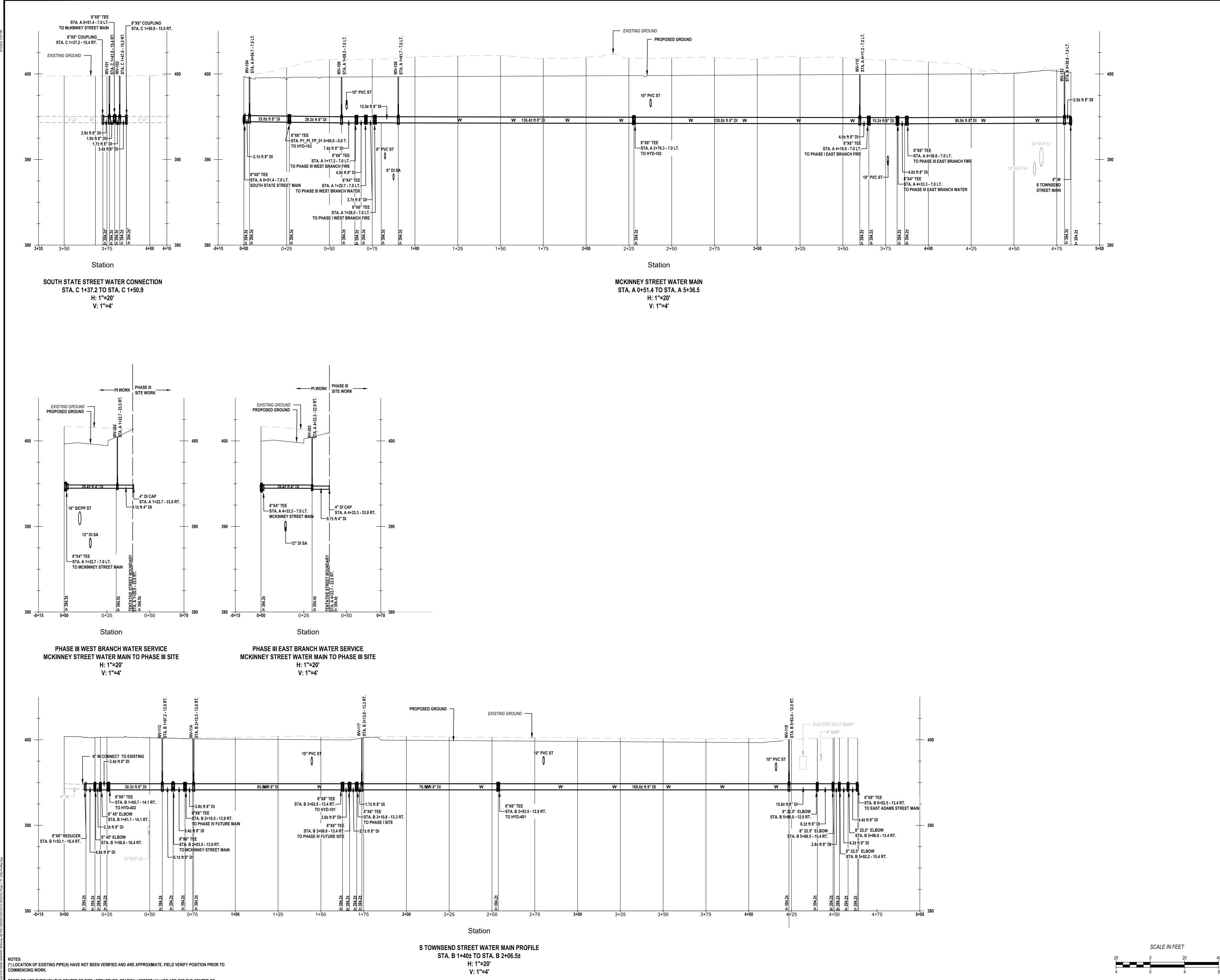
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DESIGNED BY S. BARBUR J. MCGIBBON DRAWN BY P. GOSBEE CHECKED BY S. BARBUR _____ _____ ___ _____ _ _____ _____ _____ _____ _____ _____ _____ _____ _ _____ no. date revision Project Name EAST ADAMS I - PUBLIC INFRASTRUCTURE Project Number 07-0978 Date 09.09.2024 Scale AS NOTED

Drawing STORMWATER PROFILES





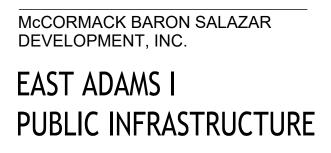
PROFILES ARE THROUGH THE CENTER OF PIPE / STRUCTURE. STATION / OFFSET VALUES ARE OFF THE CENTER OF IMPROVEMENTS BASELINE.

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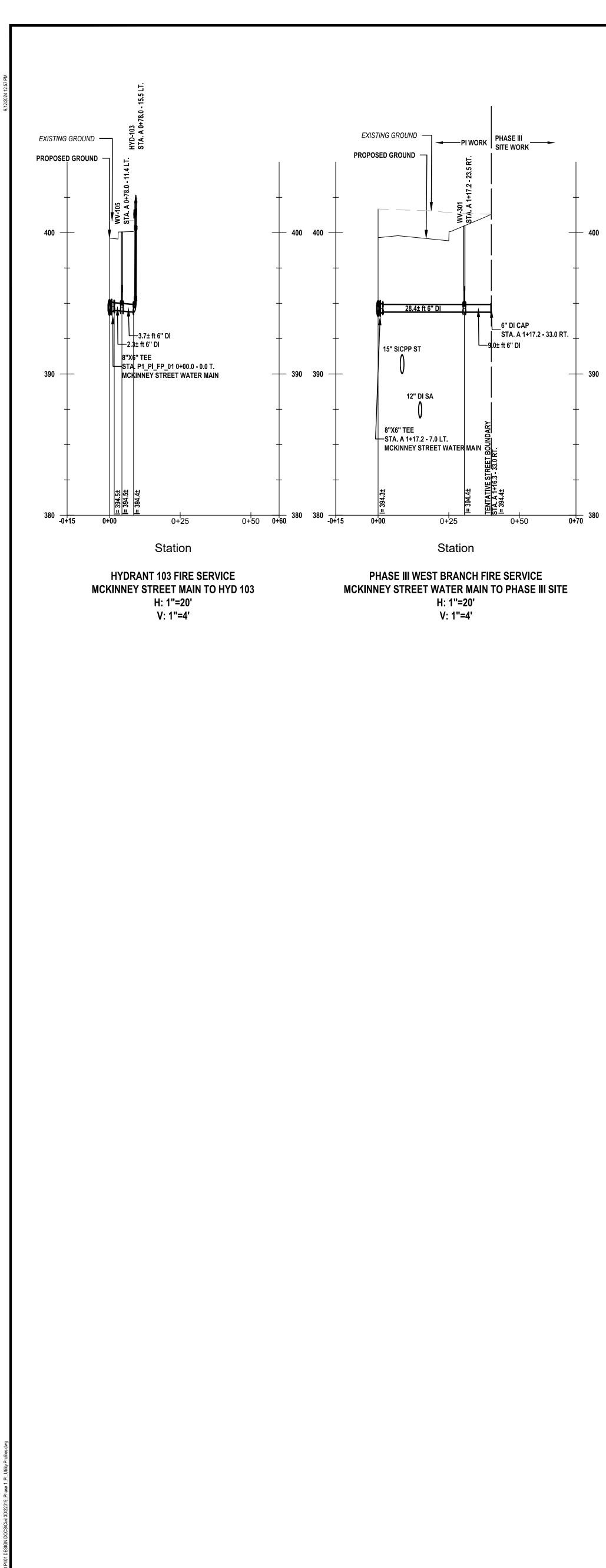
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Drawing WATER AND FIRE PROFILES

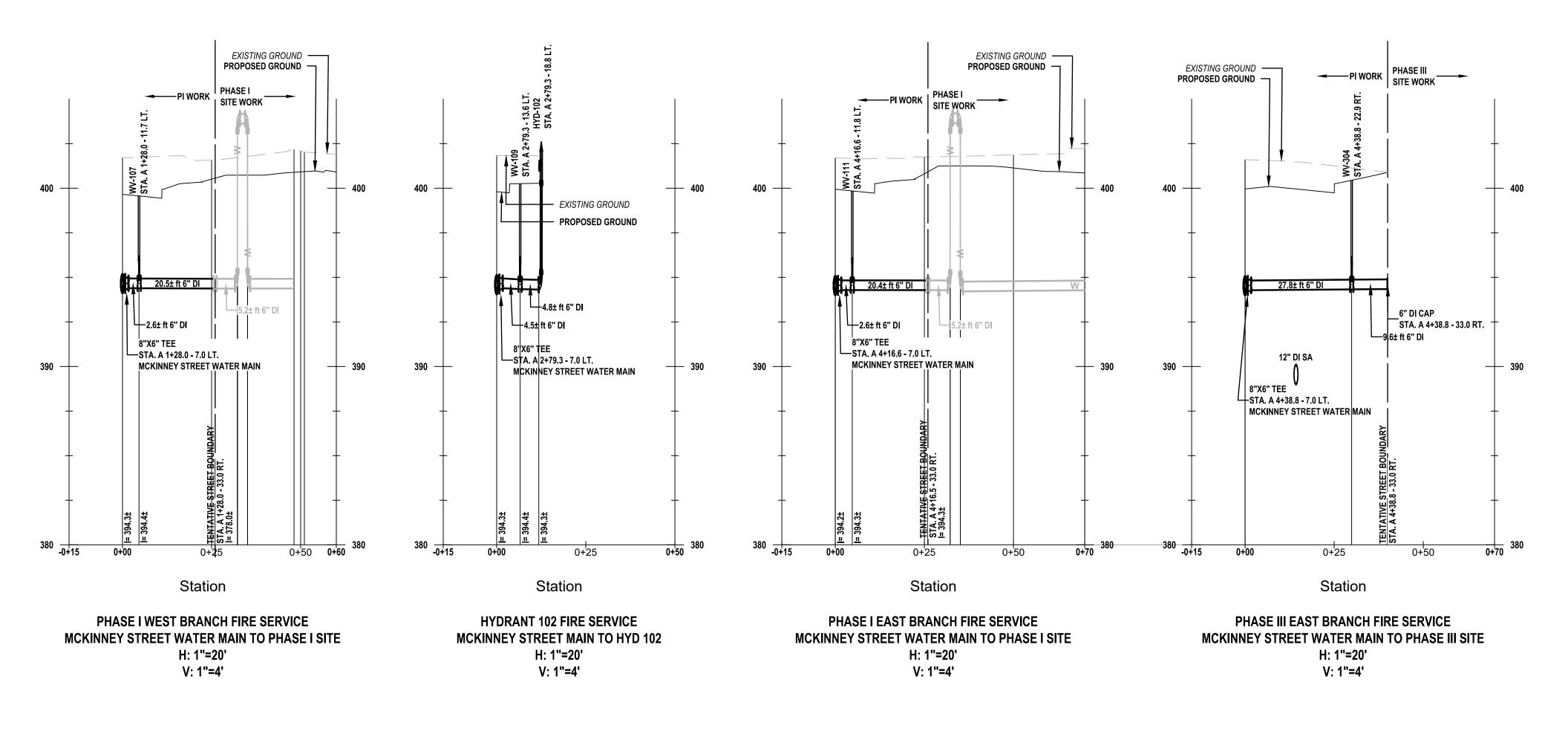


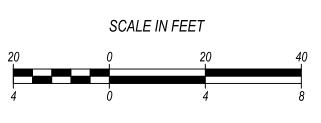


NOTES:

IMPROVEMENTS BASELINE.

(*) LOCATION OF EXISTING PIPE(S) HAVE NOT BEEN VERIFIED AND ARE APPROXIMATE. FIELD VERIFY POSITION PRIOR TO COMMENCING WORK. PROFILES ARE THROUGH THE CENTER OF PIPE / STRUCTURE. STATION / OFFSET VALUES ARE OFF THE CENTER OF



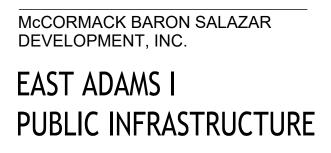


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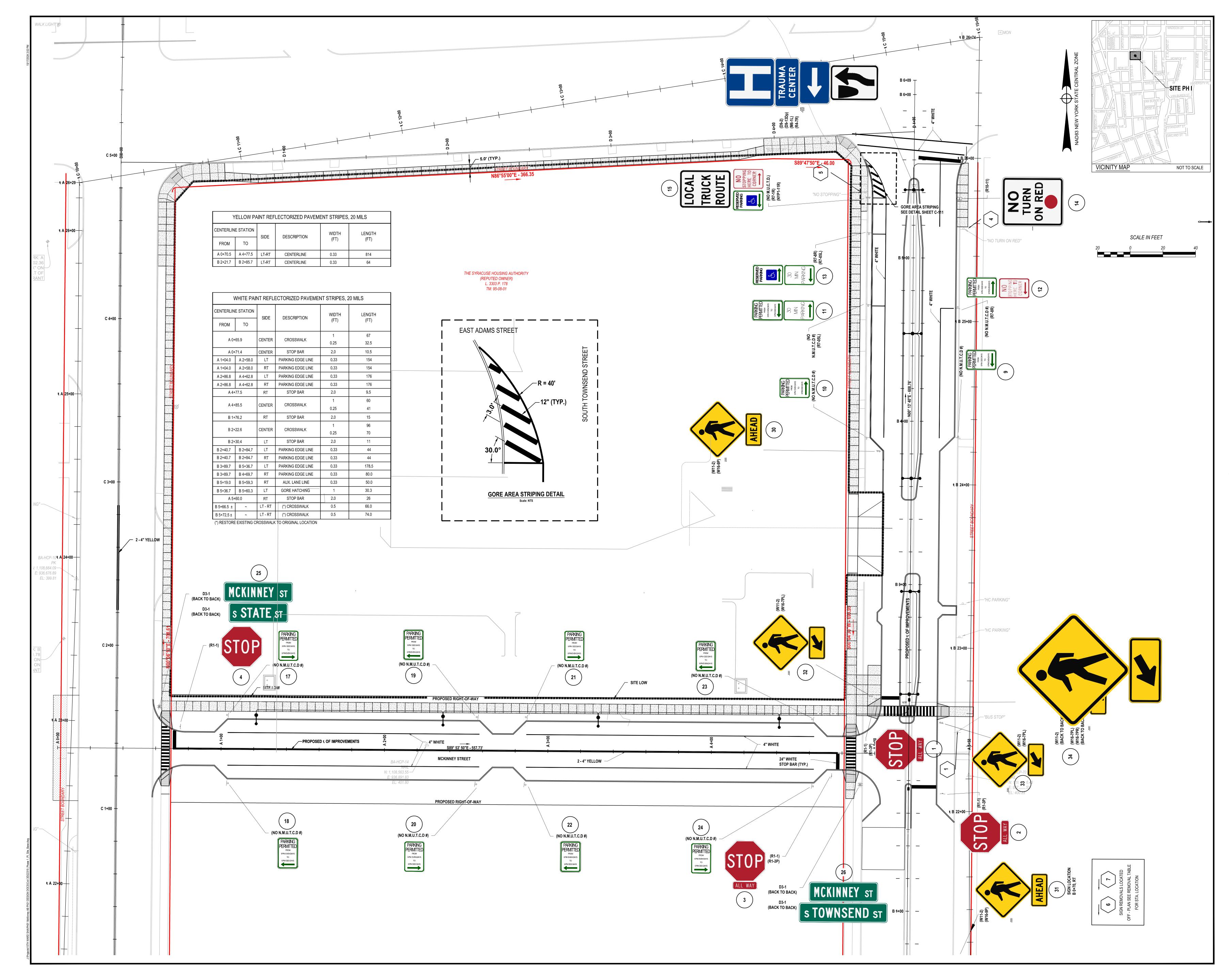
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Drawing WATER AND FIRE PROFILE:





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 CIVIL ENGINEERS

 Bryant Associates

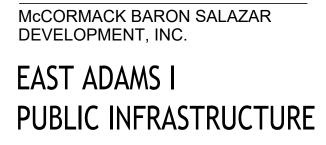
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<u>Scale</u> 1"=20'

Drawing SIGNING AND PAVEMENT MARKINGS



DESIGNATION & COLOR SEE NOTE 2	LOCATION DRAWING	TEXT		SIZE AREA (SEE NOTE 3)	SPECIFICATION REFERENCE	NOTES
R1-1 R1-3P	1, 4	ST0	Ρ	30" X 30" 6.3 SF	645.52020110	
R1-3P	1, 4	ALL WA	Y	18" X 6" 0.8 SF	645.52020110	
W11-2	30, 31, 32, 33, 34			30" X 30" 6.3 SF	645.52020110 645.81090003	2 - POSTS W/ RETROREFLECTIVE FLUORESCENT YELLOW-GREEN BACKGROUND AND SIGN POST STRIPS
W16-7PL	30, 31, 32, 33, 34			24" X 12" 2.0 SF	645.52020110	RETROREFLECTIVE FLUORESCENT YELLOW-GREEN BACKGROUND
W16-7PR	34			24" X 12" 2.0 SF	645.52020110	RETROREFLECTIVE FLUORESCENT YELLOW-GREEN BACKGROUND
W16-9P	30, 31	AHEA	D	24" X 12" 2.0 SF	645.52020110	RETROREFLECTIVE FLUORESCENT YELLOW-GREEN BACKGROUND
R4-7cR	16			18" X 24" 3.0 SF	645.52020110	
R7-8R	13	RESERVED PARKING		12" X 18" 1.5 SF	645.5101	
R7-8L	11, 15	RESERVED PARKING		12" X 18" 1.5 SF	645.5101	
NYP11-12R	15	NO STOPPING HERE TO CORNER		12" X 18" 1.5 SF	645.5101	
NYP11-12L	12	NO STOPPING HERE TO CORNER		12" X 18" 1.5 SF	645.5101	
R7-05R	11	30 MIN PARKING		12" X 18" 1.5 SF	645.5101	
R7-05L	13	30 MIN PARKING		12" X 18" 1.5 SF	645.5101	
NO M.U.T.C.D.	11, 18, 22 10, 20, 24	PARKING PERMITTED FROM 6PM EVENDAYS TO 6PM ODD DAYS	PARKING PERMITTED FROM 6PM EVENDAYS TO 6PM ODD DAYS	12" X 18" 1.5 SF	645.5101	
NO M.U.T.C.D.	9, 19, 23 12, 17, 21	PARKING PERMITTED FROM 6PM ODDDAVS TO 6PMEVENDAVS	PARKING PERMITTED FROM 6PM ODD DAYS TO 6PMEVENDAYS	12" X 18" 1.5 SF	645.5101	
R10-11	14	NO TURI ON RE	N	18" X 24" 1.5 SF	645.5101	

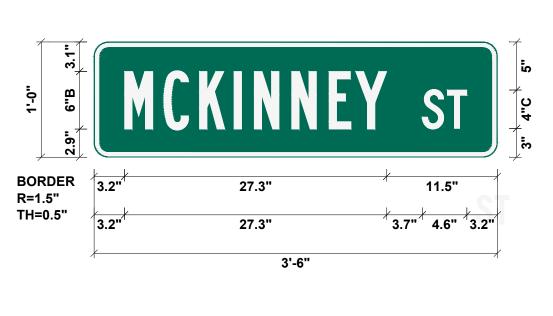
DESIGNATION & COLOR	LOCATION DRAWING	TEXT	<u>SIZE</u> AREA	SPECIFICATION REFERENCE	NOTES
SEE NOTE 2 NO M.U.T.C.D.	15	LOCAL TRUCK ROUTE	18" X 24" 1.5 SF	645.5102	
D3-1	25, 26	MCKINNEY ST	42" X 12" 3.5 SF	645.5102	
D3-1	26	S TOWNSEND ST	54" X 12" 4.5 SF	645.5102	
D3-1	25	s STATE st	36" X 12" 3.0 SF	645.5102	
D9-2	16		24" X 24" 4.0 SF	645.52020110	
D9-13Dp	16	TRAUMA CENTER	24" X 24" 4.0 SF	645.52020110	
M6-1L	16		21" X 15" 2.2 SF	645.52020110	

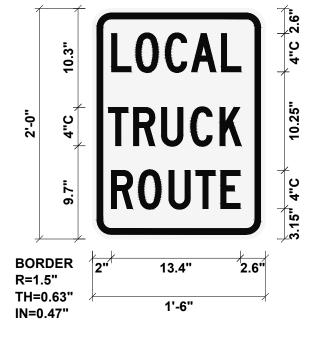
SIGN REMOVAL TABLE

(SEE C-110 SIGNING AND PAVEMENT MARKINGS PLAN)						
	STATION	SIDE	TEXT	QUANTITY	NOTES	
1	B 2+10	RT	BUS STOP	1	DISPOSE	
2	B 2+68	RT	BUS STOP	1	DISPOSE	
3	B 2+89	RT	NO PARKING	1	DISPOSE	
4	B 5+18	RT	<u>NO STOPPING</u> NO TURN ON RED	2	<u>DISPOSE</u> REMOVE AND STORE (SEE NOTES)	
5	B 5+40	LT	<u>LOCAL TRUCK ROUTE</u> NO STOPPING	2	REMOVE AND STORE (SEE NOTES) DISPOSE	
6	B 0+30	RT	RESERVED PARKING	1	DISPOSE	
7	B 0+11	RT	RESERVED PARKING	1	DISPOSE	

NOTES:

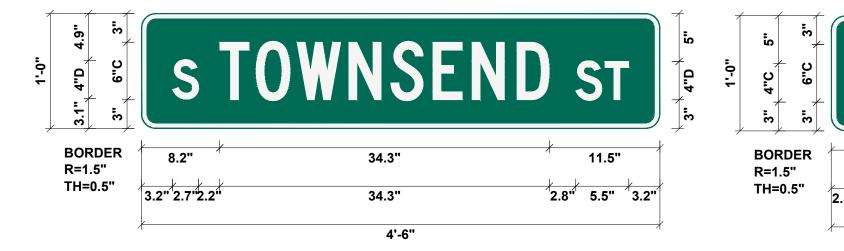
1) REMOVE AND STORE - SIGNS TO BE REMOVED AND STORED AND TURNED OVER TO CITY OF SYRACUSE DPW

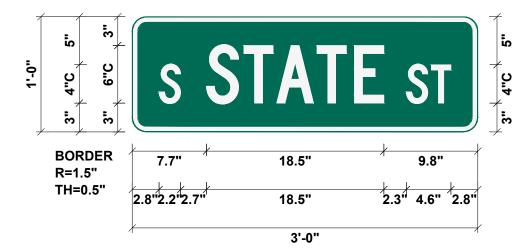




SIGNING NOTES:

- 1. SIGN LOCATIONS AS SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL INSTALL NEW SIGNS AND RELOCATE EXISTING SIGNS IN ACCORDANCE WITH THE NATIONAL MUTCD AND NYS SUPPLEMENT.
- THE COLOR IS ONLY SHOWN WHEN THERE IS AN OPTION THAT MUST BE 2. SPECIFIED.
- 3. THE AREA FOR SIGNS ARE ESTIMATED FROM THE APPLICABLE STANDARD SHEETS OR SIGN FACE LAYOUTS.



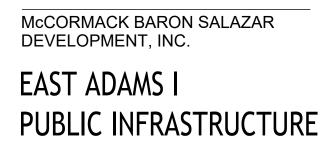


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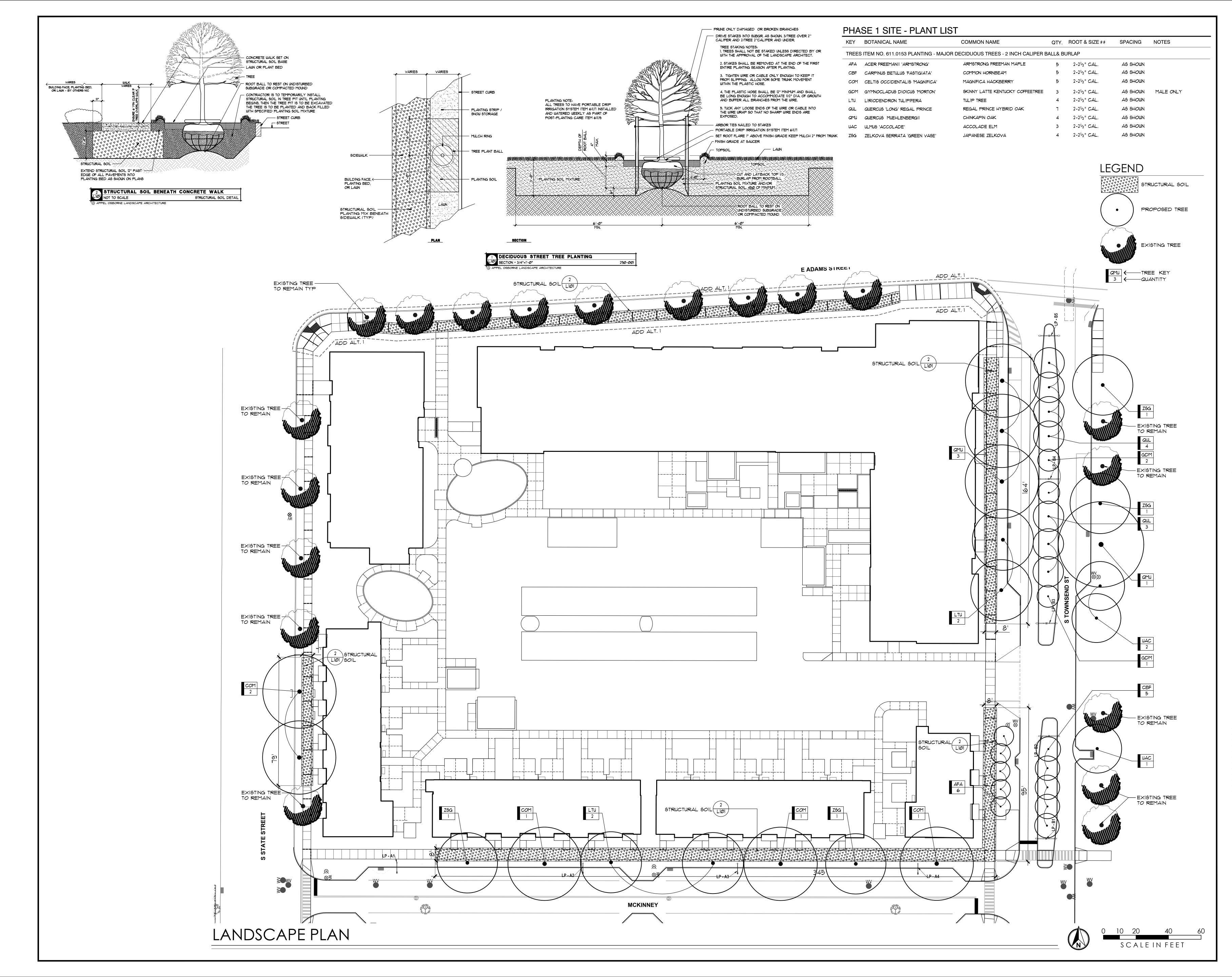
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Date 09.09.2024

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Drawing SIGN DATA & MISCELANEOUS SIGN TABLES





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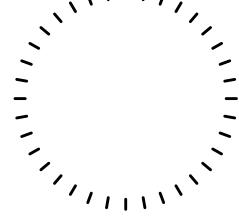
Bryant Associates108 W. Jefferson St, Suite 400Syracuse, NY 13202p. 315.741.3053f. 315.474.2834LANDSCAPE ARCHITECTAppel Osborne Landscape Architecture102 W Division St, Suite 100Syracuse, NY 13204p. 315.476.1022

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BRYANT ASSOCIATES Improving lives through infrastructure



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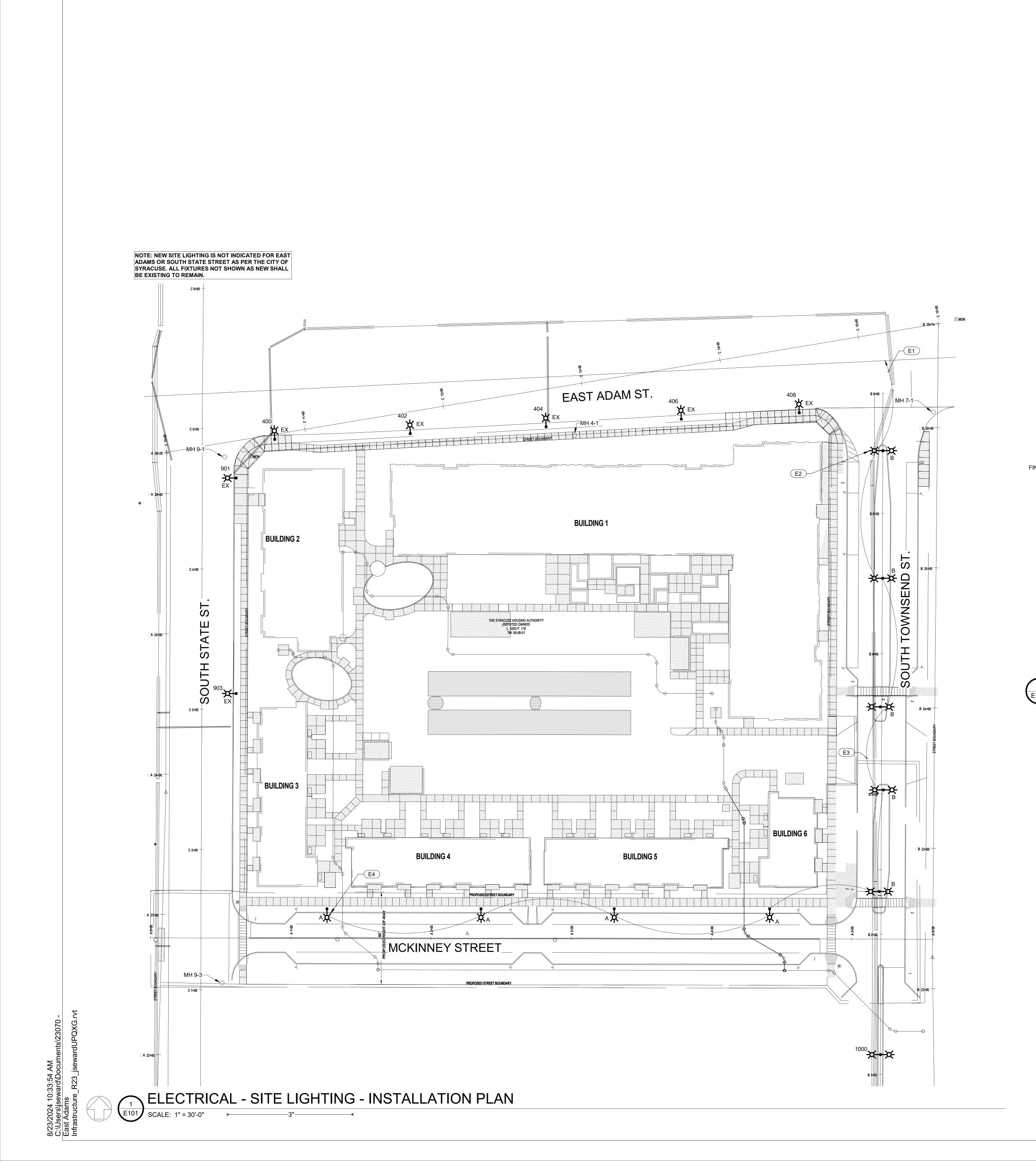
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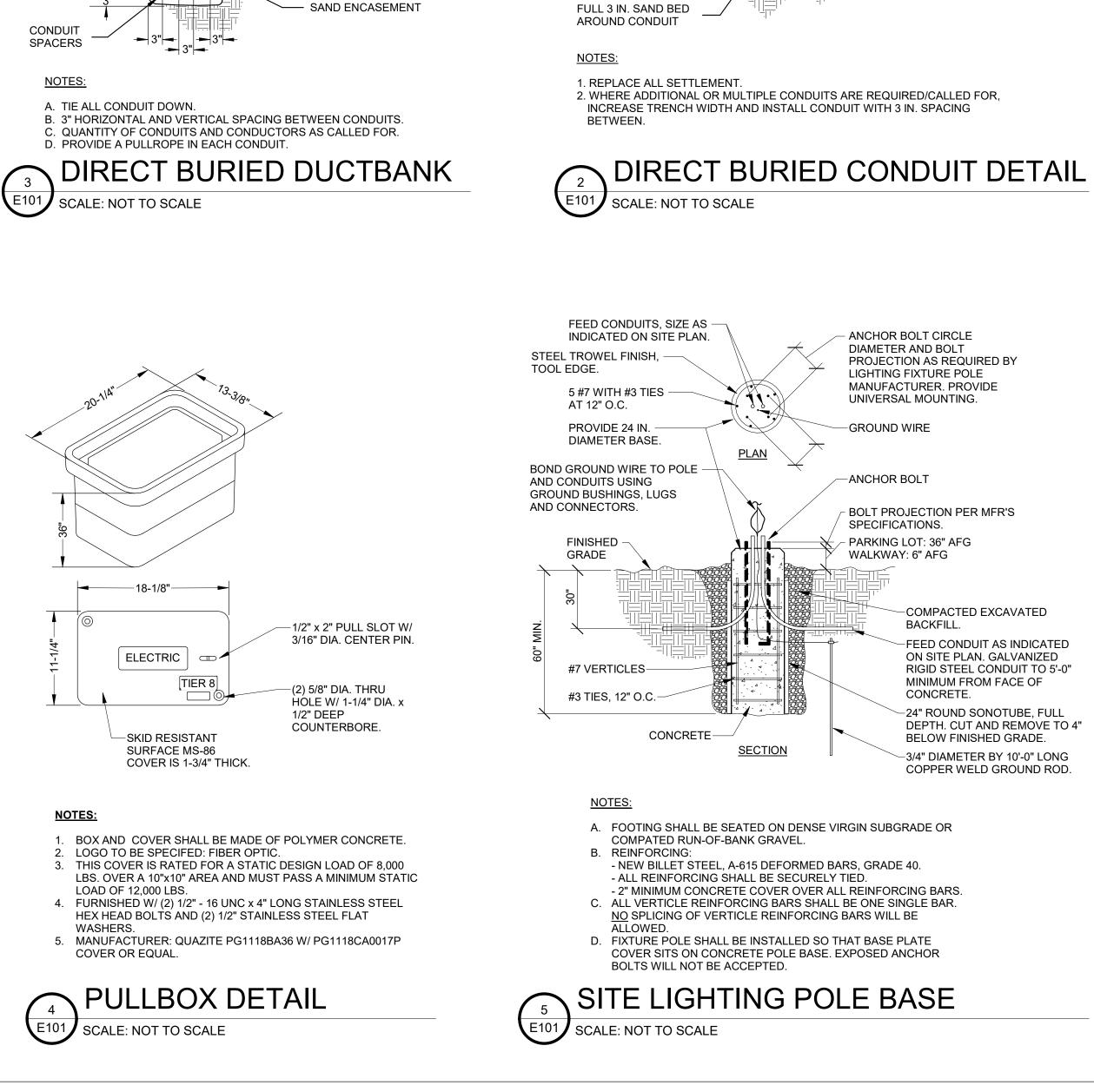
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Drawing



NOT FOR CONSTRUCTION





PAVEMENT GRASS FINISH GRADE _____ 24" MINIMUM – SIZE AND QUANTITIES AS INDICATED ON DRAWINGS CONDUIT

TOPSOIL-4" MINIMUM COVER #2 STONE COMPACTED - UNDER PAVEMENT OR CONCRETE ONLY. UNDERGROUND-LINE WARNING TAPE BACKFILL COMPACTED IN 6" LAYERS SCHEDULE 80 PVC CONDUITS

PAVING OR TOPSOIL TO MATCH EXISTING - FINISH GRADE CONDITIONS NO ROCKS OR GRAVEL IN BACKFILL 30" · INDICATING TAPE MIN COMPACT BACKFILL TO - MATCH ADJACENT SURFACES CONDITIONS SCHEDULE #80 PVC OTHERWISE CALLED FOR

ELECTRICAL KEYED NOTES E1 WIRE NEW POLE MOUNTED LUMINARES TO EXISTING CIRCUITS MADE AVAILABLE DURING DEMOLITION PHASE IN MH 7-1. MATCH AND EXTEND EXISTING WIRE AND CONDUIT TO NEW SITE LIGHTING POLE LOCATIONS AS REQUIRED. E2 COORDINATE EXACT INSTALLATION LOCATION OF SITE POLE WITH ARCHITECT / CITY PRIOR TO INSTALLATION (TYP). E3 COORDINATE EXACT TRENCHING, ALL UNDERGROUND ROUTING, AND WIRE INSTALLATION WITH ALL TRADES AND EXISTING SITE CONDITIONS PRIOR TO ANY WORK. E4 REFER TO LIGHTING LEVEL CALCULATIONS PLAN FOR ADDITIONAL INFORMATION. COORDINATE POLE SPACING WITH ALL TRADES PRIOR TO INSTALL (TYP).

ELECTRICAL GENERAL NOTES

A VERIFY EXACT LOCATION OF LIGHT FIXTURES WITH CITY AND LOCAL

B PROVIDE SEPARATE NEUTRAL AND GROUND CONDUCTOR FOR EACH

UTILITY COMPANY'S DRAWINGS PRIOR TO ROUGH-IN.

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McCORMACK BARON SALAZAR DEVELOPMENT, INC.
EAST ADAMS
INFRASTRUCTURE
Syracuse, NY
BRYANT ASSOCIATES Improv ng I ves through nfrastructure
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DRAWN BY PR
CHECKED BY JW
no. date revision
Project Name EAST ADAMS I - PUBLIC INFRASTRUCTURE
Project Number 23070
Date 08.24.2024 Scale
As indicated Drawing
ELECTRICAL - SITE LIGHTING - INSTALLATION PLAN
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REASONS SUPPORTING DETERMINATION OF SIGNIFICANCE ATTACHMENT TO FULL ENVIRONMENTAL ASSESSMENT FORM - PART 3

Summary of Proposed Action

East Adams Phase I, LP, East Adams Phase IIA, LP, and East Adams Phase IIB, LP (collectively, "Applicant") proposes to redevelop two sites owned by the Syracuse Housing Authority (the "SHA") located at 1301-11 E. Taylor Street, Syracuse NY 13202 (Tax Map #95-08-02) & 1105-1117 S State Street (516 Burt Street), Syracuse 13202 (Tax Map # 94-08-04) (collectively, the "Property"). The proposed redevelopment project (the "Project") would be completed in two phases.

Phase One of the Project would demolish an existing sixty-three (63) units of SHA housing (the "Phase One Area") to allow the construction of 158,620 gross-square-feet of new mixed-income residential development containing 133 units of multifamily housing. The 133 units would comprise one efficiency unit and a mix of one-, two-, three-, and four-bedroom units. Sixty-three (63) of the proposed units would be replacements for the existing SHA units. The remaining 69 units will be Low-Income Housing Tax Credit (LIHTC) units reserved for households earning up to 80 percent of the Area Median Income (AMI). The proposed residential units would be located across two (one three-story and one four-story) multifamily residential buildings and four groupings of townhomes. The four-story building would contain residential amenities and office space for resident support services. Accessory surface parking would be provided. The development also includes a future new street, along with utility connections, connecting S. State and S. Townsend Streets.

Phase Two of the Project would demolish a vacant parking lot (the "Phase Two Area") to construct 125 income-restricted dwelling units across two residential buildings. Phase Two will be bifurcated to account for distinct resident programs: seniors and domestic violence survivors being served by the Young Women's Christian Association (YWCA). Phase 2A consists of seventy-six (76) one-bedroom dwelling units to be made available to senior households earning 60 percent of the AMI or below. These units will have amenities such as a community room and lounge, computer lab, indoor bike storage, fitness center, laundry rooms, library, parking, and an outdoor terrace. Phase 2B consists of forty-nine (49) total dwelling units, all of which will be made available by the YWCA to households at or below sixty percent (60%) of the AMI that are also survivors of domestic violence.

The Project will support the vision set forth in strategic plans developed by the City of Syracuse, including the City of Syracuse Five-Year Consolidated Plan, the East Adams Street Neighborhood Transformation Plan, the Syracuse Housing Plan, and the City of Syracuse Consolidated Plan 2040.

The City of Syracuse Planning Commission (the "Commission") determined that the Project is an action (the "Action") subject to review under the State Environmental Quality Review Act ("SEQRA") set forth at Article 8 of the New York State Environmental Conservation Law and adopted a resolution preliminarily classifying the Action as a Type 1 Action under SEQRA and declaring its intention to serve as "Lead Agency" for the purpose of conducting a coordinated environmental review of the Project pursuant to SEQRA. The Commission has identified the City of Syracuse, SHA, City of Syracuse Central Permit Office, Onondaga County Planning Board New York State Department of Transportation, New York State Homes and Community Renewal, New York State Department of Environmental Conservation, and the United States Department of Housing and Urban Development as involved agencies under SEQRA. All involved agencies have consented to the Commission acting as Lead Agency for purposes of SEQRA. On March 25, 2024, the Commission declared itself Lead Agency for purposes of undertaking a SEQRA review of the Action.

In making its determination of significance, the Commission has considered the Application, Part 1 of the Full Environmental Assessment Form ("FEAF"), the Traffic Impact Study prepared by GTS Consulting dated June 16, 2023 (the "TIS"), Phase II Environmental Site Assessments for each of the properties, dated June 2023 (collectively the "ESA"), and the Memorandum prepared by Langan Engineering dated March 20, 2024 (the "Memorandum").

The Commission has thoroughly analyzed the Action and its environmental setting, utilizing the criteria specified in 6 N.Y.C.R.R. § 617 of the SEQRA regulations for determining the environmental significance of the Action. The Commission has evaluated the potential environmental impacts identified on Part 2 of the Full EAF for the Action, including examining comments received from involved and interested agencies, and the public. For the reasons set forth below, the Commission has determined that the Action will result in no significant adverse impacts on the environment. Accordingly, an environmental impact statement need not be prepared and the Commission issues a Negative Declaration for the Action.

Analysis of Potential Impacts

1. Impact on Land

The Action will involve construction and the physical alteration of the land surface of the Property. However, the Action will not result in any moderate or large impacts on land. The Commission considered the following information when making this determination:

- a. Part 1, E2d, concerning the depth to the water table on the Property was left blank by the Applicant. However, table 14 of the ESA states that the groundwater on the Property is found at a depth between 7.29 feet and 10.29 feet. Thus, the Project is unlikely to involve construction on land where the depth to the water table is less than three feet. In addition, the Project will not involve the use of groundwater or a septic system.
- b. Part 1, E2f, states that the Property does not contain slopes of more than 10%.

- c. Part 1, E2a, concerning the depth to bedrock was left blank by the Applicant. However, the ESA states that multiple soil borings were taken to a depth of five feet and did not encounter bedrock.
- d. Part 1, D2a, states that the Project will not include the removal of natural material from the Property. This question is intended to explore whether any mining is proposed to take place. The Project does not involve mining.
- e. Part 1, D1e, states that construction is anticipated to last for approximately 2 years and shall take place in two phases. The anticipated construction is expected to result an overall level of activity will not be substantially different from a single phase project.
- f. The Project will require a Storm Water Pollution Prevention Plan ("SWPPP").
- g. The Project is not located within a coastal erosion hazard area.

2. Impact on Geological Features

There are no unique geological features on the Property, nor are there any designated National Natural Landmarks according to the database maintained by the NYSDEC. Therefore, the Action will not result in the modification, destruction, or inhibition of access to any unique or unusual landforms on the Property. Accordingly, the Action will have no impact on geological features.

3. Impacts on Surface Water

The Action will not affect any wetland or surface water body. The Project is not located in proximity to any wetland or surface water body and the Applicant will be required to develop and abide by a SWPPP.

4. Impact on Groundwater

The Action will not result in any new or additional use of groundwater. The Property has access to public water. The use of the Property for residential development will not introduce contaminants to ground water or an aquifer.

5. Impact on Flooding

The Action will not result in development on lands subject to flooding and will not have an impact on flooding. The Property is not located in a designated floodway or 100-year or 500-year floodplain. The Project will not change existing drainage patterns.

6. Impacts on Air

The Action will not include a state regulated air emission source and will not require federal or state air emission permits. The Action will have no impacts on air during the operation of the Project. Reciprocating Internal Combustion Engine (RICE) generators that require an air permit or registration from any government agency will not be used during construction. Small portable generators that do not require a permit or registration may be used intermittently during construction. The Applicant intends on using a temporary electric hookup as soon as possible to reduce or eliminate the need

for generators. Best management practices such as spraying water or temporarily stopping work will be used to reduce dust on and around the construction site.

7. Impact on Plants and Animals

The Action will not result in a loss of flora or fauna. No threatened or endangered species or species of special concern or conservation need will be impacted by the Action, nor will the habitats of any such species be impacted by the Action. There are no registered National Natural Landmarks on the Property, and the Action will not require conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Accordingly, the Action will not adversely impact plants and animals.

8. Impact on Agricultural Resources

The Action will have no impact on agricultural resources because the Property is located in an urban area. The property is not located in an agricultural district, nor does it contain prime soils.

9. Impact on Aesthetic Resources

The Action will have no impact on aesthetic resources because the proposed use is similar to current land use patterns and is not located in close proximity to any scenic or aesthetic resources. The nearest aesthetic resource is the former Central Technical High School building located approximately two blocks away. The Project will not interfere with any viewshed of the Central Technical High School building.

10. Impact on Historic and Archeological Resources

The Action will have no impact on historic or archaeological resources. No resources are identified in Part 1 of the FEAF. The nearest building listed on the historic list is the former Central Technical High School building located approximately two blocks away. The Project will not interfere with any viewshed of the Central Technical High School building. The Project is proposed to built in a long developed urban area. There is no concern about the disturbance of archeological resources due to the history of development on the site.

A review request letter was sent to the New York State Historic Preservation Office (SHPO) on May 1, 2023, as part of the National Environmental Policy Act (NEPA) review. By letters dated June 1, 2023, the New York State Parks, Recreation and Historic Preservation stated that no historic properties, including archaeological and/or historic resources, will be affected by the construction of the Phase One Area or Phase Two Area.

11. Impact on Open Space and Recreation

The Action will not result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. There are no designated open space or recreational resources displaced by this Project. Open space is considered under SEQRA to be land that is left in a natural, undeveloped state for conservation, recreation, scenic, or even agricultural purposes devoted to preserving unique sites. Additionally, recreational resources are those that provide opportunities for hunting, fishing, hiking, bird watching, and similar nature themed activities. Open space and recreational resources are typically publicly owned or operated. While the Property is owned by SHA, it is not undeveloped land and is not used for conservation, scenic or other similar purposes and therefore does not qualify as a recreational resource or open space as contemplated under SEQRA.

12. Impact on Critical Environmental Areas

The Property does not contain a Critical Environmental Area ("CEA"). The Action will not be located within or adjacent to a CEA. The Action will have no impact on any CEA.

13. Impact on Transportation

The Project may result in a change to existing transportation systems. However, the Project will not result in a significant adverse impact on existing transportation systems or traffic patterns. The Commission reviewed the TIS in order to assess the potential for traffic impacts.

The TIS evaluated impacts that would result from not only the Project, but also anticipated future residential development of nearby parcels. The TIS included data collection, site visits, evaluation of existing operations, an accident analysis, a trip generation estimate, net trip distributions, anticipated road improvement projects and conclusions provided by GTS Consulting. The TIS states that all proposed development access driveways are projected to operate at levels of service level "C" or better during both peak hours under either existing roadway or Community Grid roadway network options. The Project will have no significant impact on traffic operations in the study area regardless of whether the existing roadway network is maintained or the I-81 Community Grid option is completed. The additional traffic generated by the Project will largely be offset by removal of the existing traffic that is currently being generated by the existing residential development in the study area.

14. Impact on Energy

The Action will not have an impact on energy. The Action does not require a new substation or upgrades to an existing substation, nor does the Action require the creation or extension of transmission lines. The Action will use the existing power connection at the Property.

15. Impact on Noise, Odor, and Light

The Project will not result in a significant adverse impact on the environment due to increases in noise, odor or light.

The sensitive receptors nearest to both areas are SHA residences. For the Phase One Area, Chavez Terrace is about 60 feet to the south and Weiser Court and Dablon Court are about 100 feet to the east across South Townsend Street. For the Phase Two Area, the nearest residences are located in the Almus Olver Tower, about 80 feet to the south across Burt Street. Latimer Terrace is about 100 to the north, across the elevated railway. Hopps Memorial CME Church is about 60 feet to the west across South State Street.

The construction phase of the Project will generate noise for a limited period of time that may have some impact on a relatively small number of residential receptors. However, the noise generated by construction will be relatively short in duration and will not result in significant impacts on neighboring residential uses due to time limitations placed on construction activities. Impacts related to construction noise will be similar to typical multiple-family residential construction projects in urban environments. The project plan includes the following measures intended to minimize impacts:

- Generally, construction will take place Monday through Friday from 7 am to 5 pm. With prior permission from the Code Enforcement Office, construction activities may take place on Saturdays between 7 am and 5pm, but only when done in accordance with approved permits issued by the City of Syracuse.
- Demolition is anticipated to take about one month in the Phase One Area. Since only two small structures currently exist at the Phase Two Area, only minor demolition is anticipated, which will take approximately three days. The existing paved parking area would be milled and removed over about one week.
- Trucks will be prohibited from idling outside of the construction sites.
- Construction equipment will be placed as far as possible from nearby sensitive receptors that have a direct line-of-sight to the construction area pursuant to the terms of the building permits.
- In the Phase Two Area, the rail line to the north is on top of a berm, which precludes direct line-of-sight between the Phase Two Area and areas to the north. This berm can be used as a noise barrier and reduces the potential for air emissions and noise to impact areas to the north.

16. Impact on Human Health

The Action will not adversely impact human health from exposure to new or existing sources of contaminants. In fact, the ESA indicates that the Property includes historic contamination that will be removed and properly disposed of as part of the Project. The Project will result in a reduction of contaminants on the Property and will improve environmental conditions. The Phase One Area was a junk yard until 1961. Several off-site locations were determined to pose a potential environmental risk to the Property. Analytical testing did not identify impacts associated with the former use of the property or surrounding properties. Soil and groundwater sample results were below applicable regulatory standards for residential use. Trichloroethylene, a volatile organic compound (VOC) was detected at a concentration that may warrant mitigation; therefore, a soil gas mitigation system has been designed for the Project. Any excess soil being removed from the site with be sampled, characterized, and properly disposed of in accordance with applicable local, state, and federal regulations.

The Phase Two Area has been developed for multiple industrial, commercial, and residential uses dating back to the 1890s. Uses included a stone yard, carriage manufacturing and painting, bridge manufacturing, a scrap metal yard, a retail gasoline station and a paper baling facility. Petroleum impacts attributed to former underground storage tanks were identified in soil on the northwestern and southwestern parts of the site, and semi-volatile organic compounds (SVOCs) and metals were also identified in soil across the site at concentrations above applicable guidance values. Petroleumrelated volatile organic compounds (VOCs) were also identified in groundwater above applicable standards and guidance values. The Applicant will complete additional investigation pursuant to NYSDEC regulations and the Brownfield Cleanup Program to determine the nature and extent of contamination at the Property and a Remedial Action Work Plan (RAWP) will be prepared outlining how cleanup at the site will be achieved. The Applicant shall comply with the RAWP protocols for the removal of contaminated soil and the design of a vapor mitigation system.

17. Consistency with Community Plans

The Action is consistent with adopted land use plans. The Action will support the vision set forth in numerous strategic plans developed by the City of Syracuse, including the City of Syracuse Five-Year Consolidated Plan, the East Adams Street Neighborhood Transformation Plan, the Syracuse Housing Plan, and the City of Syracuse Consolidated Plan 2040.

18. Consistency with Community Character

The Action will not have a significant adverse impact on community character. The Property is currently used for residential purposes. The Project will replace dated residential units with new more desirable housing stock.

Both the Phase One and Phase Two areas are in "environmental justice areas," as defined by the NYSDEC. The East Adams Transformation Plan was initiated by the City of Syracuse to provide a comprehensive approach to the revitalization of the East Adams neighborhood, an area that includes five SHA communities. Community members have been notified about the Transformation Plan through fact sheets and community meetings held by the City of Syracuse.

To date, public participation focus groups, workshops, and presentations hosted by SHA have provided an opportunity for stakeholders to participate. During the planning process, the City identified and studied reasonable alternatives.

The Transformation Plan identified a need to renovate and repair SHA properties and to expand affordable housing options. The plan seeks to incorporate a variety of housing types in the neighborhood within the larger mixed-use commercial and residential neighborhood of the 13th Ward.

A community needs survey completed by SHA determined that Phase One Area – currently occupied by 24 housing units that comprise McKinney Manor – would require more than \$17 million dollars in deferred maintenance. The SHA concluded that redevelopment of the Property with new townhomes and a multifamily building was the preferred alternative to achieve the goals of the Transformation Plan.

Phase Two Area is vacant and the City of Syracuse determined that the area is suitable for affordable and supportive housing. Multi-story apartment buildings and mixed-use development along East Adams Street were selected to accommodate the community's need for more housing.

The Project does not conflict with environmental justice goals of the state or the United States Environmental Protection Agency.

Conclusion

The Commission, as lead agency in this coordinated review under SEQRA, has thoroughly reviewed all relevant materials and analyzed all aspects of the Action. For all the reasons set forth above, the Commission determines that the Action will not have any significant adverse impacts on the environment. Consequently, a negative declaration will be filed and notice of the negative declaration will be provided pursuant to all applicable laws and regulations.

EXHIBIT A

RESOLUTION OF THE CITY OF SYRACUSE PLANNING COMMISSION

March 25, 2024

WHEREAS, East Adams Phase I, LP, East Adams Phase IIA, LP, and East Adams Phase IIB, LP (collectively, "Applicant") has submitted an application (the "Application") to the City of Syracuse Planning Commission (the "Commission") in connection with a proposed project (the "Project") to redevelop two sites owned by the Syracuse Housing Authority (the "SHA") located at 1301-11 E. Taylor Street, Syracuse NY 13202 (Tax Map #95-08-02) and 1105-1117 S State Street (516 Burt Street), Syracuse 13202 (Tax Map # 94-08-04); and

WHEREAS, the Application seeks project site review approval from the Commission; and

WHEREAS, the work to be performed during the first phase of the Project ("Phase One") involves demolition of the existing sixty-three (63) units of SHA housing at the "Phase One Area" and construction of 158,620 gross-square-feet of new mixed-income residential development containing 133 units of multifamily housing comprised of efficiency units and a mix of one-, two-, three-, and four-bedroom units, of which sixty-three (63) of the proposed units will replace the existing SHA units and the remaining sixty-nine (69) units will be Low-Income Housing Tax Credit units; and

WHEREAS, the work to be performed during the second phase of the Project ("Phase Two") involves demolition of a vacant parking lot at the "Phase Two Area" and construction of two residential buildings containing a total of 125 income-restricted dwelling units in two stages; and

WHEREAS, the work to be performed during the first stage of Phase Two ("Phase 2A") involves construction of seventy-six (76) one-bedroom dwelling units to be made available to senior households earning sixty percent (60%) of the Area Median Income or below; and

WHEREAS, the work to be performed during the second stage of Phase Two ("Phase 2B") involves construction of forty-nine (49) dwelling units to be made available by the Young Women's Christian Association to households at or below sixty percent (60%) of the Area Median Income that are survivors of domestic violence; and

WHEREAS, the Project will support the vision set forth in strategic plans developed by the City of Syracuse, including the City of Syracuse Five-Year Consolidated Plan, the East Adams Street Neighborhood Transformation Plan, the Syracuse Housing Plan, the City of Syracuse Consolidated Plan 2040, and the Community Grid Vision Plan; and

WHEREAS, the Project will require permits and/or approvals from several agencies, including the Commission, City of Syracuse, SHA, City of Syracuse Central

Permit Office, Onondaga County Planning Board New York State Department of Transportation, New York State Homes and Community Renewal, New York State Department of Environmental Conservation, and the United States Department of Housing and Urban Development; and

WHEREAS, the Project is an action (the "Action") subject to review under the State Environmental Quality Review Act ("SEQRA") set forth at Article 8 of the New York State Environmental Conservation Law; and

WHEREAS, the Commission preliminarily classified the Action as a Type 1 Action under SEQRA and declared its intention to serve as "Lead Agency" for the purpose of conducting a coordinated environmental review of the Action pursuant to SEQRA; and

WHEREAS, the Commission distributed notice of its intent to act as Lead Agency (the "Notice of Intent") along with materials related to the Action to all identified involved and interested agencies; and

WHEREAS, the Notice of Intent instructed all recipients to direct any comments or questions concerning the Action to the Commission; and

WHEREAS, none of the involved agencies objected to the Commission's designation as Lead Agency within the statutory 30-day period under SEQRA; and

WHEREAS, the Commission has thoroughly reviewed all information provided in Part 1 of the Full Environmental Assessment Form ("FEAF") and the additional materials submitted by the Applicant regarding the activities proposed in connection with the Project and the potential effects of the Action; and

WHEREAS, pursuant to the Regulations, the Commission has considered the significance of the potential environmental impacts of the Action by (1) using the criteria specified in Section 617.7(c) of the Regulations, and (2) examining the FEAF for the Action, including the information in Parts 1 of the FEAF and completing the analyses for Parts 2 and 3 of the FEAF, together with examining other available supporting information relevant to the Action, to identify the relevant areas of environmental concern, and (3) thoroughly analyzing the identified areas of relevant environmental concern;

NOW, THEREFORE, BE IT RESOLVED THAT the Commission confirms and adopts the following conclusions with respect to SEQRA:

- 1. The Action is subject to SEQRA.
- 2. The Action is a Type 1 Action under SEQRA and the Commission hereby declares itself "Lead Agency" (as said quoted term is defined in SEQRA) for purposes of the coordinated SEQRA review of this Action.

- 3. The Commission has compared the impacts that that may reasonably be expected to result from the Action to the criteria for determining significance identified in Section 617.7(c)(1) of the Regulations and evaluated the issues of causation and significance in light of the standards under the same Section of the Regulations.
- 4. The Commission has not identified any significant adverse environmental impacts associated with the Action and none are known to the Commission. Based upon its review, and for the reasons set forth more fully in the FEAF and its supporting written elaboration, the Commission hereby determines that the Action will not have any significant adverse impacts on the environment and reaches the following further conclusions:
 - (A) The Action will not result in (i) substantial adverse change in existing air quality; ground or surface water quality or quantity, traffic or noise levels; a substantial increase in solid waste production; or a substantial increase in potential for erosion, flooding, leaching or drainage problems; (ii) the removal or destruction of large quantities of vegetation or fauna; substantial interference with the movement of a resident or migratory fish or wildlife species; impacts on a significant habitat area; substantial adverse impacts on threatened or endangered species of animal or plant, or the habitat of such species; or (iii) other significant adverse impacts to natural resources;
 - (B) The Action will not affect a critical environmental area as designated pursuant to 6 NYCRR § 617.14(g);
 - (C) The Action will not conflict with the community's current plans or goals as officially approved or adopted;
 - (D) The Action will not result in the impairment of the character or quality of important historical, archeological, architectural, or aesthetic resources or of existing community or neighborhood character;
 - (E) The Action will not result in a major change in the use of either the quantity or type of energy;
 - (F) The Action will not result in the creation of a hazard to human health;
 - (G)The Action will not result in a substantial change in the use, or intensity of use, of land including architectural, open space or recreational resources, or in its capacity to support existing uses;
 - (H) The Action will not result in encouraging or attracting of a large number of people to a place or places for more than a few days, compared to the number of people who would come to such place absent the action;

- (I) The Action will not result in the creation of a material demand for other actions that would result in one or more of the above consequences;
- (J) The Action will not result in changes in two or more elements of the environment, no one of which has a significant impact on the environment, but when considered together result in a substantial adverse impact on the environment; and
- (K) The Action will not result in two or more related actions undertaken, funded or approved by an agency, none of which has or would have a significant impact on the environment, but when considered cumulatively would meet one or more of the criteria in 6 NYCRR § 617.7(c).
- 5. The information available concerning the Action was sufficient for the Commission to make its determination.
- 6. The Commission hereby approves and adopts the FEAF for the Action (Parts 1, 2, and 3) with its supporting written elaboration, issues a Negative Declaration, and will not require the preparation of an environmental impact statement for the Action.
- 7. The Commission hereby directs Zoning Staff to execute the FEAF and arrange for execution by its preparer, and to make any filing(s) and publication required by law of the Negative Declaration, including publishing notice of the Negative Declaration in the Environmental Notice Bulletin.
- 8. The Commission hereby authorizes Zoning Staff to take such other steps as may be necessary to carry out this Resolution.
- 9. This Resolution shall take effect immediately.

The resolution was thereupon declared duly adopted.

Dated: March 25, 2024



Onondaga County Planning Board

RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD Meeting Date: November 21, 2023 OCPB Case # Z-23-287

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 1, m and n, has considered and reviewed the referral for a SITE PLAN from the City of Syracuse Planning Commission at the request of East Adams Phase I / Michael Saunders for the property located at 301-311 East Taylor Street and South State Street; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of the Oncenter and Oncenter parking facility, all county-owned properties; and
- WHEREAS, the applicant is proposing to demolish existing residential units and construct 133 mixed-income units across 6 multi-unit buildings on a proposed 3.041-acre parcel in a Neighborhood Center (MX-2) zoning district, as part of the redevelopment of the 15th Ward; and
- WHEREAS, the Board is concurrently reviewing a subdivision referral (S-23-32) to subdivide the project area from two existing apartment complexes contained in the same parcel; and
- WHEREAS, the site is in an area of dense townhouse-style apartments belonging to the Syracuse Housing Authority on the eastern edge of Downtown Syracuse; adjacent parcels contain additional apartment complexes, a fire station, the OnCenter and its parking garage, and an Upstate Medical University Residence Hall; and
- WHEREAS, the parcel contains Angelou Terrace, Chavez Terrace, and Latimer Terrace, cul de sacs surrounded by townhouse-style apartments belonging to Syracuse Housing Authority with frontage on East Adams Street, South State Street, South Townsend Street, and East Taylor Street; and
- WHEREAS, the applicant is proposing to subdivide Angelou Terrace from the remaining lands, demolish the cul de sac and apartments, extend Monroe Street west to South State Street, and construct 133 mixed-income units in 6 multi-unit buildings along with a playground and central parking lot; and
- WHEREAS, per the referral materials, the proposed project is Phase 1 of a revitalization of the Old 15th Ward and will seek Enterprise Green Communities (EGC) certification and will certify under Energy Star for Multifamily High Rise (MFHR) Building's rating system; per the Environmental Assessment Form (EAF) dated 10/18/23, the project has funding from the NYS Agency of Homes and Community Renewal (HCR), the US Department of Housing and Urban Development (HUD), and HUD's Rental Assistance Demonstration; and
- WHEREAS, the proposal is to construct six new buildings: building 1 will be an L-shaped 4-story, multi-use building to be placed in the northeast corner of the site, building 2 will be a 3-story, multi-use building in the northwest corner of the lot, and buildings 3, 4, 5, and 6 will be grouped two-story townhouse-style apartments

consisting of 3 and 4-bedroom units placed along the southern lot boundary; a driveway from South Townsend Street will enter the site between buildings 1 and 6, leading to a central 93-space parking lot; 2 playgrounds will be constructed near the northwest corner of the parking lot; and

WHEREAS, the proposal will create 113 dwelling units; referral materials do not include a breakdown of how many apartments will be in each building; Floor Plans show the ground floor of building 1 to house offices, a community space, fitness room, computer lab, a business incubator, and bike storage; no mixed use details for building 2; per the Planting Plan dated 9/11/23, trees, shrubs, perennials, and grasses will be planted along the perimeter of buildings, walkways, and the parking lots;

ADVISORY NOTE: The proposed work within the state right-of-way is subject to a work permit from the NYS Department of Transportation; and

- WHEREAS, Site Plan notes roadway work on Lot 2 to occur under separate public infrastrature contract; no details were provided with current referrals, other than coordination is to occur; and
- WHEREAS, per the Environmental Assessment Form (EAF) dated 10/18/23, 3.50 acres of the site will be disturbed by the proposed project; per the Drainage Plan dated 9/11/23, stormwater infrastructure will be placed under the parking lot, draining to stormwater storage tanks under the western side of the parking lot; per the EAF, stormwater will be managed with an "internal stormwater management system with underground chambered storage that will discharge to established public stormwater system";

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the referral notice, a new connection to public drinking water is proposed to serve the apartment complex; and

WHEREAS, per the referral notice, a new connection to the public sewers is proposed to serve the new apartment complex; the site is located within the Metropolitan Wastewater Treatment Plan service area;

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects; the applicant must contact Plumbing Control to ensure appropriate permits are obtained;

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division in order to connect into the public sewer system; additionally, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:

http://www.ongov.net/wep/CapacityAssuranceReviews.html; and

WHEREAS, the project is within 2,000 feet of multiple sites (IDs: 734140, C734144, C734140, C734144A, E734086) in the NYS Department of Environmental

Conservation Environmental Site Remediation database (per EAF Mapper); and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has determined that said referral will have no significant adverse inter-community or county-wide implications and may consequently be acted on solely by the referring board.

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Martin E. Voss, Chairman Onondaga County Planning Board



Onondaga County Planning Board

RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD Meeting Date: November 21, 2023 OCPB Case # S-23-32

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 1, m and n, has considered and reviewed the referral for a SUBDIVISION from the City of Syracuse Planning Commission at the request of Syracuse Housing Authority / William Simmons for the property located at 301-311 East Taylor Street and South State Street; and
- WHEREAS, General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of the Oncenter and Oncenter parking facility, all county-owned properties; and
- WHEREAS, the applicant is proposing to subdivide an 11.068-acre parcel into three new lots, Lot 1 (3.041 acres), Lot 2 (0.624 acres) and Lot 3 (7.402 acres) in a Neighborhood Center (MX-2) zoning district, as part of the 15th Ward Revitalization project; and
- WHEREAS, the Board is concurrently reviewing a site plan referral (Z-23-187) to demolish the existing apartments, parking and cul-de-sac street to construct 133 apartments in 6 buildings; and
- WHEREAS, the site is in an area of dense townhouse-style apartments belonging to the Syracuse Housing Authority on the eastern edge of Downtown Syracuse; adjacent parcels contain additional apartment complexes, a fire station, the OnCenter and its parking garage, and an Upstate Medical University Residence Hall; and
- WHEREAS, the parcel contains Angelou Terrace, Chavez Terrace, and Latimer Terrace, cul de sacs surrounded by townhouse-style apartments belonging to Syracuse Housing Authority with frontage on East Adams Street, South State Street, South Townsend Street, and East Taylor Street; and
- WHEREAS, the applicant is proposing to subdivide Angelou Terrace from the remaining lands, demolish the cul de sac and apartments, extend Monroe Street west to South State Street, and construct 133 mixed-income units across 6 multi-unit buildings along with a playground and central parking lot; and
- WHEREAS, per the referral materials, the proposed project is Phase 1 of a revitalization of the Old 15th Ward and will seek Enterprise Green Communities (EGC) certification and will certify under Energy Star for Multifamily High Rise (MFHR) Building's rating system; per the Environmental Assessment Form (EAF) dated 10/18/23, the project has funding from the NYS Agency of Homes and Community Renewal (HCR), the US Department of Housing and Urban Development (HUD), and HUD's Rental Assistance Demonstration; and
- WHEREAS, per the survey dated 10/16/23, the parcel will be split into 3 lots; Lot 1 will be 3.041 acres and is the subject of the concurrent site plan referral (Z-23-287); Lot 2 will be 0.624 acres and will be converted to an extension of Monroe Street, connecting the street to South State Street; Lot 3 will be 7.402 acres and contains the existing apartment complexes on Chavez Terrace and Latimer Terrace culs de

sac; and

- WHEREAS, the proposal is to construct six new buildings: building 1 will be an L-shaped 4story, multi-use building to be placed in the northeast corner of the site, building 2 will be a 3-story, multi-use building in the northwest corner of the lot, and buildings 3, 4, 5, and 6 will be grouped two-story townhouse-style apartments consisting of 3 and 4-bedroom units placed along the southern lot boundary; a driveway from South Townsend Street will enter the site between buildings 1 and 6, leading to a central 93-space parking lot; 2 playgrounds will be constructed near the northwest corner of the parking lot; and
- WHEREAS, the proposal will create 113 dwelling units; referral materials do not include a breakdown of how many apartments will be in each building; Floor Plans show the ground floor of building 1 to house offices, a community space, fitness room, computer lab, a business incubator, and bike storage; no mixed use details for building 2; per the Planting Plan dated 9/11/23, trees, shrubs, perennials, and grasses will be planted along the perimeter of buildings, walkways, and the parking lots;

ADVISORY NOTE: The proposed work within the state right-of-way is subject to a work permit from the NYS Department of Transportation; and

- WHEREAS, Site Plan notes roadway work on Lot 2 to occur under separate public infrastrature contract; no details provided with current referrals, other than coordination is to occur; and
- WHEREAS, per the Environmental Assessment Form (EAF) dated 10/18/23, 3.50 acres of the site will be disturbed by the proposed project; per the Drainage Plan dated 9/11/23, stormwater infrastructure will be placed under the parking lot, draining to stormwater storage tanks under the western side of the parking lot; per the EAF, stormwater will be managed with an "internal stormwater management system with underground chambered storage that will discharge to established public stormwater system";

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the referral notice, a new connection to public drinking water and public sewers is proposed to serve new lot 1; the site is located within the Metropolitan Wastewater Treatment Plan service area;

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects; the applicant must contact Plumbing Control to ensure appropriate permits are obtained;

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division in order to connect into the public sewer system; additionally, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:

1100 Civic Center, 421 Montgomery Street, Syracuse, NY 13202 (315) 435-2611, Fax (315) 435-2439

http://www.ongov.net/wep/CapacityAssuranceReviews.html; and

WHEREAS, the project is within 2,000 feet of multiple sites (IDs: 734140, C734144, C734140, C734144A, E734086) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has determined that said referral will have no significant adverse inter-community or county-wide implications and may consequently be acted on solely by the referring board.

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Martin E. Voss, Chairman Onondaga County Planning Board



OFFICE OF ZONING ADMINISTRATION Ben Walsh, Mayor

To:Syr Housing AuthorityFrom:Cristian Toellner, Zoning PlannerDate:10/17/2024 11:24:15 AMRe:Major Site Plan Review MaSPR-24-34
301-11 Taylor St E & State St S, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syrgov.net if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	10/07/2024	Vinny Esposito	The City Engineer must approve all plans associated with this new street. My comments will be that of the City Engineers Office
DPW - Transportation Planner	Conditionally Approved	10/07/2024	Neil Milcarek- Burke	No concern with project as proposed
Zoning Planner	On Hold	10/11/2024	Zhitong Wu	No concerns. Pending on decision from CPC and CC.
Parks - Forestry	On Hold	10/11/2024	Jeff Romano	Townsend Street southern median; tree / streetlight LP- B2 conflict should be reviewed. Gingko tree at southern end of Townsend St, east side should be reconsidered. Spacing seems tight. Detail 1/L101 - Revise hose and double strand wire guys for "arbortie" as standard for tree staking. Add Alt. 1 - depicting structural soils under new, realigned walk may be counterintuitive and be damaging to existing tree's root systems.
Planning Commission	Pending	09/25/2024		
Eng. Design & Cons Zoning	Conditionally Approved	10/11/2024	Mirza Malkoc	 No objection to the proposed development. Engineering Department submitted review comments to the designer which need to be addressed before the road cut permit is issued to the applicant. All construction in the R.O.W. will require a road cut permit, all construction in the R.O.W. to be per City standards and specifications. This is just a reminder that Common Council has to approve the Right-Of-Way improvements as well before any permits are issued.
City Engineer - Zoning	Pending	09/25/2024		
Eng. Mapping - Zoning	Conditionally	10/01/2024	Ray Wills	10/1/2024 HOLD REMOVED

	Approved	1		1
				The bearing for State St. has been modified to the accepted City Bearings.
				There is stationing the runs down the approx. center of the parcel that will become McKinney St., it shows a bearing of S89°53'50E which would be a right angle from State St.
				I am assuming the stationing is set as a centerline (CL) for the limits of work (LOW) and not representing the CL for the proposed ROW, which has a different bearing, forming a right angle off of Townsend St.
				While this is not a requirement, traditionally in a scenario as this the stationing would be parallel to ROW to avoid confusion, and ensure accurate placement of infrastructure and occupation.
				9/26/2024 HOLD PLACED This site plan is based off of a 2023 Survey (which is
				attached) and filed in the County Clerks office as #13661 during the initial review of this map it was determined that the bearings for a section of State St disagreed with the City Plats for the area. The Surveyor was permitted to show their contested bearing as measured while displaying the City Engineer Plats bearing as the official/primary bearings.
				The City Plats being the officially accepted and used bearings is an extremely important detail, particularly in a scenario such as this where subsequent streets are being created, these streets must be tied to City Bearings, in this particular case the newly created street is being tied off of the bearings for Townsend St which does agree with City Plats.
				However, the site plan work for the State St portion is to agree with City bearings.
				In the case of State St. the ONLY OFFICIALLY ACCEPTED bearing for the eastern side of State St, North of the angle point is N0°06'10"E, using and building off of any other bearing may cause utility conflict, deed and property tax errors and encroachment waivers to be required, along with further issues down the road.
	-1			Please modify all drawings to the correct bearing.
Engineering - Zoning	Pending	09/25/2024		
revention - Zoning	Conditionally	10/16/2024	Elton Davis	Installation of hydrant on the northwest corner of

				Please moully an drawings to the correct dearing.
Water Engineering - Zoning	Pending	09/25/2024		
Fire Prevention - Zoning	Conditionally Approved	10/16/2024	Elton Davis	Installation of hydrant on the northwest corner of McKinney and South Townsend.
				The location of any hydrants on the plans. Hydrants are required to be located within 400 feet of all portions of the exterior of the building measured along a natural path of travel (FCNYS §507.5.1). Hydrants are also required to be located within 100 feet of Fire Department Connections serving any standpipe systems. FDC's should be located close to the main entrance of a building.
				The roadway shall be constructed of with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds per §D101.1 of the FCNYS. Documentation indicating the surface material meets

these requirements shall be provided. Bridges and elevated surfaces (such as over storm water detainment systems) shall be designed for a live load sufficient to carry the imposed loads of fire apparatus.

All work must comply with applicable sections of the NYS Uniform Code.

DPW Traffic Control- Zoning	Conditionally Approved	 Gafrancesco	10.7.24 Conditionally Approved. Site review complete. Contractor shall submit WZTP during permit process
			for review and approval.