



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>SR-23-07</i>	<i>Staff Report – January 22, 2024</i>
<i>Application Type:</i>	Major Site Plan Review
<i>Project Address:</i>	1024-1124 Court St & Grant Blvd (Tax Map ID: 006.-10-01.6)
<i>Summary of Proposed Action:</i>	Redevelopment of St. Anthony’s Convent and Maria Regina College on a new resubdivided lot. The redevelopment will change the existing institutional use into residential use and will construct 181 affordable dwelling units for the senior residents 62 years of age and older.
<i>Owner/Applicant</i>	Mark Congel, The Kimberly at Grant Blvd LLC (Owner) Adam Driscoll, Development Manager, Home Leasing LLC (Applicant)
<i>Existing Zone District:</i>	Neighborhood Center, MX-2 Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north are the Urban Neighborhood, MX-1 Zone District and the Low Density Residential, R2 Zone District, to the south of the property is the Low Density Residential, R2 Zone District, to the east of the property are the Low Density Residential, R2 Zone District and the Open Space, OS Zone District, and to the west of the property is the High Density Residential, R5 Zone District.
<i>Companion Application(s)</i>	R-23-75 Resubdivision, V-23-20 ad V-23-21 both area variance and approved on 1/11/24 by the Board of Zoning Appeals.
<i>Scope of Work:</i>	The proposed redevelopment includes demolition of existing solarium attached to St. Anthony’s Convent and one-story brick garage near Kirkpatrick St, construction of 181 affordable apartments, reconfiguration of 96 parking lots and on-site traffic circulation, replacement of sidewalk pavement, renovation of building exterior facades and implementation of a new landscaping plan.
<i>Staff Analysis:</i>	<p><u>Pros:</u></p> <ul style="list-style-type: none"> - The proposed project conforms to the purpose of Neighborhood Center, MX-2 Zone District. - The proposed redevelopment will create affordable housing options while reusing the vacant property, preserves a Nationally Registered Site and Buildings, and provides community amenities. <p><u>Cons:</u></p> <ul style="list-style-type: none"> - The proposed plans violate zoning requirements for snow storage area and bike parking space. <p>Recommendation: require a condition to submit plans showing compliance to ReZone, Art. 4, Sec. 4.4F(6) and Art.4, Sec. 4.4H before getting site work and building permits.</p>
<i>Zoning Procedural History:</i>	<p>1024-1124 Court St & Grant Blvd:</p> <ul style="list-style-type: none"> - Z-2018 Project Review for multi-building development for Maria Regina College, approved on 1/26/1972. - Z-2019 Project Review for multi-building development for Maria Regina College with area waivers, approved on 10/19/1972. - R-89-10 Resubdivision to combine multiple lots to form 5 new lots, approved on 5/2/1989. - Z-2388 Zone Change from RB-1 to RC, approved on 5/2/1989. - SP-89-13 Special Use Permit for offices of a religious and educational institution, approved on 5/2/1989. - SP-89-19 Special Use Permit for office of religious educational institution, approved on 7/10/1989.

	<ul style="list-style-type: none"> - SP-89-26 Special Use Permit for a geriatric day care center in the basement, approved on 8/22/1989. - SP-92-33 Special Use Permit for an adult day care facility, approved on 12/21/1992. - SD-93-36 Waiver for screening device regulations to erect fence in front yard, approved on 9/21/1993. - R-98-11 Resubdivision to combine 104-110 Michael Avenue and 1100-1124 Court Street in to one lot, approved on 7/6/1998. - R-98-21 Resubdivision to combine multiple lots into 1 new lot, approved on 11/2/1998. - AS-99-45 Sign Waiver for one ground sign, approved on 8/11/1999. - SD-01-30 Permission for a ground sign to encroach into public right-of-way, approved on 10/29/2001. - SP-02-32 Special Use Permit modification for care home expansion and ground sign addition, approved on 10/28/2002. - SP-06-06 Special Use Permit for an adult day care center, medical clinic and religious offices, approved on 3/20/2006. - R-15-14 Resubdivision to combine 11 properties into 4 new lots, approved on 4/8/2015.
<p><i>Summary of Zoning History:</i></p>	<p>In 1972, the Maria Regina College first occupied this property with the development of multi-building. In 1989, the property was resubdivided and changed its zone district from residential district class B-1 to residential district class C. In the same year, there were multiple special use permits approved for establishing offices and day care facilities on this property. In 1998, the property again experienced resubdivision to form new lots and there were permissions granted for signage and its encroachment into the public right-of-way from 1999 to 2001. In 2002, a special use permit modification was granted for expanding the care home and adding one ground sign. In 2006, a special use permit was granted for the use of the day care center, medical clinic, and religious offices on the property. And the most recent resubdivision happened in 2015 to combine 11 properties into 4 new lots.</p>
<p><i>Code Enforcement History:</i></p>	<p>See attached code enforcement history. The property has been left vacant since 2020 and all the violations are related to the deterioration of the existing structures due to vacancy.</p>
<p><i>Zoning Violations:</i></p>	<ul style="list-style-type: none"> - Pursuant to ReZone, Art. 4, Sec. 4.4F(6), Snow Storage and Handling, “A minimum of 10 percent of any unheated or uncovered parking area shall be reserved for snow storage in winter months and shall be designated on the site plan”. Based on the proposed 96 parking spaces, 9 parking spaces are required to be labeled as snow storage. - Pursuant to ReZone, Art. 4, Sec. 4.4H, Off-Street Bicycle Parking, “all public/institutional, mixed-use, and commercial uses shall provide off-street bicycle parking spaces at a minimum ratio of 1 bicycle parking space per 6 vehicle parking spaces”. Based on the proposed 96 parking spaces, at least 16 bike parking spaces are required.
<p><i>Summary of Changes:</i></p>	<p>No changes have occurred.</p>
<p><i>Property Characteristics:</i></p>	<p>The proposed property is irregular in shape with 820.43 feet of frontage on Grant Blvd, 235.10 feet on Kirkpatrick St and 757.8 feet on Court St.</p>
<p><i>SEQR Determination:</i></p>	<p>Pursuant to the New York State Environmental Quality Review Regulations, the proposal is an unlisted action.</p>
<p><i>Onondaga County</i></p>	<p>The proposal does not meet the referral criteria for Onondaga County Planning Board</p>

Planning Board Referral:

pursuant to GML §239-1, m and n

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review application
- Full Environmental Assessment Form Part 1
- Durable Power of Attorney
- Property Survey Map. Licensed Land Surveyor: DAVID JOSEPH UHRINEC; C.T. Male Associates; Scale: 1" = 20'; Dated: 02/04/2015.
- ALTA/NSPS Land Title Survey (Sheet VT100); Prepared by Costich Engineering, Land Surveying & Landscape Architecture D.P.C.; Scale: 1" = 40'; Dated: 9/23/2022.
- Existing Conditions Plan (Sheet C101), prepared by LaBella Associates; Scale: 1" = 40'; Dated: 08/2023
- Demolition Plan (Sheet CD101), prepared by LaBella Associates; Scale: 1" = 40'; Dated: 08/2023
- Site Plan (Sheet C201), prepared by LaBella Associates; Scale: 1" = 40'; Dated: 08/2023.

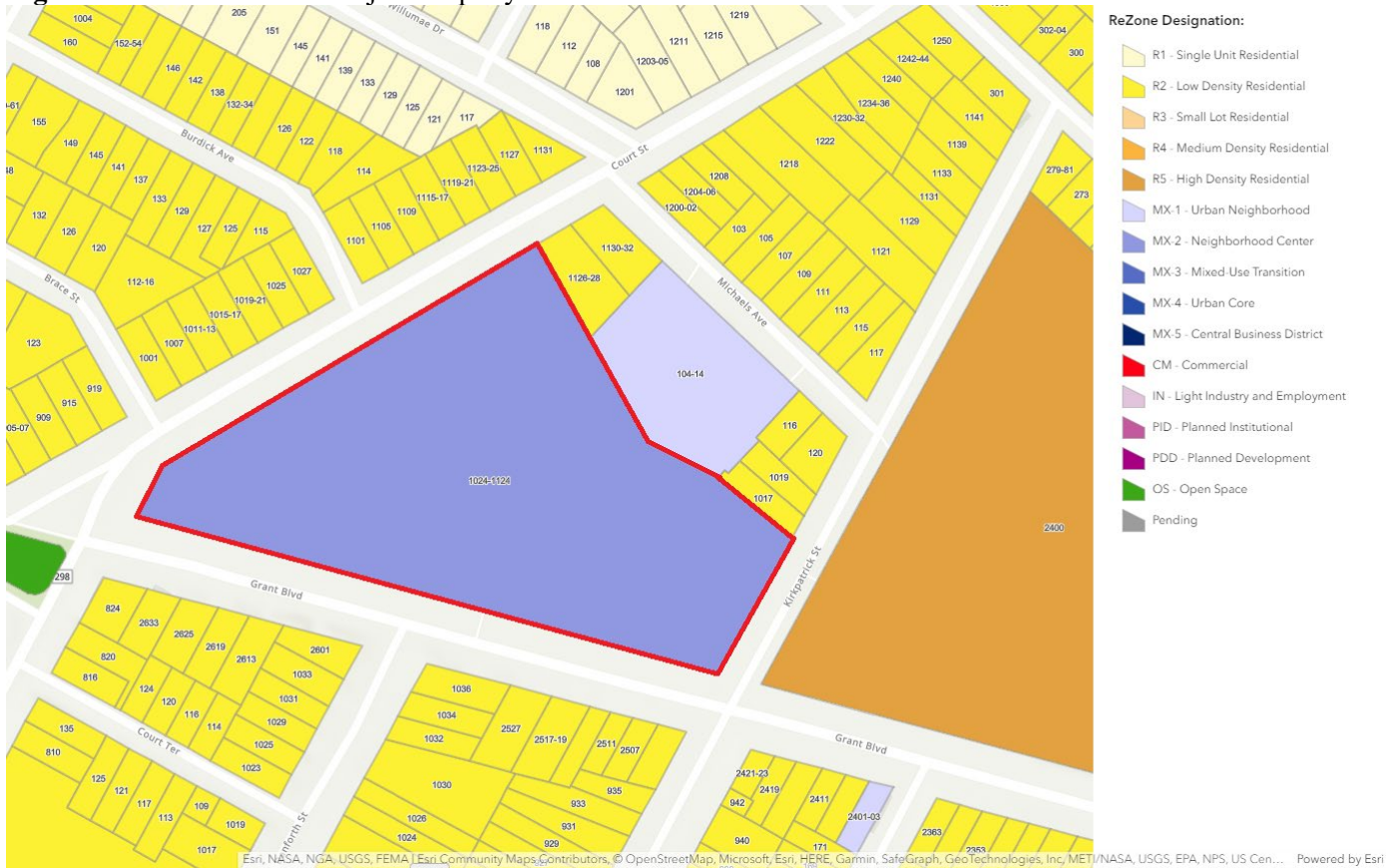
Attachments:

Major Site Plan Review Application
 Full Environmental Assessment Form Part 2 & Part 3

Code Enforcement History
 IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of Embassy Suites on the subject property.
Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

Site Plan Review Application



For Office Use Only	
Zoning District: _____	_____
Application Number: S- _____ - _____	_____
Date: _____	_____

Office of Zoning Administration
 201 East Washington St.
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syr.gov.net

Site Plan Review Application

This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.

General Project Information

Business/project name: Maria Regina Apartments		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 1024-1124 Court St & Grant Blvd		
Lot numbers: 15D	Block number: 101	Lot size (sq. ft.) 323,300 sf
Current use of property: Professional Building	Proposed: Residential	
Current number of dwelling units (if applicable): 0	Proposed: 185	
Current onsite parking (if applicable): 112	Proposed: 96	
Zoning (base and any overlay) of property: MX-2 - Neighborhood Center		
Companion zoning applications (if applicable, list any related zoning applications):		
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor		
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input checked="" type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size: 12"x18"	Type: ADA signage	Location: Various
Size: 12"x18", 30"x30"	Type: Traffic control	Location: Various
Nature and extent of Site Plan requested (attach additional pages if necessary): Basis of the project is to subdivide the existing parcel into two and all associated site work required for the change of use of the existing buildings into residential.		

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.

Print owner name: Wynberry AS GRANT BLVD LLC	Date: 07/07/23
Signature: <i>Mark Cangel</i>	
Mailing address: 4 Clinton Sq. Suite 102, Syracuse, NY 13202	

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

DURABLE POWER OF ATTORNEY

IMPORTANT INFORMATION

This power of attorney authorizes another person (your agent) to make decisions concerning your property for you (the principal). Your agent will be able to make decisions and act with respect to your property (including your money) whether or not you are able to act for yourself.

This power of attorney does not authorize the agent to make medical and health care decisions for you.

You should select someone you trust to serve as your agent. Unless you specify otherwise, generally the agent's authority will continue until you die or revoke the power of attorney or the agent resigns or is unable to act for you.

Your agent is entitled to reasonable compensation unless you state otherwise in the Special Instructions.

This form provides for the designation of one agent.

If your agent is unable or unwilling to act for you, your power of attorney will end unless you have named a successor agent. You may also name a second successor agent.

This power of attorney becomes effective immediately unless you state otherwise in the Special Instructions.

If you have questions about the power of attorney or the authority you are granting to your agent, you should seek legal advice before signing this form.

DESIGNATION OF AGENT

I, Rich Pascarella of 4 Clinton Sq, Ste 102, Syracuse, NY [Address], authorize Home Leasing LLC of 75 S. Clinton Ave, Ste 700, Rochester, NY [Address], as my agent (attorney-in-fact) to act for me and in my name and for my use and benefit

GRANT OF GENERAL AUTHORITY

I grant my agent and any successor agent general authority to act for me with respect to the following subjects:

_____ (A) Real property : Zoning Approvals for _____

at Address: _____

LIMITATION ON AGENT'S AUTHORITY

An agent that is not my ancestor, spouse, or descendant may not use my property to benefit the agent or a person to whom the agent owes an obligation of support unless I have included that authority in the Special Instructions.

EFFECTIVE DATE

This power of attorney is effective immediately unless I have stated otherwise in the Special Instructions.

TERMINATION

Until Zoning Approval for the above-referenced address/project is final.

RELIANCE ON THIS POWER OF ATTORNEY

Any person, including my agent, may rely upon the validity of this power of attorney or a copy of it unless that person knows it has terminated or is invalid.

SIGNATURE AND ACKNOWLEDGMENT

[Signature]
Signature of Principal

11/28/23
Date

Richard Pasarella
Name Printed

4 Claman Sp. Ste 162 Syracuse NY 13202
Address

315-423-9140
Telephone Number

State/Commonwealth of New York
County of Onondaga

Joseph Richer

On this 29 day of November, 2023, before me, Richard Pasarella, personally appeared Richard Pasarella, personally known to me or who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to this instrument and acknowledged to me that he/she executed the same and that by his/her signature on this instrument the person executed this instrument.

NOTARY

Joseph Richer
Signature of Notary

(Seal, if any)

My commission expires: 2027

JOSEPH E. RICHER
Notary Public, State of New York
Certificate filed in Onondaga Co.
No. 01R16096136
Commission Expires July 7, 2027

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Maria Regina Gardens		
Project Location (describe, and attach a general location map): 1024-1124 Court Street and Grant Boulevard, Syracuse, NY 13208, Onondaga County, NY (SBL: 006.-10-0.16)		
Brief Description of Proposed Action (include purpose or need): The proposed action consists of the acquisition and re-development of the campus that formerly housed St. Anthony’s Convent and Maria Regina College located at the northeast corner of Court Street and Grant Boulevard, in a residential neighborhood within the City of Syracuse. The existing campus covers approx. 7.42 acres and contains 6 buildings totaling approx. 91,300 sq. ft. Home Leasing proposes to re-develop the existing buildings, with the exception of the chapel, into a community for people aged 62 and older. The existing chapel will be subdivided from the rest of the property. As such, the project area is approx. 7.1 acres. The project will consist of approximately 181 affordable apartments, all of which will be studio and one-bedroom units. Additionally, a community center will be available on site to residents and the public. Site improvements will include redeveloped parking lots, a new drop off loop, sidewalks, landscaping, new utility connections and associated stormwater management. The proposed ground disturbance is +/-2.7 acres.		
Name of Applicant/Sponsor: Jenifer Higgins, Development Manager, Home Leasing	Telephone: 585-262-6210	E-Mail: jeniferhi@homeleasing.net
Address: 75 S. Clinton Avenue, Suite 700		
City/PO: Rochester	State: NY	Zip Code: 14604
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): The Kimberly at Grant Blvd, LLC	Telephone:	E-Mail:
Address: 4 Clinton Sq, Suite 102		
City/PO: Syracuse	State: NY	Zip Code: 13202

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Subdivision, site plan approval	
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Area variance	
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City Landmark Preservation Board approval (recommendation)	
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC - SPDES permit, SHPO, HFA 4% bond NYSDOT - Access Permit	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

Onondoga Lake Watershed - Enhanced Phosphorus Removal

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
MX-2 - Neighborhood Center

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Syracuse CSD

b. What police or other public protection forces serve the project site?
Northside Community Police, Syracuse Police Department North District

c. Which fire protection and emergency medical services serve the project site?
Syracuse Fire Station 2, American Medical Response of CNY, Upstate Emergency Room

d. What parks serve the project site?
Schiller Park, Washington Square Park, DeMong Park, Union Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Affordable apartment community for seniors

b. a. Total acreage of the site of the proposed action? +/- 7.4 acres
b. Total acreage to be physically disturbed? +/- 2.7 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? +/- 7.4 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Separate the existing chapel from proposed apartment development

ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? 2
iv. Minimum and maximum proposed lot sizes? Minimum +/-0.3 acres Maximum +/-7.1 acres

e. Will the proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: 30 months
ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	181	_____	_____	_____
At completion of all phases	181	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____
 ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
 iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? Asphalt parking lot, Geothermal (vertical) _____
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): TBD _____
 • Over what duration of time? TBD _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.
 TBD. Excavated soil will be trucked off site. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ TBD acres
 vi. What is the maximum area to be worked at any one time? _____ TBD acres
 vii. What would be the maximum depth of excavation or dredging? _____ TBD feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____
 N/A _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 22,000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: City of Syracuse Water Department
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 22,000 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary wastewater (22,000 gpd)

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Metropolitan Syracuse Wastewater Treatment Plant
- Name of district: City of Syracuse
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or 7.1 acres (parcel size)
- ii. Describe types of new point sources. The reconfiguration of pavement and sidewalk areas will lead to an overall reduction in impervious coverage for the parcel.

- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
 Storm sewer will be connected to the existing roadway storm system via the existing lateral.

- If to surface waters, identify receiving water bodies or wetlands: _____
- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
 Gas generator (TBD)
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- ii. In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
see note below

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
N/A

iii. Parking spaces: Existing 112 Proposed 96 Net increase/decrease -16

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
No changes

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
TBD

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
Rooftop solar, local grid

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7am-9pm • Saturday: _____ 7am-9pm • Sunday: _____ none • Holidays: _____ none 	<p>ii. During Operations: Community Center hours: TBD</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 24/7/365 • Saturday: _____ 24/7/365 • Sunday: _____ 24/7/365 • Holidays: _____ 24/7/365
--	---

D.2.j. The site was previously occupied by a daycare, a convent and sisters wings which housed approximately 75 sisters. The daycare was closed in 2014, and the site has been vacant since the Sisters sold it in 2015. It is anticipated that traffic generated from the new development will be greater than the existing abandoned use, but not greater than the previous use.

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
 Construction and demolition activities may exceed existing ambient noise levels for limited periods of time. It is also anticipated that additional noise from vehicle traffic at the site may occasionally exceed existing ambient noise levels for short periods of time once the apartments are operational.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 Fixtures will be downward cast and dark sky compliant.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ TBD tons per _____ TBD (unit of time)
 • Operation : _____ TBD tons per _____ TBD (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: TBD. Recycle demolition materials to the greatest extent possible.
 • Operation: Recycling bins located in community spaces
 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: Non-hazardous materials will be disposed of by a local waste management company
 • Operation: Regular recycling pickup weekly

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): Educational

ii. If mix of uses, generally describe: _____

b. Land uses and coverytypes on the project site.

Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	3.97	3.93	-0.04
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: <u>Lawn/shrub scrub</u>	3.07	3.11	+0.04

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
The 3 Little Bears (daycare center), Francis House (hospice care), Magnarelli Community Center, Marcia Street Group home, Grant Jr. High School (temporarily closed)

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): 8710278, 8710710
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
Spill 8710278 was closed on 1/19/1989. Spill 8710710 was closed on 9/15/1988.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ +/- >6.5 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Ontario loam	_____	+/-75 %
Howard gravelly fine sandy loam	_____	+/-19 %
Ovid silt loam	_____	+/-6 %

d. What is the average depth to the water table on the project site? Average: _____ +/-5.0 feet

e. Drainage status of project site soils: Well Drained: _____ +/-94 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ +/-6 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 10% of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site:		
Squirrels _____	Songbirds _____	Crows _____
Hawks _____	Chipmunks _____	Racoons _____
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes:		
i. Describe the habitat/community (composition, function, and basis for designation): _____		
ii. Source(s) of description or evaluation: _____		
iii. Extent of community/habitat:		
• Currently: _____ acres		
• Following completion of project as proposed: _____ acres		
• Gain or loss (indicate + or -): _____ acres		
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes:		
i. Species and listing (endangered or threatened): _____		

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If Yes:		
i. Species and listing: _____		
USFWS: NLEB. The project will disturb <0.1 acres of trees. The Applicant has received a concurrence letter of "No Effect" for the Northern Long Eared Bat.		
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If yes, give a brief description of how the proposed action may affect that use: _____		

E.3. Designated Public Resources On or Near Project Site		
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes, provide county plus district name/number: _____		
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. If Yes: acreage(s) on project site? _____		
ii. Source(s) of soil rating(s): _____		
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes:		
i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature		
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____		

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes:		
i. CEA name: _____		
ii. Basis for designation: _____		
iii. Designating agency and date: _____		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: _____ SHPO consultation is ongoing	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: <u>Eligible property: 2719 Grant Boulevard, Eligible property: Grant Middle School, St. Anthony Convent and Convent School</u> iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Describe possible resource(s): _____ ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
i. Identify resource: <u>Assumption Cemetery, Woodlawn Cemetery & Mausoleums, Onondaga Lakefront</u> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Cemeteries, local lake</u> iii. Distance between project and resource: _____ +/- 0.5 - 1 miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

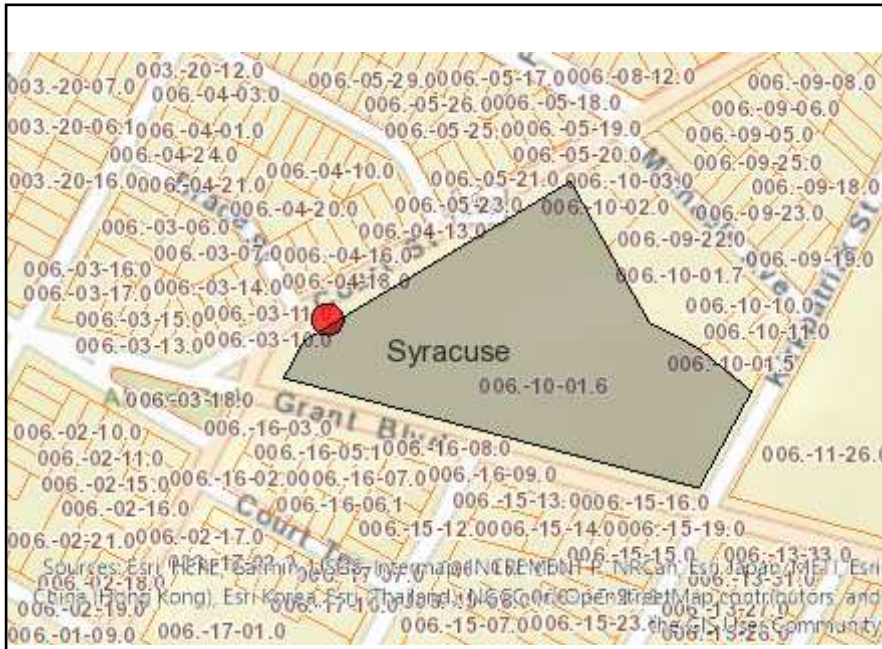
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Adam Driscoll Date 11/28/23

Signature Adam Driscoll Title Owner's rep



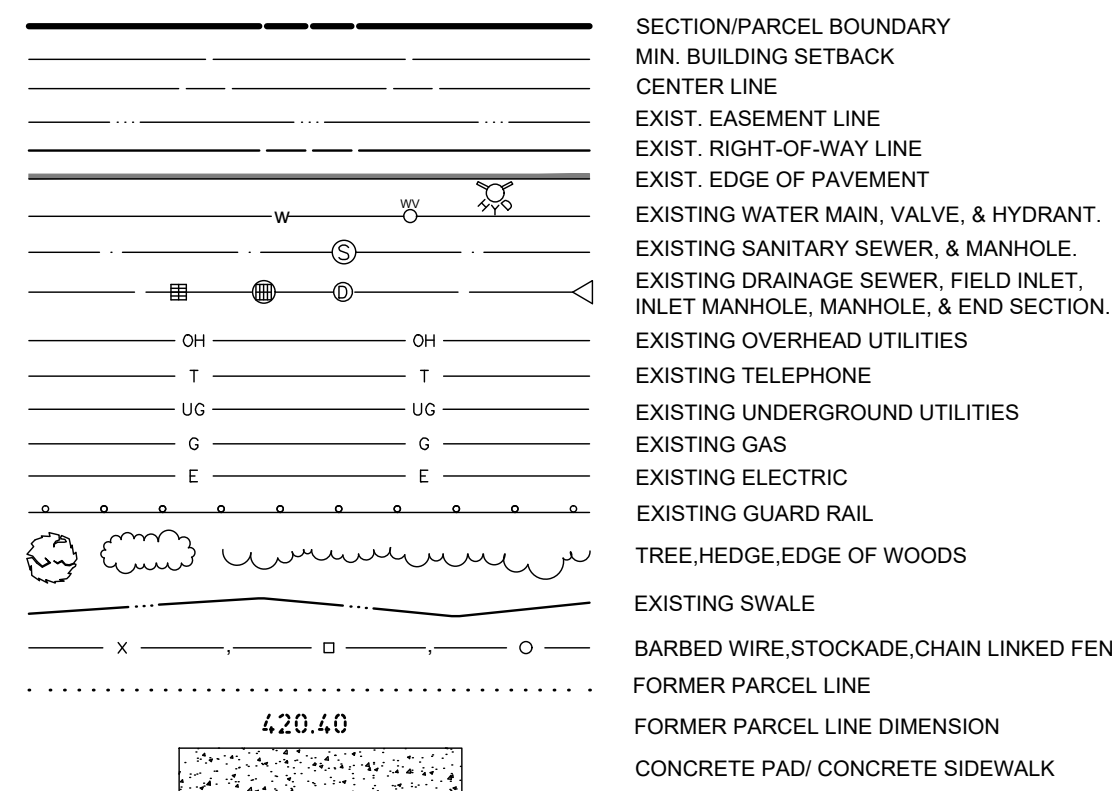
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No

E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:2719 Grant Boulevard, Eligible property:Grant Middle School, St. Anthony Convent and Convent School
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

LINE LEGEND

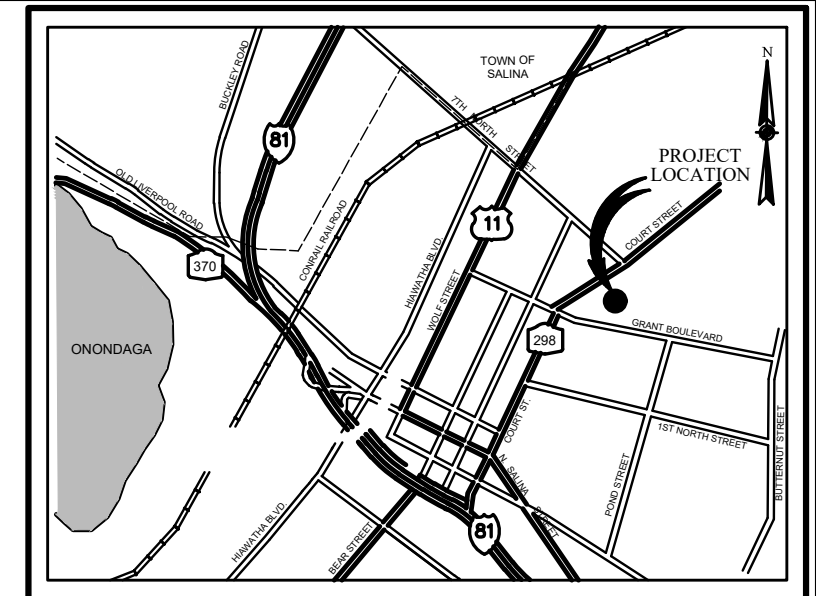


EASEMENT NOTES

PER REF. #2
 12. EASEMENT TO TIME WARNER ENTERTAINMENT FILED IN LIBER 4530 PAGE 230. EASEMENT IS BLANKET AND NATURE FOR AN EASEMENT AND RIGHT-OF-WAY THROUGH ALL THAT TRACT OR PARCEL OF LAND AS IS INDICATED IN LIBER 2501 ON PAGE 1039.

REFERENCES

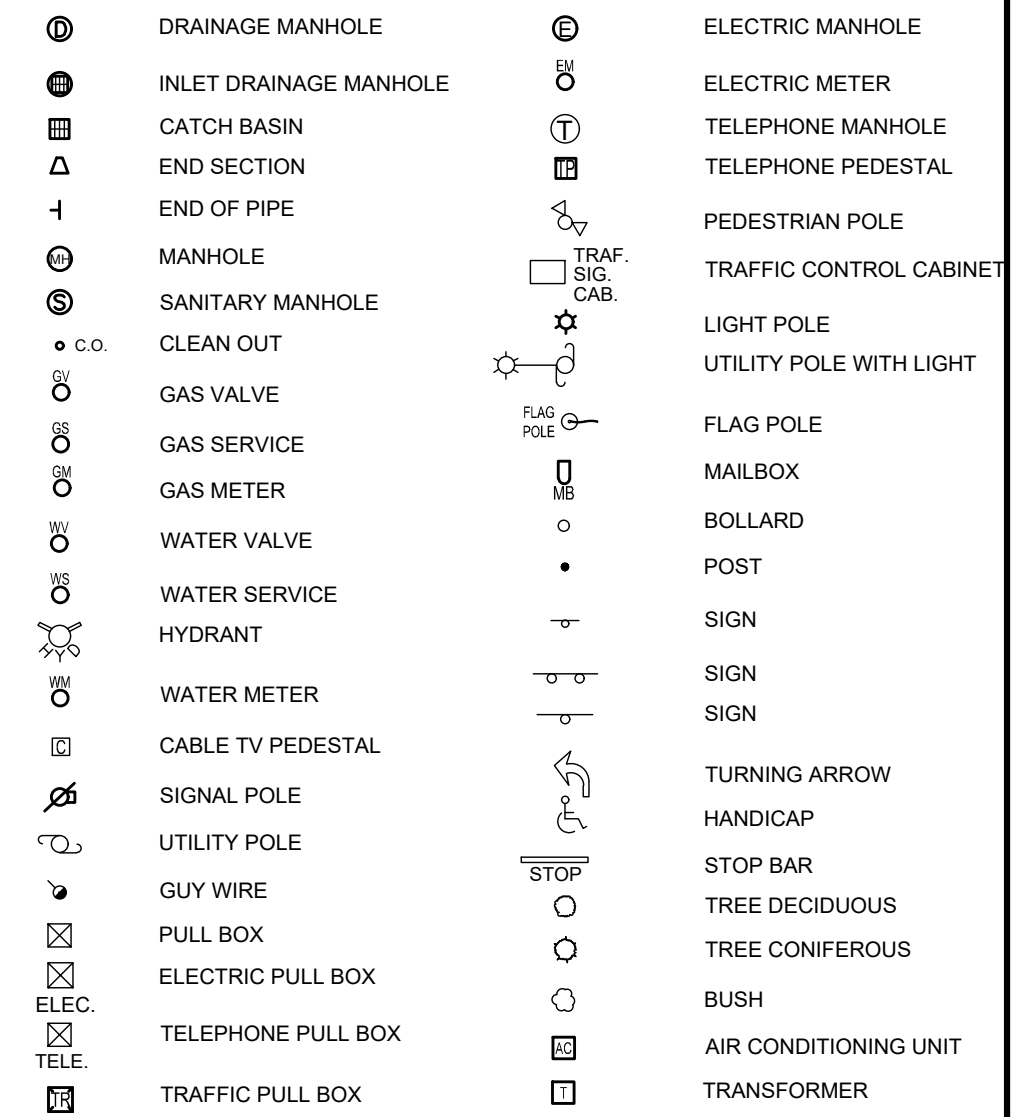
- MAP ENTITLED "SUBDIVISION OF LOT 15C MICHAELS TRACT", PREPARED BY C.T. MALE ASSOCIATES, HAVING PROJECT NO. 12.2594, DATED 2/4/15, AND IS ON FILE AT THE ONONDAGA COUNTY CLERK'S OFFICE AS MAP NO. 12039.
- ABSTRACT BY CHICAGO TITLE INSURANCE COMPANY, ABSTRACT NO. 1517-00029, DATED JULY 8, 2015.
- ABSTRACT BY STEWART TITLE INSURANCE COMPANY, CERTIFICATE NO. 81169013, DATED JULY 28, 2021.



LOCATION SKETCH

NOT TO SCALE

SYMBOL LEGEND



SURVEY NOTES

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 8/29/2022. VERTICAL DATA OBTAINED THROUGH NYSDOT CORRS NETWORK REFERENCED TO THE FOLLOWING MONUMENT
 NORTH SYRACUSE CORRS STATION
 -LATITUDE: 43-07-07.74858 (N)
 -LONGITUDE: 075-08-29.77296 (W)
 -ELLIP HEIGHT: 98.589 METERS NAVD 88 (CORS)
- HORIZONTAL DATA PER REFERENCE NO. 1.

CERTIFICATION

WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO:

THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON SEPTEMBER 16, 2022 AND FROM THE REFERENCE(S) LISTED HEREON. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.

By: *Daniel T. Hickok* Date: 11-27-2023
 Daniel T. Hickok, N.Y.S. L.S., No. 050449

SITE DATA

- EXISTING ZONING: RC - RESIDENTIAL
- BULK REQUIREMENTS:

MIN. LOT AREA (SF)	REQUIRED
MIN. LOT AREA (SF)	N/A
MAX LOT COVERAGE	25%
MIN. LOT WIDTH (FT)	40-50
MAX. BUILDING HEIGHT (FT)	36
MIN. FRONT YARD SETBACK (FT)	30
MIN. SIDE YARD SETBACK (FT)	20
MIN. REAR YARD SETBACK (FT)	20 FT OR 15% OF DEPTH

APPROVALS

BY _____ DATE _____
 CITY PLANNING COMMISSION

BY _____ DATE _____
 COUNTY HEALTH DEPARTMENT

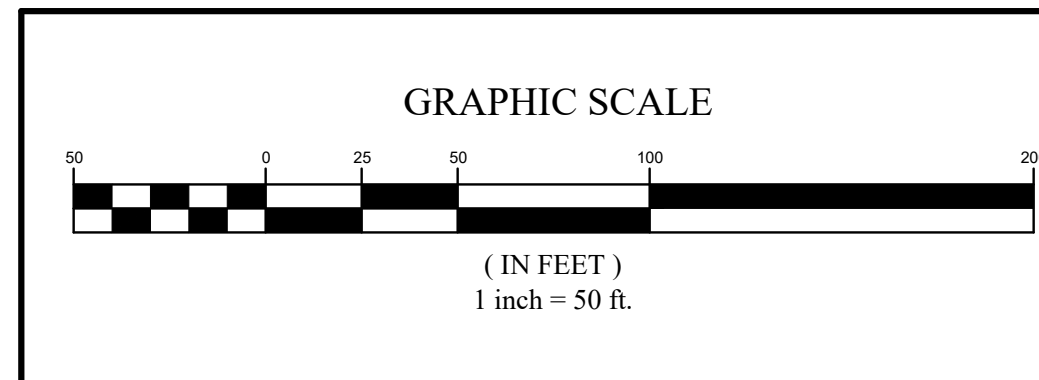
BY _____ DATE _____
 ASSESSMENT OFFICE

BY _____ DATE _____
 FINANCE OFFICE

BY _____ DATE _____
 ENGINEERING OFFICE

FLOOD NOTE:
 By graphic plotting only, this property is in Zone X of the Flood Insurance Rate Map No. 36067C0209F Community Panel No. 360595, City of Syracuse, which bears an effective date of 11/4/2016. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

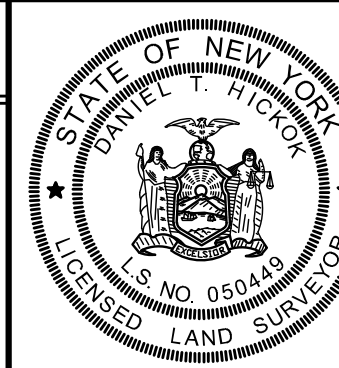
EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLI TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



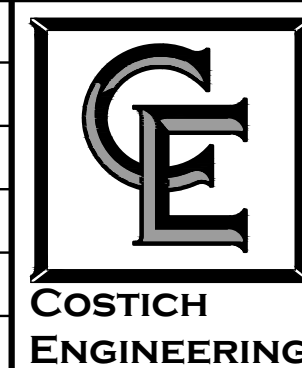
NO.	DATE	REVISION	BY	CHKD.	APVLS.
2	11/27/2023	ADJUST PROPOSED PARCEL LINES	GMS	DTH	
1	11/14/2023	ADJUST PROPOSED PARCEL LINES	GMS	DTH	

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 COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.



PROJECT MANAGER
 D.T.H.
 DRAWN BY
 G.M.S./D.T.H.
 BOUNDARY
 D.T.H.
 TOPOBASE
 G.L.R.
 DATE
 10/09/2023
 SCALE
 1"=50'



CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 458-3020

TITLE OF PROJECT
LOT 15D 1024-1124 COURT STREET, GRANT BOULEVARD & KIRKPATRICK STREET RE-SUBDIVISION MAP
 LOCATION OF PROJECT TAX PARCEL NO. 006-10-01.6
 PART OF BLOCK 101, CITY OF SYRACUSE, COUNTY OF ONONDAGA, STATE OF NEW YORK
 CLIENT LABELLA ASSOCIATES
 300 STATE STREET - SUITE 201
 ROCHESTER, NEW YORK 14614
 DWG # 8740
VS100
 SHEET 1 OF 1



NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 145 Sec.7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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HOME LEASING
75 SOUTH CLINTON AVE, SUITE 700
ROCHESTER, NY 14604

HOME LEASING
DEVELOPMENT | CONSTRUCTION | MANAGEMENT

MARIA REGINA APARTMENTS
2500 GRANT STREET
SYRACUSE, NY 13208

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER: 2212978		
DRAWN BY:		
REVIEWED BY:		
ISSUED FOR: REVIEW		
DATE: AUGUST 2023		
DRAWING NAME:		

SITE PLAN

DRAWING NUMBER:

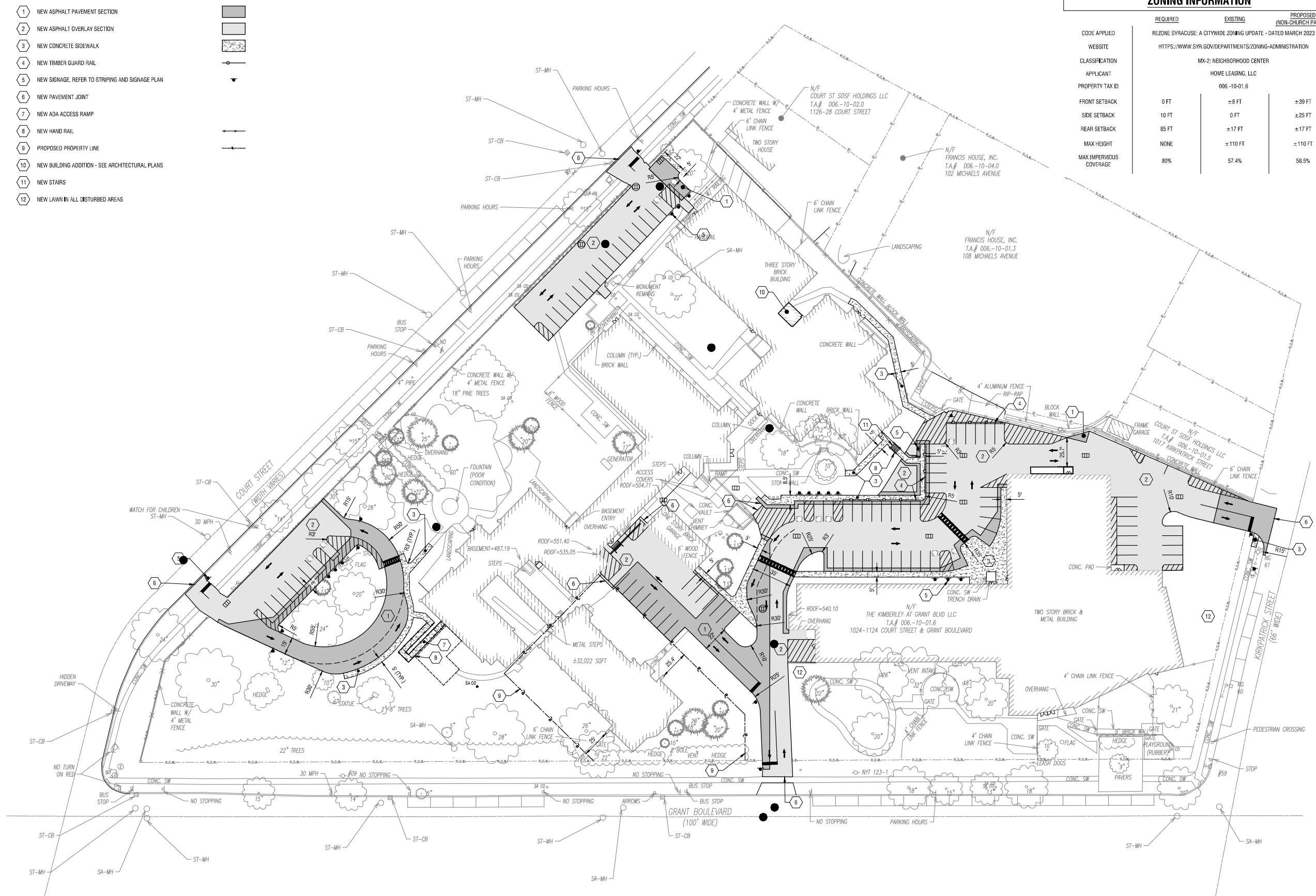
C201

ZONING INFORMATION

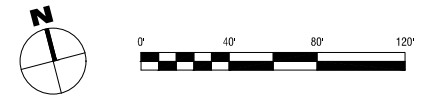
CODE APPLIED	REQUIRED	EXISTING	PROPOSED (NON-CHURCH PARCEL)
	REZONE SYRACUSE: A CITYWIDE ZONING UPDATE - DATED MARCH 2023		
WEBSITE	HTTPS://WWW.SYR.GOV/DEPARTMENTS/ZONING-ADMINISTRATION		
CLASSIFICATION	MX-2: NEIGHBORHOOD CENTER		
APPLICANT	HOME LEASING, LLC		
PROPERTY TAX ID	006-10-01.6		
FRONT SETBACK	0 FT	±8 FT	±39 FT
SIDE SETBACK	10 FT	0 FT	±25 FT
REAR SETBACK	85 FT	±17 FT	±17 FT
MAX HEIGHT	NONE	±110 FT	±110 FT
MAX IMPERVIOUS COVERAGE	80%	57.4%	58.5%

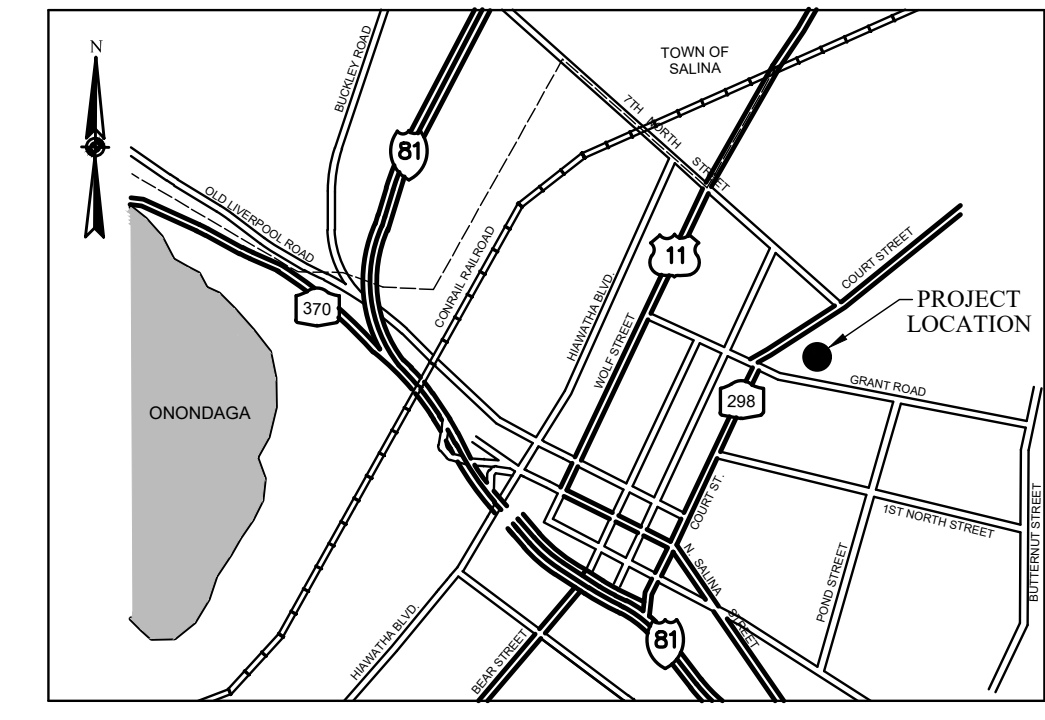
SITE KEY NOTES

- 1 NEW ASPHALT PAVEMENT SECTION
- 2 NEW ASPHALT OVERLAY SECTION
- 3 NEW CONCRETE SIDEWALK
- 4 NEW TIMBER GUARD RAIL
- 5 NEW SIGNAGE, REFER TO STRIPING AND SIGNAGE PLAN
- 6 NEW PAVEMENT JOINT
- 7 NEW ADA ACCESS RAMP
- 8 NEW HAND RAIL
- 9 PROPOSED PROPERTY LINE
- 10 NEW BUILDING ADDITION - SEE ARCHITECTURAL PLANS
- 11 NEW STAIRS
- 12 NEW LAWN IN ALL DISTURBED AREAS

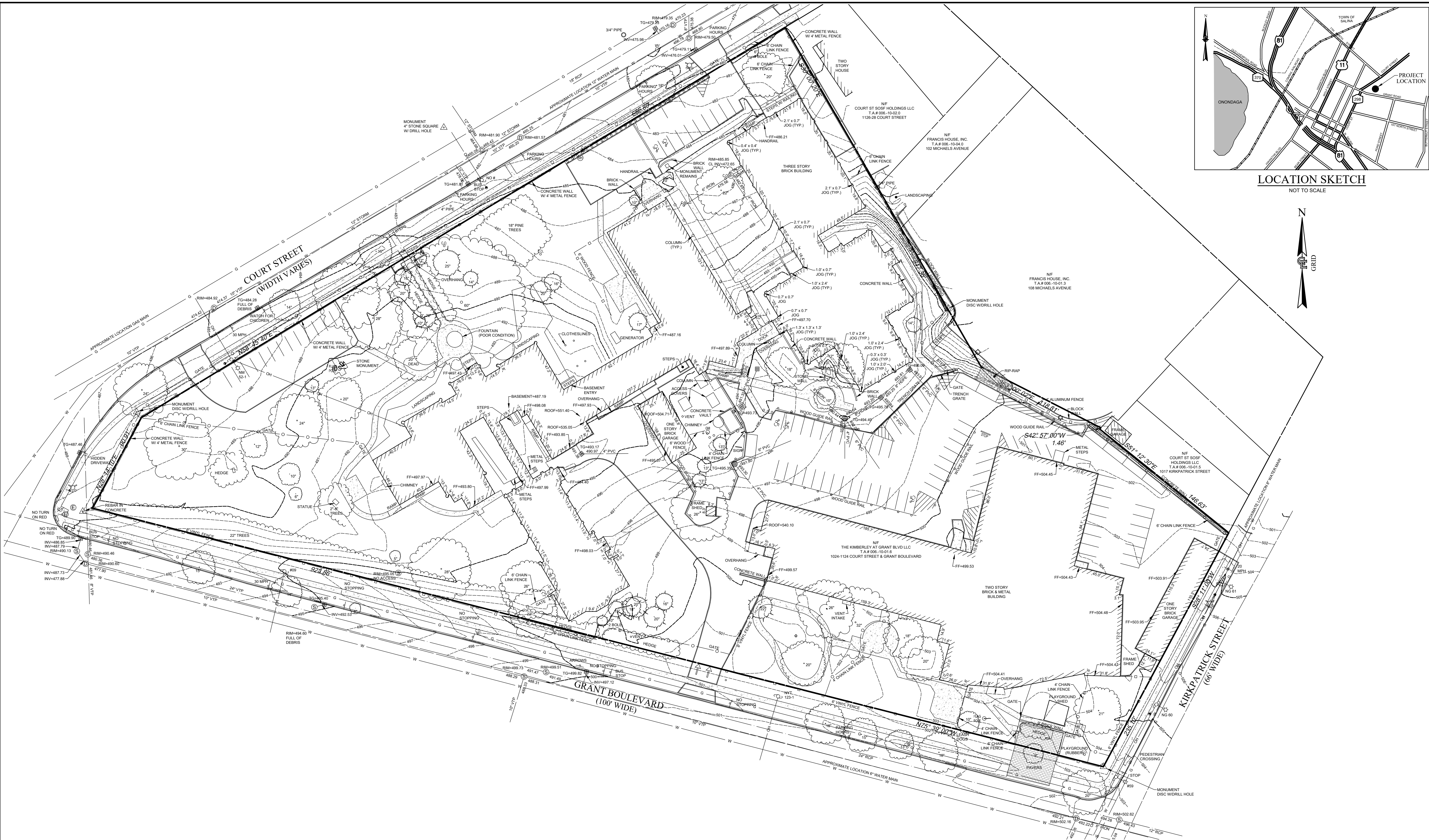
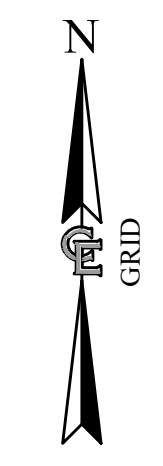


1 SITE PLAN
SCALE: 1" = 40'

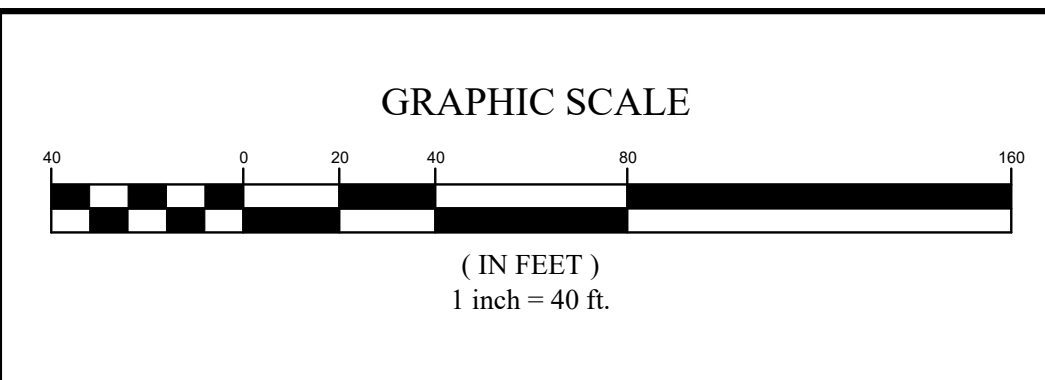




LOCATION SKETCH
NOT TO SCALE



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLI TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

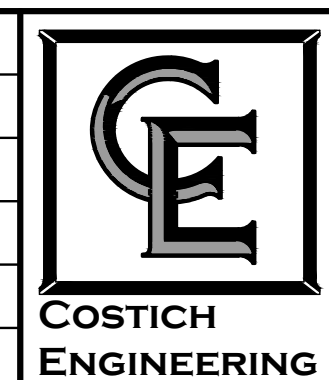


NO.	DATE	REVISION	BY	CHKD.	APVLS.

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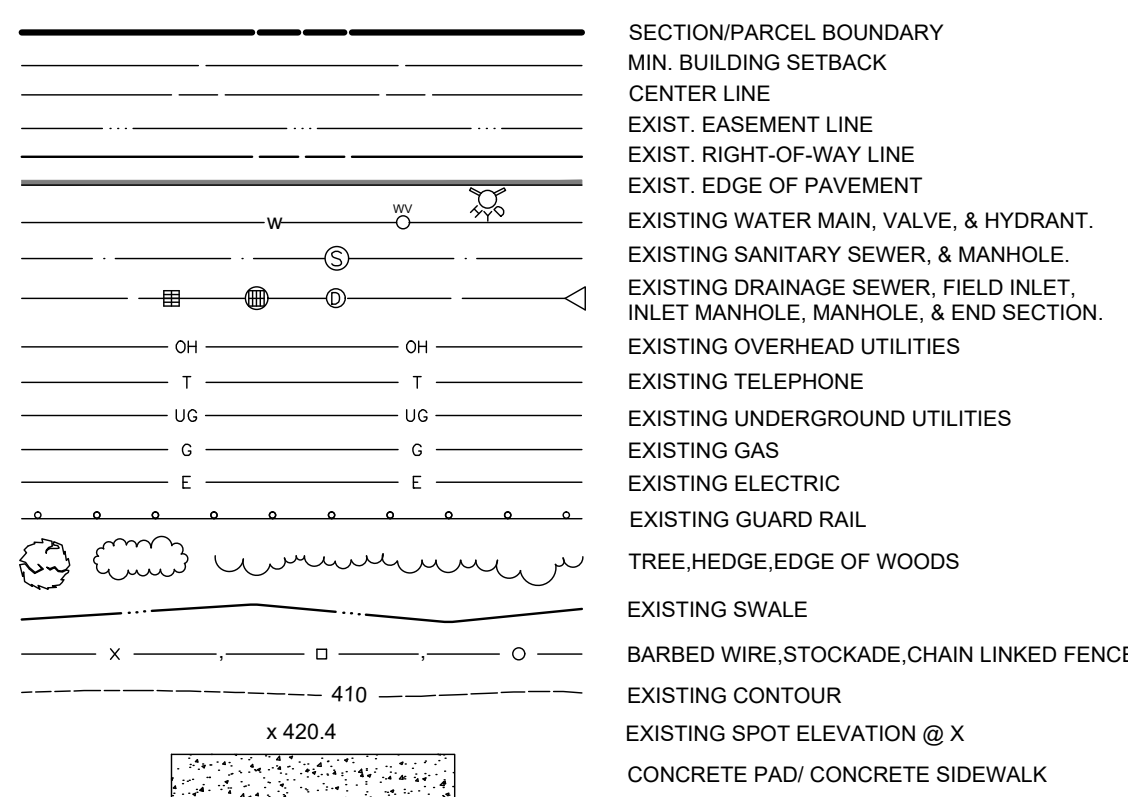
PROJECT MANAGER: D.T.H.
DRAWN BY: G.M.S.
BOUNDARY: D.T.H.
TOPBASE: G.L.R.
DATE: 9/23/2022
SCALE: 1"=40'



- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT: 1024-1124 COURT STREET & GRANT BOULEVARD
TITLE OF DRAWING: ALTA/NSPS LAND TITLE SURVEY
LOCATION OF PROJECT: TAX PARCEL NO. 006-10-01.6
CITY OF SYRACUSE, COUNTY OF ONONDAGA, STATE OF NEW YORK
CLIENT: LABELLA ASSOCIATES
300 STATE STREET - SUITE 201
ROCHESTER, NEW YORK 14614
DWG. # 8740
VT100
SHEET 1 OF 2

LINE LEGEND



SYMBOL LEGEND

⊕	DRAINAGE MANHOLE	⊕	ELECTRIC MANHOLE
⊕	INLET DRAINAGE MANHOLE	⊕	ELECTRIC METER
⊕	CATCH BASIN	⊕	TELEPHONE MANHOLE
⊕	END SECTION	⊕	TELEPHONE PEDESTAL
⊕	END OF PIPE	⊕	PEDESTRIAN POLE
⊕	MANHOLE	⊕	TRAFFIC CONTROL CABINET
⊕	SANITARY MANHOLE	⊕	LAMP POST
⊕	CLEAN OUT	⊕	LIGHT POLE
⊕	GAS VALVE	⊕	UTILITY POLE WITH LIGHT
⊕	GAS SERVICE	⊕	FLAG POLE
⊕	GAS METER	⊕	MAILBOX
⊕	WATER VALVE	⊕	BOLLARD
⊕	WATER SERVICE	⊕	POST
⊕	HYDRANT	⊕	SIGN
⊕	WATER METER	⊕	SIGN
⊕	CABLE TV PEDESTAL	⊕	SIGN
⊕	SIGNAL POLE	⊕	TURNING ARROW
⊕	UTILITY POLE	⊕	HANDICAP
⊕	GUY WIRE	⊕	STOP BAR
⊕	PULL BOX	⊕	TREE DECIDUOUS
⊕	ELECTRIC PULL BOX	⊕	TREE CONIFEROUS
⊕	TELEPHONE PULL BOX	⊕	BUSH
⊕	TRAFFIC PULL BOX	⊕	AIR CONDITIONING UNIT
⊕	TRANSFORMER		

REFERENCES

- MAP ENTITLED "SUBDIVISION OF LOT 15C MICHAELS TRACT", PREPARED BY C.T. MALE ASSOCIATES, HAVING PROJECT NO. 12.2594, DATED 2/4/15, AND IS ON FILE AT THE ONONDAGA COUNTY CLERK'S OFFICE AS MAP NO. 12039.
- ABSTRACT BY CHICAGO TITLE INSURANCE COMPANY, ABSTRACT NO. 1517-00029, DATED JULY 8, 2015.
- ABSTRACT BY STEWART TITLE INSURANCE COMPANY, CERTIFICATE NO. 81169013, DATED JULY 28, 2021.

FLOOD NOTE:
By graphic plotting only, this property is in Zone X of the Flood Insurance Rate Map No. 36067C0209F, Community Panel No. 360595, City of Syracuse, which bears an effective date of 11/4/2016. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

PARCEL DESCRIPTION

PER ABSTRACT

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE CITY OF SYRACUSE, COUNTY OF ONONDAGA, AND STATE OF NEW YORK, BEING PART OF LOT 15C OF THE MICHAELS TRACT AS SHOWN ON A RE-SUBDIVISION PLAN FILED ON DECEMBER 2, 1998 AS MAP #8717 IN THE ONONDAGA CLERK'S OFFICE, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTHERLY MARGIN OF GRANT BOULEVARD WITH THE NORTHWESTERLY MARGIN OF KIRKPATRICK STREET, THENCE NORTH 75 DEG. 39 MIN. 00 SEC. WEST, ALONG THE NORTHERLY MARGIN OF GRANT BOULEVARD, 923.86 FEET TO ITS INTERSECTION WITH THE SOUTHEASTERLY MARGIN OF COURT STREET, THENCE ALONG THE SOUTHEASTERLY MARGIN OF COURT STREET THE FOLLOWING TWO (2) COURSES AND DISTANCES:

(1) NORTH 28 DEG. 14 MIN. 10 SEC. EAST 90.91 FEET TO A POINT; AND
(2) NORTH 58 DEG. 45 MIN. 40 SEC. EAST 668.89 FEET TO ITS INTERSECTION WITH THE DIVISION LINE BETWEEN THE LANDS NOW OR FORMERLY OF SISTERS OF THE THIRD FRANCISCAN ORDER (REPUTED OWNER) ON THE SOUTHWEST AND OTHER LANDS NOW OR FORMERLY OF SISTERS OF THE THIRD FRANCISCAN ORDER AS DESCRIBED IN BOOK 3438 OF DEEDS AT PAGE 179. THE LANDS NOW OR FORMERLY OF CAROL A. FERLAND, ET. AL. AS DESCRIBED IN BOOK 3907 OF DEEDS AT PAGE 24, AND THE LANDS NOW OR FORMERLY OF FRANCIS HOUSE INC. AS DESCRIBED IN BOOK 4772 OF DEEDS AT PAGE 535 IN PART BY EACH ON THE NORTH EAST;

THENCE ALONG THE LAST DESCRIBED DIVISION LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES:

(1) SOUTH 30 DEG. 00 MIN. 02 SEC. EAST 347.38 FEET TO A POINT; AND
(2) SOUTH 63 DEG. 00 MIN. 02 SEC. EAST 118.81 FEET TO ITS INTERSECTION WITH THE DIVISION LINE BETWEEN THE SAID LANDS OF SISTERS OF THE THIRD FRANCISCAN ORDER (REPUTED OWNER) GENERALLY ON THE SOUTHWEST AND OTHER LANDS NOW OR FORMERLY OF SISTERS OF THE THIRD FRANCISCAN ORDER AS DESCRIBED IN BOOK 3203 OF DEEDS AT PAGE 334 GENERALLY ON THE NORTHEAST;

THENCE ALONG THE LAST DESCRIBED DIVISION LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES:

(1) SOUTH 42 DEG. 57 MIN. 00 SEC. WEST 1.46 FEET TO A POINT; AND
(2) SOUTH 51 DEG. 12 MIN. 30 SEC. EAST 12 MIN. 30 SEC. EAST 146.83 FEET TO ITS INTERSECTION WITH THE NORTHWESTERLY MARGIN OF KIRKPATRICK STREET;

THENCE SOUTH 28 DEG. 11 MIN. 00 SEC. WEST, ALONG THE NORTHWESTERLY MARGIN OF KIRKPATRICK STREET 235.10 FEET TO THE POINT OR PLACE OF BEGINNING CONTAINING APPROXIMATELY 7.422 ACRES OF LAND.

BEING "NEW LOT 15D" AS SHOWN ON A MAP ENTITLED "SUBDIVISION OF LOT 15C MICHAELS TRACT INTO NEW LOT 15D #1024-1124 COURT ST., GRANT BLVD., KIRKPATRICK ST., NEW LOT 15E #1017 KIRKPATRICK ST." PREPARED BY C.T. MALE ASSOCIATES DATED FEBRUARY 4, 2015 AND REVISED ON FEBRUARY 19, 2015 AND FILED IN THE ONONDAGA COUNTY CLERK'S OFFICE ON JULY 2, 2015 AS MAP NO. 12039.

SITE DATA

1. EXISTING ZONING: RC - RESIDENTIAL	
2. BULK REQUIREMENTS:	REQUIRED
MIN. LOT AREA (SF)	N/A
MAX LOT COVERAGE	25%
MIN. LOT WIDTH (FT)	40-50
MAX. BUILDING HEIGHT (FT)	36
MIN. FRONT YARD SETBACK (FT)	30
MIN. SIDE YARD SETBACK (FT)	20
MIN. REAR YARD SETBACK (FT)	20 FT OR 15% OF DEPTH

EASEMENT NOTES

PER REF. #2

12. EASEMENT TO TIME WARNER ENTERTAINMENT FILED IN LIBER 4530 PAGE 230. EASEMENT IS BLANKET AND NATURE FOR AN EASEMENT AND RIGHT-OF-WAY THROUGH ALL THAT TRACT OR PARCEL OF LAND AS IS INDICATED IN LIBER 2501 ON PAGE 1039.

GENERAL NOTES

- AT THE TIME OF SURVEY THERE WAS NO EVIDENCE OF EARTHWORK, BUILDING CONSTRUCTION OR ADDITIONS.
 - AT THE TIME OF SURVEY THERE WAS NO SIDEWALK CONSTRUCTION OR EVIDENCE OF STREET WIDENING.
 - AT THE TIME OF SURVEY THERE WAS NO EVIDENCE THAT THE SITE IS OR WAS USED AS A SOLID WASTE DUMP OR SANITARY LANDFILL.
 - AT THE TIME OF SURVEY THERE WAS NO EVIDENCE OF CEMETERIES OR GRAVE SITES ON THE SUBJECT PROPERTY.
 - PER N.Y.S.D.E.C. FRESHWATER WETLANDS MAP THERE ARE NO D.E.C. WETLANDS IN THE PROJECT AREA.
 - PER NATIONAL WETLANDS INVENTORY MAP THERE ARE NO FEDERAL WETLANDS IN THE PROJECT AREA.
 - THE SUBJECT PROPERTY HAS HAS DIRECT ACCESS TO COURT STREET, GRANT BOULEVARD AND KIRKPATRICK STREET, ALL PUBLIC DEDICATED RIGHT-OF-WAYS.
- THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN THE ABSTRACT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED 7/8/2015, HAVING ABSTRACT NO. 1517-00029. EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID ABSTRACT OR APPARENT FROM PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY. THE LEGAL DESCRIPTION FORMS A MATHEMATICALLY CLOSED FIGURE.

UTILITY INFORMATION

UTILITY INFORMATION PER UFPO DESIGN TICKET # 09022-000-204-00 DATED SEPTEMBER 2, 2022

1. CITY OF SYRACUSE WTR	315-448-8346	UTILITIES PLOTTED
2. GAS SECURE INTEGRATION LLC	518-362-6060	NO CONFLICT
3. NATIONAL GRID / CENTRAL / ELECTRIC	315-428-6319	NO CONFLICT
4. NATIONAL GRID / CENTRAL / GAS	315-428-5284	UTILITIES PLOTTED
5. ONONDAGA COUNTY WATER AUTHORITY	315-455-7061 X3122	UTILITIES PLOTTED
6. VERIZON SYRACUSE	315-937-2515	NO CONFLICT

SURVEY NOTES

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 8/29/2022 VERTICAL DATA OBTAINED THROUGH NYS DOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT
- NORTH SYRACUSE CORS STATION
-LATITUDE: 43-07-07.74858 (N) NAD 83 (CORS)
-LONGITUDE: 076-08-29.77296 (W)
-ELLIP HEIGHT: 98.589 METERS NAVD 88 (CORS)
- HORIZONTAL DATA PER REFERENCE NO. 1.

CERTIFICATION

WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO:

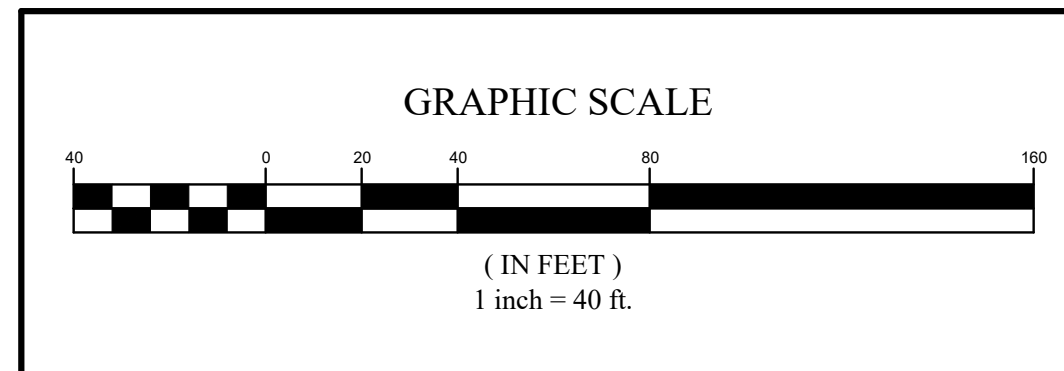
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6a, 7a, 8, 9, 11a, 13, 14, 16, 17, AND 18 OF TABLE A HEREOF.

THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON SEPTEMBER 16, 2022 AND FROM THE REFERENCE(S) LISTED HEREON. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.

By: *Daniel T. Hickok* Date: 11/21/2022
Daniel T. Hickok, N.Y.S. L.S. No. 050449



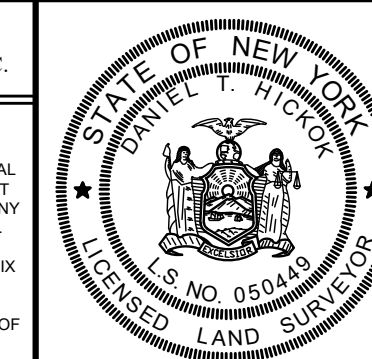
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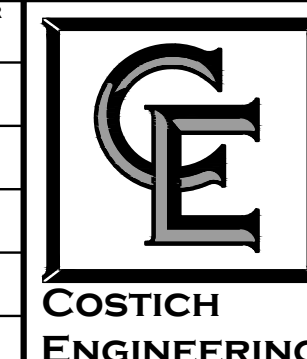
NO.	DATE	REVISION	BY	CHKD.	APVLS.

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PROJECT MANAGER	D.T.H.
DRAWN BY	G.M.S.
BOUNDARY	D.T.H.
TOPOBASE	G.L.R.
DATE	9/23/2022
SCALE	1"=40'



• CIVIL ENGINEERING
• LAND SURVEYING
• LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT	1024-1124 COURT STREET & GRANT BOULEVARD		
TITLE OF DRAWING	ALTA/NSPS LAND TITLE SURVEY		
LOCATION OF PROJECT	TAX PARCEL NO.	006-10-01.6	PART OF BLOCK 101,
CITY OF SYRACUSE, COUNTY OF ONONDAGA, STATE OF NEW YORK	CITY OF SYRACUSE, COUNTY OF ONONDAGA, STATE OF NEW YORK		
CLIENT	LABELLA ASSOCIATES	300 STATE STREET - SUITE 201 ROCHESTER, NEW YORK 14614	DWG # 8740 VT100 SHEET 2 OF 2

NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 145 Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

ZONING INFORMATION

CODE APPLIED: REZONE SYRACUSE A CITYWIDE ZONING UPDATE, ZONING ORDINANCE MARCH 2023
 WEBSITE: [HTTPS://WWW.SYR.GOV/FILES/SHAREDASSETS/PUBLIC/V1/2-DEPARTMENTS/PLANNING/DOCUMENTS/REZONE-SYRACUSE-ORDINANCE_MARCH-2023.PDF](https://www.syr.gov/files/sharedassets/public/v1/2-departments/planning/documents/rezone-syracuse-ordinance_march-2023.pdf)
 CLASSIFICATION: MX-2 NEIGHBORHOOD CENTER

SETBACKS/COVERAGE

	REQUIRED	EXISTING	PROPOSED
PARCEL B - FRONT	0	7.7'	24.5'
PARCEL B - SIDE	10'	17.3'	17.3'
PARCEL B - REAR	78.2'	N/A	0
PARCEL A - FRONT	0	N/A	7.7'
PARCEL A - SIDE	10'	N/A	20'
PARCEL A - REAR	30.7'	N/A	0
PARCEL B - LOT COVERAGE	80% MAX	55.7%	55.8%
PARCEL A - LOT COVERAGE	80% MAX	N/A	42.5%

- NOTE:
- REAR SETBACK REQUIREMENTS ARE BASED ON PROPOSED CONDITIONS WITH SETBACK BEING 15% OF LARGEST LOT DEPTH OR 20', WHATEVER IS GREATER
 - EXISTING CONDITIONS ASSUMES NO REAR SETBACK, FRONT SETBACKS FROM COURT STREET, GRANT BOULEVARD, AND KIRKPATRICK STREET.
 - EXISTING CONDITIONS ARE BASED ON NON-SUBDIVIDED PARCEL



NO.	DATE	DESCRIPTION

PROJECT NUMBER: _____

DRAWN BY: _____

REVIEWED BY: _____

ISSUED FOR: _____

DATE: _____

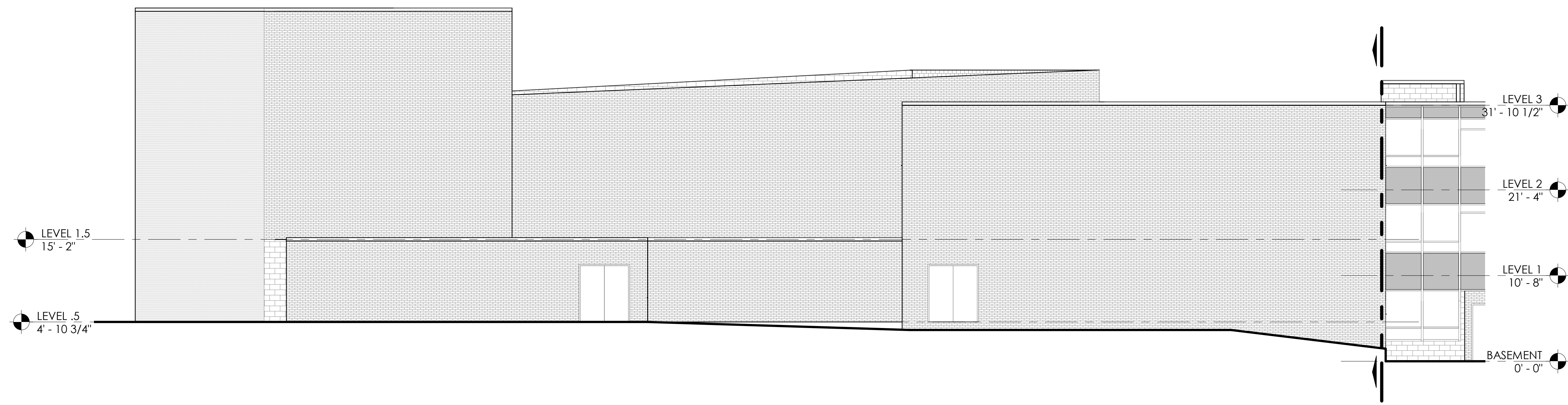
DRAWING NAME: _____

**RENDERED
SUBDIVISION
PLAN**

DRAWING NUMBER: _____

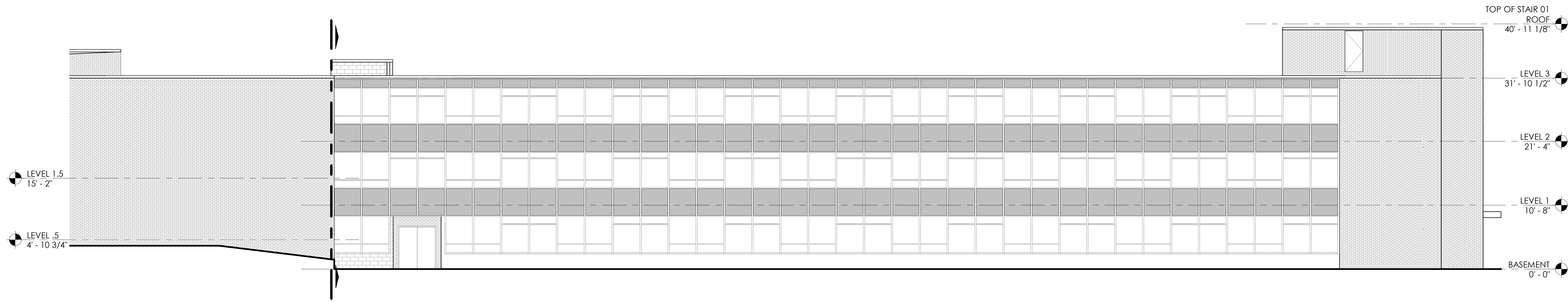
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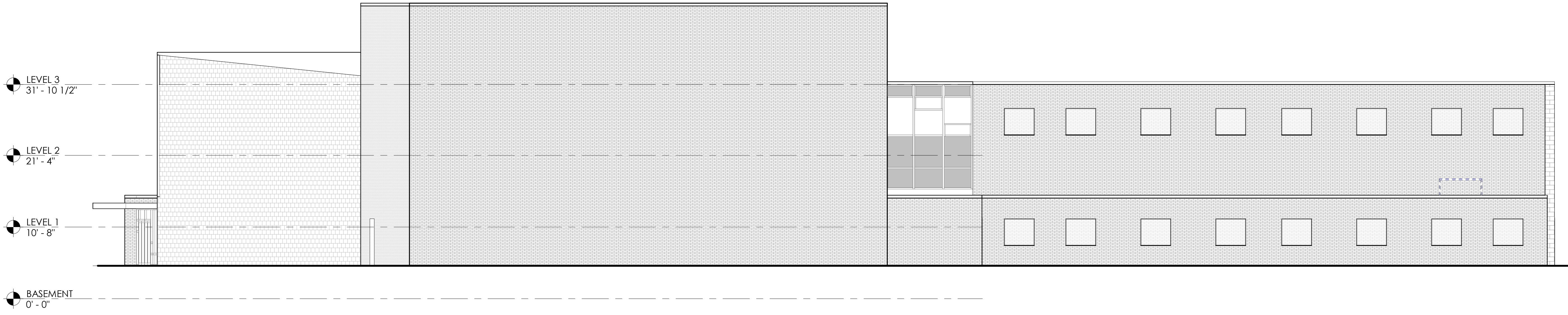
1 NORTH ELEVATION - EAST WING

A101 A200 1/8" = 1'-0"



2 NORTH ELEVATION - ACADEMIC WING

A101 A200 1/8" = 1'-0"



3 EAST ELEVATION

A101 A200 1/8" = 1'-0"

NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

PRELIMINARY NOT FOR CONSTRUCTION

REVISED:

PRELIMINARY NOT FOR CONSTRUCTION

CONSULTANT:

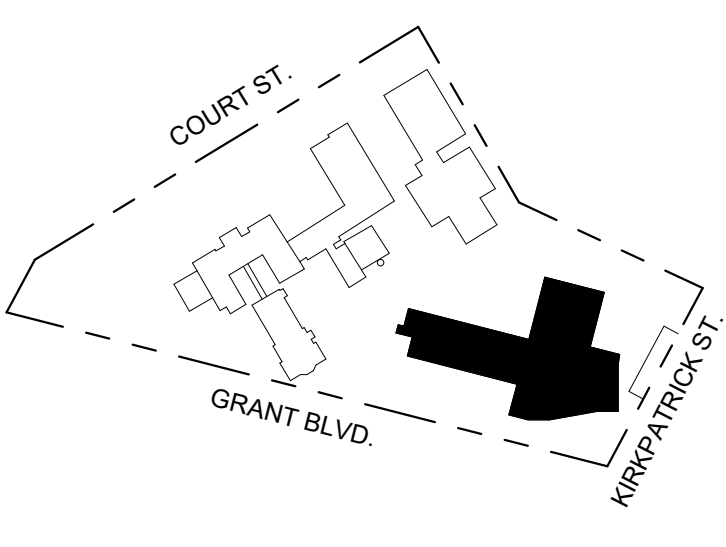
ARCHITECTTEAM
 614 James St. Suite 200
 Syracuse, NY 13203
 p 315.474.1007
 www.architectteam.com

PROJECT NAME:

**HOME LEASING
 MARIA REGINA GARDENS**

2500 GRANT BOULEVARD
 SYRACUSE, NY 13208

SITE KEY PLAN:



DRAWING:

**FRANCISCAN ACADEMY
 BUILDING ELEVATIONS**

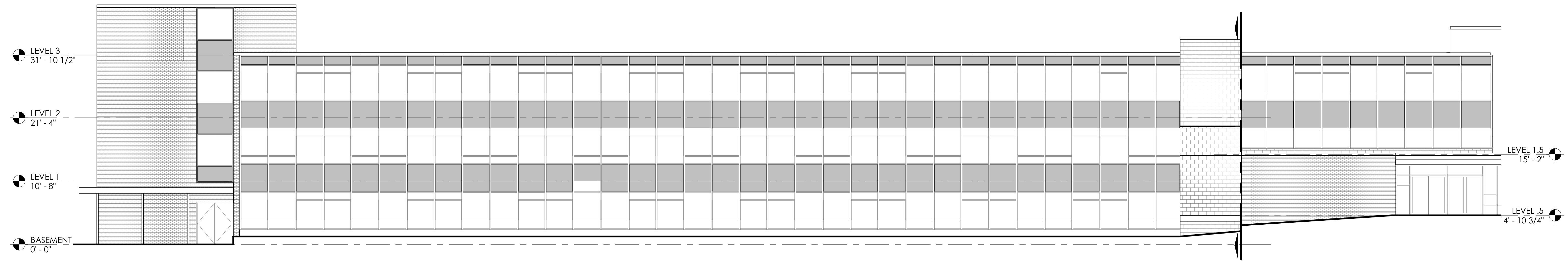
PROJECT NO.
 2021-13
 HL JOB #

SHEET NO.

SCALE:
 1/8" = 1'-0"

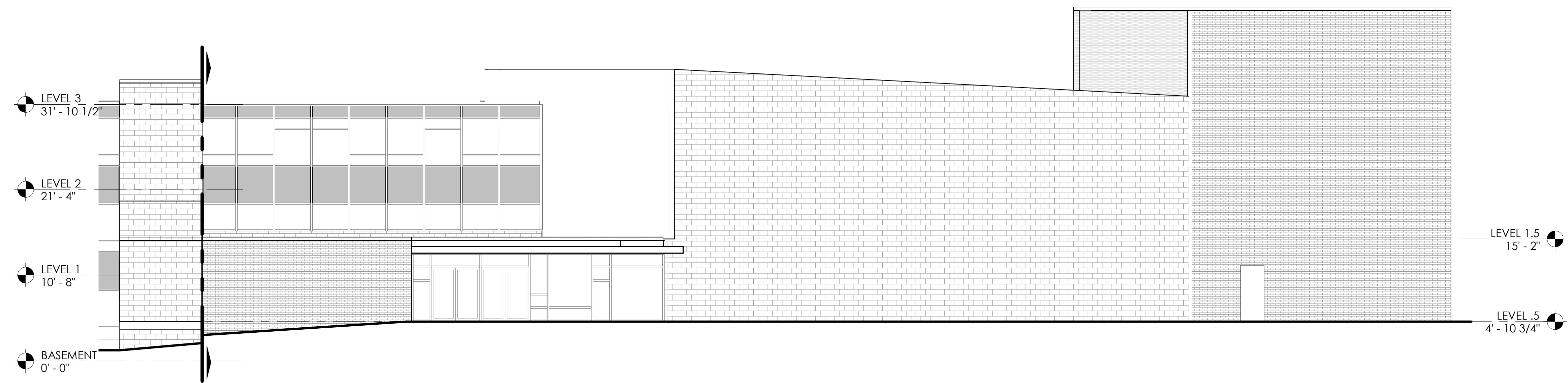
A200

DATE:
 JUNE 19, 2023



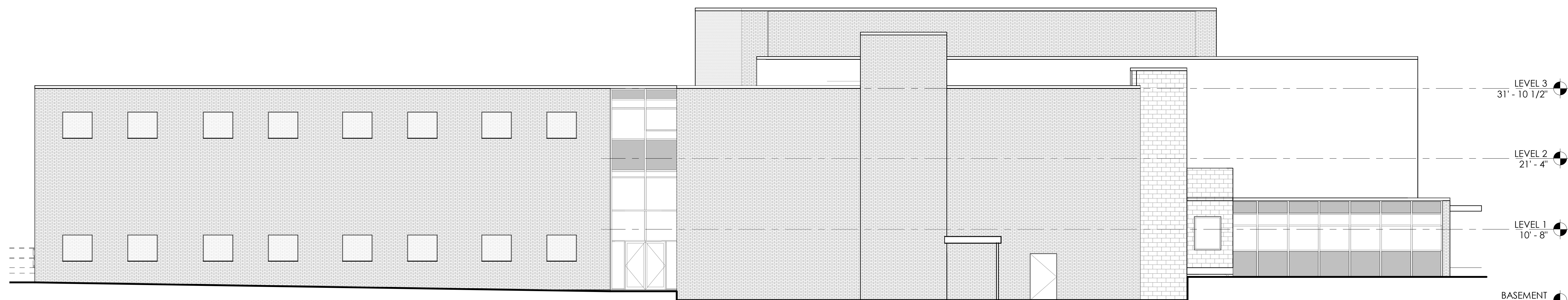
1 SOUTH ELEVATION - ACADEMIC WING

A101 A201 1/8" = 1'-0"



2 SOUTH ELEVATION - EAST WING

A101 A201 1/8" = 1'-0"



3 WEST ELEVATION

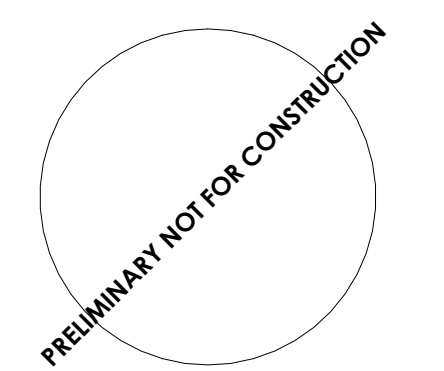
A101 A201 1/8" = 1'-0"

NOTES:
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

PRELIMINARY NOT FOR CONSTRUCTION

REVISED:

STAMP:



CONSULTANT:

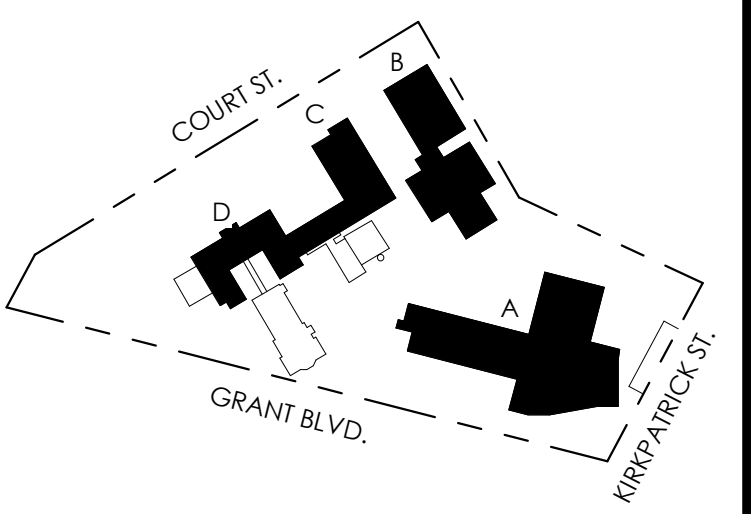
ARCHITECTTEAM
614 James St. Suite 200
Syracuse, NY 13203
p 315.474.1007
www.architectteam.com

PROJECT NAME:

**HOME LEASING
MARIA REGINA GARDENS**

2500 GRANT BOULEVARD
SYRACUSE, NY 13208

SITE KEY PLAN:



BUILDING: A

DRAWING:

**FRANCISCAN ACADEMY
BUILDING ELEVATIONS**

PROJECT NO. 2021-13
HL JOB #

SCALE: 1/8" = 1'-0"

DATE: JUNE 19, 2023

SHEET NO.
**A
A201**

NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

PRELIMINARY NOT FOR CONSTRUCTION

REVISED:

PRELIMINARY NOT FOR CONSTRUCTION

CONSULTANT:

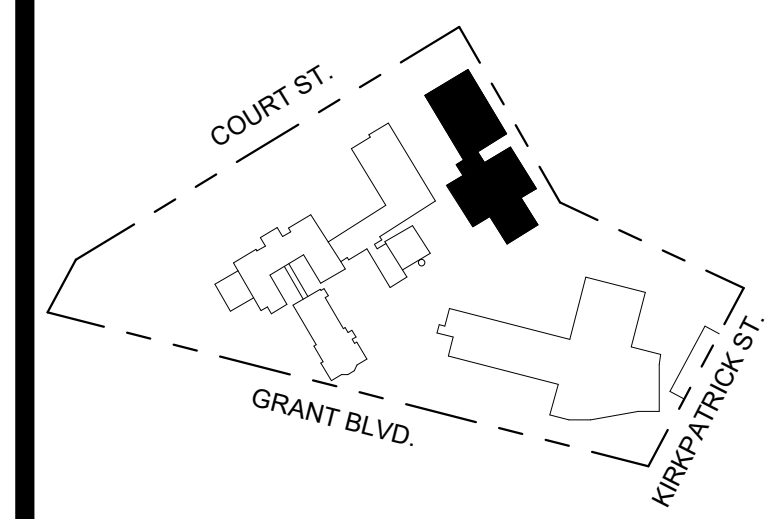
ARCHITECTTEAM
 614 James St. Suite 200
 Syracuse, NY 13203
 p 315.474.1007
 www.architectteam.com

PROJECT NAME:

COLLEGE & LIBRARY GINGERBREAD CAMPUS

2500 GRANT BLVD
 SYRACUSE, NY 13208

SITE KEY PLAN:



DRAWING:
CONVENT SCHOOL AND LIBRARY ELEVATIONS

PROJECT NO.
GBC

SHEET NO.

SCALE:
 1/8" = 1'-0"

A220

DATE:
 DEC 23, 2022



4 SOUTH ELEVATION
 A130 A220 1/8" = 1'-0"



1 EAST ELEVATION
 A121 A220 1/8" = 1'-0"

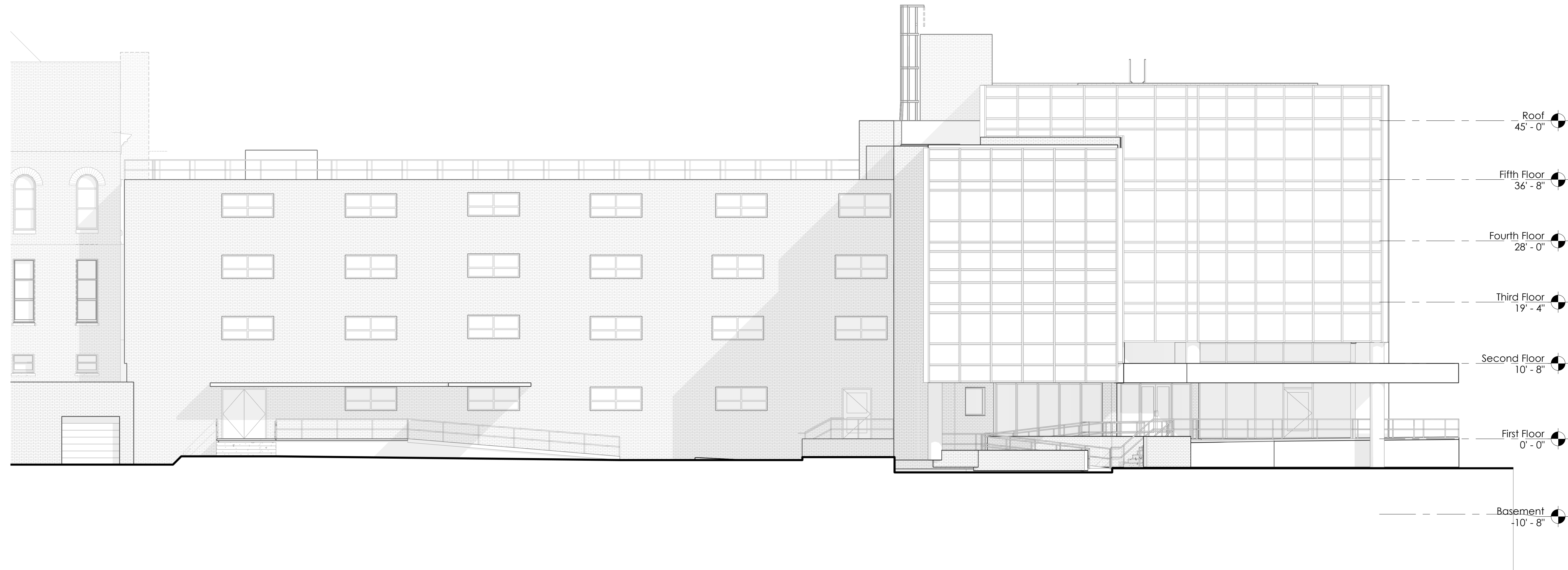


2 WEST ELEVATION
 A120 A220 1/8" = 1'-0"

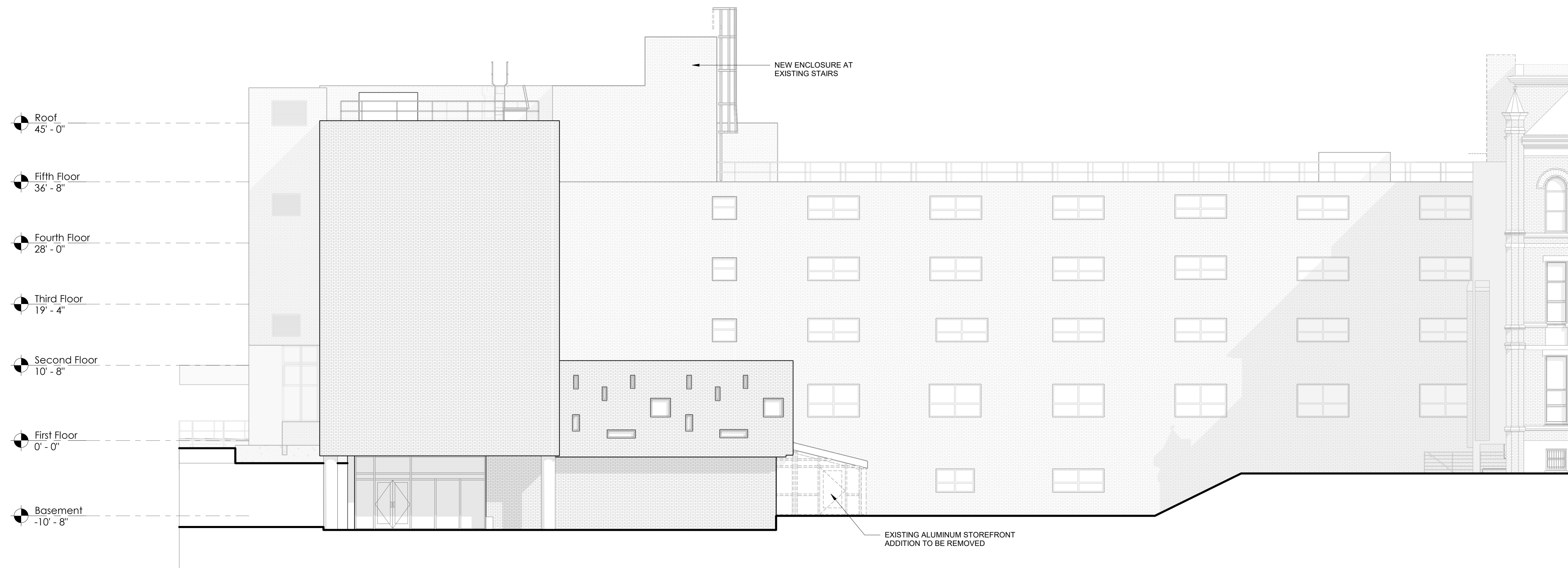


3 NORTH ELEVATION
 A130 A220 1/8" = 1'-0"

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1 North Elevation
A222 1/8" = 1'-0"

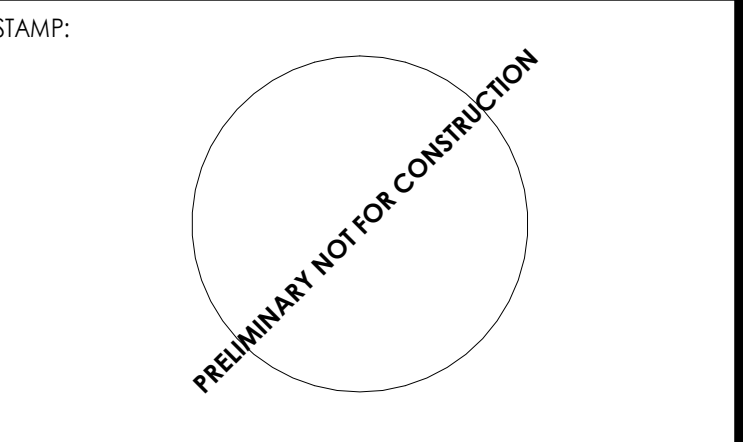


2 South Elevation
A222 1/8" = 1'-0"

NOTES:
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

PRELIMINARY NOT FOR CONSTRUCTION

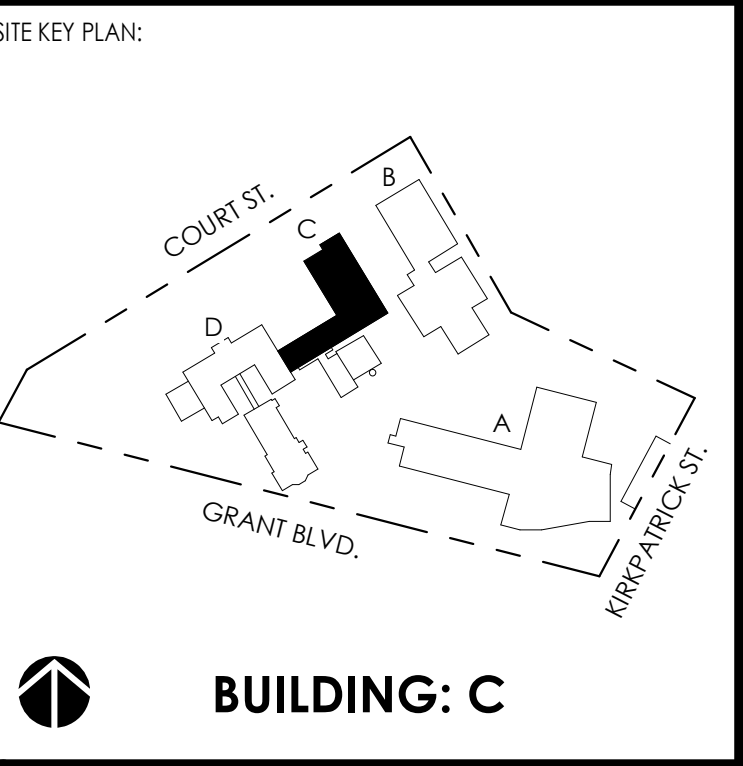
REVISED:



CONSULTANT:

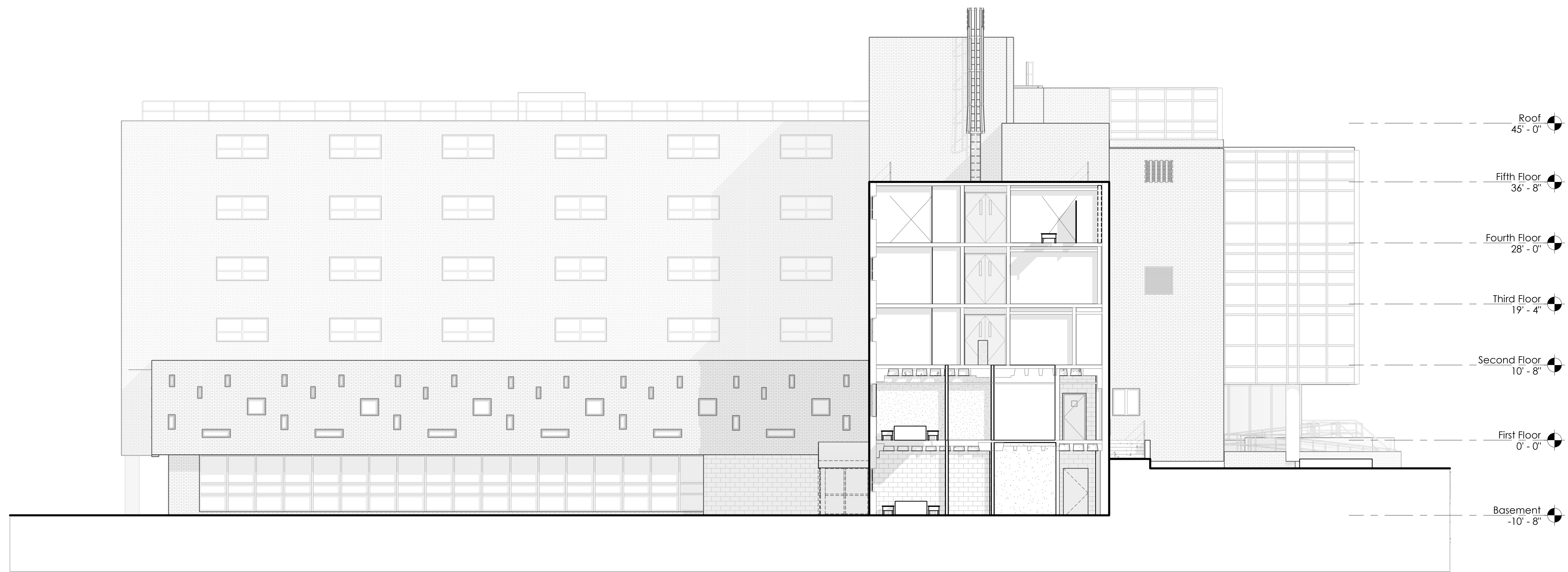
ARCHITECTTEAM
614 James St. Suite 200
Syracuse, NY 13203
p 315.474.1007
www.architecteam.com

PROJECT NAME:
HOME LEASING MARIA REGINA GARDENS
2500 GRANT BOULEVARD
SYRACUSE, NY 13208



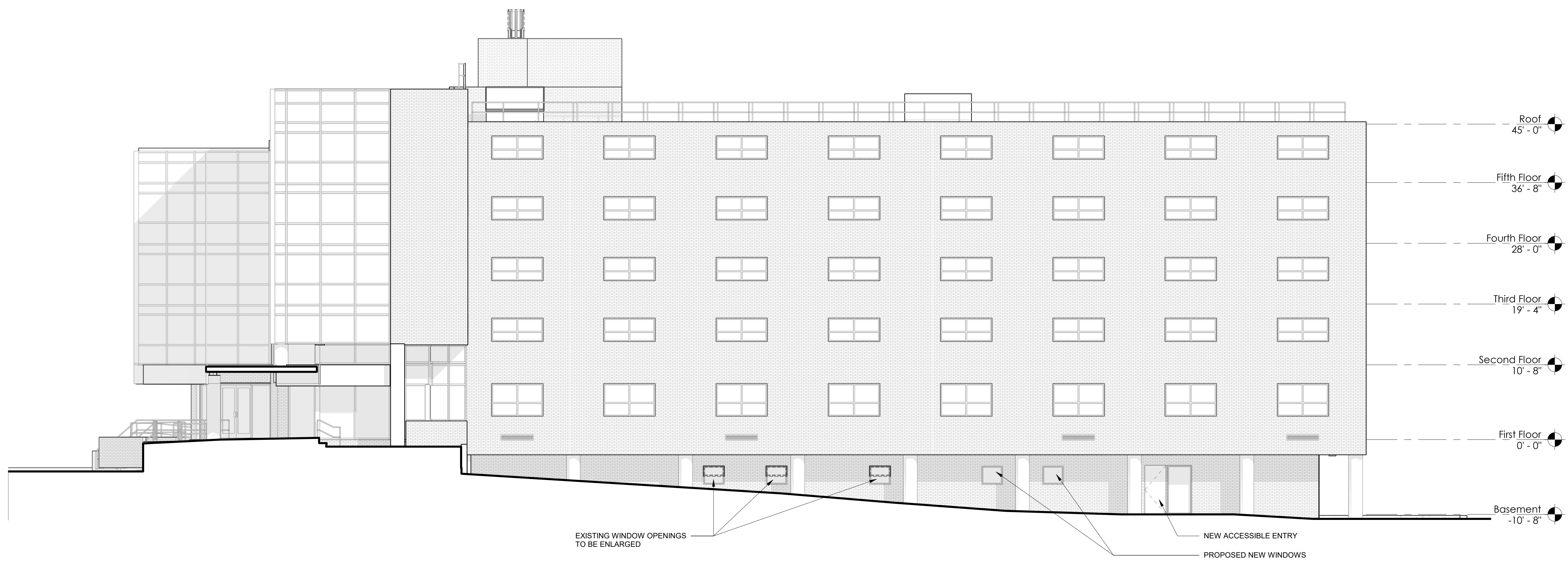
DRAWING:
SISTERS WING NORTH AND SOUTH ELEVATIONS

PROJECT NO. 2021-13 HL JOB #	SHEET NO. C A222
SCALE: 1/8" = 1'-0"	
DATE: AUGUST 30, 2023	



2 East Elevation

A223 1/8" = 1'-0"



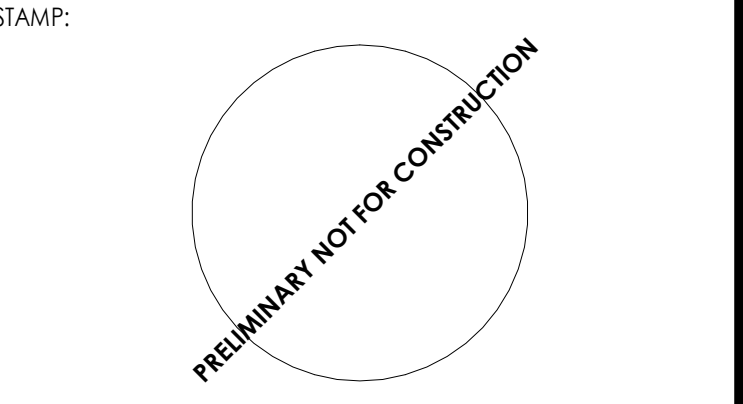
1 West Elevation

A223 1/8" = 1'-0"

NOTES:
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

PRELIMINARY NOT FOR CONSTRUCTION

REVISED:



CONSULTANT:

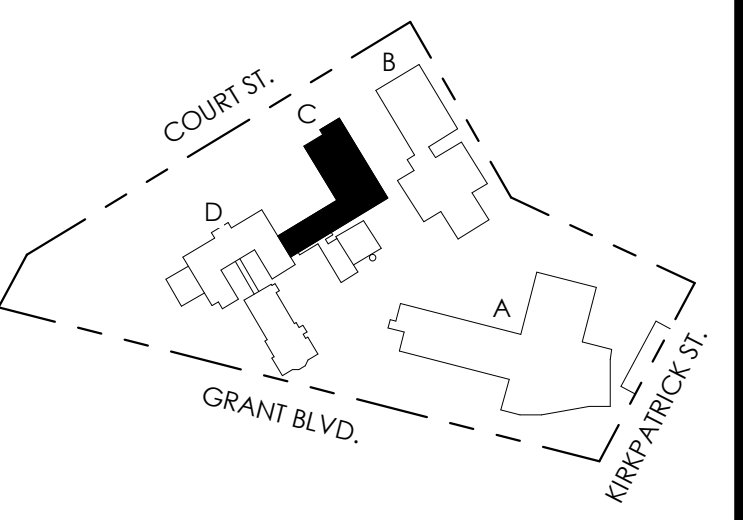
ARCHITECTTEAM
614 James St. Suite 200
Syracuse, NY 13203
p 315.474.1007
www.architectteam.com

PROJECT NAME:

**HOME LEASING
MARIA REGINA GARDENS**

2500 GRANT BOULEVARD
SYRACUSE, NY 13208

SITE KEY PLAN:



BUILDING: C

DRAWING:
**SISTERS WING
EAST AND WEST BUILDING
ELEVATIONS**

PROJECT NO. 2021-13
HL JOB #

SCALE: 1/8" = 1'-0"

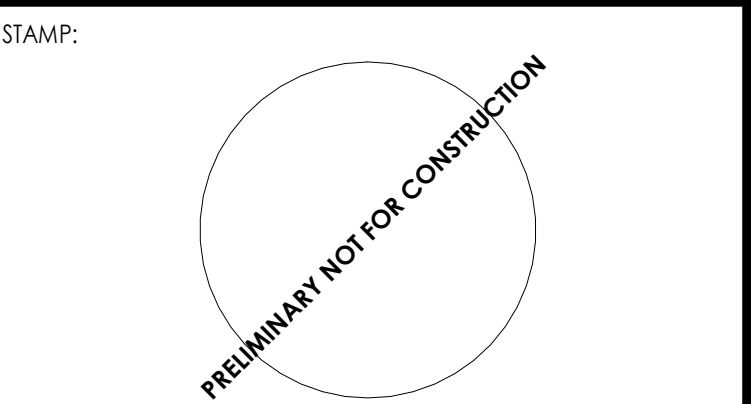
DATE: AUGUST 30, 2023

SHEET NO.
**C
A223**

NOTES:
 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

PRELIMINARY NOT FOR CONSTRUCTION

REVISED:



CONSULTANT:

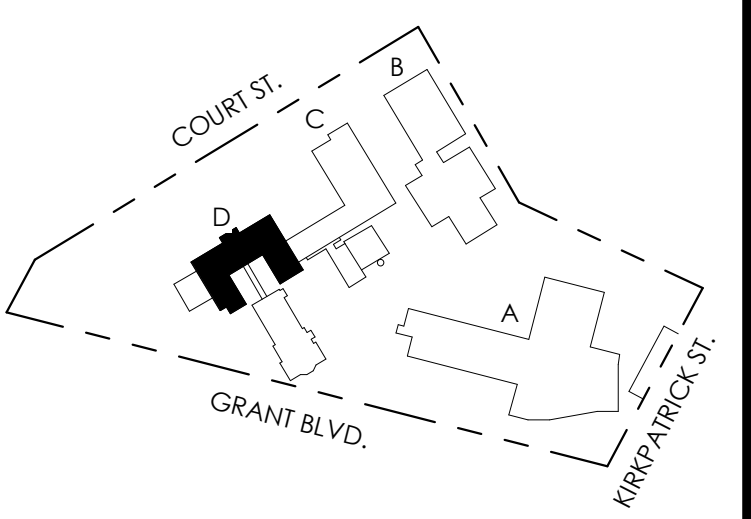
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PROJECT NAME:

**HOME LEASING
 MARIA REGINA GARDENS**

2500 GRANT BOULEVARD
 SYRACUSE, NY 13208

SITE KEY PLAN:



BUILDING: D

DRAWING:
**MOTHERHOUSE
 NORTH AND SOUTH BUILDING
 ELEVATIONS**

PROJECT NO. 2021-13 HL JOB #	SHEET NO. D
SCALE: 1/8" = 1'-0"	A224
DATE: AUGUST 30, 2023	



1 North Elevation
 A224 1/8" = 1'-0"



2 South Elevation
 A224 1/8" = 1'-0"

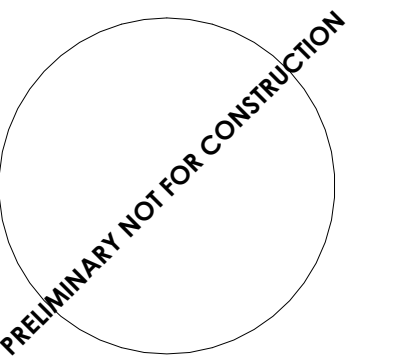
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NOTES:
 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

PRELIMINARY NOT FOR CONSTRUCTION

REVISED:

STAMP:



CONSULTANT:

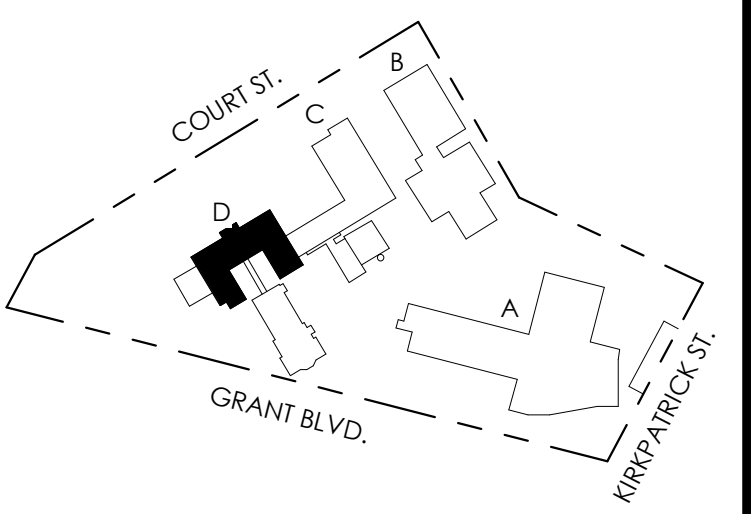
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PROJECT NAME:

**HOME LEASING
 MARIA REGINA GARDENS**

2500 GRANT BOULEVARD
 SYRACUSE, NY 13208

SITE KEY PLAN:



BUILDING: D

DRAWING:

**MOTHERHOUSE
 EAST AND WEST BUILDING
 ELEVATIONS**

PROJECT NO.
 2021-13
 HL JOB #

SHEET NO.

SCALE:
 1/8" = 1'-0"

DATE:
 AUGUST 30, 2023

**D
 A225**



1 East Elevation
 A225 1/8" = 1'-0"

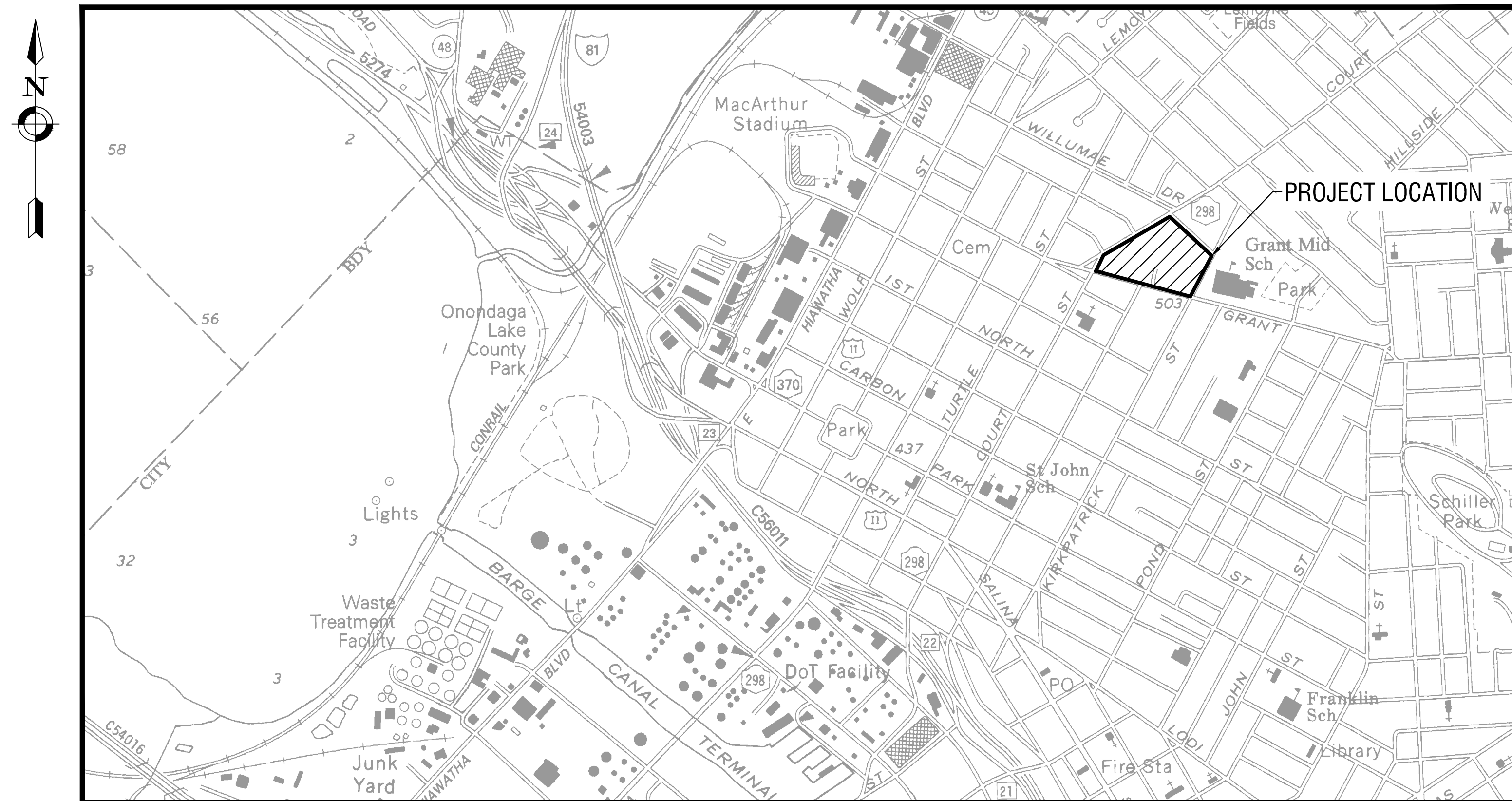


2 West Elevation
 A225 1/8" = 1'-0"

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MARIA REGINA APARTMENTS

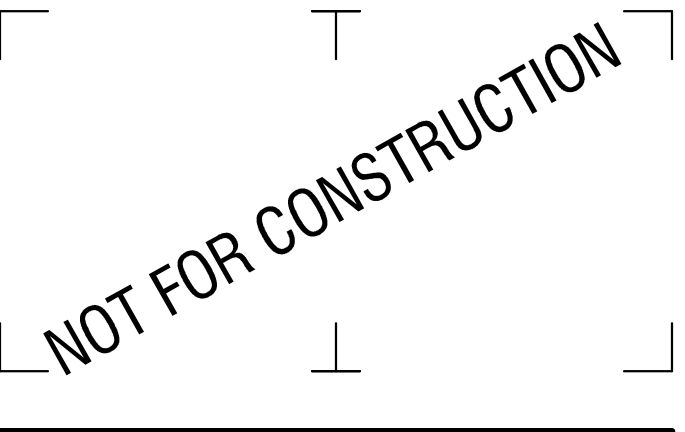
2500 GRANT STREET
SYRACUSE, NY 13208



LOCATION MAP
N.T.S.

HOME LEASING
75 SOUTH CLINTON AVE, SUITE 700
ROCHESTER, NY
PROJECT NO: 2212978
AUGUST 2023





If a violation of New York Education Law Article 145 Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

HOME LEASING
75 SOUTH CLINTON AVE, SUITE 700
ROCHESTER, NY 14604

HOME LEASING
DEVELOPMENT | CONSTRUCTION | MANAGEMENT

MARIA REGINA APARTMENTS
2500 GRANT STREET
SYRACUSE, NY 13208

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2212978

DRAWN BY: BER

REVIEWED BY: DB

ISSUED FOR: REVIEW

DATE: AUGUST 2023

DRAWING NAME:

**GENERAL NOTES, LEGEND,
AND DRAWING INDEX**

DRAWING NUMBER:

C001

DRAWING INDEX

C001 GENERAL NOTES, LEGEND, AND DRAWING INDEX

C101 EXISTING CONDITIONS PLAN

CD101 DEMOLITION PLAN

C201 SITE PLAN

C202 STRIPING AND SIGNAGE PLAN

C301 UTILITY PLAN

C401 GRADING PLAN

C402 EROSION CONTROL PLAN

C501 CONSTRUCTION DETAILS

C502 CONSTRUCTION DETAILS

C503 CONSTRUCTION DETAILS

C504 CONSTRUCTION DETAILS

LEGEND

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
		PROJECT BENCHMARK / CONTROL POINTS			END SECTION
		WETLAND			CATCH BASIN
		WETLAND BUFFER			DRAIN BASIN
		BORING LOCATIONS			INLET MANHOLE
		OBJECT REMOVAL			MANHOLE (SOLID COVER)
		OBJECT REMOVAL			INLET DRYWELL
		OBJECT REMOVAL			CLEAN OUT
		UTILITY REMOVAL			DOWN SPOUT
		FENCE REMOVAL			HYDRANT
		SAWCUT			VALVE
		TREE PROTECTION			SAMPLING TAP
		FENCE, CHAIN LINK			FLOW ARROW
		FENCE, TYPE 1			CATV
		FENCE, TYPE 2			COMMUNICATIONS
		FENCE, GUIDE RAIL			FIBER OPTICS
		TREE/VEGETATION LIMIT			SIGNAL LINE
		PROPERTY LINE			TELEPHONE LINE
		SETBACK LINE			OVERHEAD ELECTRIC
		EASEMENTS			POWER LINE
		RIGHT-OF-WAY			UNDERGROUND ELECTRIC
		RETAINING WALL			GAS LINE
		BOLLARD			SANITARY LINE
		FLAG POLE			SANITARY FORCEMAIN
		SIGN			STORM LINE
		DECIDUOUS TREE			STORM UNDERDRAIN PIPE
		CONIFEROUS TREE			WATER FIRE SERVICE LINE
		TREE STUMP			WATER LINE
		OUTLET PROTECTION			COMBINED SANITARY AND STORM
		BORE RETENTION			FUEL LINES (DIESEL/UNLEADED)
		BOLLARD LIGHT POLE SINGLE			MAJOR CONTOUR
		LIGHT POLE DOUBLE			MINOR CONTOUR
		LIGHT POLE TRIPLE			% OF DRAINAGE SWALE
		LIGHT POLE QUAD			EROSION FENCE
		UTILITY POLE			FLOW/SLOPE DIRECTION
		UTILITY POLE WITH LIGHT			SILT SOCK INLET PROTECTION
		HANDHOLE			SILT FENCE INLET PROTECTION
		MANHOLE			CHECK DAM
					STABILIZED CONSTRUCTION ENTRANCE

UTILITY NOTES

- CONTRACTOR SHALL COORDINATE INSTALLATION OF WATER MAIN / WATER SERVICE WITH MONROE COUNTY WATER AUTHORITY (MCWA) AND THE MONROE COUNTY HEALTH DEPARTMENT (MCDOH). NO WORK SHALL BEGIN ON THE WATER MAIN / WATER SERVICE WITHOUT MCWA AND MCDOH SIGNATURES ON THE UTILITY PLAN.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF SANITARY MAIN / SANITARY SERVICE WITH MONROE COUNTY PURE WATERS (MCPW). NO WORK SHALL BEGIN ON THE SANITARY MAIN / SANITARY SERVICE WITHOUT MCPW SIGNATURE ON THE UTILITY PLAN.

GRADING NOTES

- THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF OSHA, AND ANY OTHER AGENCY HAVING JURISDICTION WITH REGARD TO SAFETY PRECAUTIONS WITH TRENCHING OPERATIONS. THE REQUIREMENTS SET FORTH HEREIN ARE INTENDED TO SUPPLEMENT REQUIREMENTS ESTABLISHED BY THESE AGENCIES. IN THE CASE OF A CONFLICT BETWEEN REQUIREMENTS OF OTHER JURISDICTIONAL AGENCIES AND THESE DOCUMENTS, THE MORE STRINGENT REQUIREMENT ON THE CONTRACTOR SHALL APPLY.
- SHEETING, IF REQUIRED DURING CONSTRUCTION, IS CONSIDERED TO BE PART OF THIS CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- ALL TRENCHES THROUGH PAVEMENT SHALL BE SAW CUT PRIOR TO EXCAVATION AND AGAIN PRIOR TO PAVEMENT RESTORATION.
- CONTRACTOR SHALL ADJUST THE RIMS OF ALL MANHOLES, CATCH BASINS, VALVE BOXES AND OTHER UTILITY SITE STRUCTURES TO MEET FINISHED GRADE IN AREAS REQUIRING REPAIRING OR REGRADEING AS PART OF THE WORK, INCLUDING THOSE THAT MAY NOT BE SHOWN ON THE PLANS.
- VOIDS LEFT BY UTILITY OR STRUCTURE REMOVAL OR GRUBBING OPERATIONS SHALL BE BACKFILLED AND PROPERLY COMPACTED WITH STRUCTURAL FILL (MYSDOT ITEM 304.12) IN AREAS UNDER AND WITHIN 5 FEET HORIZONTALLY OF ALL STRUCTURES, BUILDINGS AND PAVEMENTS. IN GRASSED AREAS, VOIDS LEFT SHALL BE FILLED AND PROPERLY COMPACTED WITH SUITABLE ON-SITE OR IMPORTED EARTHEN BACKFILL. ALL DISTURBED AREAS SHALL BE RESTORED.
- THE CONTRACTOR SHALL DEWATER ALL EXCAVATIONS TO PREVENT THE INTRODUCTION OF GROUNDWATER INTO THE TRENCHES/EXCAVATIONS. PROVIDE ALL EQUIPMENT NECESSARY TO MAINTAIN THE GROUNDWATER LEVEL AS NECESSARY.
- THE CONTRACTOR SHALL PLACE AT MINIMUM 6 INCHES OF CLEANED SCREENED TOPSOIL IN ALL DISTURBED AREAS PRIOR TO SEEDING.

EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND LOCAL GOVERNING SOIL AND WATER CONSERVATION AGENCY RECOMMENDATIONS AND STANDARDS. CONTRACTOR SHALL SUBMIT PROPOSED EROSION CONTROL PLAN INCLUDING SEQUENCING OF WORK TO THE ENGINEER FOR REVIEW PRIOR TO START OF WORK.
- UTILIZE CONSTRUCTION METHODS/TECHNIQUES, WHICH WILL LIMIT THE EXPOSED EARTHEN AREAS AND MINIMIZE THE EFFECT OF EARTH DISTURBANCE ACTIVITIES ON SOIL EROSION. THE AREA OF DISTURBANCE SHALL BE LIMITED TO A MAXIMUM OF 5 ACRES UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL SEDIMENTATION BARRIERS AND OTHER TEMPORARY OR PERMANENT MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION. PLANS SHOW THE SUGGESTED MINIMUM MEASURES REQUIRED.
- REMOVAL OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE COMPLETED AT THE APPROVAL OF THE OWNER AND ENGINEER. THE COST OF REMOVING THESE MEASURES SHALL ALSO BE INCLUDED IN THE BID PRICE.
- FOR THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL PROTECT ALL ON-SITE, ADJACENT AND/OR DOWNSTREAM STORM/SANITARY SEWERS, AND/OR OTHER WATER COURSES FROM CONTAMINATION BY WATER BORNE SILTS, SEDIMENTS, FUELS, SOLVENTS, LUBRICANTS OR OTHER POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT.
- DURING CONSTRUCTION NO WET OR FRESH CONCRETE OR LEACHATE SHALL BE ALLOWED TO ESCAPE INTO STORM/SANITARY SEWERS, DITCHES OR OTHER WATERS OF NEW YORK STATE. NOR SHALL WASHINGS FROM CONCRETE TRUCKS, MIXERS OR OTHER DEVICES BE ALLOWED TO ENTER ANY STORM/SANITARY SEWERS, DITCHES, RIVERS, OR WATER COURSES.
- ALL EXCAVATED OR IMPORTED EARTHEN STOCKPILES SHALL BE SUITABLY STABILIZED AND PROTECTED BY SILT FENCE SO THAT IT CANNOT REASONABLY ENTER ANY WATER BODY, OR STORM OR SANITARY SEWER.
- ALL METHODS AND EQUIPMENT PROPOSED BY THE CONTRACTOR TO ACCOMPLISH THE WORK FOR EROSION AND POLLUTION CONTROL SHALL BE SUBJECT TO APPROVAL OF THE ENGINEER.
- THE CONTRACTOR SHALL BE REQUIRED TO TREAT TRAVELED AREAS TO CONTROL DUST. WATER SHALL BE APPLIED TO SUCH TRAVELED AREAS AS THE ARCHITECT/ENGINEER OR OWNERS DESIGNATED REPRESENTATIVE MAY DESIGNATE. THE NUMBER OF APPLICATIONS AND THE AMOUNT OF WATER SHALL BE BASED UPON FIELD AND WEATHER CONDITIONS.
- ALL AREAS OF SOIL DISTURBANCE RESULTING FROM THIS PROJECT WHICH WILL NOT BE SUBJECT TO FURTHER EARTHWORK OR CONSTRUCTION ACTIVITIES SHALL BE PERMANENTLY SEEDED TO ESTABLISH GRASS, AND MULCHED WITH HAY OR STRAW WITHIN ONE WEEK OF FINAL DISTURBANCE. MULCH SHALL BE MAINTAINED UNTIL A SUITABLE VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR STAGING AREAS AND CONSTRUCTION ENTRANCE LOCATIONS SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF CONSTRUCTION. STABILIZED CONSTRUCTION ENTRANCE(S), AS SHOWN ON THE PLANS SHALL BE PROVIDED. ALL DISTURBED AREAS SHALL BE RESTORED.
- ALL CATCH BASINS/DRAINAGE INLETS SHALL HAVE STONED INLET PROTECTION AROUND THEM AND GEOTEXTILE FABRIC OVER THE GRATE TO PREVENT SEDIMENTATION FROM ENTERING THE STORM SYSTEM.
- TILL ALL COMPACTED SOILS LOCATED IN LAWN AREAS TO RESTORE THE ORIGINAL PROPERTIES OF THE SOIL PRIOR TO SEEDING.

GENERAL NOTES

- THE CONTRACTOR ALONE SHALL BE RESPONSIBLE TO LOCATE UTILITIES OUTSIDE THE RIGHT-OF-WAY INCLUDING PRIVATE ROADS.
- SITE DRAINAGE, INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING ALL MATERIALS, TOOLS AND EQUIPMENT, INCLUDING SPECIAL CUTTING DEVICES, NECESSARY TO PERFORM THE WORK CONTAINED IN THIS CONTRACT.
- THE SIZES AND MATERIAL OF CONSTRUCTION OF WATER MAINS, SANITARY SEWERS AND STORM SEWERS TO REMAIN ARE REPUTED. THE CONTRACTOR SHALL VERIFY SIZES OF ALL UTILITIES WHERE CONNECTIONS TO SAID EXISTING UTILITIES ARE REQUIRED. EXCAVATION TO VERIFY THESE UTILITIES SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE AMENITIES NOT DESIGNATED FOR REMOVAL.
- UNLESS OTHERWISE INDICATED ON THE PLANS OR DIRECTED BY THE ARCHITECT/ENGINEER, THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING AND PROTECTING FROM DAMAGE ALL TREES, SHRUBS AND PLANTS IN THE VICINITY OF THE PROPOSED WORK.
- THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES DESIGNATED TO REMAIN FOR THE DURATION OF THE CONTRACT.
- ANY SITE AMENITY, UTILITY, STREET APPURTENANCE, OR OTHER ITEM WHICH BECOMES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED IN-KIND BY THE CONTRACTOR AS DETERMINED BY THE PROJECT MANAGER OR ARCHITECT/ENGINEER AND AT NO ADDITIONAL COST TO THE OWNER.

SURVEY NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY MARKERS AND RIGHT-OF-WAY MARKERS IN THE AREA OF CONSTRUCTION.
- ANY IRON PINS, MONUMENTS OR OTHER ITEMS DEFINING PROPERTY LINES WHICH ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE PROPERLY TIED AND ACCURATELY RESET BY A NYS LICENSED SURVEYOR UPON COMPLETION OF THE WORK.
- HORIZONTAL DATUM BASED OFF NORTH AMERICAN DATUM 1983 (NAD83) - NY STATE PLANE CENTRAL.
- VERTICAL BASED OFF OF NORTH AMERICAN VERTICAL DATUM 1988 - NAVD88.

DEMOLITION NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY DIG SAFE NEW YORK AT 811 TO REQUEST UTILITY STAKEOUT OF ALL PUBLIC UTILITIES.
- WORK ASSOCIATED WITH THIS CONTRACT WILL OCCUR AT AN ACTIVE AND FUNCTIONAL FACILITY. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO MINIMIZE DISRUPTION TO THE OPERATIONS OF THE FACILITY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE A SAFE WORK SITE AND TO PROTECT THE PUBLIC, VISITORS AND EMPLOYEES FROM HARM AS A RESULT OF HIS CONSTRUCTION ACTIVITIES.
- THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING ABOVE GROUND AND BELOW GROUND UTILITIES, STRUCTURES, AND APPURTENANCES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, STRUCTURES, AND APPURTENANCES IN THE PATH OF AND ADJACENT TO THE PROPOSED WORK.
- SITE DRAINAGE, INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES DESIGNATED TO REMAIN FOR THE DURATION OF THE CONTRACT.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNMENT, LOCAL FIRE DEPARTMENT AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) AS NECESSARY AND SHALL OBTAIN ANY REQUIRED PERMITS PRIOR TO BEGINNING WORK. COPIES OF ANY REQUIRED PERMITS SHALL BE PROVIDED TO THE OWNER PRIOR TO BEGINNING THE WORK.
- CONTRACTOR SHALL REMOVE FROM SITE, MATERIALS NOT INDICATED TO BE SALVAGED INCLUDING ALL DEBRIS. ALL REMOVED MATERIALS SHALL BECOME THE PROPERTY OF CONTRACTOR WHO SHALL LEGALLY DISPOSE OF SAME.
- ALL TREES, SHRUBS AND PLANTS DESIGNATED TO REMAIN AND DISTURBED BY CONSTRUCTION OPERATIONS, SHALL BE REPLACED IN-KIND AS DIRECTED BY THE ARCHITECT/ENGINEER AND/OR OWNERS DESIGNATED REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN SAFE VEHICULAR AND PEDESTRIAN ACCESS TO THE EXISTING BUILDINGS FOR THE DURATION OF THE CONTRACT.
- WHEN EXISTING CONSTRUCTION WHICH IS TO REMAIN IS DAMAGED DURING THE COURSE OF CONSTRUCTION AS A RESULT OF CONTRACTORS WORK, IT SHALL BE REPAIRED AND/OR REPLACED WITH SIMILAR OR LIKE MATERIALS AS MUCH AS POSSIBLE, AT NO COST TO THE OWNER. ALL REPAIRS AND/OR REPLACEMENTS WILL BE SUBJECT TO OWNERS APPROVAL.
- COORDINATE LOCATION OF TEMPORARY CONSTRUCTION FENCE AND TEMPORARY STONE STAGING AREA WITH OWNER

SITE NOTES

- WELL COMPACTED SUBGRADE SHALL BE UTILIZED UNDERNEATH CONSTRUCTION OF PAVEMENT AND CONCRETE BASES.
- ALL STAKEOUT FOR THE PROPOSED SITE IMPROVEMENTS SHALL BE COMPLETED BY A NEW YORK STATE LICENSED LAND SURVEYOR.
- IF ANY DISCREPANCIES ARE NOTED BETWEEN THESE CONSTRUCTION DOCUMENTS AND INFORMATION PROVIDED OR AN ERROR IS SUSPECT, IT SHALL BE IMMEDIATELY REPORTED TO THE CONSTRUCTION MANAGER AND LABELLA ASSOCIATES PROJECT MANAGER IN WRITING.
- ANY PROOF-ROLLING OF EXPOSED SUBBASE BY A MINIMUM 10 TON SMOOTH DRUM ROLLER SHALL BE DONE UNDER THE GUIDANCE OF, AND OBSERVED BY, QUALIFIED ENGINEERING PERSONNEL PRIOR TO PLACEMENT OF SUBBASE MATERIAL. THE ROLLER SHOULD BE OPERATED IN THE STATIC MODE AND COMPLETE AT LEAST TWO (2) PASSES OVER THE EXPOSED SUBGRADES.
- EXISTING WETLANDS DELINEATED BY XXXX ON XXXX/XXXX.
- PARCEL LINES AS SHOWN BY XXXX COUNTY GIS DATABASE, FOR THE TOWN OF XXXX.

NOT FOR CONSTRUCTION

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ROCHESTER, NY 14604

HOME LEASING
DEVELOPMENT | CONSTRUCTION | MANAGEMENT

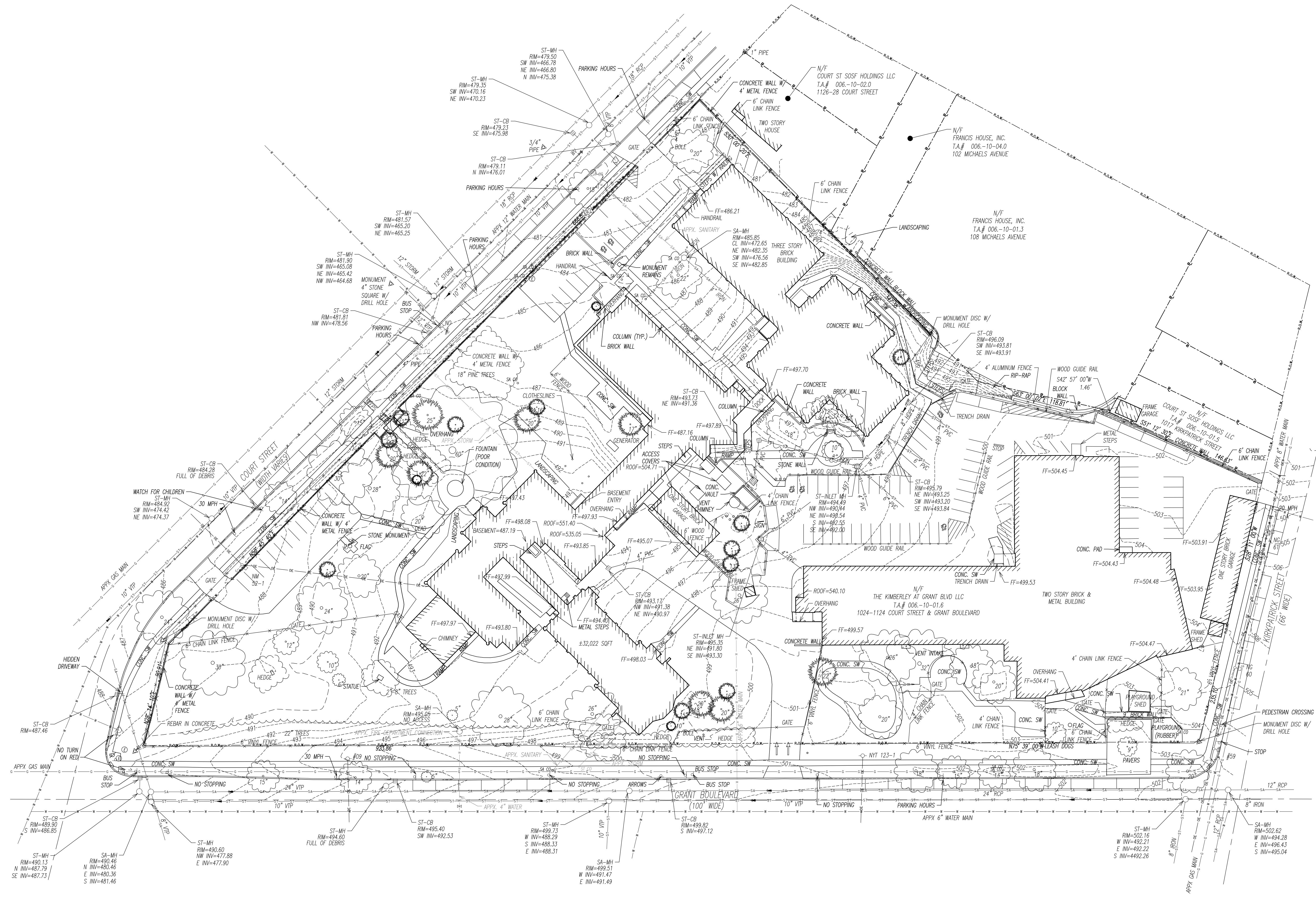
MARIA REGINA APARTMENTS
2500 GRANT STREET
SYRACUSE, NY 13208

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER: 2212978		
DRAWN BY: BER		
REVIEWED BY: DB		
ISSUED FOR: REVIEW		
DATE: AUGUST 2023		
DRAWING NAME:		

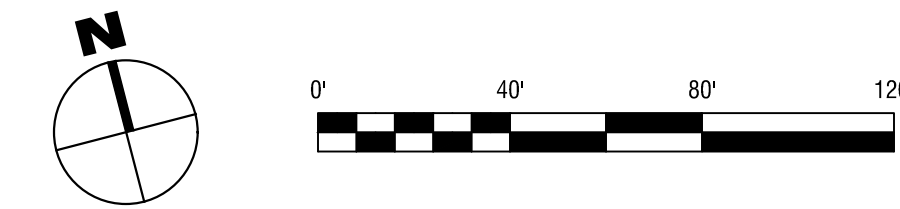
EXISTING CONDITIONS PLAN

DRAWING NUMBER:

C101



EXISTING CONDITIONS PLAN
SCALE: 1" = 40'



APPX GAS MAIN, APPX 4\"/>

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ROCHESTER, NY 14604

HOME LEASING
DEVELOPMENT | CONSTRUCTION | MANAGEMENT

MARIA REGINA APARTMENTS
2500 GRANT STREET
SYRACUSE, NY 13208

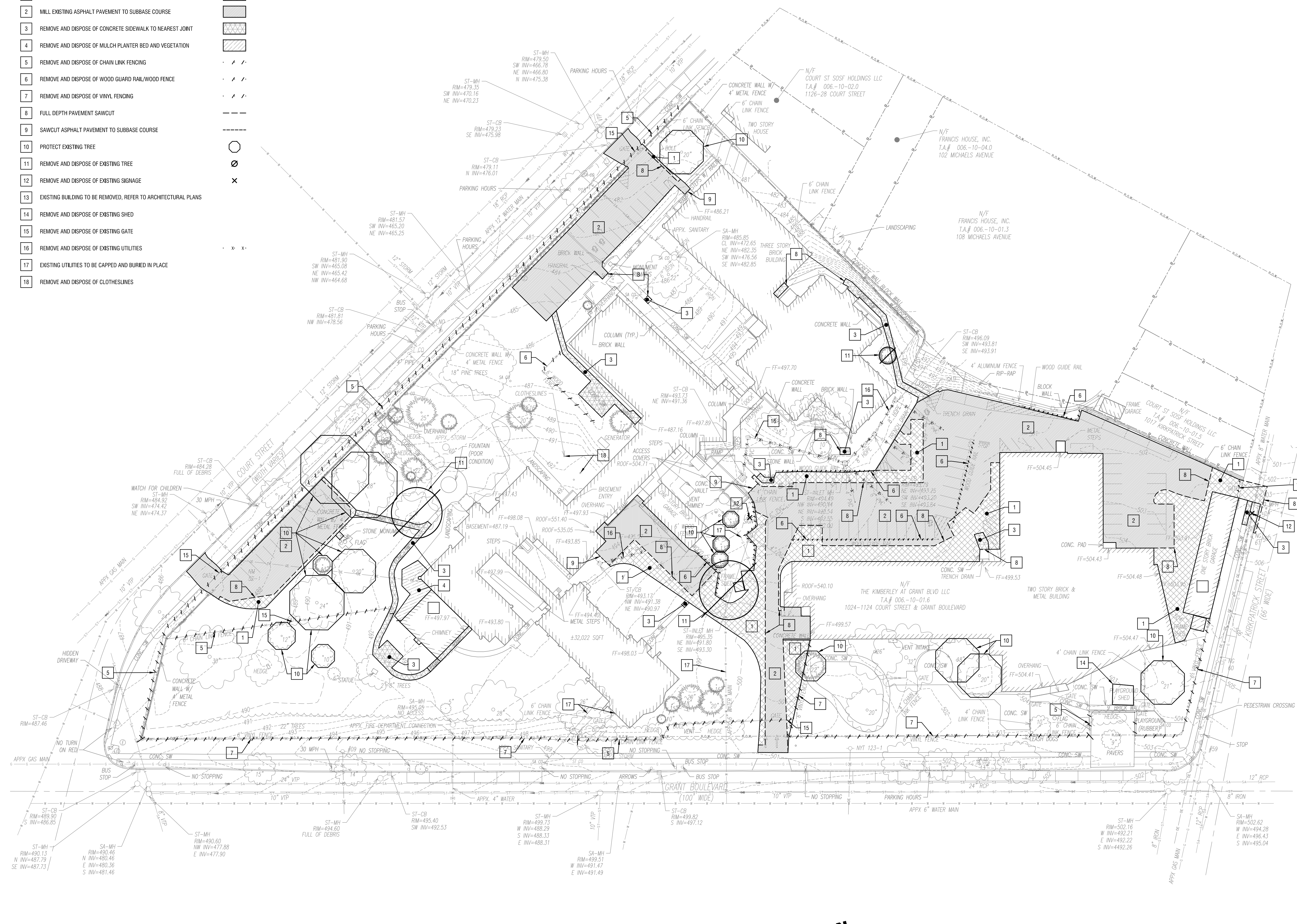
NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER:	2212978	
DRAWN BY:		
REVIEWED BY:		
ISSUED FOR:	REVIEW	
DATE:	AUGUST 2023	
DRAWING NAME:		

DEMOLITION PLAN

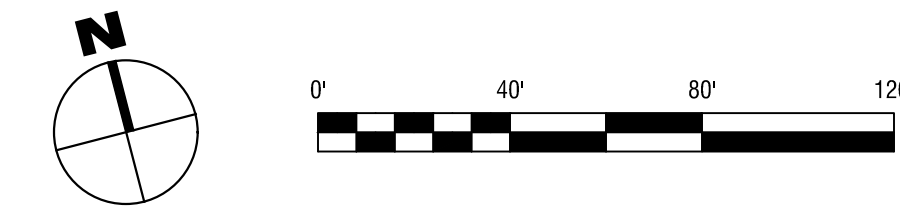
DRAWING NUMBER:

CD101

- DEMOLITION KEY NOTES**
- 1 REMOVE AND DISPOSE OF ASPHALT PAVEMENT
 - 2 MILL EXISTING ASPHALT PAVEMENT TO SUBBASE COURSE
 - 3 REMOVE AND DISPOSE OF CONCRETE SIDEWALK TO NEAREST JOINT
 - 4 REMOVE AND DISPOSE OF MULCH PLANTER BED AND VEGETATION
 - 5 REMOVE AND DISPOSE OF CHAIN LINK FENCING
 - 6 REMOVE AND DISPOSE OF WOOD GUARD RAIL/WOOD FENCE
 - 7 REMOVE AND DISPOSE OF VINYL FENCING
 - 8 FULL DEPTH PAVEMENT SAWCUT
 - 9 SAWCUT ASPHALT PAVEMENT TO SUBBASE COURSE
 - 10 PROTECT EXISTING TREE
 - 11 REMOVE AND DISPOSE OF EXISTING TREE
 - 12 REMOVE AND DISPOSE OF EXISTING SIGNAGE
 - 13 EXISTING BUILDING TO BE REMOVED, REFER TO ARCHITECTURAL PLANS
 - 14 REMOVE AND DISPOSE OF EXISTING SHED
 - 15 REMOVE AND DISPOSE OF EXISTING GATE
 - 16 REMOVE AND DISPOSE OF EXISTING UTILITIES
 - 17 EXISTING UTILITIES TO BE CAPPED AND BURIED IN PLACE
 - 18 REMOVE AND DISPOSE OF CLOTHESLINES



1 DEMOLITION PLAN
SCALE: 1" = 40'



APPX 4\"/>

NOT FOR CONSTRUCTION

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MARIA REGINA APARTMENTS

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PROJECT NUMBER: 2212978

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ISSUED FOR: REVIEW

DATE: AUGUST 2023

DRAWING NAME:

SITE PLAN

DRAWING NUMBER:

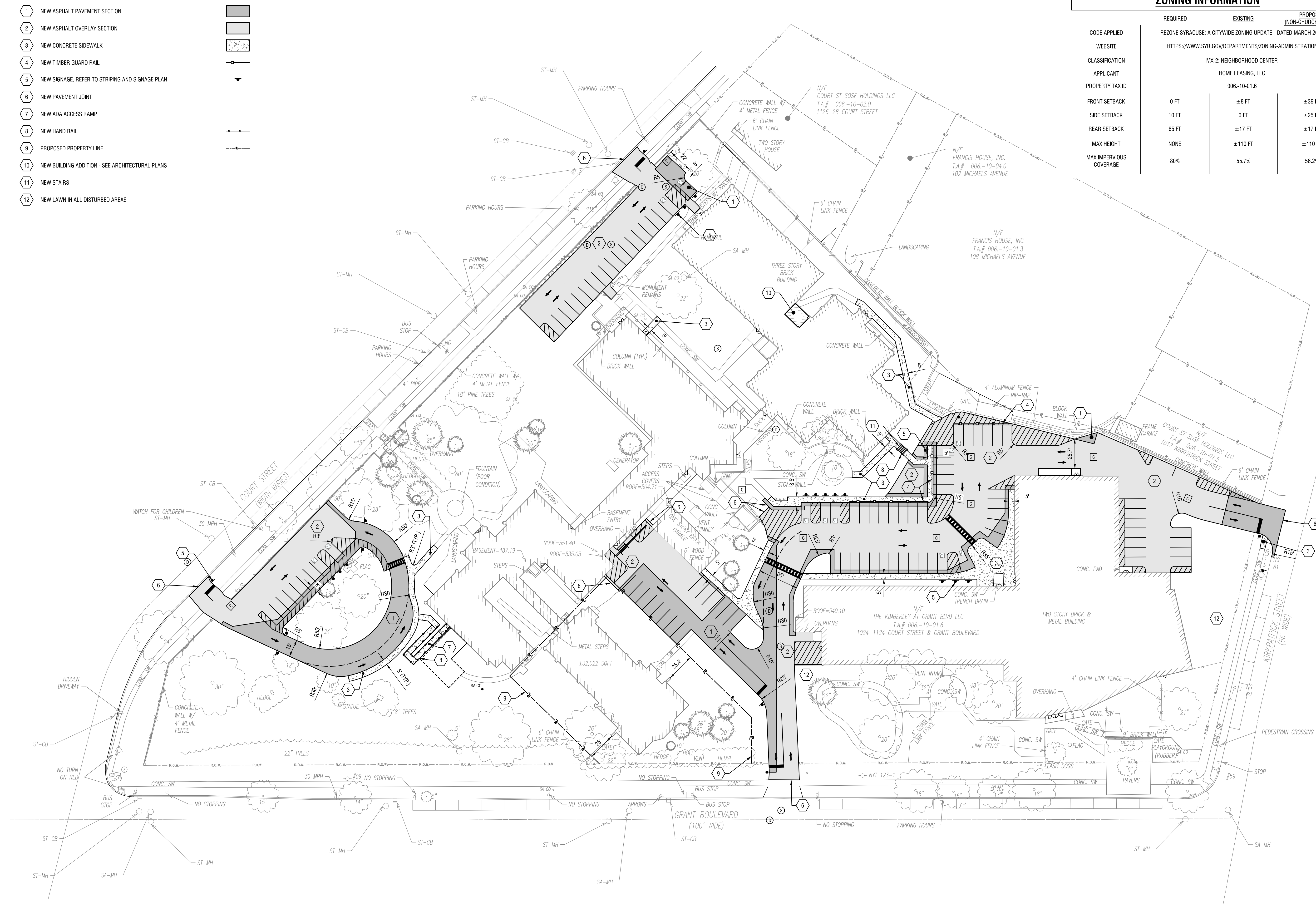
C201

ZONING INFORMATION

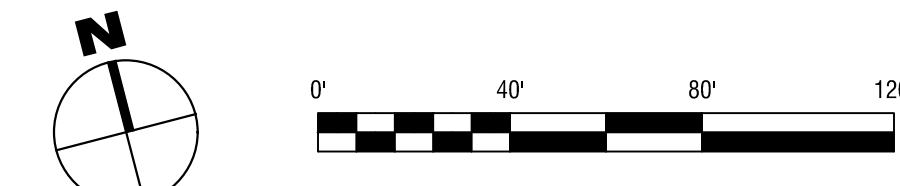
CODE APPLIED	REQUIRED	EXISTING	PROPOSED (NON-CHURCH PARCEL)
	REZONE SYRACUSE: A CITYWIDE ZONING UPDATE - DATED MARCH 2023 HTTPS://WWW.SYR.GOV/DEPARTMENTS/ZONING-ADMINISTRATION		
CLASSIFICATION	MX-2: NEIGHBORHOOD CENTER		
APPLICANT	HOME LEASING, LLC		
PROPERTY TAX ID	006-10-01.6		
FRONT SETBACK	0 FT	±8 FT	±39 FT
SIDE SETBACK	10 FT	0 FT	±25 FT
REAR SETBACK	85 FT	±17 FT	±17 FT
MAX HEIGHT	NONE	±110 FT	±110 FT
MAX IMPERVIOUS COVERAGE	80%	55.7%	56.2%

SITE KEY NOTES

- 1 NEW ASPHALT PAVEMENT SECTION
- 2 NEW ASPHALT OVERLAY SECTION
- 3 NEW CONCRETE SIDEWALK
- 4 NEW TIMBER GUARD RAIL
- 5 NEW SIGNAGE, REFER TO STRIPING AND SIGNAGE PLAN
- 6 NEW PAVEMENT JOINT
- 7 NEW ADA ACCESS RAMP
- 8 NEW HAND RAIL
- 9 PROPOSED PROPERTY LINE
- 10 NEW BUILDING ADDITION - SEE ARCHITECTURAL PLANS
- 11 NEW STAIRS
- 12 NEW LAWN IN ALL DISTURBED AREAS



1 SITE PLAN
C201 SCALE: 1" = 40'



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DRAWING NAME:		

STRIPING AND SIGNAGE PLAN

DRAWING NUMBER:

C202

NUMBER	NAME	IMAGE	QTY	SIZE	COLORS	REFERENCE
1	'ACCESSIBLE'			12" x 18" 12" x 6"	GREEN LETTERING AND ARROW ON A WHITE BACKGROUND	R7-8D MUTCD R7-1
2	'NO PARKING ANY TIME'			12" x 18"	BLACK LETTERING ON A WHITE BACKGROUND	R7-1
3	STOP SIGN			30" x 30"	WHITE LETTERING ON A RED BACKGROUND	MUTCD R1-1
4	'DO NOT ENTER'			30" x 30"	WHITE SIGN WITH RED SYMBOL AND WHITE LETTERING	R5-1
5	'BEGIN ONE WAY'			24" x 30"	BLACK LETTERING ON A WHITE BACKGROUND	R6-6
6	'SPEED LIMIT 20'			24" x 30"	BLACK LETTERING ON A WHITE BACKGROUND	R2-1

a = DESIGNATOR FOR SIGN INSTALLED ON BOTH SIDES OF POST
b = DESIGNATOR FOR SIGN PLACED IN BOLLARD

STRIPING KEY NOTES

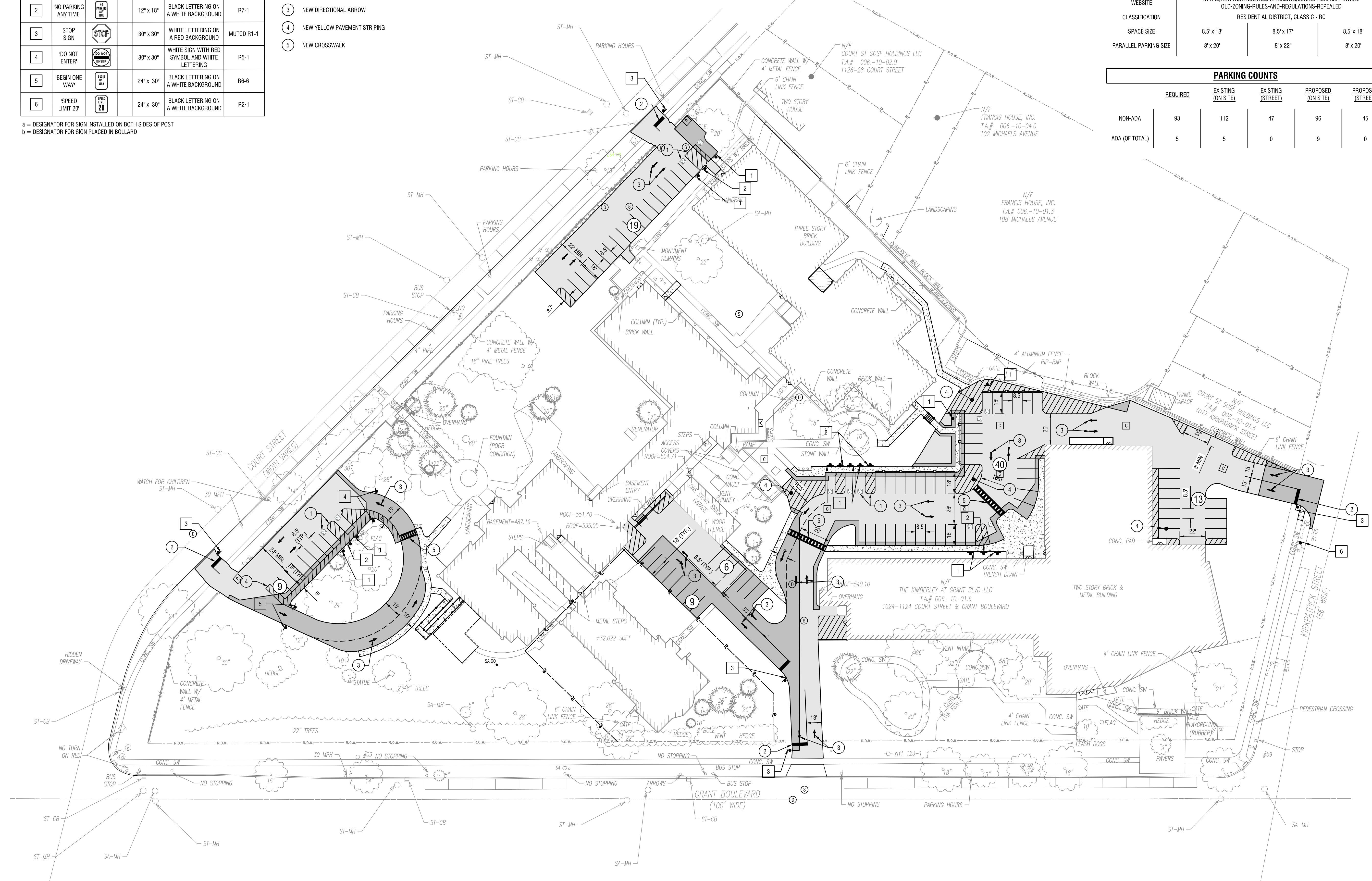
- 1 NEW ADA STRIPING AND SIGNAGE
- 2 NEW STOP BAR
- 3 NEW DIRECTIONAL ARROW
- 4 NEW YELLOW PAVEMENT STRIPING
- 5 NEW CROSSWALK

PARKING INFORMATION

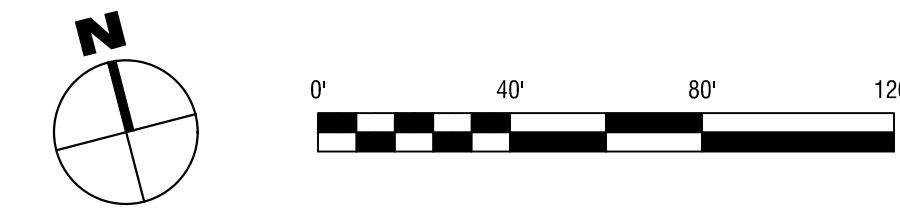
CODE APPLIED	REQUIRED	EXISTING	PROPOSED		
	REQUIRED	EXISTING (ON SITE)	EXISTING (STREET)	PROPOSED (ON SITE)	PROPOSED (STREET)
WEBSITE	"CITY OF SYRACUSE ZONING RULES & REGULATIONS - LAST COMPILATION MAY 2011" HTTPS://WWW.SYR.GOV/DEPARTMENTS/ZONING-ADMINISTRATION/OLD-ZONING-RULES-AND-REGULATIONS-REPEALED				
CLASSIFICATION	RESIDENTIAL DISTRICT, CLASS C - RC				
SPACE SIZE	8.5' x 18'	8.5' x 17'	8.5' x 18'	8.5' x 18'	8.5' x 18'
PARALLEL PARKING SIZE	8' x 20'	8' x 22'	8' x 20'	8' x 20'	8' x 20'

PARKING COUNTS

	REQUIRED	EXISTING (ON SITE)	EXISTING (STREET)	PROPOSED (ON SITE)	PROPOSED (STREET)
	NON-ADA	93	112	47	96
ADA (OF TOTAL)	5	5	0	9	0



1 STRIPING AND SIGNAGE PLAN
SCALE: 1" = 40'



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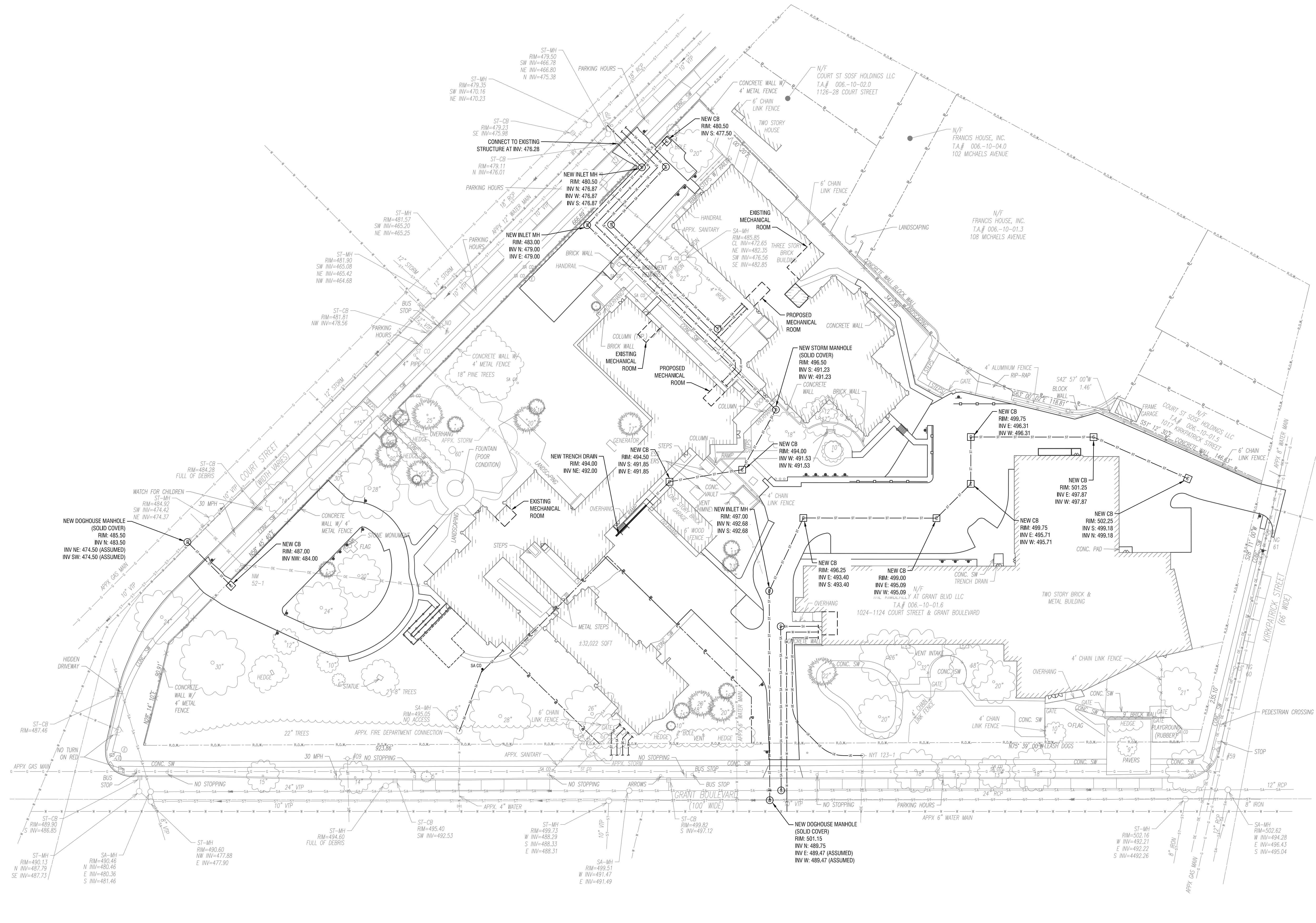
DATE: AUGUST 2023

DRAWING NAME:

UTILITY PLAN

DRAWING NUMBER:

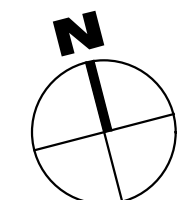
C301



1
C301

UTILITY PLAN

SCALE: 1" = 40'



08/25/2023 3:28:34 PM
C:\Users\labella\OneDrive\Documents\Drawings\C301\Utility Plan.dwg

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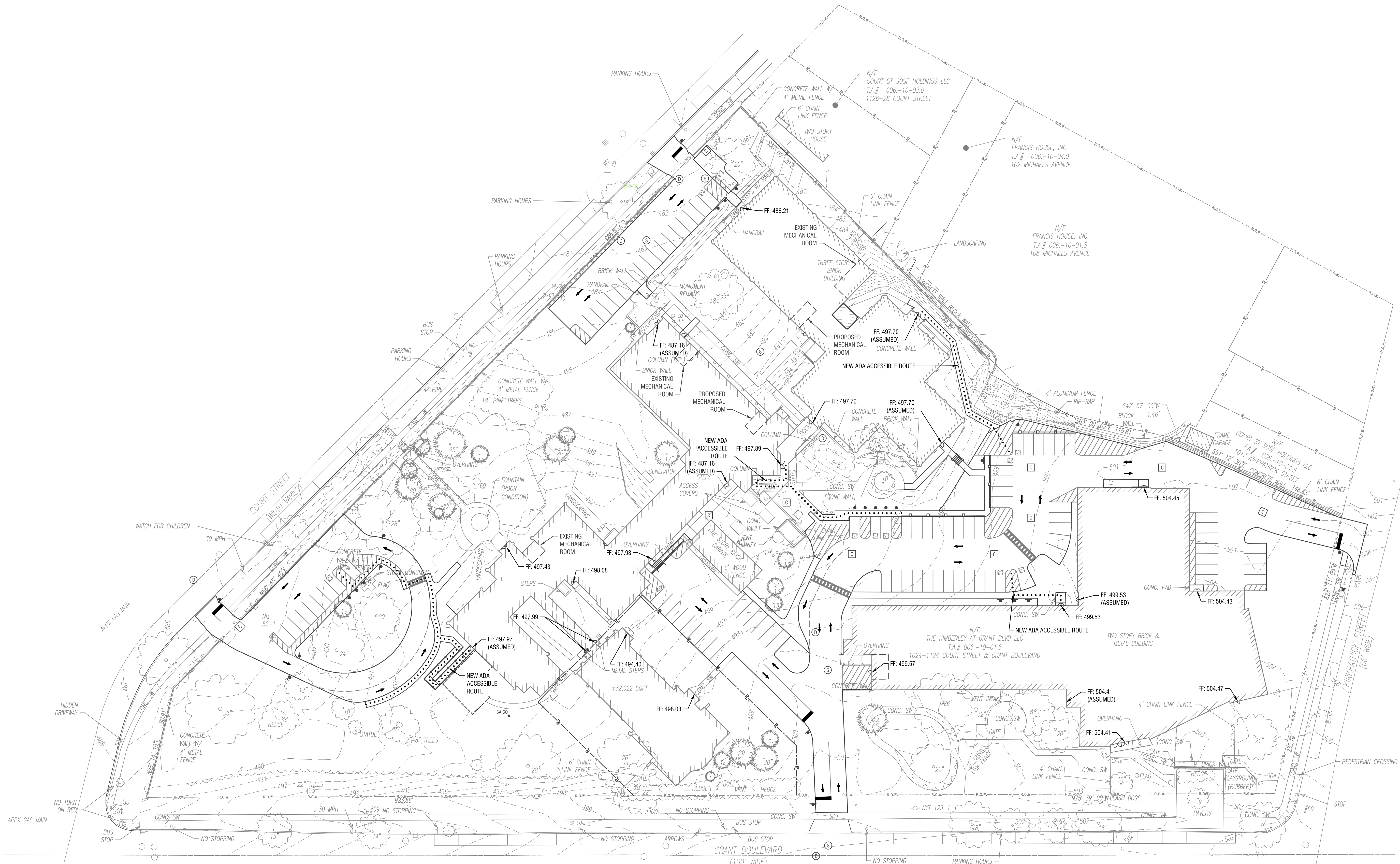
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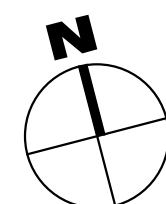
GRADING PLAN

DRAWING NUMBER:

C401



1 GRADING PLAN
SCALE: 1" = 40'



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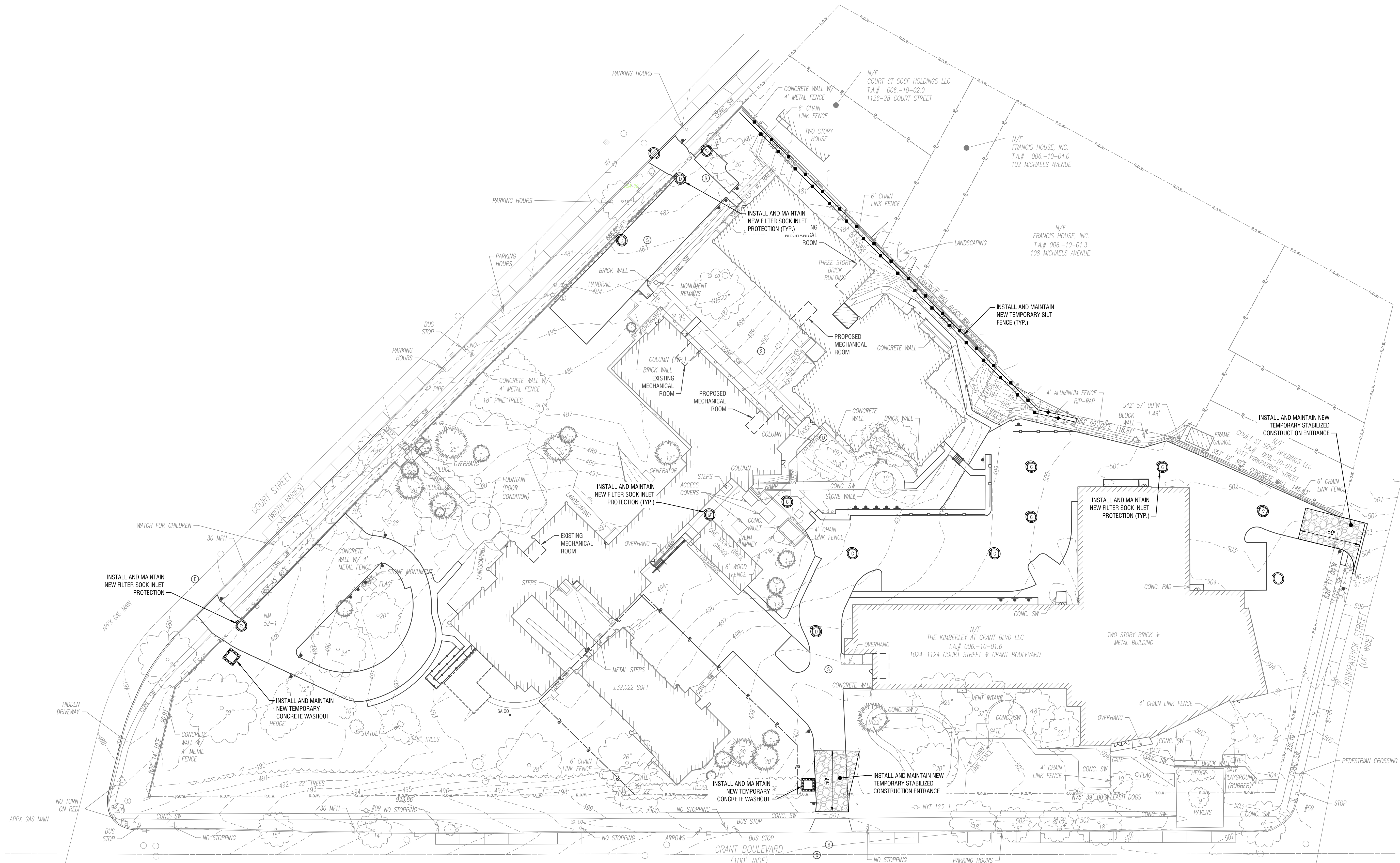
DATE: AUGUST 2023

DRAWING NAME:

EROSION CONTROL PLAN

DRAWING NUMBER:

C402



1 EROSION CONTROL PLAN
SCALE: 1" = 40'



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DRAWN BY: BER

REVIEWED BY: DB

ISSUED FOR: REVIEW

DATE: AUGUST 2023

DRAWING NAME:

CONSTRUCTION DETAILS

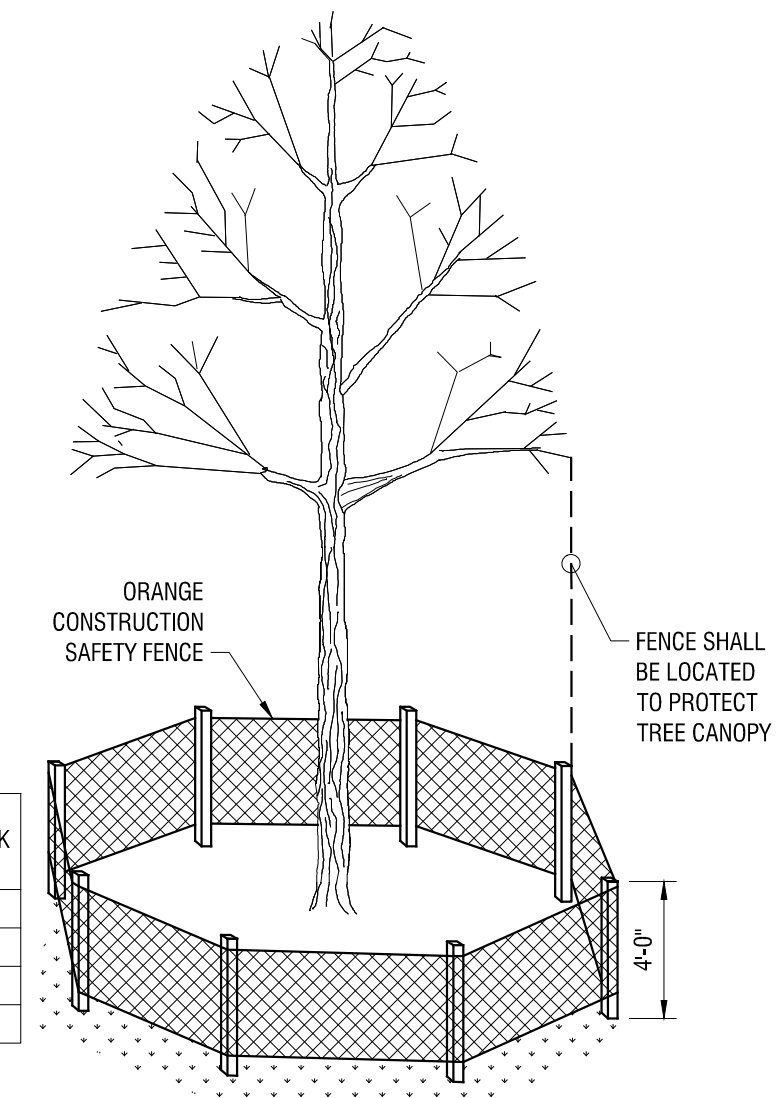
DRAWING NUMBER:

C501

NOTES:

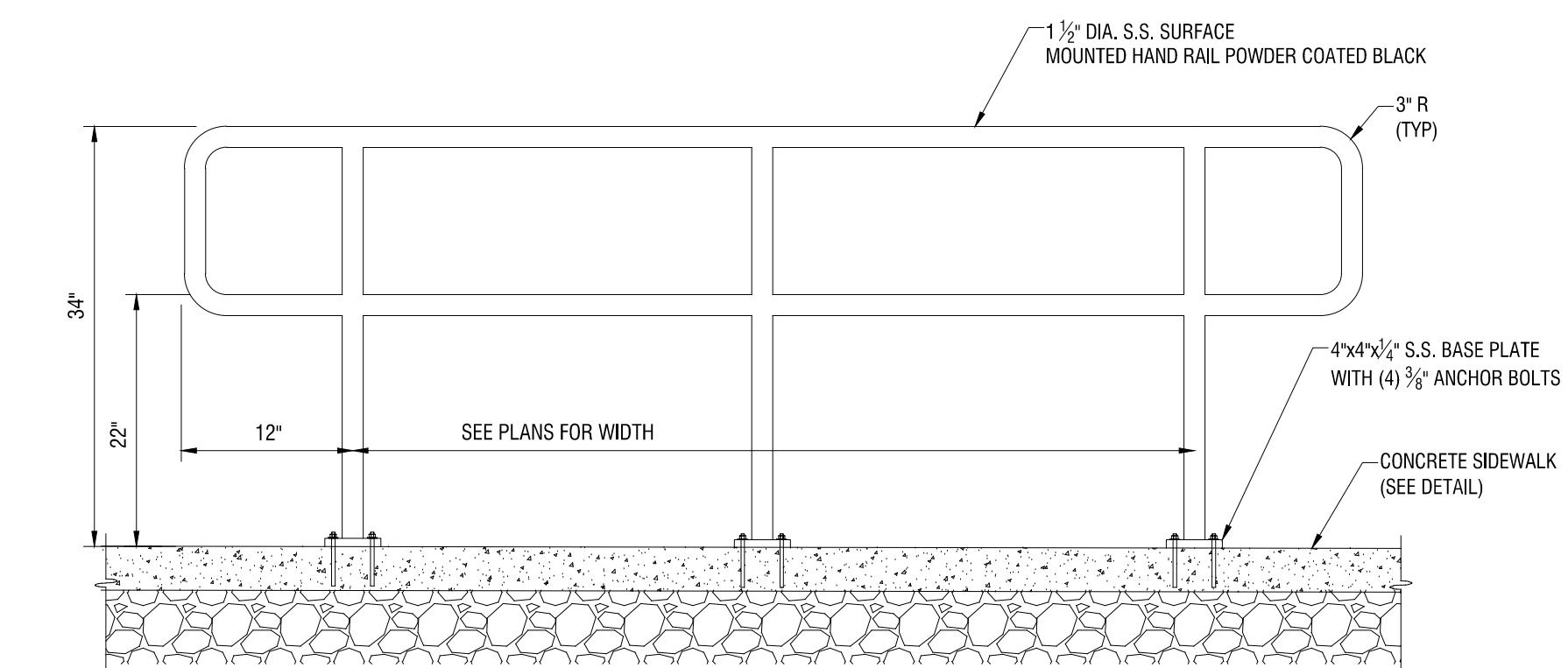
- ALL TREES DESIGNATED FOR PROTECTION ON THE EXISTING SITE/DEMOLITION PLANS SHALL RECEIVE THIS TREATMENT.
- DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING (IDLING) UNDER TREE CANOPY.
- MAINTAIN 1' FENCE CLEARANCE TO OUTSIDE CURB FACE AND 6" TO 12" FENCE CLEARANCE TO SIDEWALK.
- MINIMUM DISTANCE (SEE TABLE) OR GREATER AS REQUIRED TO PROTECT TREE CANOPY.
- DO NOT STORE MATERIALS WITHIN 10' RADIALY FROM TREE.

TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK (SEE NOTE 4)
LESS THAN 10"	6'
10" - 14"	10'
15" - 19"	12'
20" OR MORE	15'



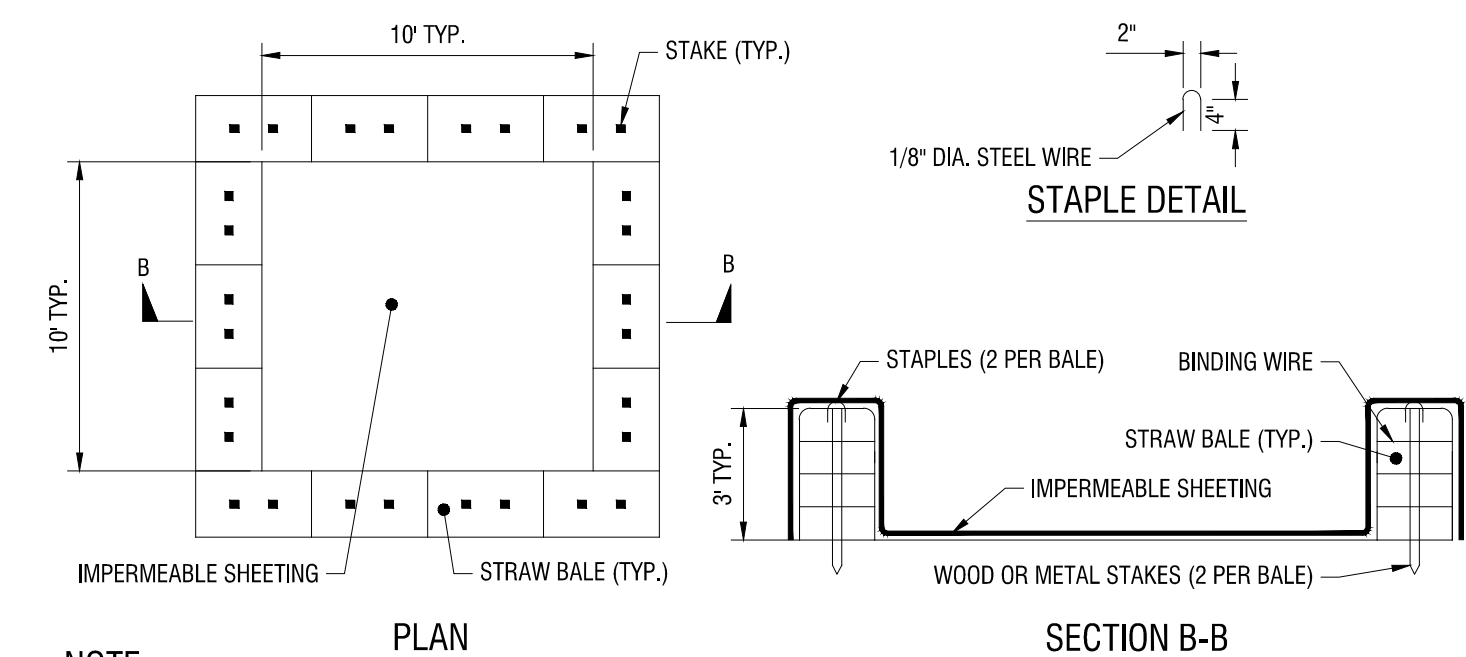
7 TREE PROTECTION

C501 N.T.S.



4 HANDRAIL

C501 N.T.S.



NOTE:

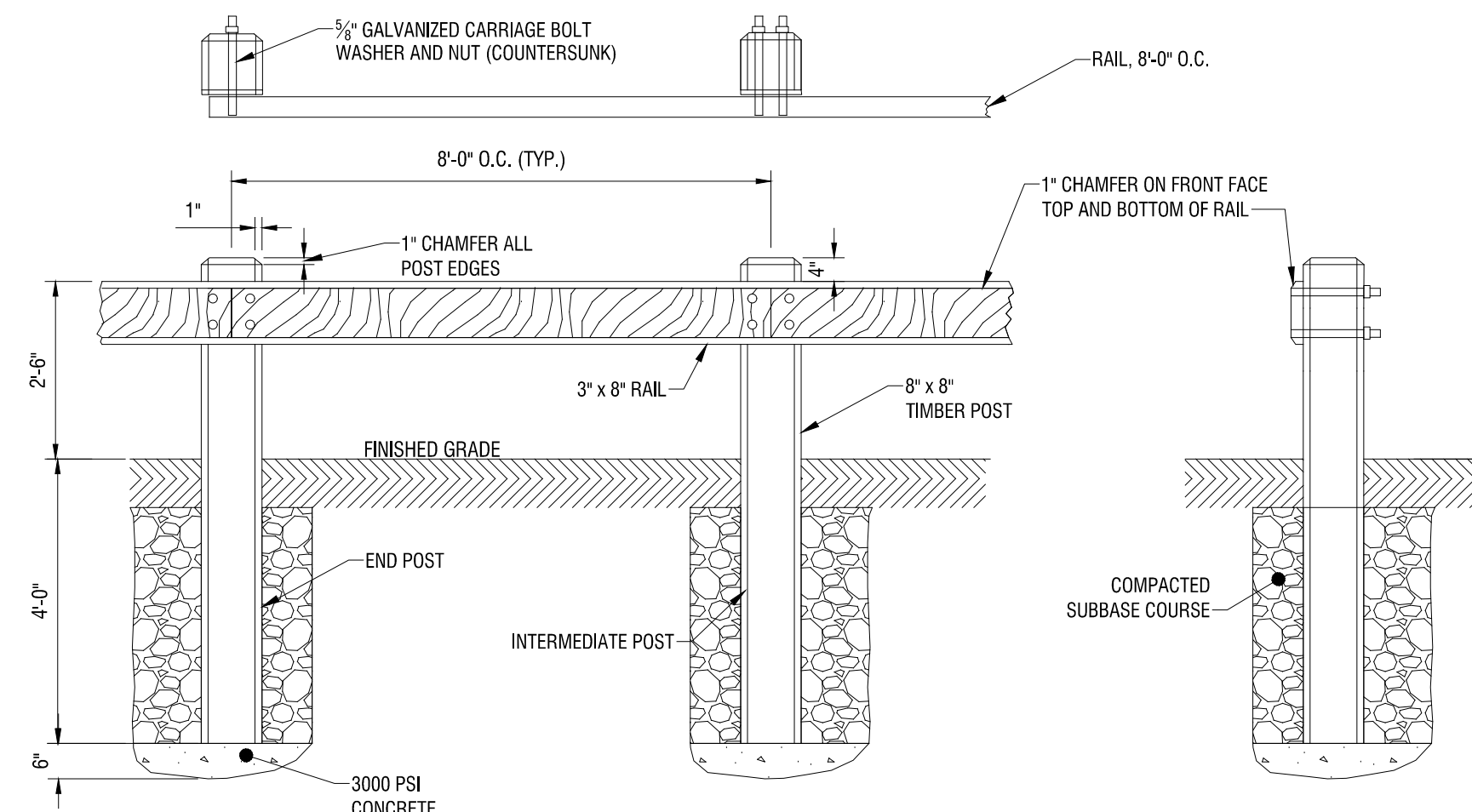
- CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH

CONSTRUCTION SPECIFICATIONS

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 100 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED), EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

1 CONCRETE WASHOUT AREA WITH STRAW BALES

C501 N.T.S.

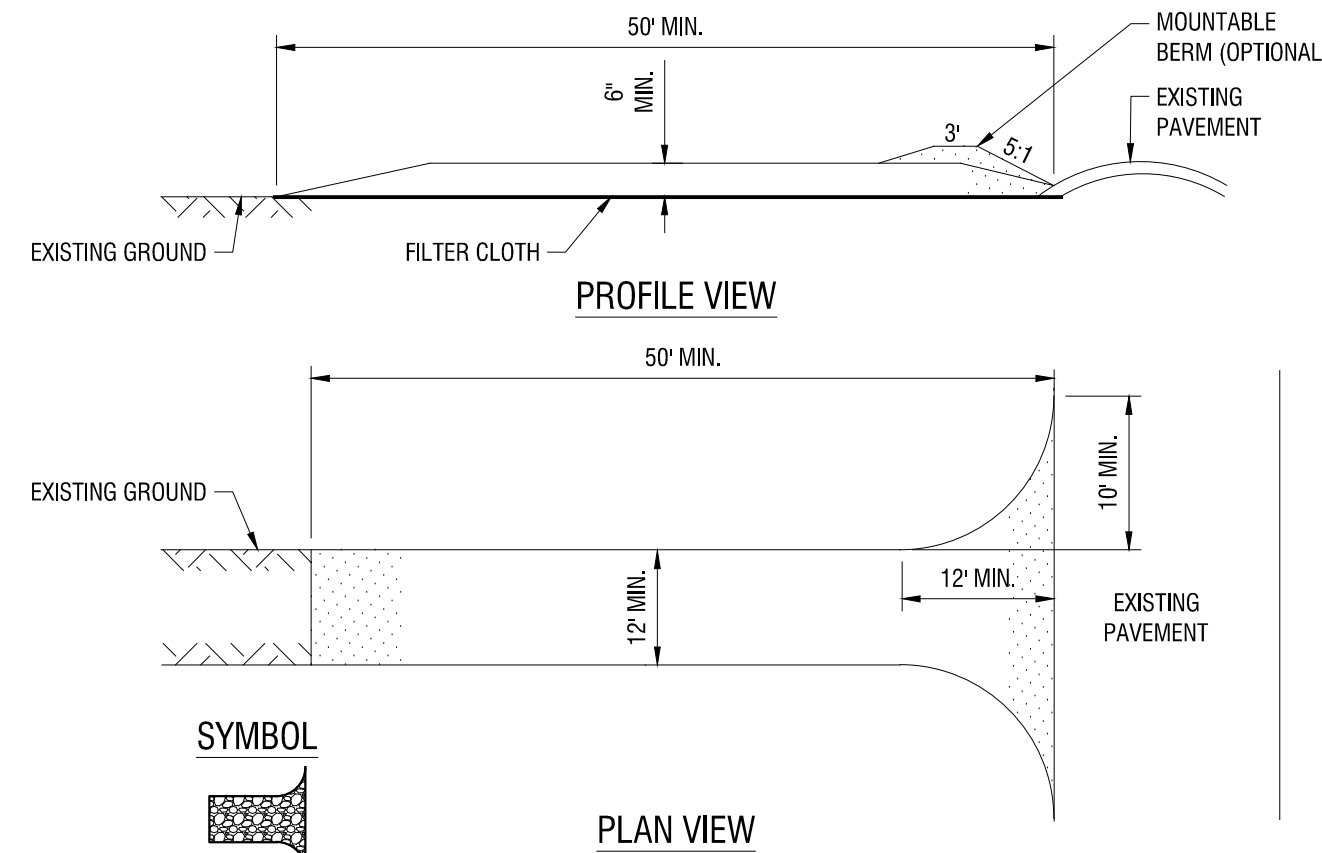


NOTE:

- GUIDE RAIL POSTS & RAIL TO BE SOLID #2 OR BETTER WESTERN RED CEDAR WITH ROUGH SAWN TEXTURE. STAIN TO BE CLEAR NATURAL PRESERVATIVE BY WOODLIFE OR APPROVED EQUAL

5 TIMBER GUIDE RAIL

C501 N.T.S.

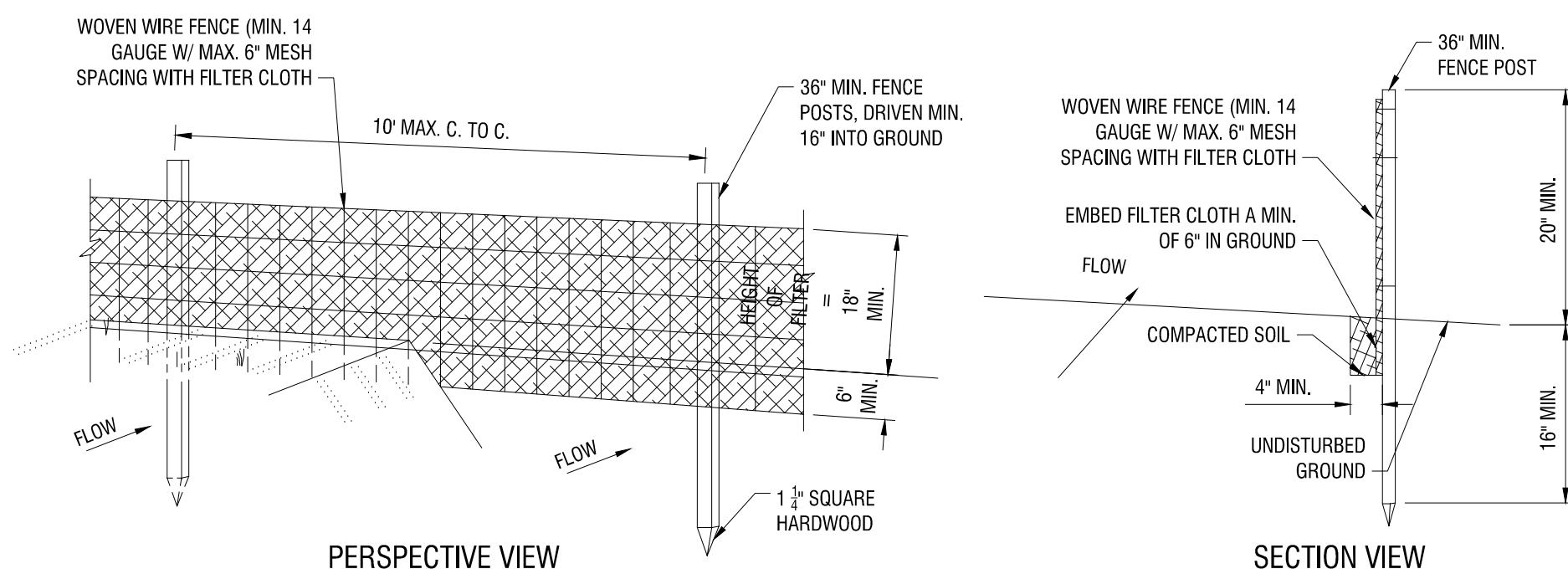


CONSTRUCTION SPECIFICATIONS:

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.

6 STABILIZED CONSTRUCTION ENTRANCE

C501 N.Y.S DEC DETAIL: STABILIZED CONSTRUCTION ACCESS

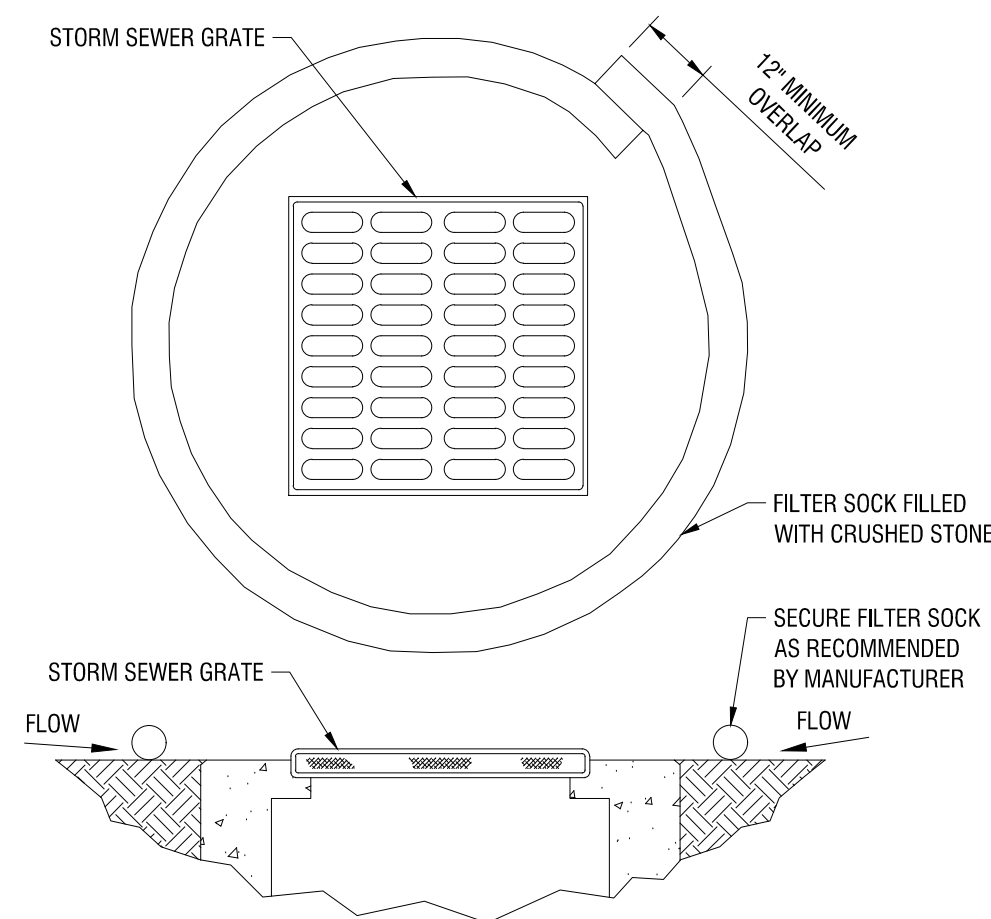


NOTES:

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1" OR 1 1/2" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 140N, OR APPROVED EQUAL.
- PRE-FABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

3 SILT FENCE

C501 N.Y.S DEC DETAIL: SILT FENCE



2 INLET PROTECTION IN PAVEMENT

C501 N.T.S.

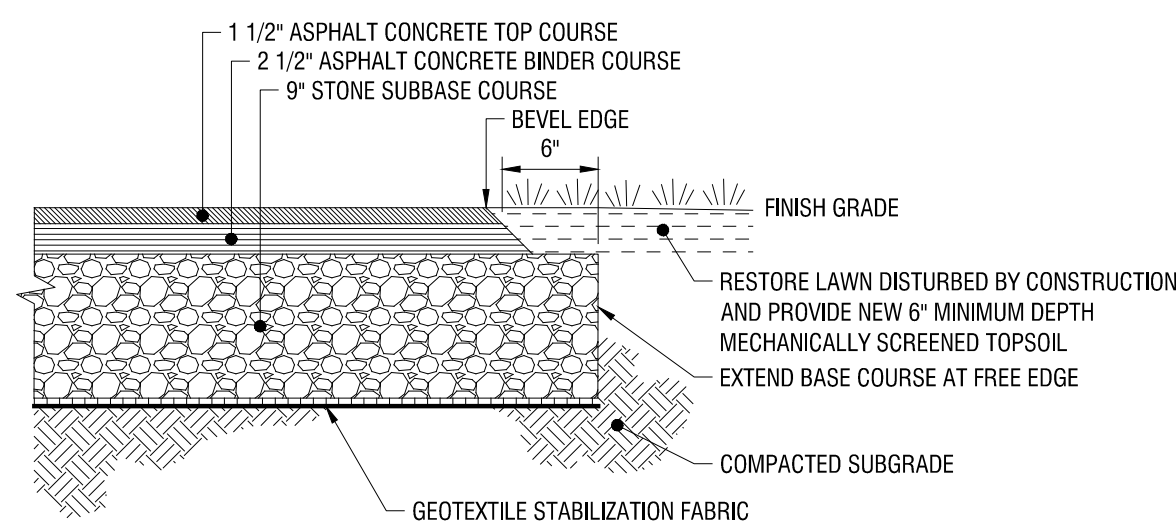
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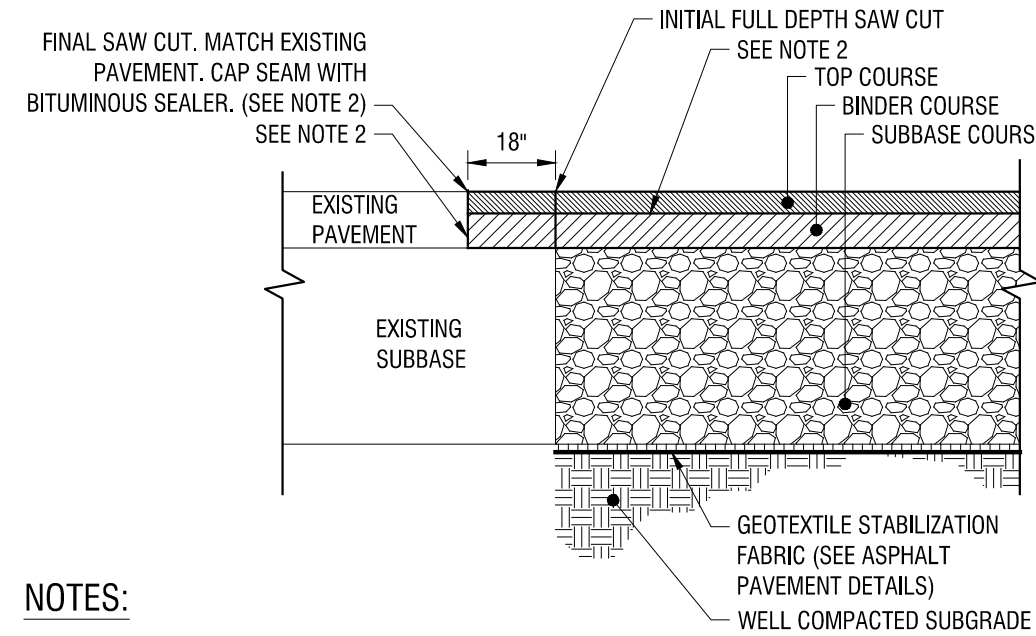


NOTES:

1. PROVIDE ADDITIONAL SUBBASE MATERIAL, WHERE FILL IS REQUIRED TO OBTAIN PROPER SUBGRADE ELEVATION, OR TO REPLACE UNSUITABLE SUBGRADE MATERIAL.

9 ASPHALT PAVEMENT SECTION

C502 N.T.S.

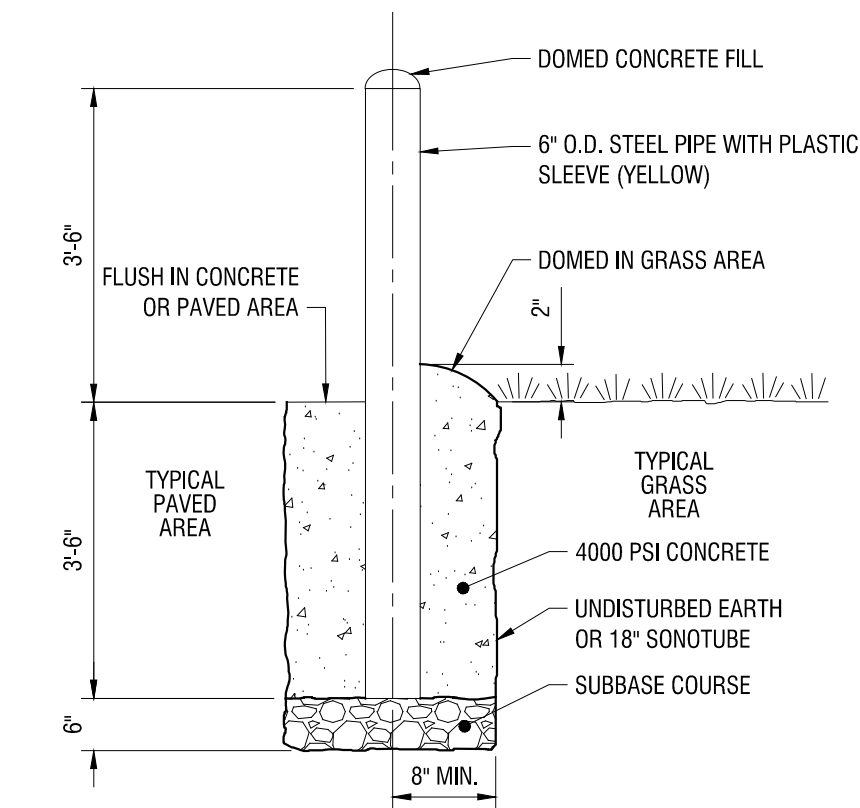


NOTES:

1. VERTICALLY SAW CUT ALL ASPHALT FULL DEPTH.
2. BLOW CLEAN AND APPLY TACK COAT 0.050 GAL/SY AT ALL ASPHALT TO ASPHALT SURFACES.
3. REFER TO ASPHALT PAVEMENT SECTION DETAIL FOR COURSE THICKNESS.

8 ASPHALT PAVEMENT JOINT

C502 N.T.S.

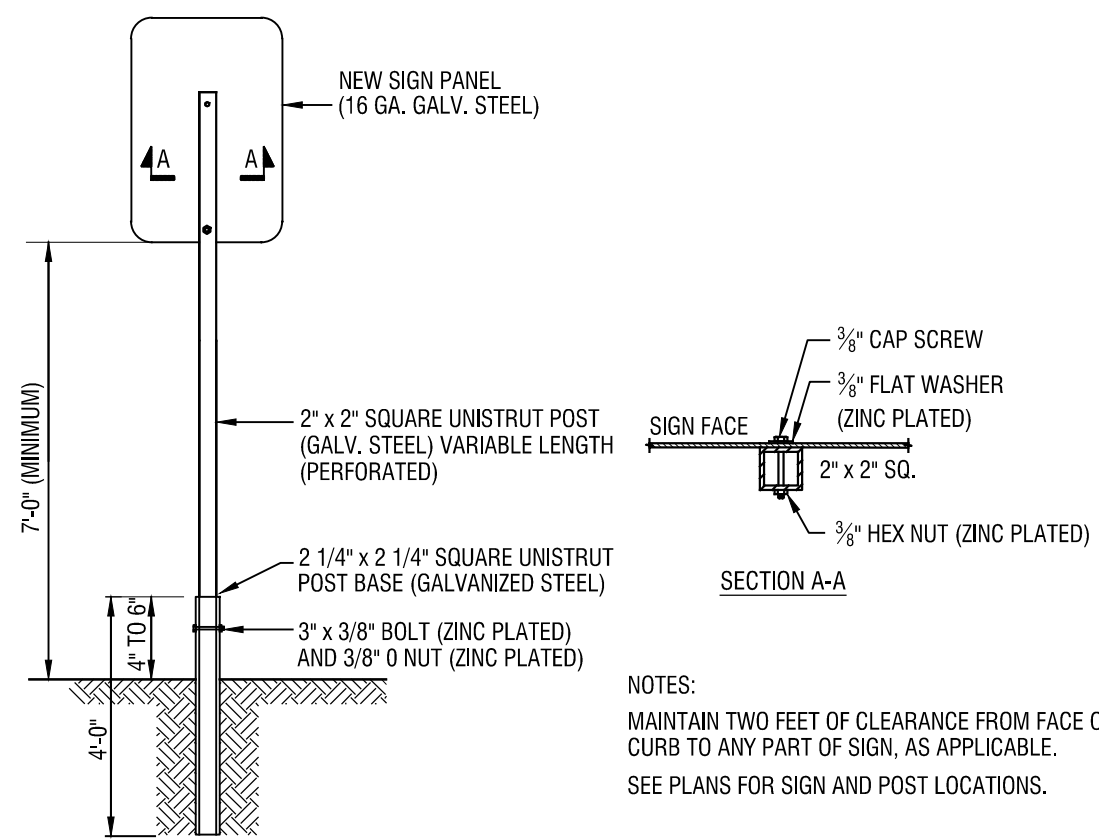


NOTE:

1. FINAL LOCATION OF BOLLARDS SHALL BE APPROVED BY THE OWNER OR ARCHITECT/ENGINEER.

7 BOLLARD

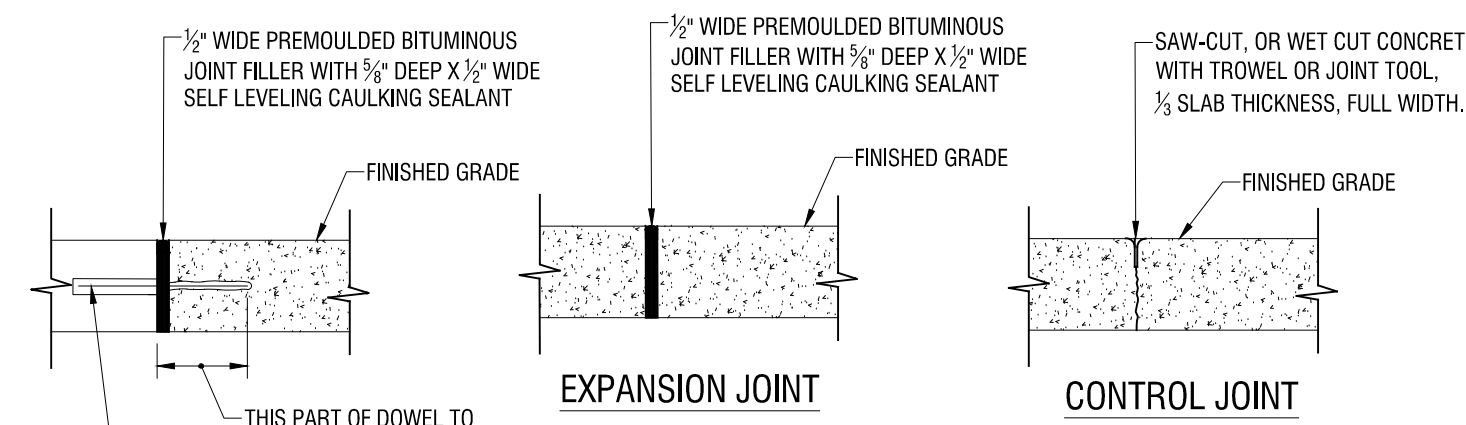
C502 N.T.S.



- NOTES:**
1. MAINTAIN TWO FEET OF CLEARANCE FROM FACE OF CURB TO ANY PART OF SIGN, AS APPLICABLE. SEE PLANS FOR SIGN AND POST LOCATIONS.

6 POST MOUNT SIGN DETAIL

C502 N.T.S.

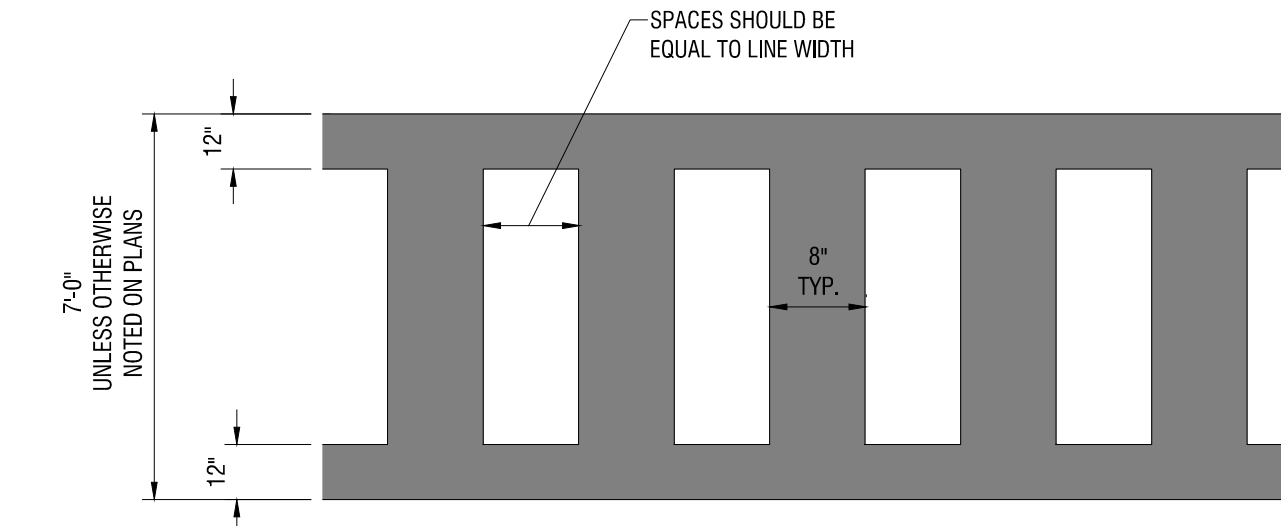


SIDEWALK NOTES:

1. CONCRETE SHALL BE 4,000 PSI AIR ENTRAINED MIX AT 28 DAYS
2. COMPACTED SUBBASE MATERIAL SHALL COMPLY WITH NYS DOT ITEM 304.14, TYPE 4
3. CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY THE PRODUCT MANUFACTURER.
4. EXPANSION JOINTS SHALL BE PROVIDED AT ALL FITTED STRUCTURES
5. CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH ACI 309-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT. SCORED JOINTS SHALL BE 1/2-INCH WIDTH MINIMUM AND 1/3 OF THE THICKNESS OF THE CONCRETE. SIDEWALK ADJACENT TO THE CURB SHALL HAVE A 2.00% CROSS-SLOPE TO THE CURB. OTHER AREA AS INDICATED ON THE GRADING PLAN.
6. FIBER REINFORCEMENT (FRC FIB-300 OR APPROVED EQUAL) IS AN ACCEPTABLE ALTERNATIVE TO WELDED WIRE FABRIC.
7. ALL JOINTS AND EXPOSED EDGES SHALL BE ROUNDED WITH JOINT TOOL.

5 REINFORCED CONCRETE SIDEWALK

C502 N.T.S.



NOTES:

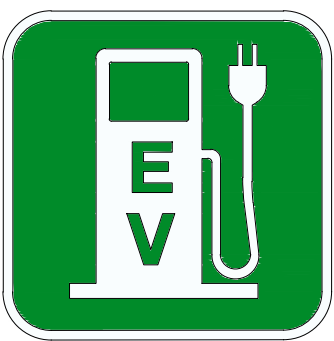
1. ALL STRIPING SHALL BE WHITE

4 CROSSWALK

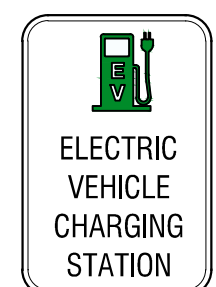
C502 N.T.S.



ACCESSIBLE SYMBOL
COLOR WHITE ON BLUE BACKGROUND



ELECTRIC CHARGING SYMBOL
4x4\", COLOR WHITE ON GREEN BACKGROUND



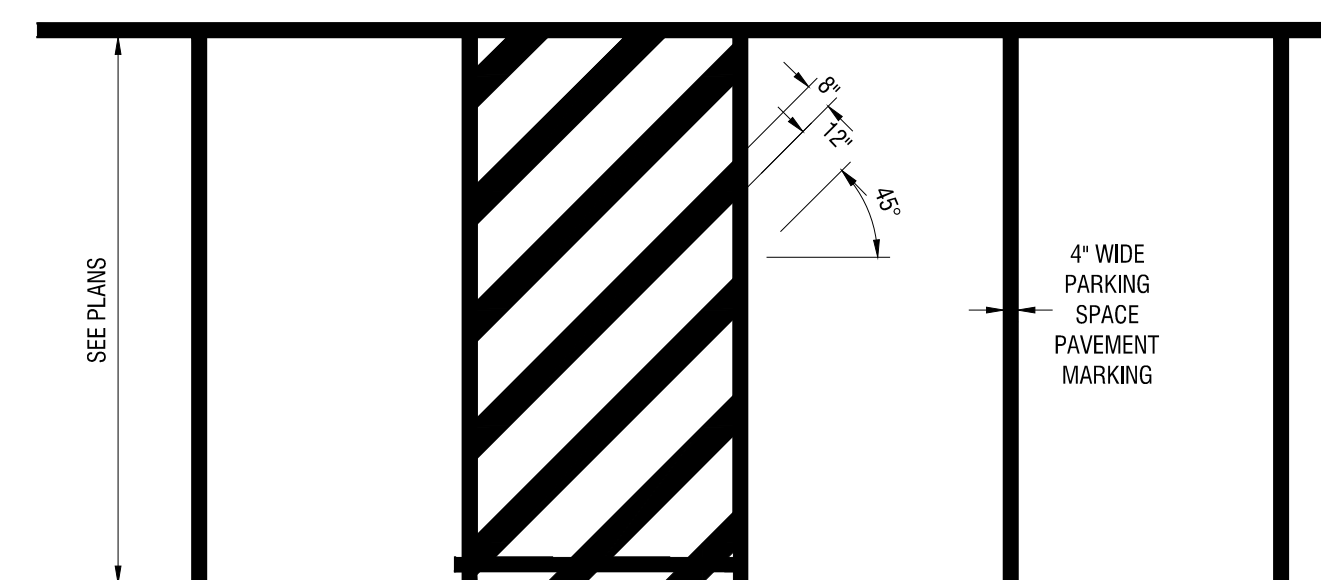
NOTES:

1. PROVIDE NEW SIGN (MUTCD P4-6C), GROUND MOUNT, SINGLE POST AS SHOWN ON SITE PLAN

12\"/>

3 PAVEMENT MARKINGS AND SIGNAGE

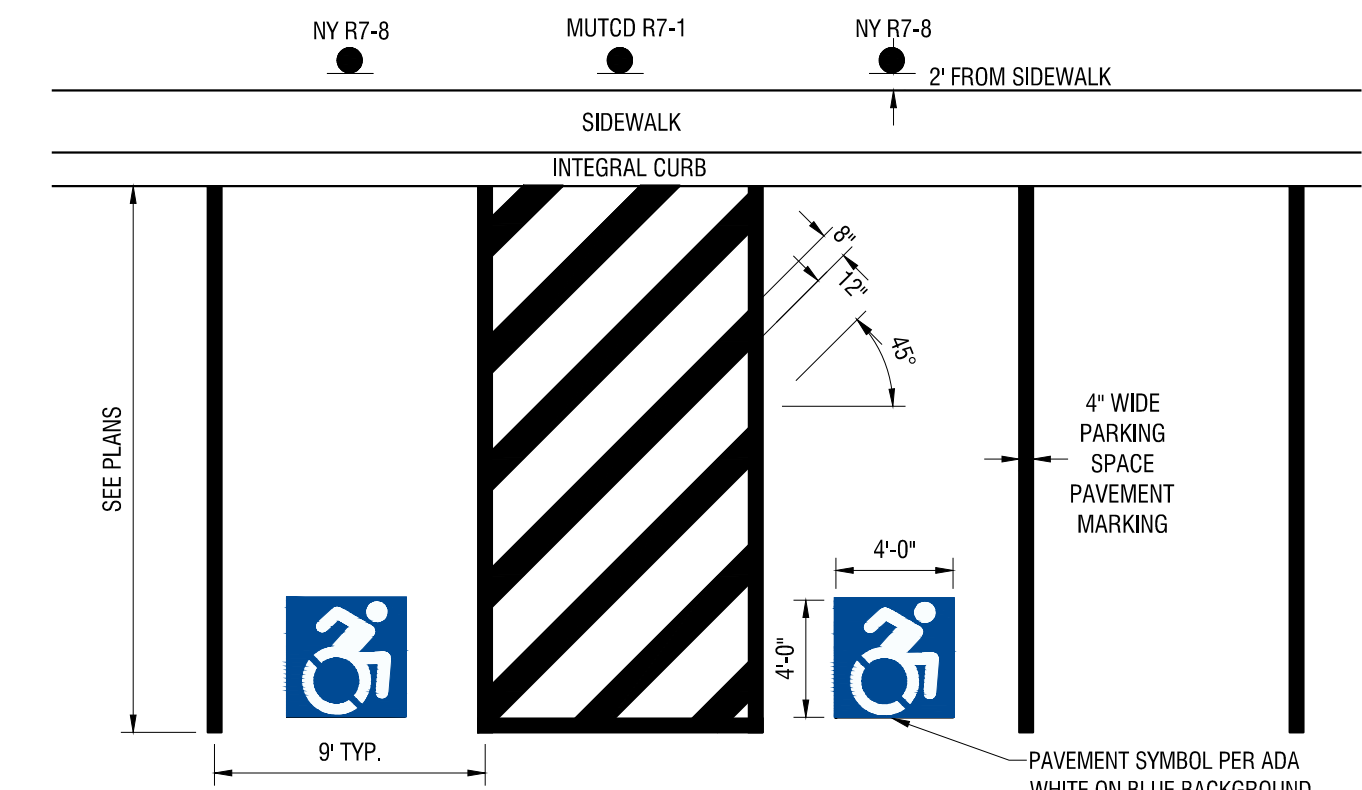
C502 N.T.S.



2 PARKING SPACE STRIPING

C502 N.T.S.

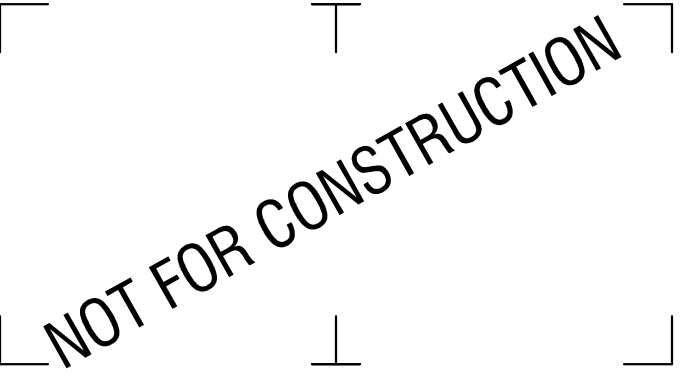
NOTE: ALL PARKING STRIPING TO BE YELLOW



1 ADA PARKING SPACE STRIPING

C502 N.T.S.

NOTE: ALL PARKING STRIPING TO BE YELLOW



It is a violation of New York Education Law Article 145 Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

HOME LEASING
75 SOUTH CLINTON AVE, SUITE 700
ROCHESTER, NY 14604

HOME LEASING
DEVELOPMENT | CONSTRUCTION | MANAGEMENT

MARIA REGINA APARTMENTS
2500 GRANT STREET
SYRACUSE, NY 13208

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2212978

DRAWN BY: BER

REVIEWED BY: DB

ISSUED FOR: REVIEW

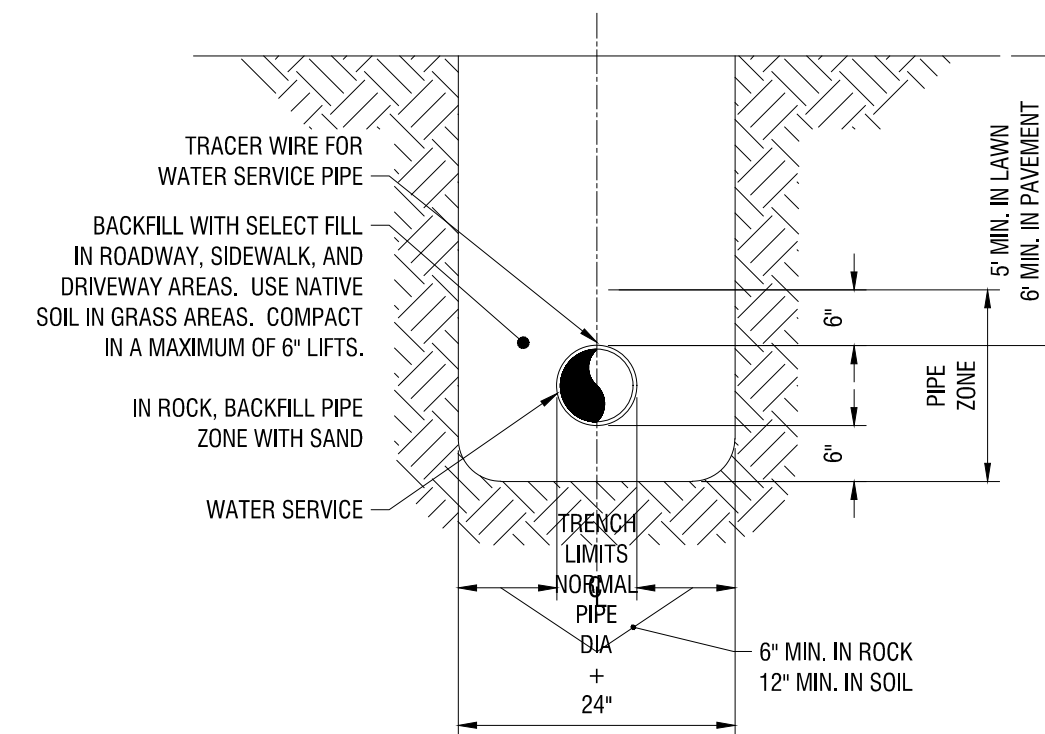
DATE: AUGUST 2023

DRAWING NAME:

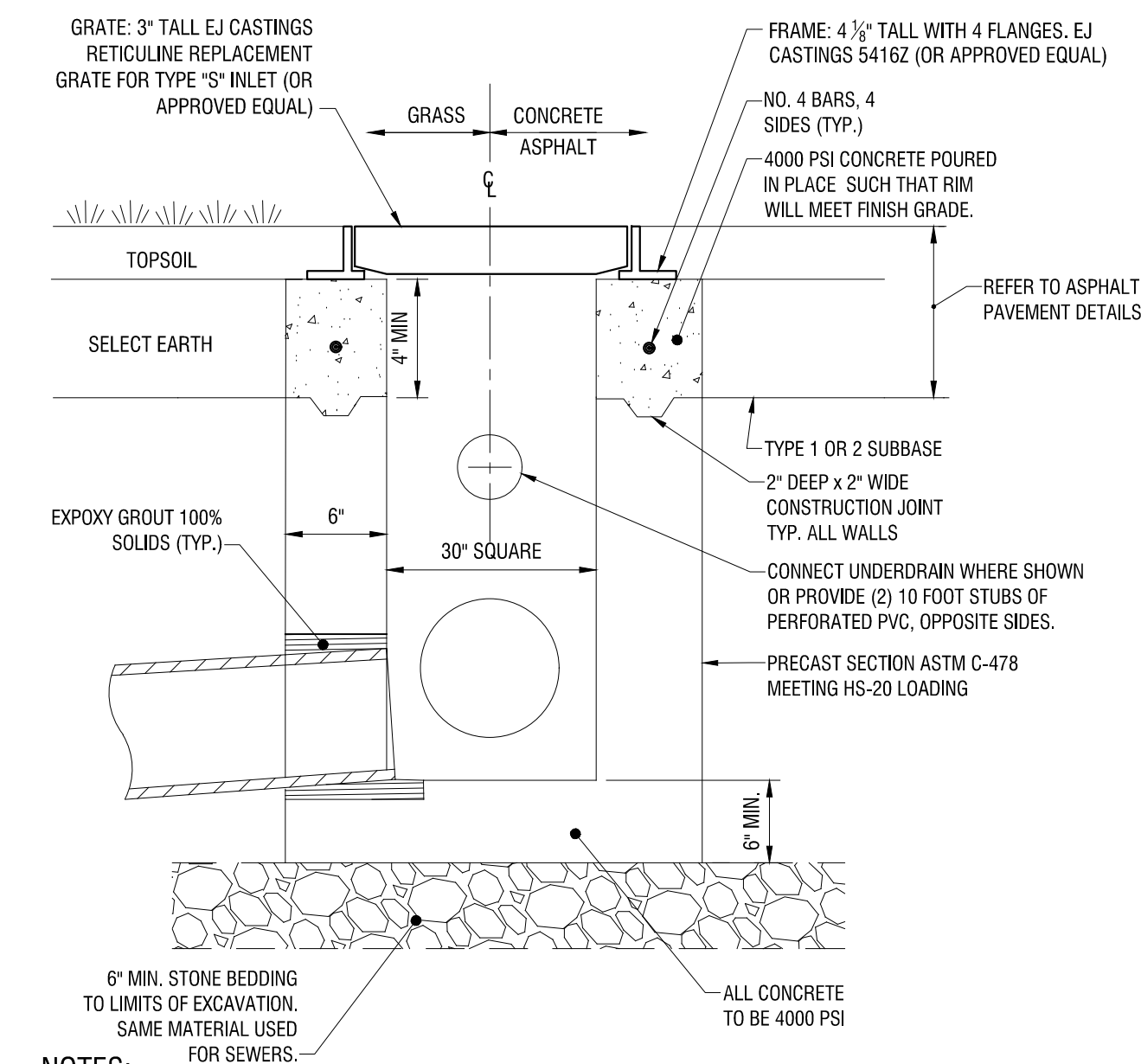
CONSTRUCTION DETAILS

DRAWING NUMBER:

C503

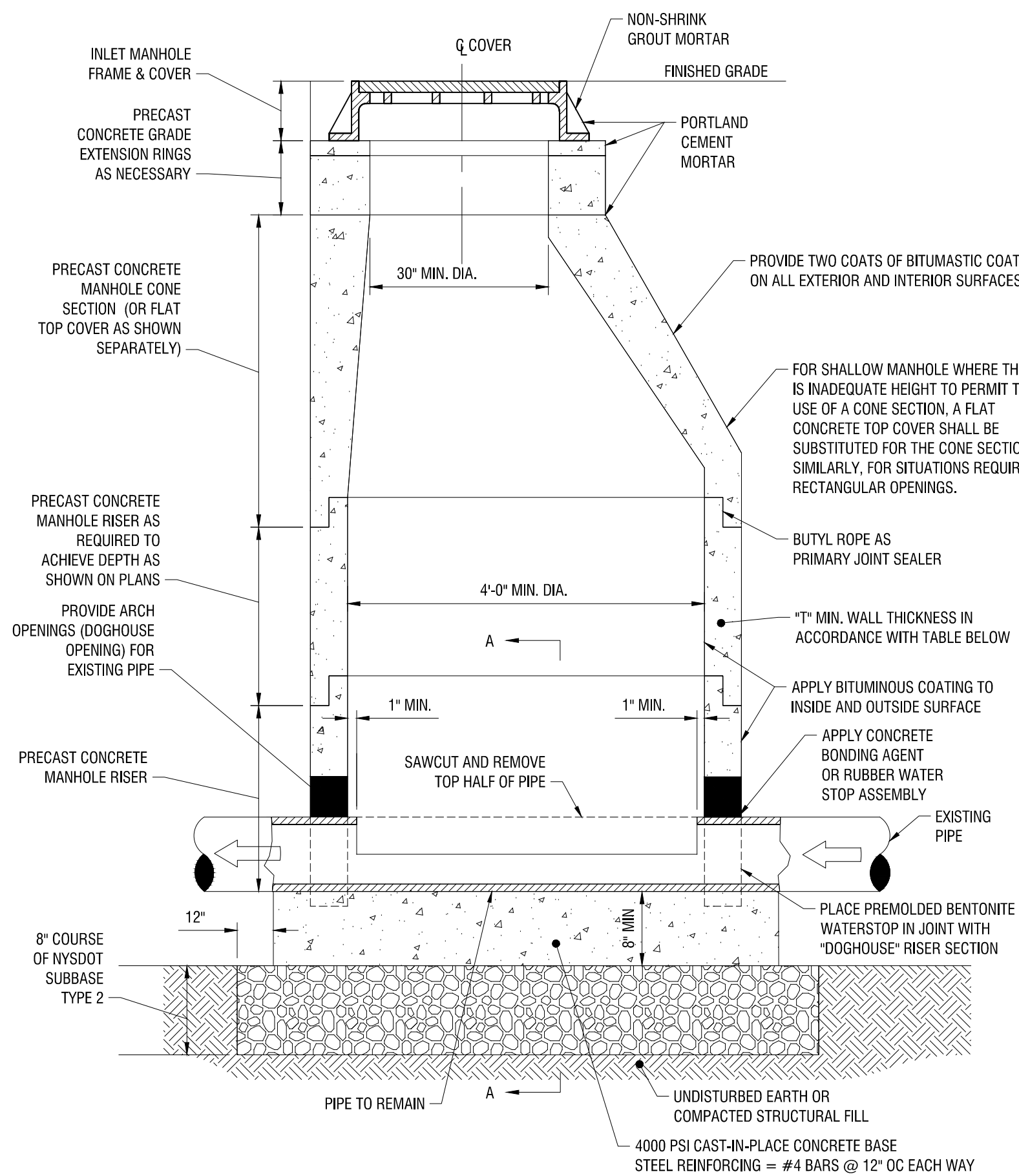


4 WATER SERVICE TRENCH
C503 N.T.S.

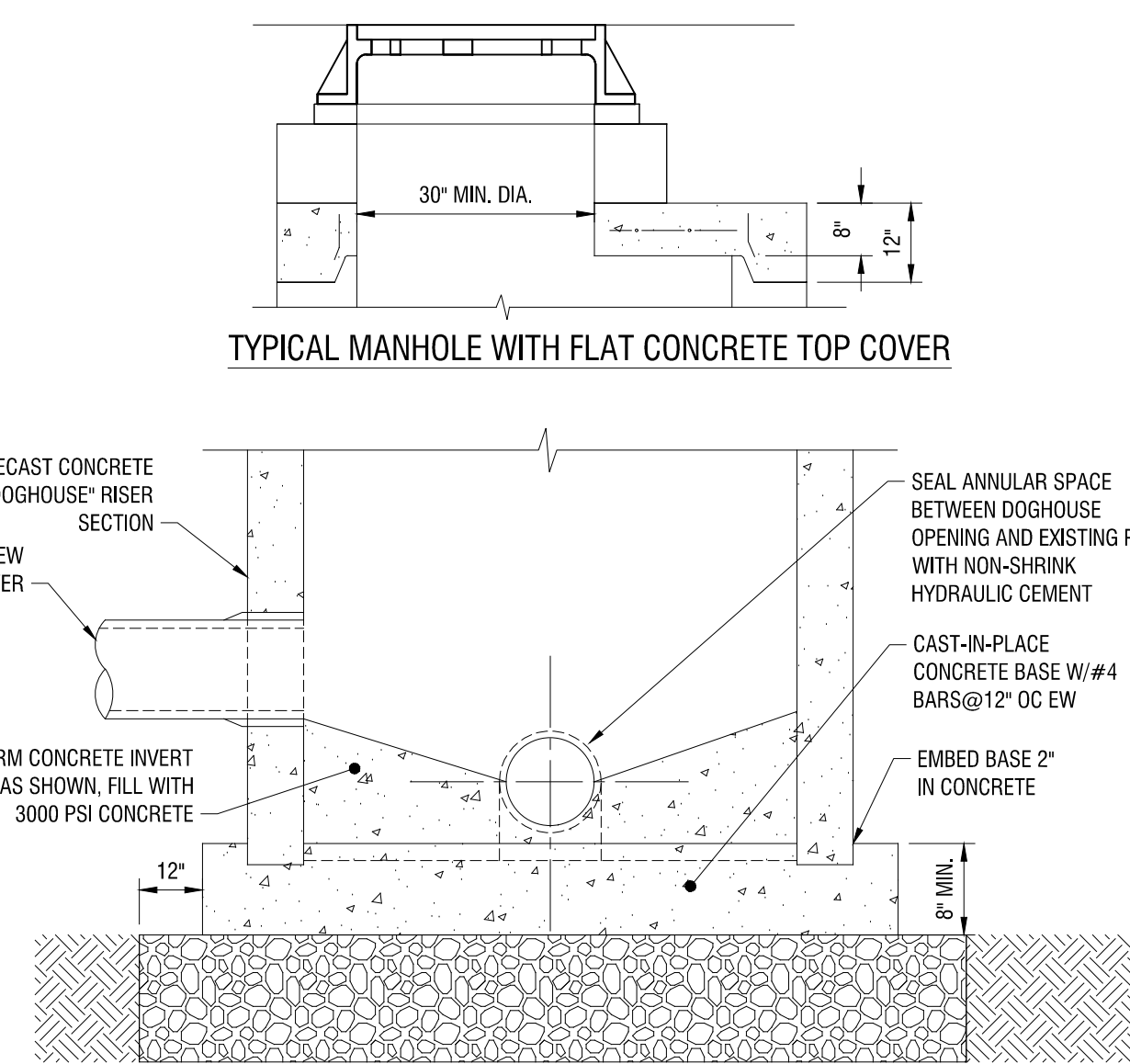


- NOTES:**
- THE ENTIRE EXTERIOR & INTERIOR SURFACES OF THE CATCH BASIN SHALL BE PAINTED WITH TWO COATS OF BITUMASTIC COATING.
 - CATCH BASIN SHALL NOT BE CONNECTED TO ANY SANITARY SEWER.
 - PROVIDE FRAMES AND GRATES CONFORMING TO NYSDOT STANDARD SHEETS M655-10R3, M655-6.
 - FRAMES TO HAVE APPROPRIATE STRAP ANCHORS.

3 CATCH BASIN
C503 N.T.S.

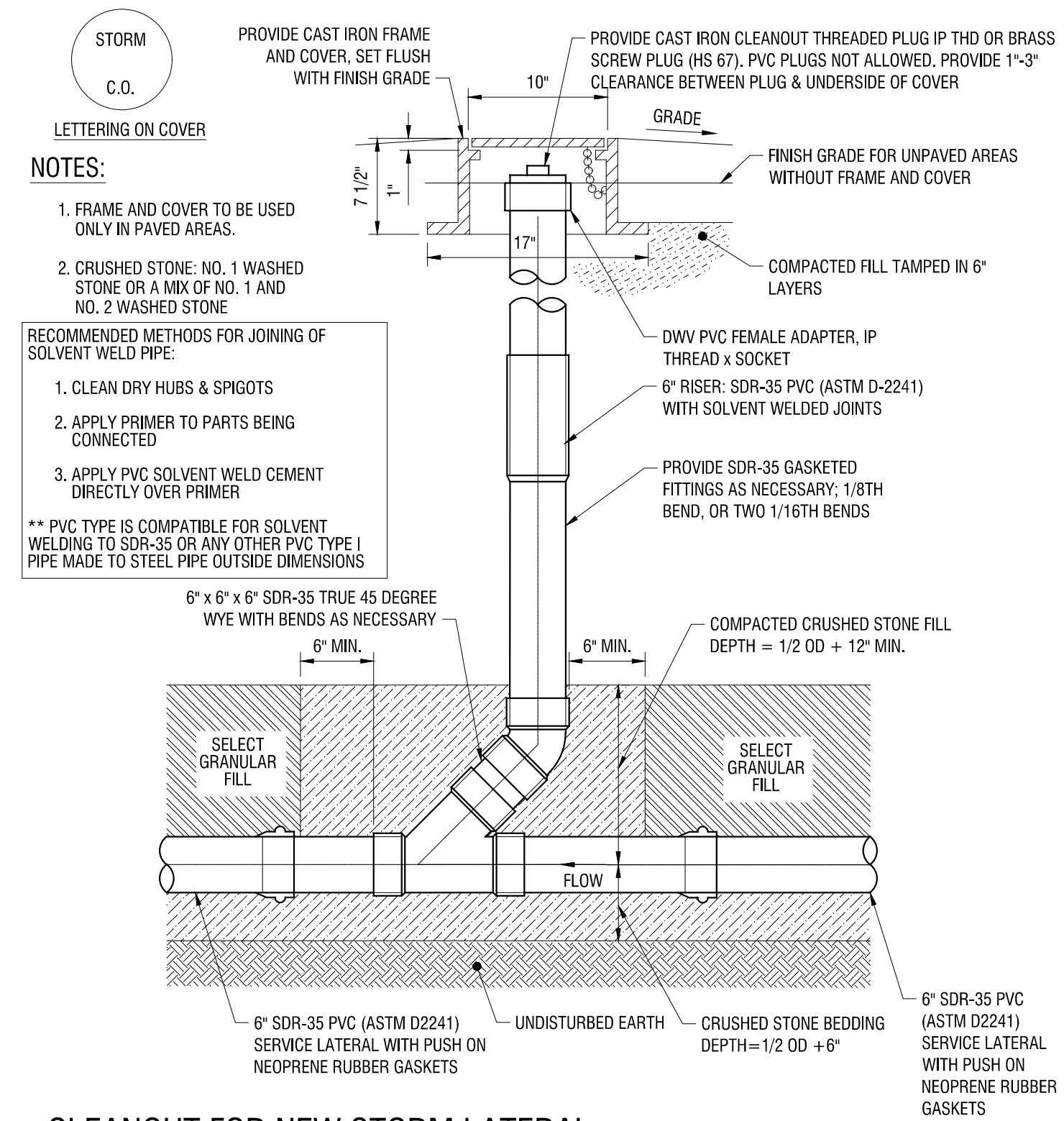


2 PRECAST CONCRETE DOGHOUSE MANHOLE
C503 N.T.S.



SECTION A-A

- NOTES:**
- INVERT SHALL BE FILLETED.
 - REINFORCEMENT FOR MANHOLE COMPONENTS SHALL BE DESIGNED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW. STRUCTURE SHALL BE DESIGNED FOR HS20-44 VEHICULAR LOADING PLUS 25% IMPACT.
 - CONCRETE TO TEST 4000 P.S.I. AT 28 DAYS IN CONFORMANCE WITH A.S.T.M. C-478.
 - BENCH SHALL BE BUILT FOR FLOW BETWEEN INLET AND OUTLET.
 - EACH MANHOLE EXTERIOR SHALL RECEIVE TWO BITUMINOUS COATS.



1 CLEANOUT FOR NEW STORM LATERAL
C503 N.T.S.

NOT FOR CONSTRUCTION

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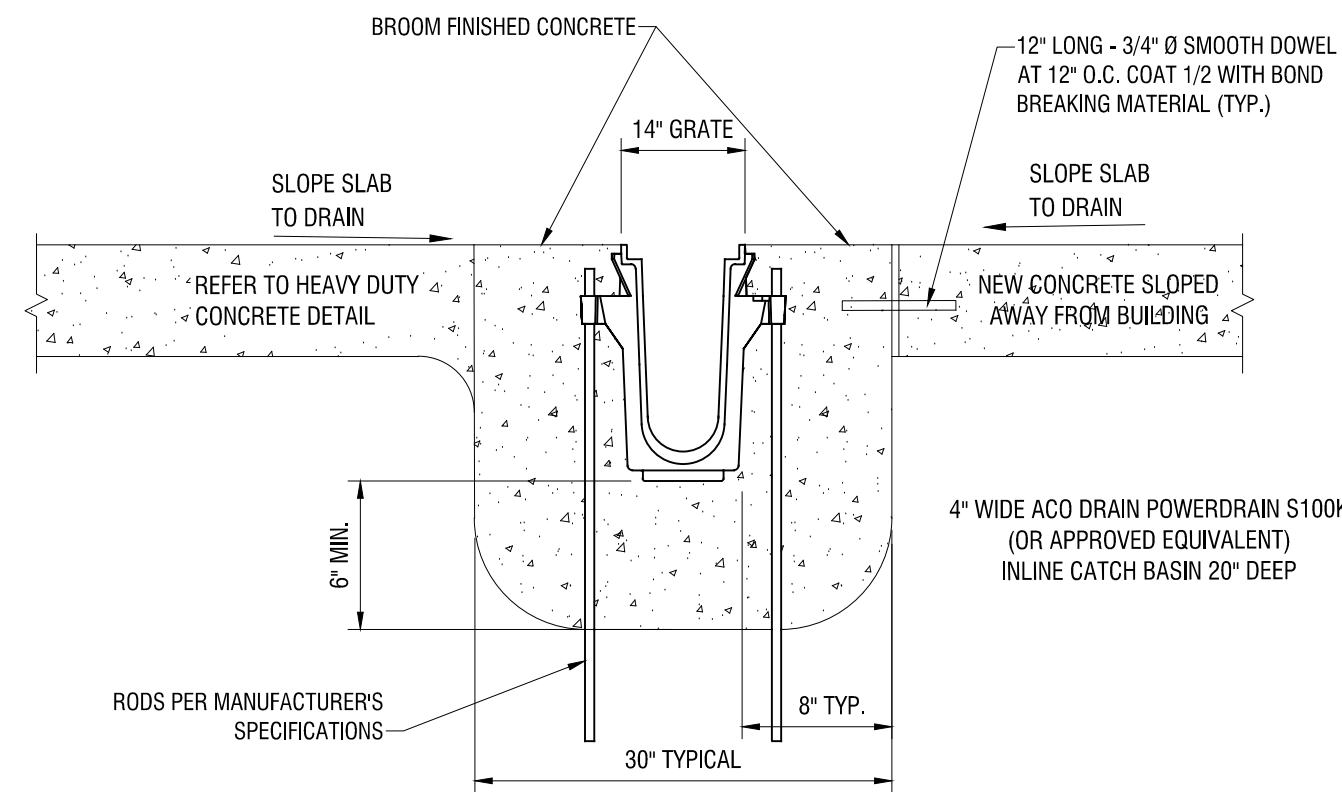
DATE: AUGUST 2023

DRAWING NAME:

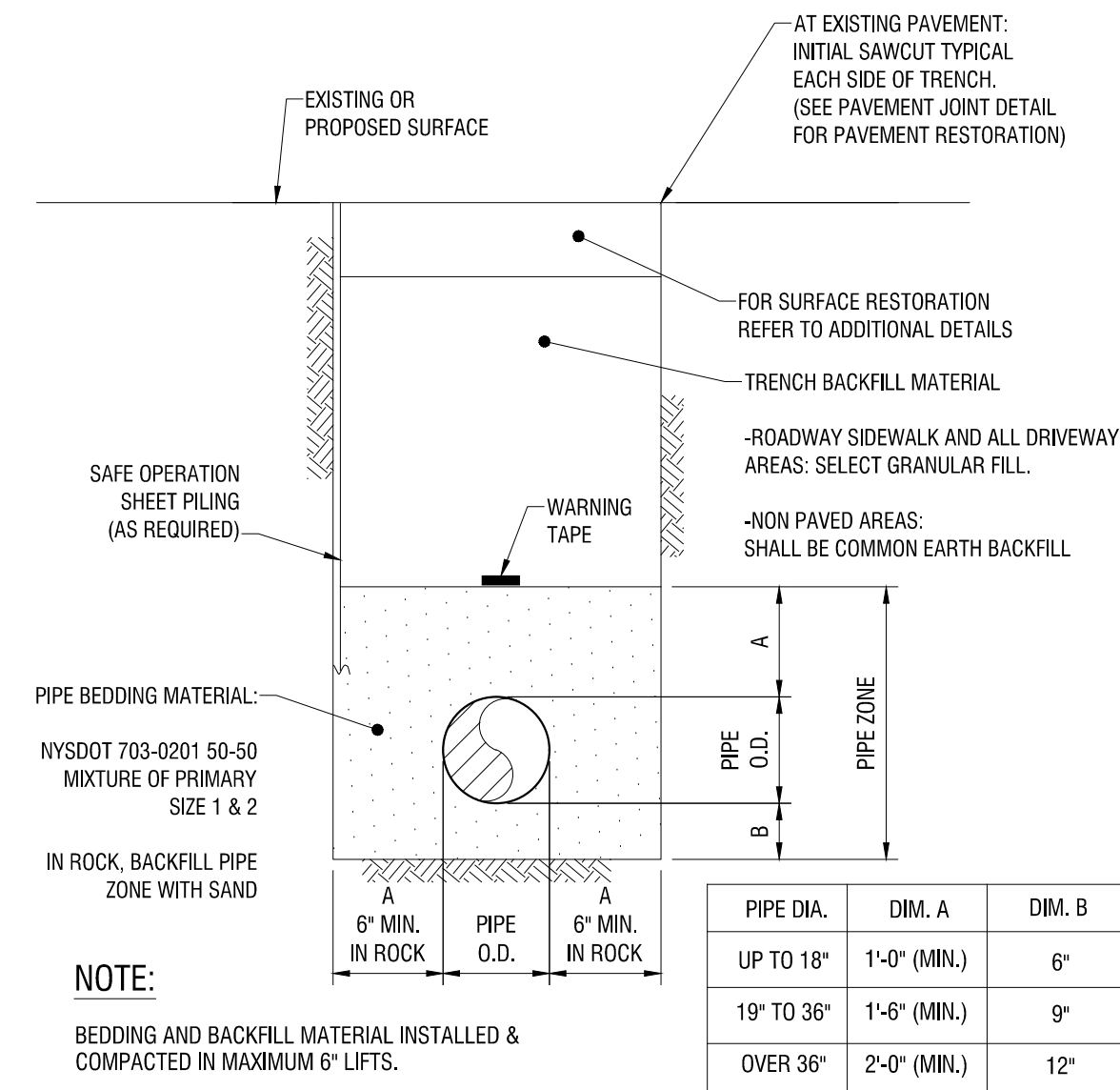
CONSTRUCTION DETAILS

DRAWING NUMBER:

C504



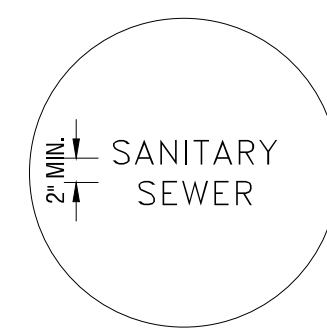
4 HEAVY DUTY TRENCH DRAIN
C504 N.T.S.



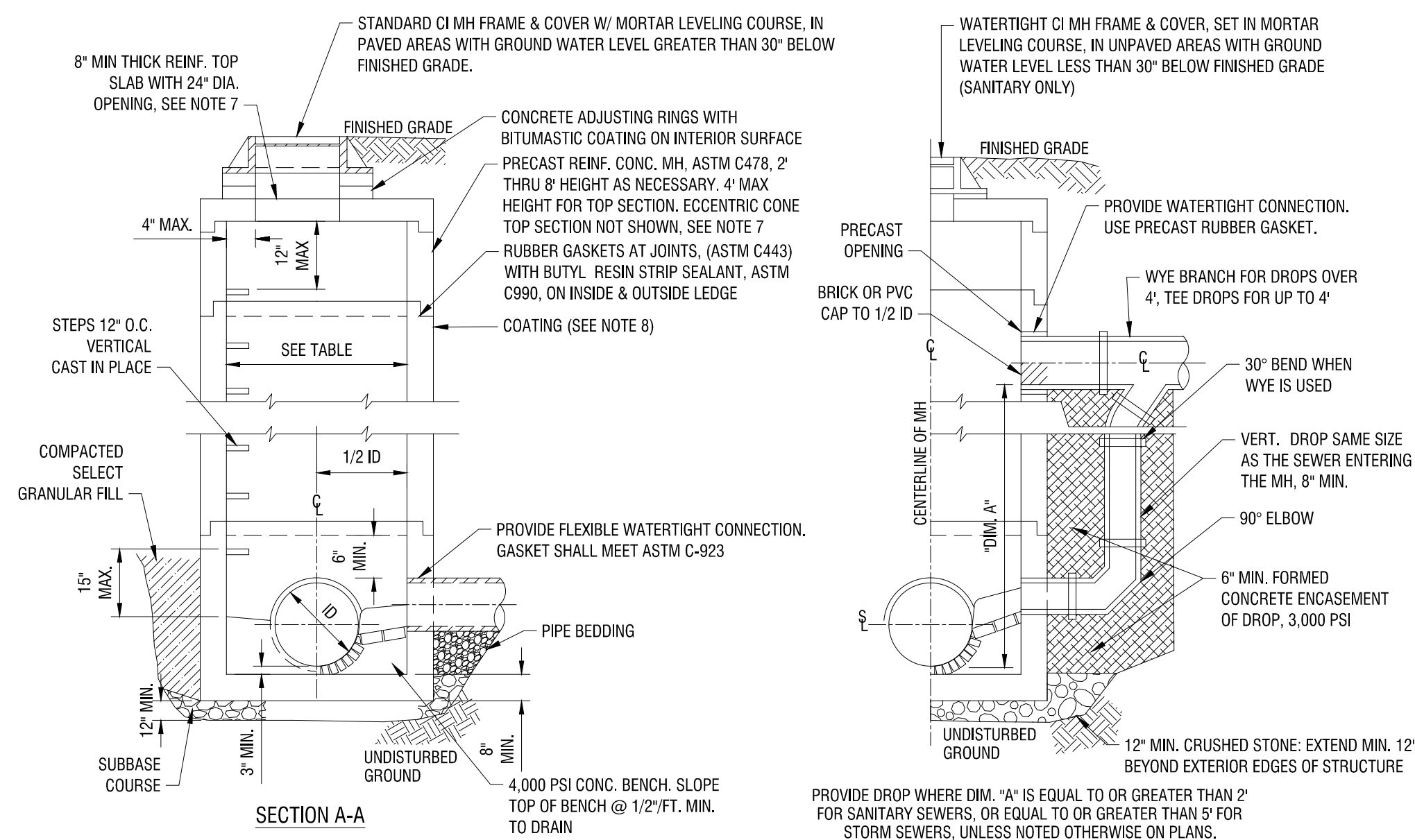
3 STORM/SANITARY SEWER TRENCH AND PIPE BEDDING
C504 N.T.S.

MINIMUM MANHOLE DIAMETERS

# OF CONNECTIONS	PIPE DIAMETERS										
	8"	10"	12"	15"	16"	18"	21"	24"	30"	36"	42" & UP
ONE	4"	4"	4"	4"	4"	4"	4"	4"	5"	5"	REQUIRES SPECIAL MANHOLE
TWO	4"	4"	4"	4"	4"	4"	4"	4"	5"	5"	
THREE	4"	4"	4"	4"	4"	4"	4"	4"	5"	5"	
FOUR	4"	4"	4"	5"	5"	5"	5"	5"	5"	5"	



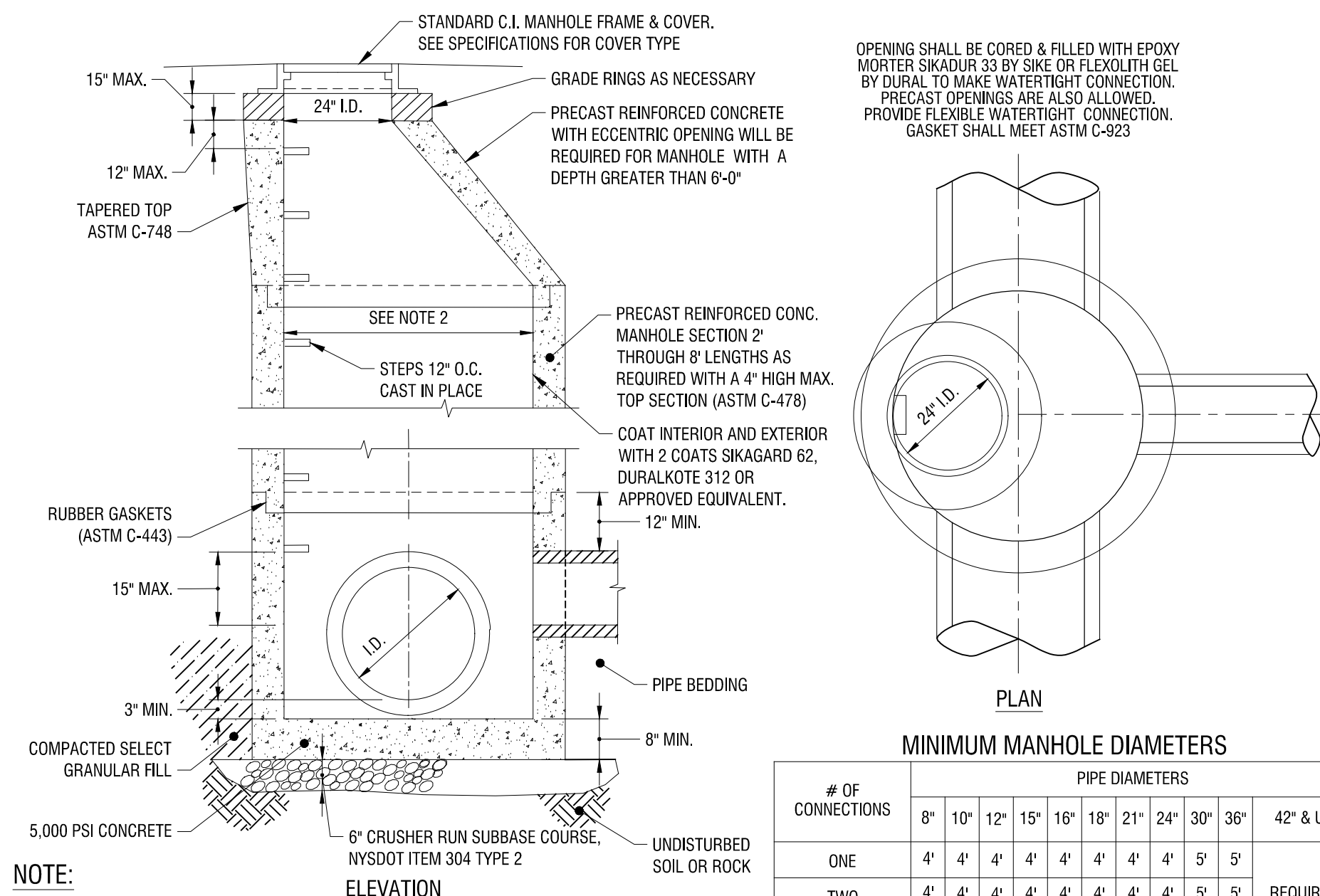
LETTERING ON COVER



2 SANITARY MANHOLE
C504 N.T.S.

NOTES:

- IF AN INVERT IS NOT GIVEN, THE CROWN OF THE INFLUENT SEWER(S) SHOULD BE AT THE SAME LEVEL OR ABOVE THE CROWN OF THE OUTLET SEWER.
- PIPE CONNECTIONS 6" DIAMETER AND SMALLER MAY BE FIELD CORED. CORED OPENINGS IN MANHOLE RISER SECTIONS SHALL BE NOT LESS THAN 6" FROM A RISER JOINT.
- ALL RISER JOINTS SHALL BE RUBBER RING GASKETS CONFORMING TO ASTM C443 WITH FLEXIBLE JOINT SEALER ON OUTSIDE OF JOINTS.
- PRECAST BASES, RISER SECTIONS & TOP SLABS SHALL CONFORM WITH ASTM C478, W/ HS-20 LOADING AND 30% IMPACT LOADING DESIGN.
- CONCRETE FOR STRUCTURE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- INVERT AND BENCH MAY BE CONSTRUCTED WITH BRICK OR POURED CONCRETE. PVC AND/OR ABS PIPE SHALL NOT BE USED WITHIN THE MANHOLE.
- ECCENTRIC CONE TYPE TOP SECTIONS FOR MANHOLES SHALL BE USED WHERE THE INSIDE HEIGHT DIMENSION FROM THE BENCH WALL TO THE BOTTOM OF THE ECCENTRIC SECTION EXCEEDS 6', OTHERWISE PROVIDE FLAT SLAB TOP SECTIONS.
- INSIDE AND OUTSIDE OF MANHOLE TO BE EPOXY COATED TO ONE FOOT ABOVE THE HIGHEST PIPE CROWN. AREAS OUTSIDE OF ONE FOOT ABOVE HIGHEST PIPE CROWN TO RECEIVE TWO COATS OF BITUMASTIC COATING ON BOTH THE INSIDE AND OUTSIDE OF MANHOLE.



1 CONCENTRIC STORM MANHOLE
C504 N.T.S.

MINIMUM MANHOLE DIAMETERS

# OF CONNECTIONS	PIPE DIAMETERS										
	8"	10"	12"	15"	16"	18"	21"	24"	30"	36"	42" & UP
ONE	4"	4"	4"	4"	4"	4"	4"	4"	5"	5"	REQUIRES SPECIAL MANHOLE
TWO	4"	4"	4"	4"	4"	4"	4"	4"	5"	5"	
THREE	4"	4"	4"	4"	4"	4"	4"	4"	5"	5"	
FOUR	4"	4"	4"	5"	5"	5"	5"	5"	5"	5"	

- NOTE:**
- PRECAST REINFORCED CONCRETE BASE REQUIRED FOR MANHOLE WITH DEPTH GREATER THAN 6'-0"
 - REFER TO TABLE
 - MANHOLES ARE TO BE FLANGED AND WATER TIGHT IN HIGH WATER TABLE AREAS

NOT FOR CONSTRUCTION

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NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2212978

DRAWN BY: BER

REVIEWED BY: DB

ISSUED FOR: REVIEW

DATE: AUGUST 2023

DRAWING NAME:

**EXISTING CONDITIONS
PHOTOS PLAN**

DRAWING NUMBER:

C100



PHOTO S1



PHOTO S2

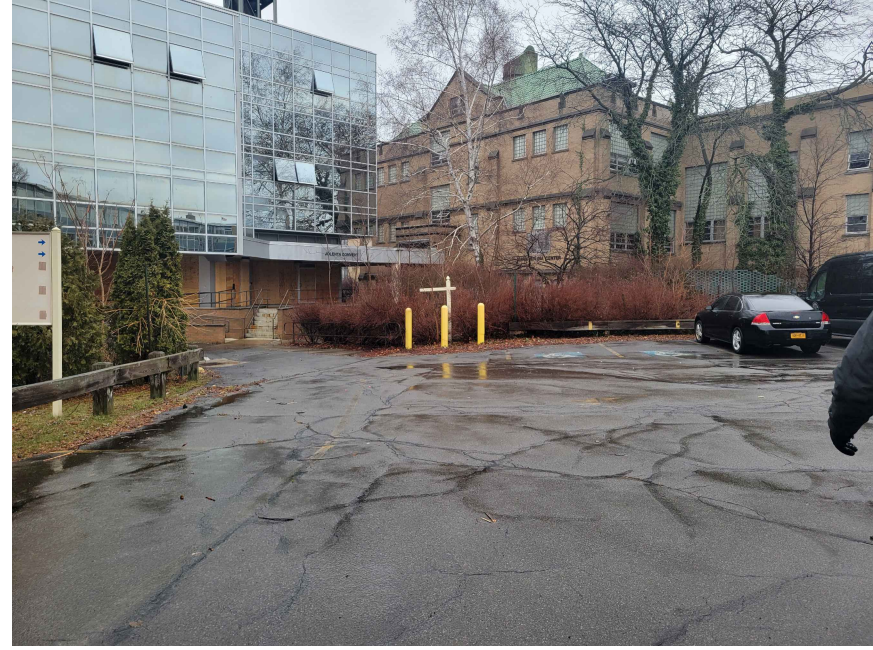


PHOTO S3



PHOTO S4



PHOTO R1



PHOTO R2

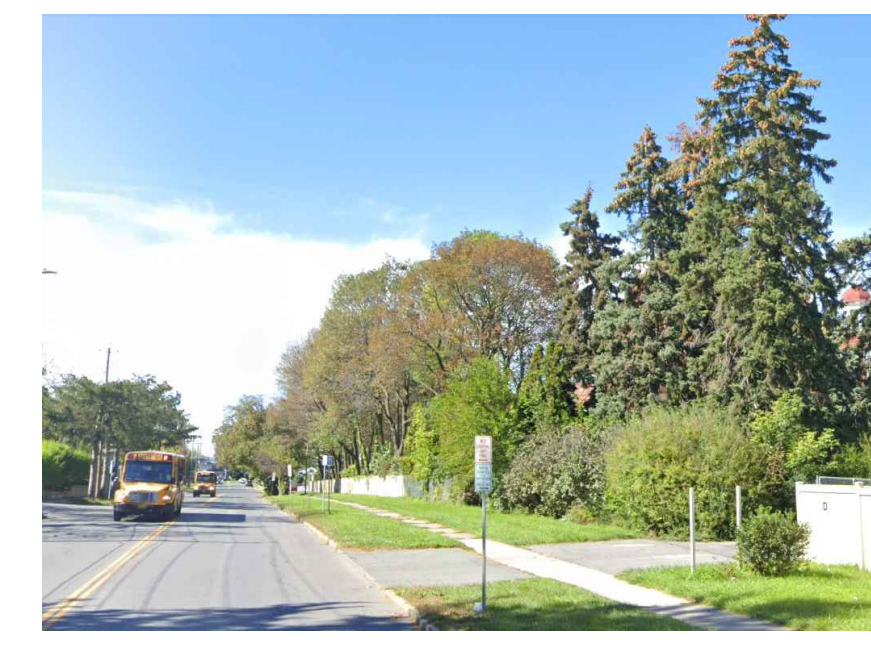


PHOTO R4



PHOTO R3



Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]
Project : SR-23-07
Date : 1/22/24

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “**Yes**” to a numbered question, please complete all the questions that follow in that section.
- If you answer “**No**” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>				<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
h. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>		

2. Impact on Geological Features

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

NO

YES

If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO

YES

If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater
 The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. NO YES
 (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)
If "Yes", answer questions a - h. If "No", move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding
 The proposed action may result in development on lands subject to flooding. NO YES
 (See Part 1. E.2)
If "Yes", answer questions a - g. If "No", move on to Section 6.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>				<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

d. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered “Moderate to large impact may occur”, continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property’s setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation			
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If “Yes”, answer questions a - e. If “No”, go to Section 12.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or “ecosystem services”, provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas			
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If “Yes”, answer questions a - c. If “No”, go to Section 13.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation
 The proposed action may result in a change to existing transportation systems. NO YES
 (See Part 1. D.2.j)
If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy
 The proposed action may cause an increase in the use of any form of energy. NO YES
 (See Part 1. D.2.k)
If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

15. Impact on Noise, Odor, and Light
 The proposed action may result in an increase in noise, odors, or outdoor lighting. NO YES
 (See Part 1. D.2.m., n., and o.)
If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)
If "Yes", answer questions a - m. If "No", go to Section 17.

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

17. Consistency with Community Plans

The proposed action is not consistent with adopted land use plans.
 (See Part 1. C.1, C.2. and C.3.)
 If “Yes”, answer questions a - h. If “No”, go to Section 18.

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action’s land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character

The proposed project is inconsistent with the existing community character.
 (See Part 1. C.2, C.3, D.2, E.3)
 If “Yes”, answer questions a - g. If “No”, proceed to Part 3.

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

Project : SR-23-07

Date : 1/22/24

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the City of Syracuse Planning Commission _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Maria Regina Negative Declaration

Name of Lead Agency: City of Syracuse Planning Commission

Name of Responsible Officer in Lead Agency: Steven Kulick

Title of Responsible Officer: Chairperson

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer)

Date:

For Further Information:

Contact Person: Cristian Toellner

Address: 300 S. State Street Suite 700, Syracuse, NY 13202

Telephone Number: 3154488261

E-mail: ctoellner@syr.gov

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)
Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

City of Syracuse

Parcel History

01/01/1900 - 12/07/2023

Tax Map #: 006.-10-01.6

Owners: The Kimberly At Grant Blvd LLC

Zoning:

Address	Date	Transaction	Transaction Type	Status	Description
1024-1124 Court St & Grant Blvd	04/21/16	Completed Complaint	Trash/Debris-Private, Occ	Completed	2016-09475 Trash and debris on premises
1024-1124 Court St & Grant Blvd	05/31/16	Completed Complaint	Overgrowth: Private, Occ	Completed	2016-14033 over growth-SEE OPEN CASE
1024-1124 Court St & Grant Blvd	06/17/16	Completed Complaint	Property Maintenance-Ext	Completed	2016-16646 Overgrowth, and Trash & Debris
1024-1124 Court St & Grant Blvd	12/17/16	Complaint	Sidewalk Condition	Needs Review	2016-34342 Sidewalk snow & ice covered. Never shoveled last year and continuing this year! Dangerous for walkers.
1024-1124 Court St & Grant Blvd	01/26/17	Completed Complaint	Sidewalk Condition	Completed	2017-00077 sidewalk on court st side is snow/ice covered - the only sidewalk from 600 block court st to 1200 block of court st that is not clear!!
1024-1124 Court St & Grant Blvd	02/13/17	Completed Complaint	Sidewalk Condition	Completed	2017-03333 unshoveled sidewalk all season; why is this property always given a pass?
1024-1124 Court St & Grant Blvd	05/31/17	Complaint	Fire Alarm	Open	2017-14636 alarm activation system left in trouble
1024-1124 Court St & Grant Blvd	01/13/18	Complaint	Sidewalk-need snow removd	Needs Review	2018-01014 unshoveled - yet again!
1024-1124 Court St & Grant Blvd	03/10/18	Complaint	Sidewalk-need snow removd	Needs Review	2018-06509 unshoveled
1024-1124 Court St & Grant Blvd	06/08/18	Completed Complaint	Overgrown Veg - Public	Completed	2018-16715 Property is overgrown; mowing is minimal - city side near curb is left untouched; trimming is never done; skunks live in overgrowth; litter is accumulating; especially on Court St. side; shame on owner!
1024-1124 Court St & Grant Blvd	09/19/18	Completed Complaint	Fire Alarm	Completed	2018-28632 see weekly : panel indicated several connection issues and smoke trips, suspect that the system has had a major technical issue. Generator running.
1024-1124 Court St & Grant Blvd	09/21/18	Completed Complaint	Fire Alarm	Completed	2017-22709 unable to reset alarm system
1024-1124 Court St & Grant Blvd	10/23/18	Completed Complaint	Property Maintenance-Ext	Completed	2017-13601 trash & debris; grass uncut; overgrowth; fences down; property going downhill fast; owner doesn't live here so doesn't care how it looks.

City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
1024-1124 Court St & Grant Blvd	02/23/19	Complaint	Sidewalk Condition	Needs Review	2019-03835 Unshoveled in spots; sheets of ice; disgracefull
1024-1124 Court St & Grant Blvd	06/18/19	Completed Complaint	Property Maintenance-Ext	Completed	2019-16734 overgrowth; litter throughout
1024-1124 Court St & Grant Blvd	07/16/19	Violation	SPCC - Section 27-32 (d) Protective coating for wood surfaces	Closed	
1024-1124 Court St & Grant Blvd	08/29/19	Violation	2015 IMPC - Section 308.1 Accumulation	Closed	
1024-1124 Court St & Grant Blvd	08/29/19	Violation	2015 IPMC Section 302.4 Weeds	Closed	
1024-1124 Court St & Grant Blvd	08/29/19	Violation	2015 IPMC Section 302.7 Accessory Structures	Closed	
1024-1124 Court St & Grant Blvd	02/10/20	Completed Complaint	Sidewalk Condition	Completed	2016-34461 sidewalk snow & ice covered and not shoveled last year and continuing this year. Inspector should get out of his car and walk the entire sidewalk - it is dangerous!!!
1024-1124 Court St & Grant Blvd	02/10/20	Completed Complaint	Complaint Reqst - General	Completed	2017-00873 Snow covered and slippery walking conditions continue this season; owers should be ashamed to have the property in this condition and city should be ashamed to let this go like they have since it is a prime walking area for school kids and neighbors.
1024-1124 Court St & Grant Blvd	03/02/20	Completed Complaint	Property Maintenance-Ext	Completed	2020-03565 Fence down at Kimberly PropertyLocation: 2600-2652 Grant Blvd, Syracuse, New York, 13208 E MAIL ADDRESS SUBMITTED
1024-1124 Court St & Grant Blvd	11/03/20	Completed Complaint	Vacant House	Completed	2019-19672
1024-1124 Court St & Grant Blvd	12/21/20	Violation	SPCC - Section 27-72(c) - Fences	Closed	
1024-1124 Court St & Grant Blvd	01/04/21	Completed Complaint	Property Maintenance-Ext	Completed	2020-26826 Fence damage
1024-1124 Court St & Grant Blvd	03/10/21	Violation	SPCC - Section 27-31 (c) Structural members	Closed	
1024-1124 Court St & Grant Blvd	05/26/21	Completed Complaint	Overgrowth: Private, Occ	Completed	2021-14053 Overgrowth

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
1024-1124 Court St & Grant Blvd	03/10/22	Complaint	Vacant House	Open	V2022-0029 Exterior violations
1024-1124 Court St & Grant Blvd	03/23/22	Completed Complaint	Vacant House	Completed	V2021-0234 Exterior violations
1024-1124 Court St & Grant Blvd	04/20/22	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
1024-1124 Court St & Grant Blvd	05/12/22	Completed Complaint	Property Maintenance- Ext	Completed	2022-02909 Trash and debris all over
1024-1124 Court St & Grant Blvd	09/29/22	Violation	2020 PMCNYS - Section 304.13 - Window, skylight, and door frames	Open	
1024-1124 Court St & Grant Blvd	09/29/22	Violation	2020 PMCNYS - Section 304.19 - Gates	Open	
1024-1124 Court St & Grant Blvd	04/27/23	Violation	2020 PMCNYS - Section 304.2 - Protective Treatment	Open	
1024-1124 Court St & Grant Blvd	04/27/23	Violation	2020 PMCNYS - Section 304.7 - Roofs and Drainage	Open	
1024-1124 Court St & Grant Blvd	04/27/23	Violation	2020 PMCNYS - Section 304.6 - Exterior Walls	Open	
1024-1124 Court St & Grant Blvd	04/27/23	Violation	SPCC - Section 27-116 (E) - Vacant Property Registry	Open	
1024-1124 Court St & Grant Blvd	04/27/23	Complaint	Vacant House	Open	V2023-0605 Seasonal inspection
1024-1124 Court St & Grant Blvd	04/27/23	Violation	SPCC - Section 27-72 (f) - Overgrowth	Open	
1024-1124 Court St & Grant Blvd	04/27/23	Violation	2020 PMCNYS - Section 308.1 - Accumulation of rubbish or garbage	Open	
1024-1124 Court St & Grant Blvd	05/09/23	Periodic Inspection	Vacant Property Registry	VPR - Due	



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: The Kimberly At Grant Blvd LLC
 From: Cristian Toellner, Zoning Planner
 Date: 12/7/2023 12:26:38 PM
 Re: Site Plan Review SR-23-07
 1024-1124 Court St & Grant Blvd, Syracuse, 13208

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov.net if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Landmark Preservation Board	Internal Review Complete	11/03/2023	Kate Auwaerter	The SLPB reviewed the application at its 11/2/23 meeting. It was complementary of the proposed reuse of the former St. Anthony's Convent and Convent School/Maria Regina College Campus. It had no preservation concerns regarding the scope of work as presented.
DPW - Transportation Planner	Internal Review Complete	10/25/2023	Neil Milcarek-Burke	<ul style="list-style-type: none"> - Interior pedestrian circulation is not sufficiently developed. Specifically, interior walkways should connect to one another and also to the public ROW as points of ingress/egress. Leadwalks are required to/from all ROW frontages and should generally align with the proposed/existing driveways. ADA compliant concrete leadwalks should be offset from driveways by no less than 5' to allow for snow storage and maintenance, outside of drop-off locations. - Pedestrian circulation should not require traveling along drive isles or behind parking stalls that do not incorporate conc. filled bollards to prevent overhang/encroachment into the walkway areas, ensuring ADA compliance. - Onstreet parking areas may be subject to adjustment pending City projects related to transit, bicycles, or other items. - Bike parking is required, using interior spaces and/or staple-style racks (no-wave racks) located in conspicuous, well-lit areas near building entrances. Consult Zoning code for required #'s (See Articles 4.4 E-H, 5.4 A, 5.5 B) - Many broken flags of concrete sidewalk require

identification and replacement, including vegetation removal from joints, and is to be shown on updated plans. Sidewalks are required through all driveways. All sidewalks must meet 5' wide concrete standard as well as ADA.

- Many encroachment features existing as part of this site, these items need to be included in formal encroachment applications or removed from the ROW (stairs, railings, fencing)

- Streetscape requires removal of junk trees and overgrowth and should present as an orderly frontage that includes plantings/trees/decorative fencing.

Planning Commission	Pending	09/27/2023		
Parks - Forestry	Approved	10/05/2023	Jeff Romano	Forestry requires additional medium / large size trees to be planted along the ROW along Court Street (no utility conflicts) spaced evenly 30-35' apart (approximately 11 trees). Along Grant Blvd; provide additional small / medium size trees along the ROW spaced evenly 25' apart (approximately 10 trees). Along Kirkpatrick Street at the backside of the sidewalk within the ROW, provide medium/ large size trees (no utility conflicts) spaced evenly 30' apart (approximately 6 trees). Contact Forestry Department for species recommendations.
Water Engineering	Pending	09/27/2023		
Zoning Planner	Pending	09/27/2023		
DPW Sewers - Zoning	Internal Review Complete	09/29/2023	Vinny Esposito	City Engineer must approve grading and drainage plan. All sewer laterals must be video inspected to the main sewer, to determine condition and capacity issues. Any deficiencies must be corrected by the developer.
City Engineer - Zoning	Pending	09/27/2023		
Finance - Zoning	Internal Review Complete	09/28/2023	Veronica Voss	1024-1124 Court St & Grant Blvd (The Kimberly) is delinquent. owes \$42,454.15 to become current.
City Planning - Zoning	Pending	11/08/2023		