



CITY OF SYRACUSE, MAYOR BEN WALSH
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>SP-23-15</u>	<i>Staff Report – January 22, 2023</i>
Application Type:	Special Use Permit
Project Address:	Unaddressed parking lot for 1117 West Fayette Street (Tax Map ID: 099.-03-02.0)
Summary of Proposed Action:	The applicant proposes to construct a parking lot including 30 vehicle parking and 12 bike parking spaces. The proposed parking lot, which was subdivided off the property situated at 1153-69 W. Fayette St., is exclusively for the proposed multi-unit dwelling development at 1117 West Fayette Street. The reason why this parking lot is currently unaddressed is because the City Assessor has not assigned a new address yet.
Owner/Applicant	Joseph Gehm, 1153 Owner, LLC (Owner) Ryan Benz, 1117 MGMT, LLC (Applicant)
Existing Zone District:	Mixed-Use Transition, MX-3 Zone District
Surrounding Zone Districts:	The neighboring properties to the north are the Light Industry and Employment, LI Zone District. Neighboring properties to the south and west lie within Urban Core, MX-4 zone districts; Neighboring properties to the east lie within Mixed-Use Transition, MX-3 zone districts.
Companion Application(s)	R-23-45, Resubdivision for subdividing the 0.25-acre parcel from 1153-69 West Fayette Street for the parking lot construction and was approved on September 18, 2023. SR-23-04, Major Site Plan Review for redeveloping the vacant warehouse into a multi-unit dwelling and was approved on September 18, 2023.
Scope of Work:	Construct a new parking lot including pavement removal and replacement. Improve site feature including concrete barrels removal, bike parking spaces construction and landscaping improvement.
Staff Analysis:	<p>Pros:</p> <ul style="list-style-type: none"> - The proposed parking lot will provide parking within 300 linear feet from the entrance to the approved 1117 W. Fayette St. development. <p>Cons:</p> <ul style="list-style-type: none"> - Staff has determined there are no potential negative impacts from the proposal. <p>Suggest Conditions:</p> <p>Per OCPB’s comments:</p> <ul style="list-style-type: none"> - The applicant must coordinate and obtain approval from the Onondaga County Department of Water Environment Protection regarding the proposed stormwater connection to the channelized portion of Harbor Brook prior to, or as a condition of, municipal approval. <p>Per approval of SR-23-04:</p> <ul style="list-style-type: none"> - The applicant shall obtain a fee title of the parking lot that is subdivided off 1153-69 West Fayette as shown on the site plan.
Zoning Procedural History:	<p>1153-69 W Fayette St:</p> <ul style="list-style-type: none"> - AS-91-12 Signage – Command services, approved by CPC on 6/12/1991. - AS-03-32 Sign Waiver, for installing one wall sign being a total of approximately 84 square feet outside the third floor. Approved by CPC on 10/23/2003. - SP-17-19 Interior Alteration for Bar service of brewery and retail tasting (ROJI TEA Kitchen). Approved by Common Council on 10/17/2017. - SP-17-19M1 Modify floor plan for the existing Bar (ROJI TEA kitchen) Approved by Common Council on 3/5/2018.

SP-23-15

	- SP-18-22 Special Use Permit for Establishing Indoor Amusement and Recreation. Approved by Common Council on 9/24/2018.
Summary of Zoning History:	The primary building on 1153-69 W. Fayette St, currently has several commercial businesses on various floors. The media lab studio was changed from an office on the third floor on 7/3/2017. Then, a Special Use Permit for bar service & retail (ROJI TEA Kitchen) on the first floor was approved. An indoor Amusement and recreation center was constructed in a storage building adjacent to the primary building after the approval of a Special Use Permit in 2018. Then in 2023, the lot was resubdivided to divide off a portion of the parking lot servicing 1153-69 W. Fayette St. for the 1117 W. Fayette St. development.
Code Enforcement History:	See attached code enforcement history.
Zoning Violations:	No zoning violation related to the proposed parking lot construction.
Summary of Changes:	This is not a continued application.
Property Characteristics:	The subject property is irregular in shape with 71.93 feet of frontage on West Fayette Street, and a lot depth of 164.16 feet.
SEQR Determination:	Pursuant to the New York State Environmental Quality Review Regulations, the proposal is an Unlisted Action.
Onondaga County Planning Board Referral:	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board with modifications.

Application Submittals: The application submitted the following in support of the proposed project:

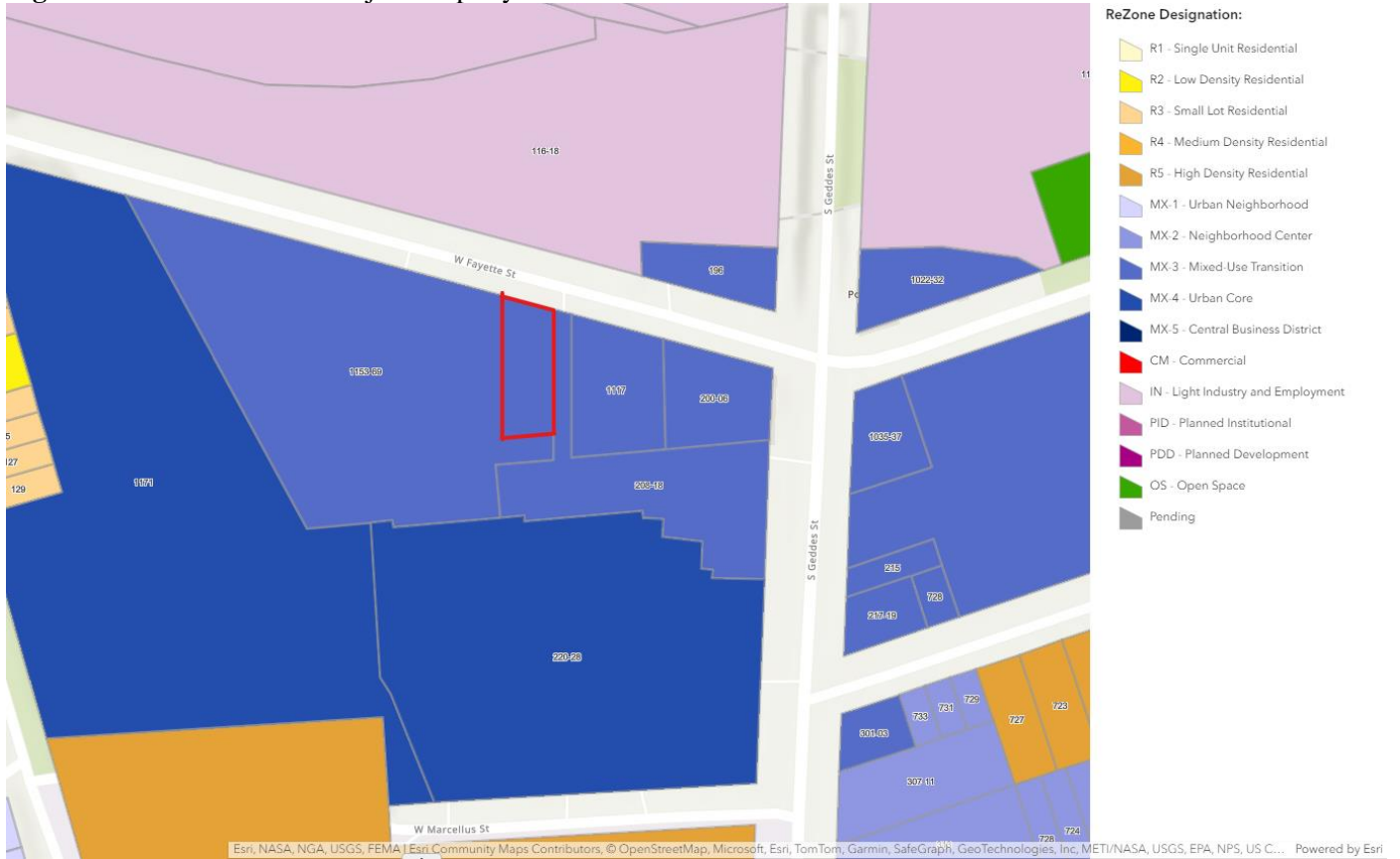
- Special Use Permit application
- Short Environmental Assessment Form Part 1
- Resubdivision map. Proposed subdivision on Part of Farm Lots 261 & 262 of the Late Onondaga Salt Springs Reservation To be New Lots A &B ; Known as No. 1153-69 West Fayette Street, City of Syracuse, County of Onondaga, State of New York; Licensed Land Surveyor: Michael J. McCully, Land Surveying PLLC; Scale: 1" = 50', Drawnby :MJM; Date: 03/25/2023
- Demolition Plan (Sheet C-101), prepared by C&S Companies; dated 11/2023, revised 1/15/2024; Scale: 1" = 10'.
- Site Plan (Sheet C-102 & C-103), prepared by C&S Companies; dated 11/2023, revised 1/15/2024; Scale: 1" = 10'.
- Grading Plan (Sheet C-104), prepared by C&S Companies; dated 11/2023, revised 1/15/2024; Scale: 1" = 10'.
- Utility Plan (Sheet C-105 & C-106), prepared by C&S Companies; dated 11/2023, revised 1/15/2024; Scale: 1" = 10'.
- Landscaping Plan (Sheet C-107), prepared by C&S Companies; dated 11/2023, revised 1/15/2024; Scale: 1" = 10'.

Attachments:

- | | |
|---|------------------------------------|
| Special Use Permit Application | Code Enforcement History |
| Power of Attorney | OCPB Comments |
| Short Environmental Assessment Form Part 2 & Part 3 | IPS Comments from City Departments |

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of Embassy Suites on the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/> (SOCPA Citation)

Short Environmental Assessment Form

Part 1 - Project Information

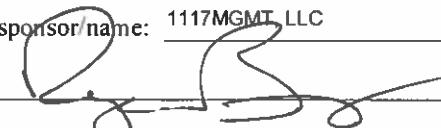
Instructions for Completing

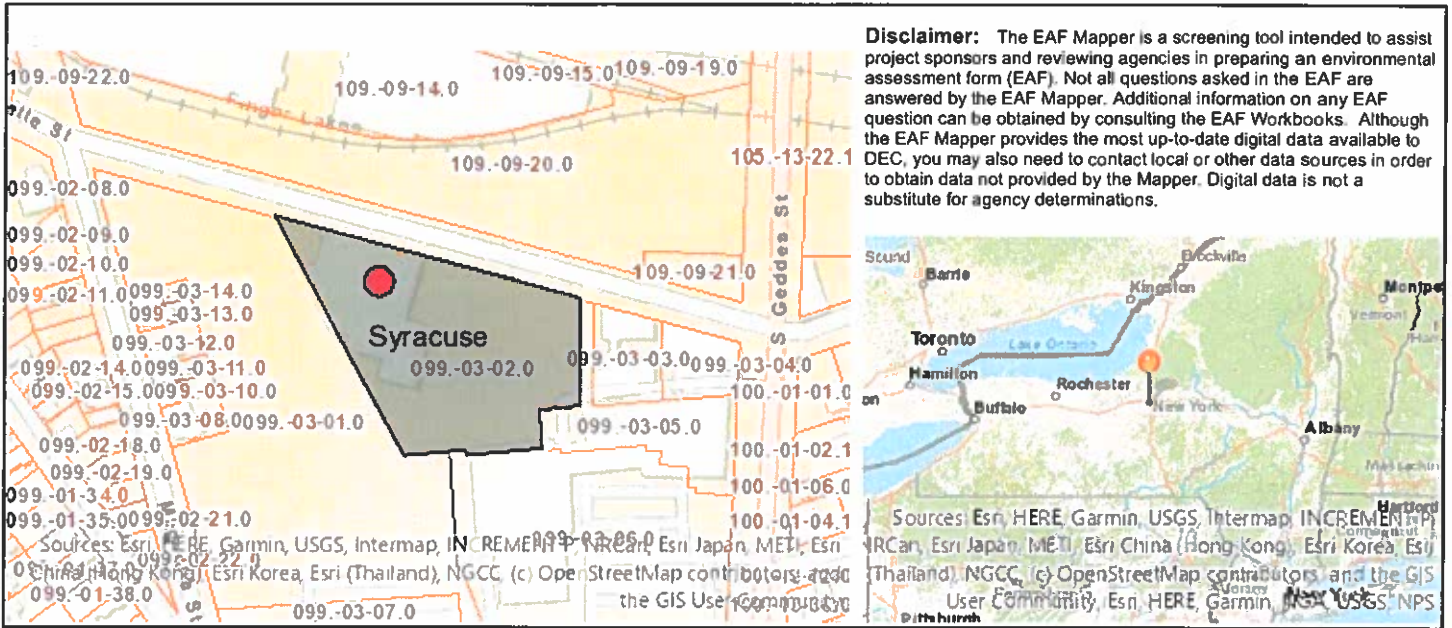
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Redevelopment of 1117 W Fayette St inc. S.U.P for 1153 W Fayette Tax Lot B. Spon: 1117MGMT, LLC, 451 S Warren St, 2nd Fl, Syracuse, NY 13202				
Name of Action or Project: SUP for 1153 W Fayette St, Tax Lot B				
Project Location (describe, and attach a location map): 1153 W Fayette St, Tax Lot B				
Brief Description of Proposed Action: 1117MGMT, LLC is requesting a special use permit to utilize 099.03-02.0 Lot B as the parking area for 1117 W Fayette St. 1117MGMT, LLC will be redeveloping 1117 W Fayette St into 38 affordable residential units and this parking area will provide the required parking spaces for the residential project. The use has historically been a parking lot. 1117MGMT will mill and repave the lot while providing new curbs and bollards to properly separate the lot, pursuant to the approved and filed resubdivision (R-23-45- map filing #13566).				
Name of Applicant or Sponsor: 1117MGMT, LLC		Telephone: 315.391.9654 E-Mail: ryan.c.benz@gmail.com		
Address: 451 S Warren Street, 2nd Fl				
City/PO: Syracuse		State: NY	Zip Code: 13202	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse Building Dept, Onondaga County Plumbing & Sewer			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		.254 acres		
b. Total acreage to be physically disturbed?		.254 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.717 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: The site is an existing parking lot and will remain a parking lot. Any discharge will be directed to existing conveyance systems.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>1117MGMT, LLC</u> Date: <u>5.23.23</u>		
Signature:  Title: <u>Managing Member</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

DURABLE POWER OF ATTORNEY

IMPORTANT INFORMATION

This power of attorney authorizes another person (your agent) to make decisions concerning your property for you (the principal). Your agent will be able to make decisions and act with respect to your property (including your money) whether or not you are able to act for yourself.

This power of attorney does not authorize the agent to make medical and health care decisions for you.

You should select someone you trust to serve as your agent. Unless you specify otherwise, generally the agent's authority will continue until you die or revoke the power of attorney or the agent resigns or is unable to act for you.

Your agent is entitled to reasonable compensation unless you state otherwise in the Special Instructions.

This form provides for the designation of one agent.

If your agent is unable or unwilling to act for you, your power of attorney will end unless you have named a successor agent. You may also name a second successor agent.

This power of attorney becomes effective immediately unless you state otherwise in the Special Instructions.

If you have questions about the power of attorney or the authority you are granting to your agent, you should seek legal advice before signing this form.

DESIGNATION OF AGENT

I, 1153 Owner LLC of 449 S Salina St, Syracuse, NY [Address], authorize 1117 MGMT, LLC of _____ [Address], as my agent (attorney-in-fact) to act for me and in my name and for my use and benefit.

GRANT OF GENERAL AUTHORITY

I grant my agent and any successor agent general authority to act for me with respect to the following subjects:

_____^x (A) Real property : Zoning Approvals for Application SP-23-15 for a Special Use Permit to allow for an unaddressed parking lot for an associated residential development at 1117 W. Fayette Street.

at Address: 1117 W Fayette St

LIMITATION ON AGENT'S AUTHORITY

An agent that is not my ancestor, spouse, or descendant may not use my property to benefit the agent or a person to whom the agent owes an obligation of support unless I have included that authority in the Special Instructions.

EFFECTIVE DATE

This power of attorney is effective immediately unless I have stated otherwise in the Special Instructions.

TERMINATION

Until Zoning Approval for the above-referenced address/project is final.

RELiance ON THIS POWER OF ATTORNEY

Any person, including my agent, may rely upon the validity of this power of attorney or a copy of it unless that person knows it has terminated or is invalid.

SIGNATURE AND ACKNOWLEDGMENT

1153 Owner LLC

By: 

Signature of Principal

1/18/2024

Date

Timothy M. Lynn, Authorized Representative

Name Printed

449 S Salina St, Syracuse, NY

Address

315-766-2131

Telephone Number

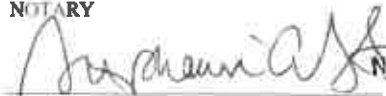
State/Commonwealth of New York

County of Madison

On this 18th day of January, 2024, before me, Stephanie Smith, personally appeared

Timothy M. Lynn, personally known to me or who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to this instrument and acknowledged to me that he/she executed the same and that by his/her signature on this instrument the person executed this instrument.

NOTARY



Signature of Notary

STEPHANIE A. SMITH
Notary Public, State of New York
No. 01SM4995504
Qualified in Madison County
My Commission Expires April 27, 2026

My commission expires: _____

Short Environmental Assessment Form

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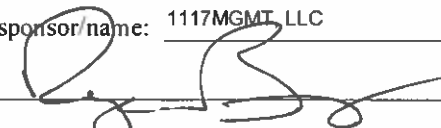
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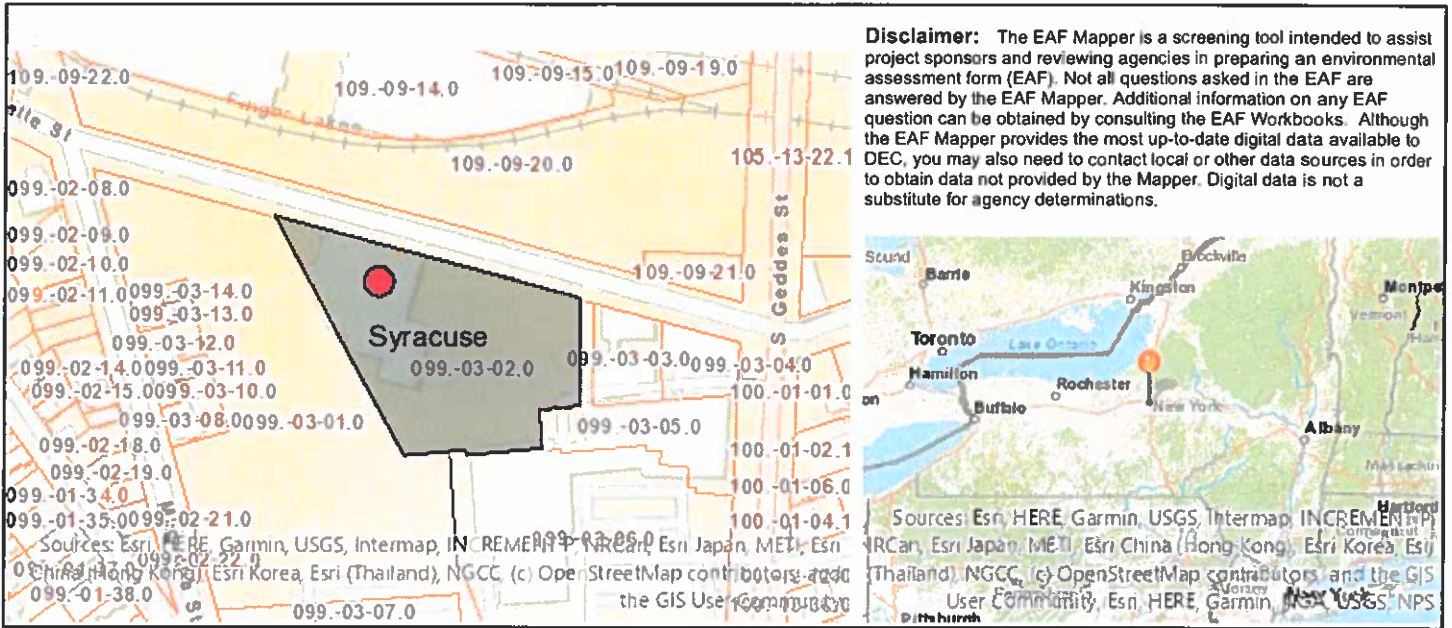
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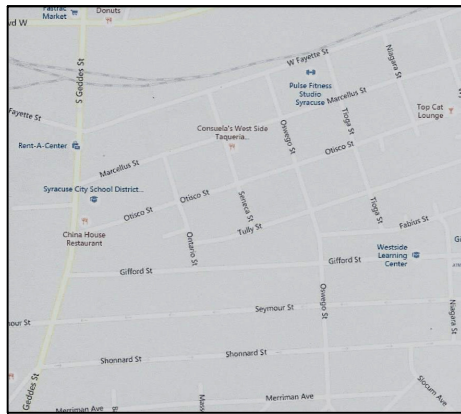
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Address: 451 S Warren Street, 2nd Fl				
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c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.717 acres		
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<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
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10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
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12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
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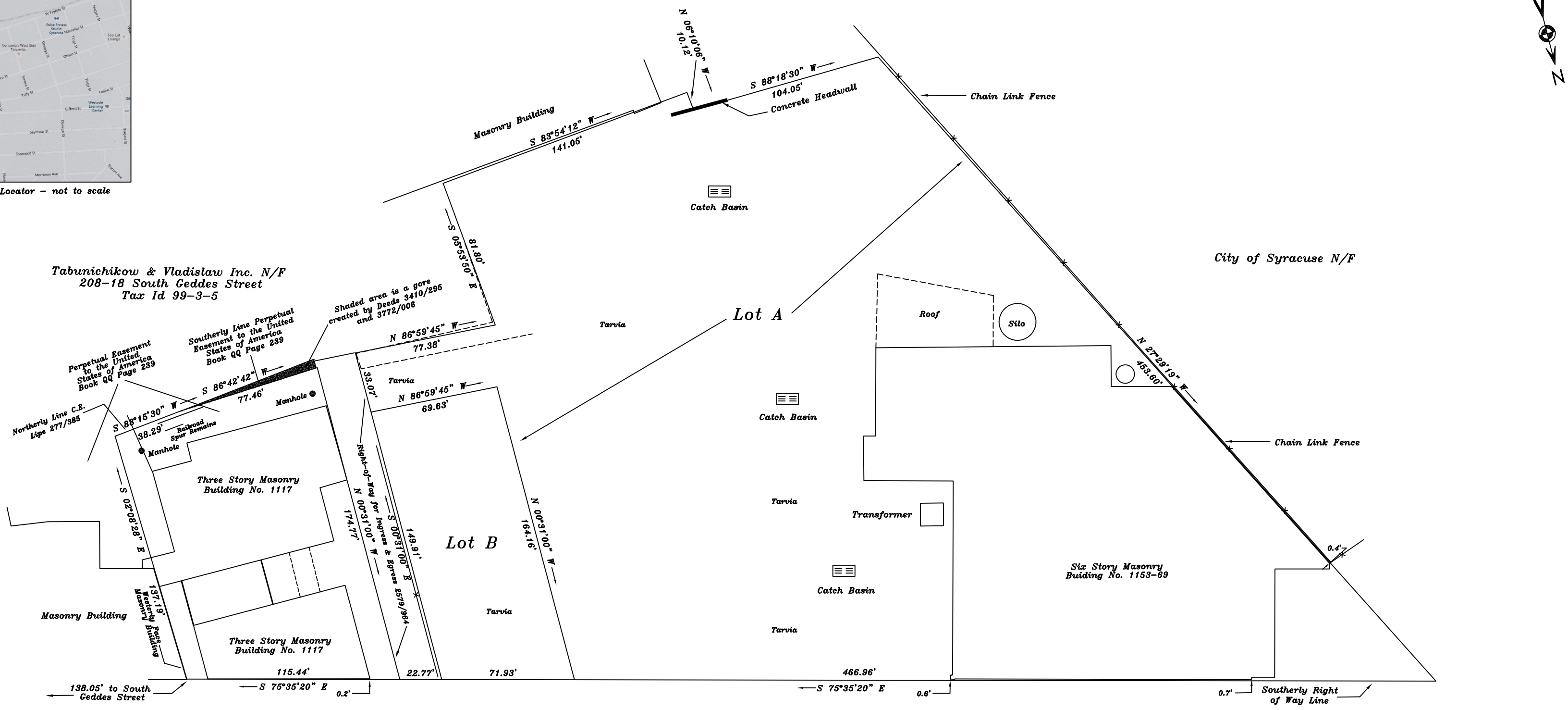
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15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The site is an existing parking lot and will remain a parking lot. Any discharge will be directed to existing conveyance systems.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>1117MGMT, LLC</u> Date: <u>5.23.23</u>		
Signature:  Title: <u>Managing Member</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



Site Vicinity Locator - not to scale



West Fayette Street

(Open - 66' Wide)

Approvals



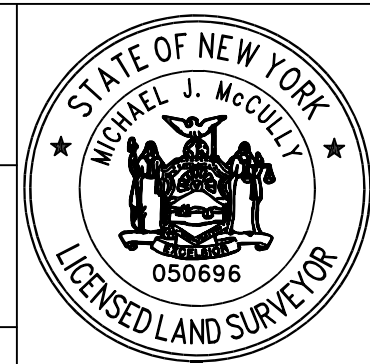
- Notes/References:**
- *Survey prepared without the benefit of an up-to-date abstract of title.
 - *Adjoiner information obtained using ImageMate Online.
 - *Buildings/Structures shown for informational purposes only.
 - *Subject parcel(s) has access to public utilities.
 - *Purpose of Map - to create two lots from Tax Id 99-3-2.
 - *New Lot A Area = 2.65 Acres, more or less.
 - *New Lot B Area = 0.25 Acres, more or less.
 - *Parcel(s) Owner : The Cosmopolitan 1153 LLC.
 - *Tax Id 99-3-2 has a 10' Easement from easterly line to South Geddes Street for utilities.

Deed(s): 2021/7180; 2022/46456
 Tax Id(s): 99-3-2 and 3
 Abstract: Not Provided

Michael J. McCully
 Land Surveying PLLC
 5875 Fieldstone Drive
 Cazenovia New York 13035
 Phone : (315) 815-5034

I hereby certify that this map was made from an actual survey and same is correct.

M.J. McCully NYSLS 50696



Proposed Only

Proposed Subdivision on Part of Farm Lots 261 & 262 of the Late Onondaga Salt Springs Reservation. To be New Lots A & B.

Known as No. 1153-69 West Fayette Street, City of Syracuse, County of Onondaga, State of New York.

Drawn by: MJM Scale: 1" = 50'
 Date(s): 03-25-23

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's ink seal or his embossed seal shall be considered to be valid true copies. Certifications shall run only to the person or entities for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2023, Michael J. McCully Land Surveying, all rights reserved.



CONTRACT DRAWINGS FOR THE CONSTRUCTION OF

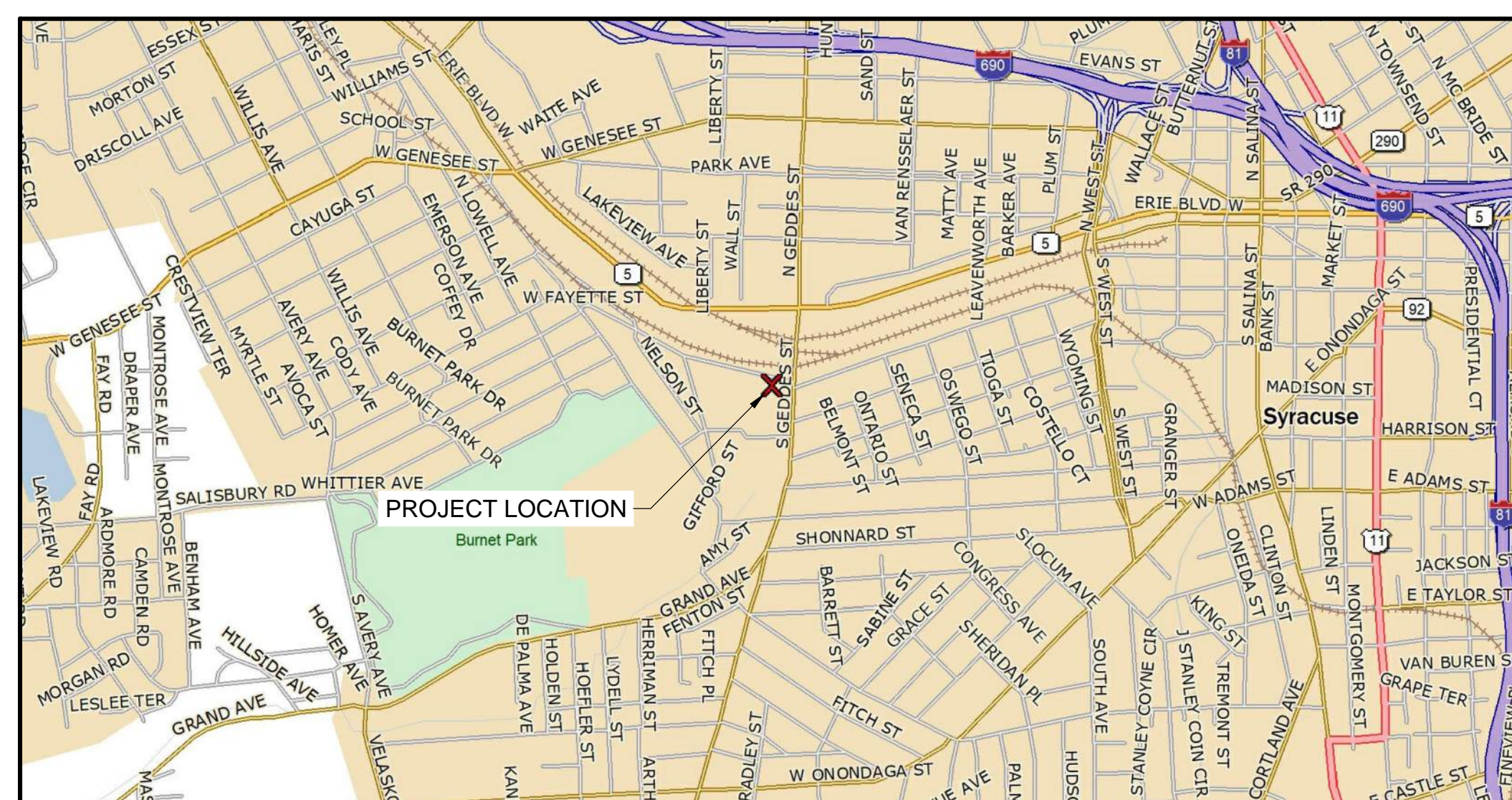
LOFTS AT 1117

**BNZ1117, LLC , CASE 1117, LLC
AND DANNAN REALTY, LLC
1117 & 1153 WEST FAYETTE STREET
SYRACUSE, NY**

C&S PROJECT: AC2.001.003

NOVEMBER 2023

REVISED JANUARY 2024

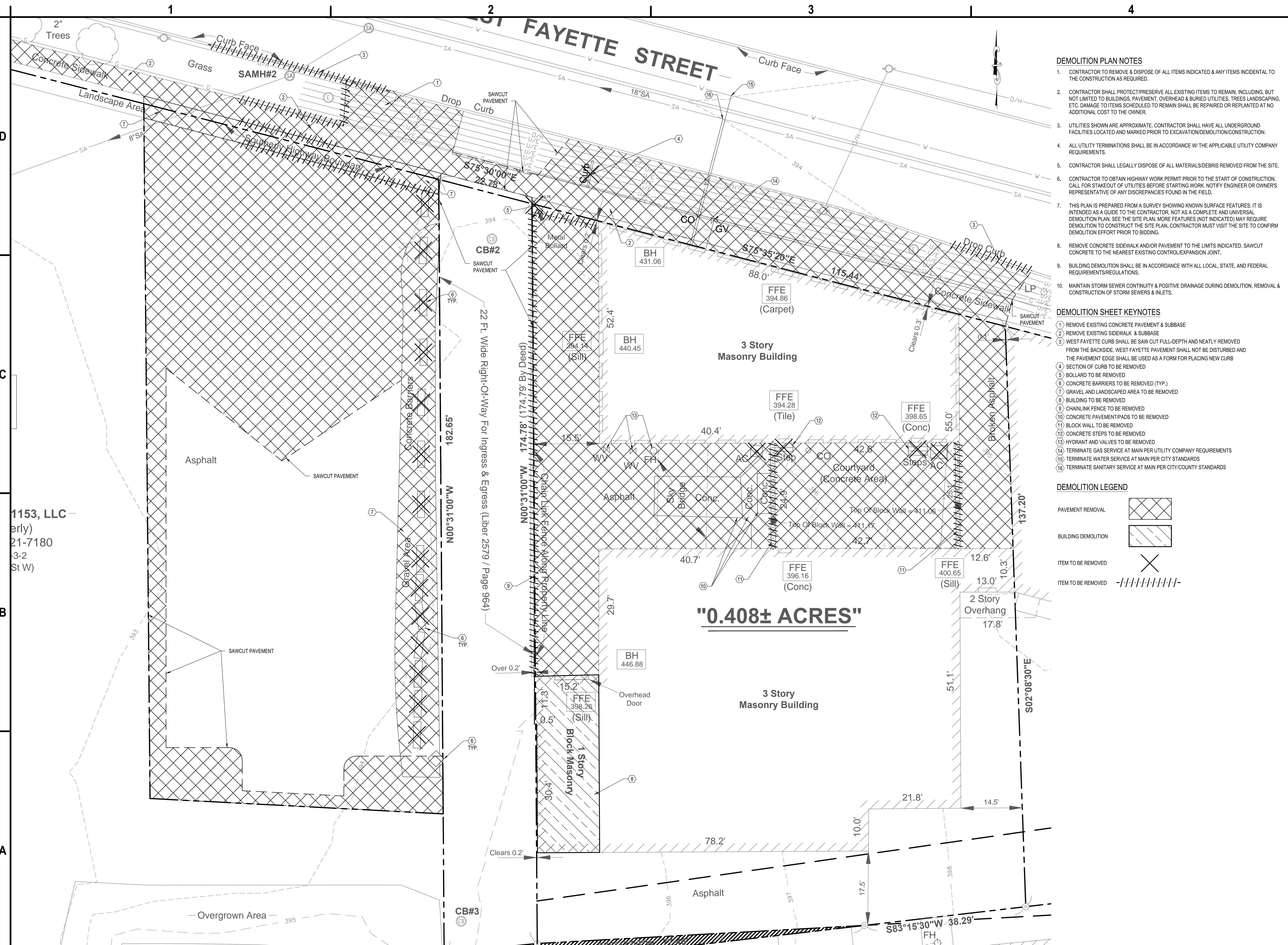


LOCATION MAP

DRAWING LIST	
SHEET NO.	SHEET NAME
G-001	TITLE SHEET
CIVIL	
C-100	SURVEY
C-101	DEMOLITION PLAN
C-102	SITE PLAN
C-103	HARDSCAPE LAYOUT PLAN
C-104	GRADING PLAN
C-105	UTILITY PLAN
C-106	UTILITY PLAN
C-107	LANDSCAPING PLAN
C-108	EROSION & SEDIMENT CONTROL PLAN
C-109	PHOTOMETRIC PLAN
C-501	DETAILS
C-502	DETAILS
C-503	DETAILS

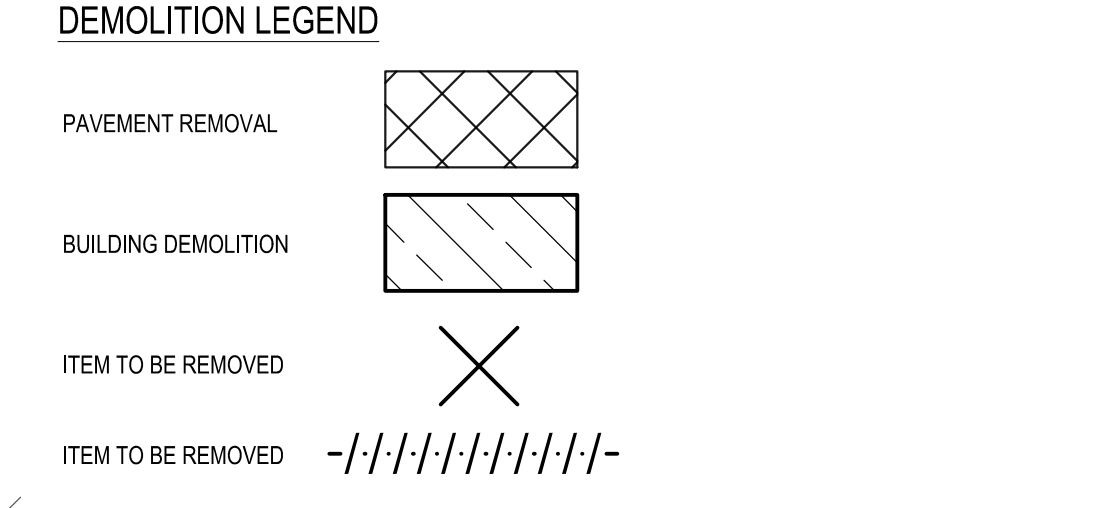
TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF THE PLANS AND SPECIFICATIONS FOR THIS PROJECT ARE IN COMPLIANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE AND THE BUILDING CODE OF NEW YORK STATE

NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW



- DEMOLITION PLAN NOTES**
- CONTRACTOR TO REMOVE & DISPOSE OF ALL ITEMS INDICATED & ANY ITEMS INCIDENTAL TO THE CONSTRUCTION AS REQUIRED.
 - CONTRACTOR SHALL PROTECT/PRESERVE ALL EXISTING ITEMS TO REMAIN, INCLUDING, BUT NOT LIMITED TO BUILDINGS, PAVEMENT, OVERHEAD & BURIED UTILITIES, TREES, LANDSCAPING, ETC. DAMAGE TO ITEMS SCHEDULED TO REMAIN SHALL BE REPAIRED OR REPLANTED AT NO ADDITIONAL COST TO THE OWNER.
 - UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL HAVE ALL UNDERGROUND FACILITIES LOCATED AND MARKED PRIOR TO EXCAVATION/DEMOLITION/CONSTRUCTION.
 - ALL UTILITY TERMINATIONS SHALL BE IN ACCORDANCE W/ THE APPLICABLE UTILITY COMPANY REQUIREMENTS.
 - CONTRACTOR SHALL LEGALLY DISPOSE OF ALL MATERIALS/DEBRIS REMOVED FROM THE SITE.
 - CONTRACTOR TO OBTAIN HIGHWAY WORK PERMIT PRIOR TO THE START OF CONSTRUCTION. CALL FOR STAKEOUT OF UTILITIES BEFORE STARTING WORK. NOTIFY ENGINEER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND IN THE FIELD.
 - THIS PLAN IS PREPARED FROM A SURVEY SHOWING KNOWN SURFACE FEATURES. IT IS INTENDED AS A GUIDE TO THE CONTRACTOR, NOT AS A COMPLETE AND UNIVERSAL DEMOLITION PLAN. SEE THE SITE PLAN. MORE FEATURES (NOT INDICATED) MAY REQUIRE DEMOLITION TO CONSTRUCT THE SITE PLAN. CONTRACTOR MUST VISIT THE SITE TO CONFIRM DEMOLITION EFFORT PRIOR TO BIDDING.
 - REMOVE CONCRETE SIDEWALK AND/OR PAVEMENT TO THE LIMITS INDICATED. SAWCUT CONCRETE TO THE NEAREST EXISTING CONTROL/EXPANSION JOINT.
 - BUILDING DEMOLITION SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS/REGULATIONS.
 - MAINTAIN STORM SEWER CONTINUITY & POSITIVE DRAINAGE DURING DEMOLITION, REMOVAL & CONSTRUCTION OF STORM SEWERS & INLETS.

- DEMOLITION SHEET KEYNOTES**
- REMOVE EXISTING CONCRETE PAVEMENT & SUBBASE
 - REMOVE EXISTING SIDEWALK & SUBBASE
 - WEST FAYETTE CURB SHALL BE SAW CUT FULL-DEPTH AND NEATLY REMOVED FROM THE BACKSIDE. WEST FAYETTE PAVEMENT SHALL NOT BE DISTURBED AND THE PAVEMENT EDGE SHALL BE USED AS A FORM FOR PLACING NEW CURB
 - SECTION OF CURB TO BE REMOVED
 - BOLLARD TO BE REMOVED
 - CONCRETE BARRIERS TO BE REMOVED (TYP.)
 - GRAVEL AND LANDSCAPED AREA TO BE REMOVED
 - BUILDING TO BE REMOVED
 - CHAINLINK FENCE TO BE REMOVED
 - CONCRETE PAVEMENT/PADS TO BE REMOVED
 - BLOCK WALL TO BE REMOVED
 - CONCRETE STEPS TO BE REMOVED
 - HYDRANT AND VALVES TO BE REMOVED
 - TERMINATE GAS SERVICE AT MAIN PER UTILITY COMPANY REQUIREMENTS
 - TERMINATE WATER SERVICE AT MAIN PER CITY STANDARDS
 - TERMINATE SANITARY SERVICE AT MAIN PER CITY/COUNTY STANDARDS



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 Fax: 315-455-9667
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CERTIFICATE OF AUTHORIZATION #: 0018122
NOT FOR CONSTRUCTION



**BNZ1117, LLC, CASE 1117, LLC
 AND DANNAN REALTY, LLC
 LOFTS AT 1117
 1117 & 1153 W. FAYETTE STREET
 SYRACUSE, NY**

MARK	DATE	DESCRIPTION
1	1/15/2023	CITY/OWNER COMMENTS
REVISIONS		
PROJECT NO:	AC2.001.003	
DATE:	NOVEMBER 2023	
DRAWN BY:	B. BUCKINGHAM	
DESIGNED BY:	E. DANIEL	
CHECKED BY:	E. DANIEL	
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW		

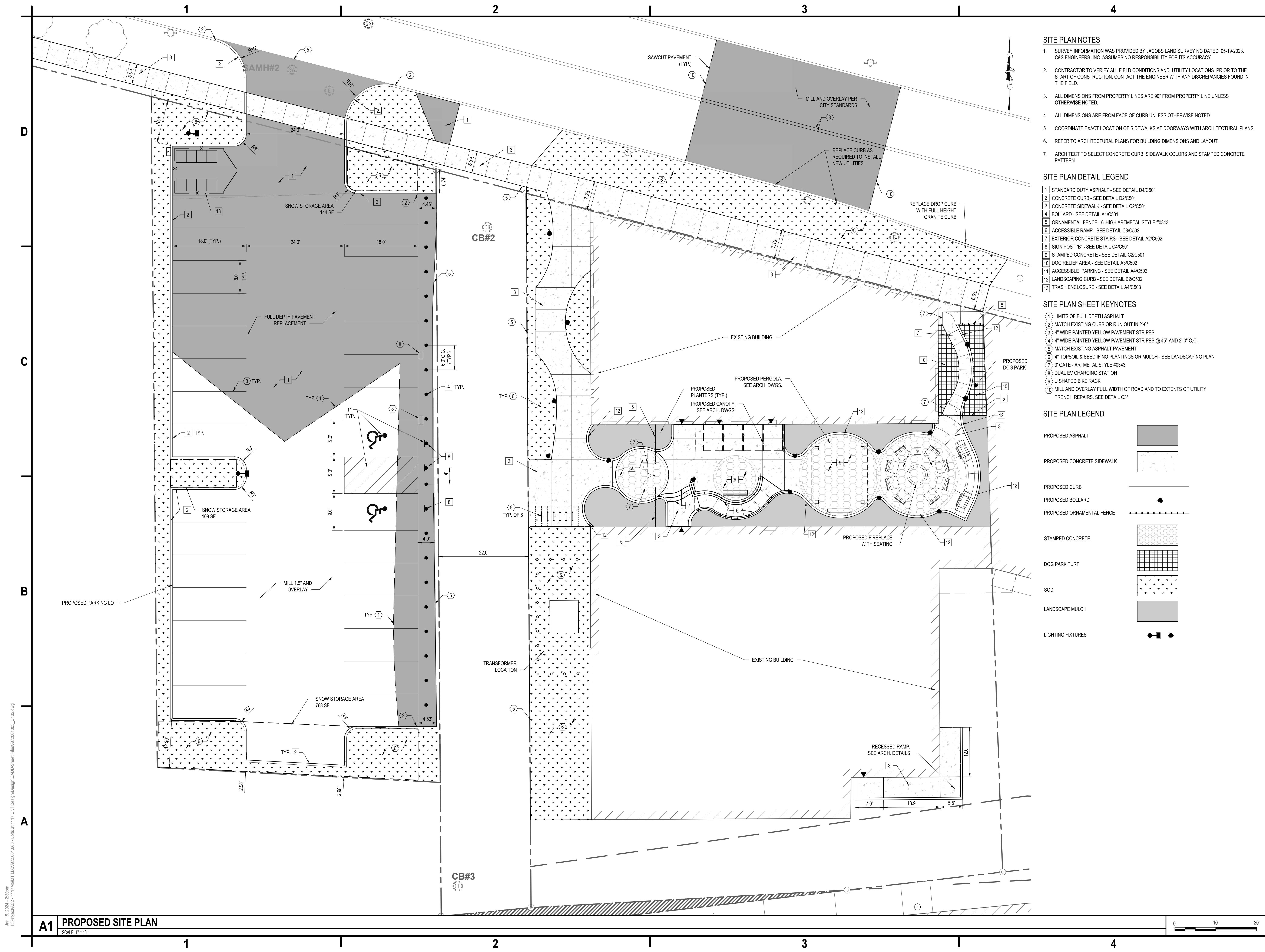
DEMOLITION PLAN
 C-101

1153, LLC -
 erly)
 21-7180
 3-2
 St W)

Jan 15, 2024 - 2:28pm
 F:\Projects\AC2 - 1117\GMIT - 1117\GMIT - 1117\Civil Design\Design\CADD\Sheet Files\AC2001000_C101.dwg

A1 DEMOLITION PLAN
 SCALE: 1"=10'

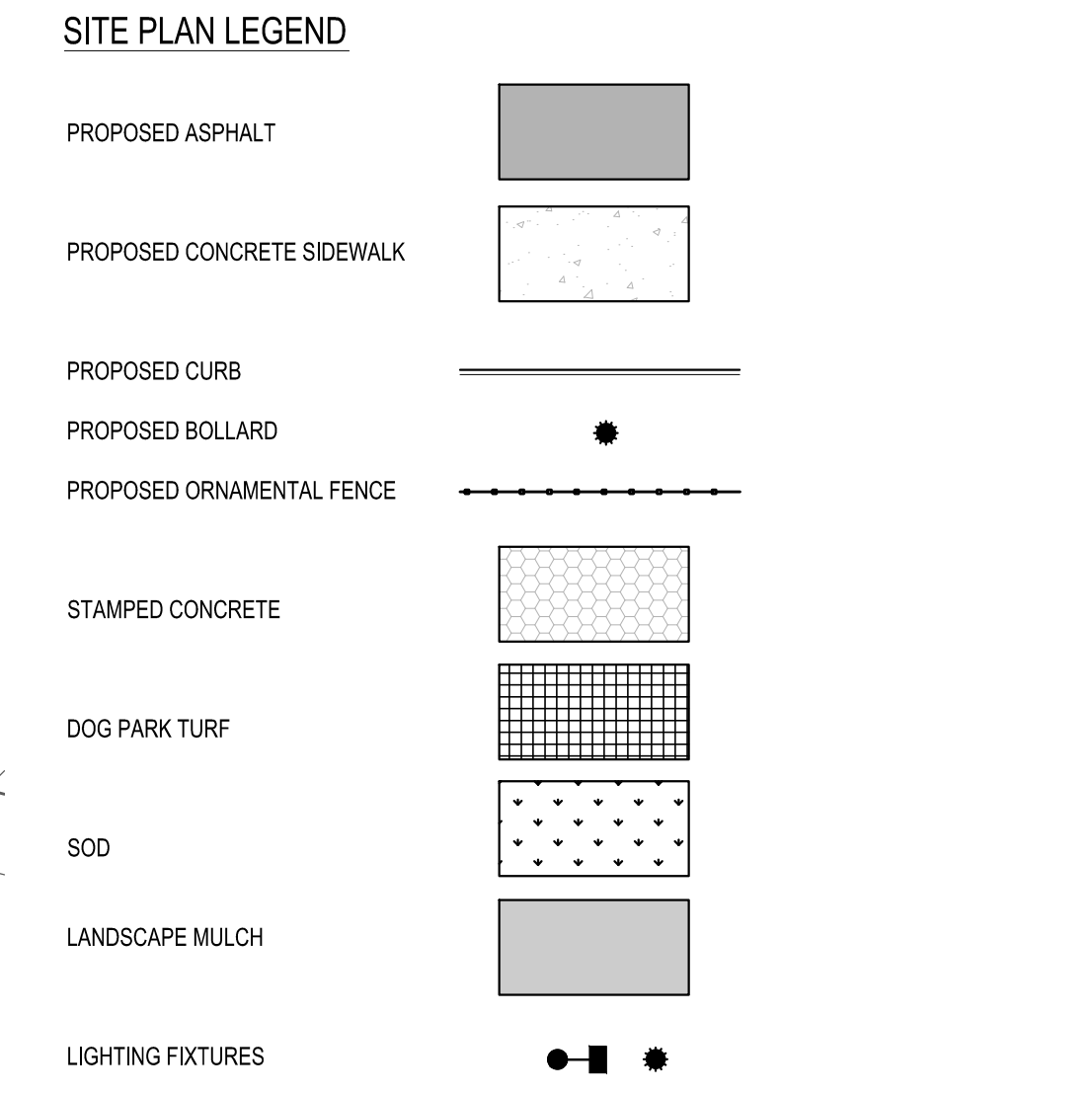




- SITE PLAN NOTES**
- SURVEY INFORMATION WAS PROVIDED BY JACOBS LAND SURVEYING DATED 05-19-2023. C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
 - CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION, CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
 - ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
 - COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.
 - ARCHITECT TO SELECT CONCRETE CURB, SIDEWALK COLORS AND STAMPED CONCRETE PATTERN.

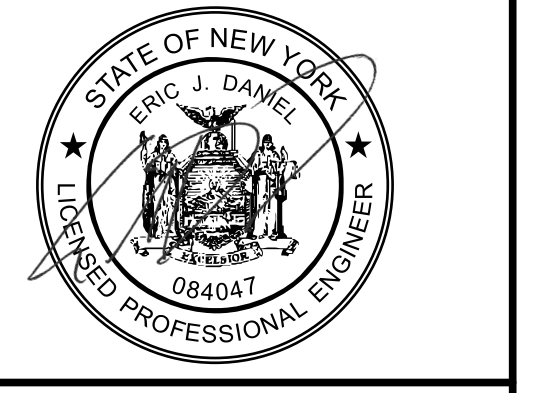
- SITE PLAN DETAIL LEGEND**
- STANDARD DUTY ASPHALT - SEE DETAIL D4/C501
 - CONCRETE CURB - SEE DETAIL D2/C501
 - CONCRETE SIDEWALK - SEE DETAIL C2/C501
 - BOLLARD - SEE DETAIL A1/C501
 - ORNAMENTAL FENCE - 6" HIGH ARTMETAL STYLE #0343
 - ACCESSIBLE RAMP - SEE DETAIL C3/C502
 - EXTERIOR CONCRETE STAIRS - SEE DETAIL A2/C502
 - SIGN POST "B" - SEE DETAIL C4/C501
 - STAMPED CONCRETE - SEE DETAIL C2/C501
 - DOG RELIEF AREA - SEE DETAIL A3/C502
 - ACCESSIBLE PARKING - SEE DETAIL A4/C502
 - LANDSCAPING CURB - SEE DETAIL B2/C502
 - TRASH ENCLOSURE - SEE DETAIL A4/C503

- SITE PLAN SHEET KEYNOTES**
- LIMITS OF FULL DEPTH ASPHALT
 - MATCH EXISTING CURB OR RUN OUT IN 2'-0"
 - 4" WIDE PAINTED YELLOW PAVEMENT STRIPES
 - 4" WIDE PAINTED YELLOW PAVEMENT STRIPES @ 45° AND 2'-0" O.C.
 - MATCH EXISTING ASPHALT PAVEMENT
 - 4" TOPSOIL & SEED IF NO PLANTINGS OR MULCH - SEE LANDSCAPING PLAN
 - 3' GATE - ARTMETAL STYLE #0343
 - DUAL EV CHARGING STATION
 - U SHAPED BIKE RACK
 - MILL AND OVERLAY FULL WIDTH OF ROAD AND TO EXTENTS OF UTILITY TRENCH REPAIRS. SEE DETAIL C3/



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 LOFTS AT 1117
 1117 & 1153 W. FAYETTE STREET
 SYRACUSE, NY**

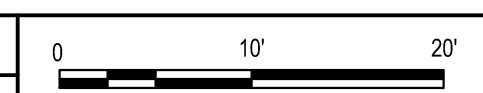
MARK	DATE	DESCRIPTION
1	1/15/2023	CITY/OWNER COMMENTS
REVISIONS		
PROJECT NO:	AC2.001.003	
DATE:	NOVEMBER 2023	
DRAWN BY:	B. BUCKINGHAM	
DESIGNED BY:	E. DANIEL	
CHECKED BY:	E. DANIEL	
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW		

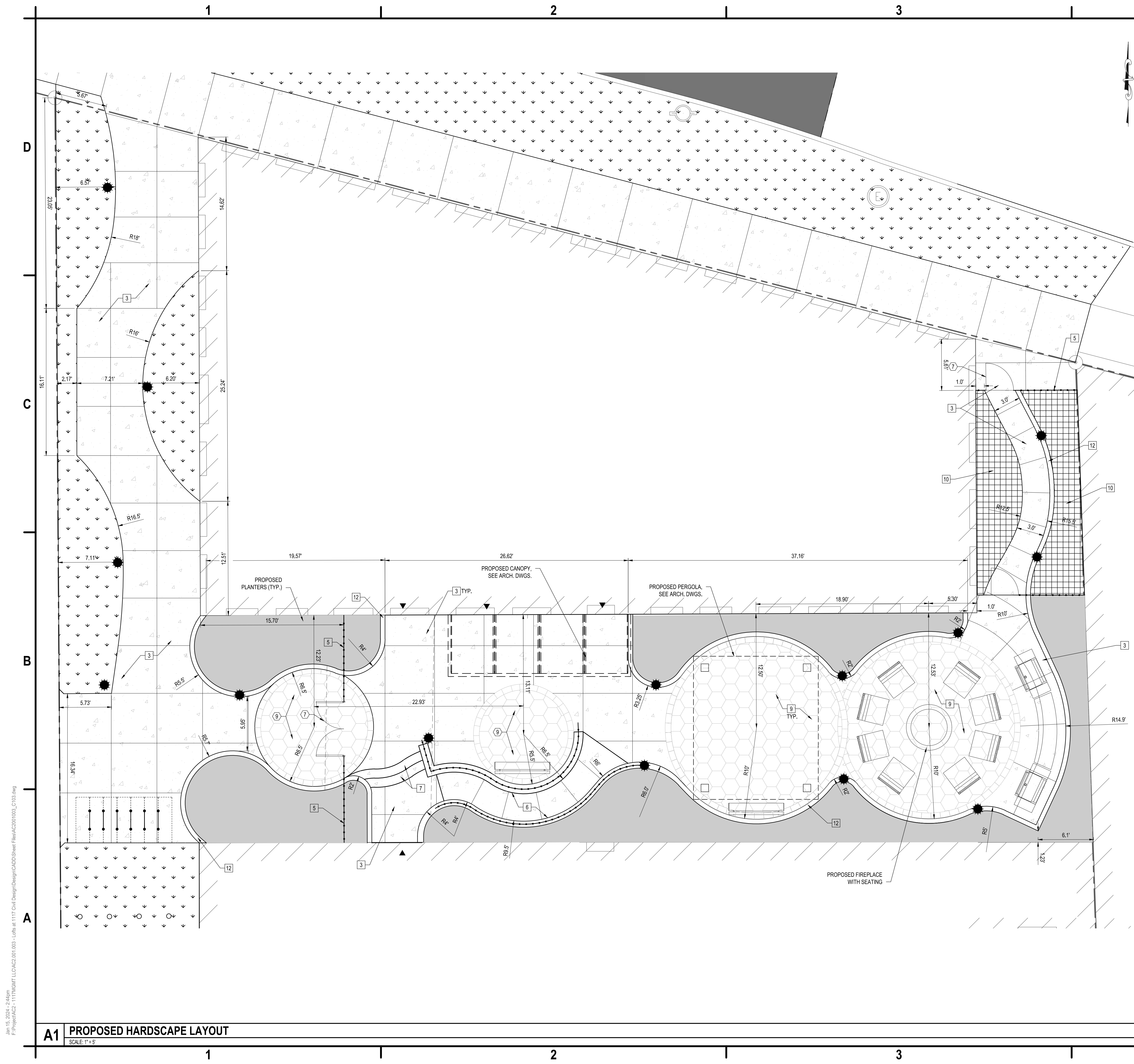
SITE PLAN

C-102

Jan 15, 2024 - 2:30pm
 F:\Projects\AC2 - 1117\GANT - 1117\GANT - 1117\GANT\Design\CADD\Sheet Files\AC2001002_C102.dwg

A1 PROPOSED SITE PLAN
 SCALE: 1"=10'

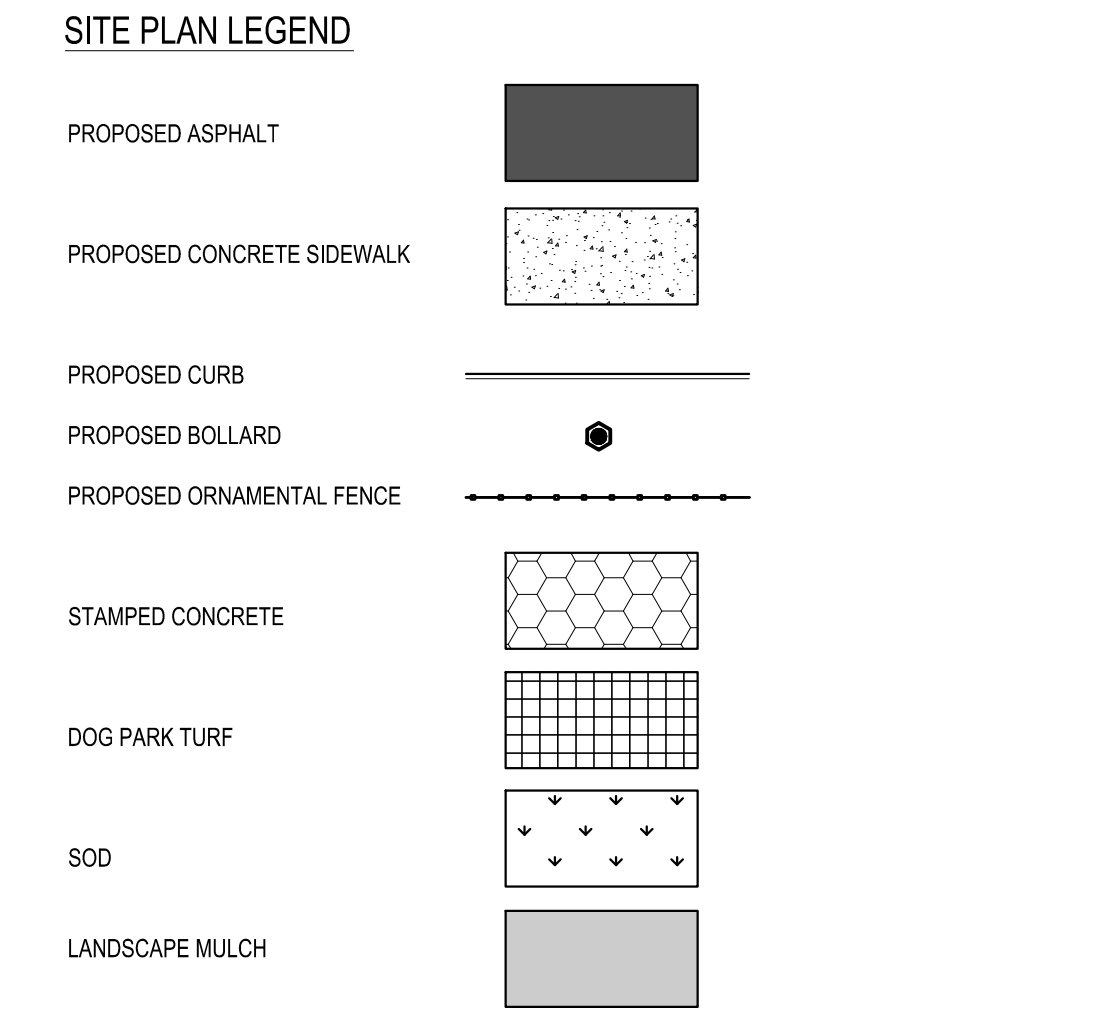




- SITE PLAN NOTES**
- SURVEY INFORMATION WAS PROVIDED BY JACOBS LAND SURVEYING DATED 05-19-2023. C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
 - CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION, CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
 - ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
 - COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.
 - ARCHITECT TO SELECT CONCRETE CURB, SIDEWALK COLORS AND STAMPED CONCRETE PATTERN.

- SITE PLAN DETAIL LEGEND**
- STANDARD DUTY ASPHALT - SEE DETAIL D4/C501
 - CONCRETE CURB - SEE DETAIL D2/C501
 - CONCRETE SIDEWALK - SEE DETAIL C2/C501
 - BOLLARD - SEE DETAIL A1/C501
 - ORNAMENTAL FENCE - 6' HIGH ARTMETAL STYLE #0343
 - ACCESSIBLE RAMP - SEE DETAIL C3/C502
 - EXTERIOR CONCRETE STAIRS - SEE DETAIL A2/C502
 - SIGN POST "B" - SEE DETAIL C4/C501
 - STAMPED CONCRETE - SEE DETAIL C2/C501
 - DOG RELIEF AREA - SEE DETAIL A3/C502
 - ACCESSIBLE PARKING - SEE DETAIL A4/C502
 - LANDSCAPING CURB - SEE DETAIL B2/C502

- SITE PLAN SHEET KEYNOTES**
- LIMITS OF FULL DEPTH ASPHALT
 - MATCH EXISTING CURB OR RUN OUT IN 2'-0"
 - 4" WIDE PAINTED YELLOW PAVEMENT STRIPES
 - 4" WIDE PAINTED YELLOW PAVEMENT STRIPES @ 45° AND 2'-0" O.C.
 - MATCH EXISTING ASPHALT PAVEMENT
 - 4" TOPSOIL & SEED IF NO PLANTINGS OR MULCH - SEE LANDSCAPING PLAN
 - 3' GATE - ARTMETAL STYLE #0343
 - DUAL EV CHARGING STATION
 - U SHAPED BIKE RACK



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 LOFTS AT 1117
 1117 & 1153 W. FAYETTE STREET
 SYRACUSE, NY**

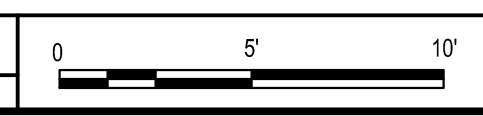
MARK	DATE	DESCRIPTION
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REVISIONS		
PROJECT NO: AC2.001.003		
DATE: NOVEMBER 2023		
DRAWN BY: B. BUCKINGHAM		
DESIGNED BY: E. DANIEL		
CHECKED BY: E. DANIEL		
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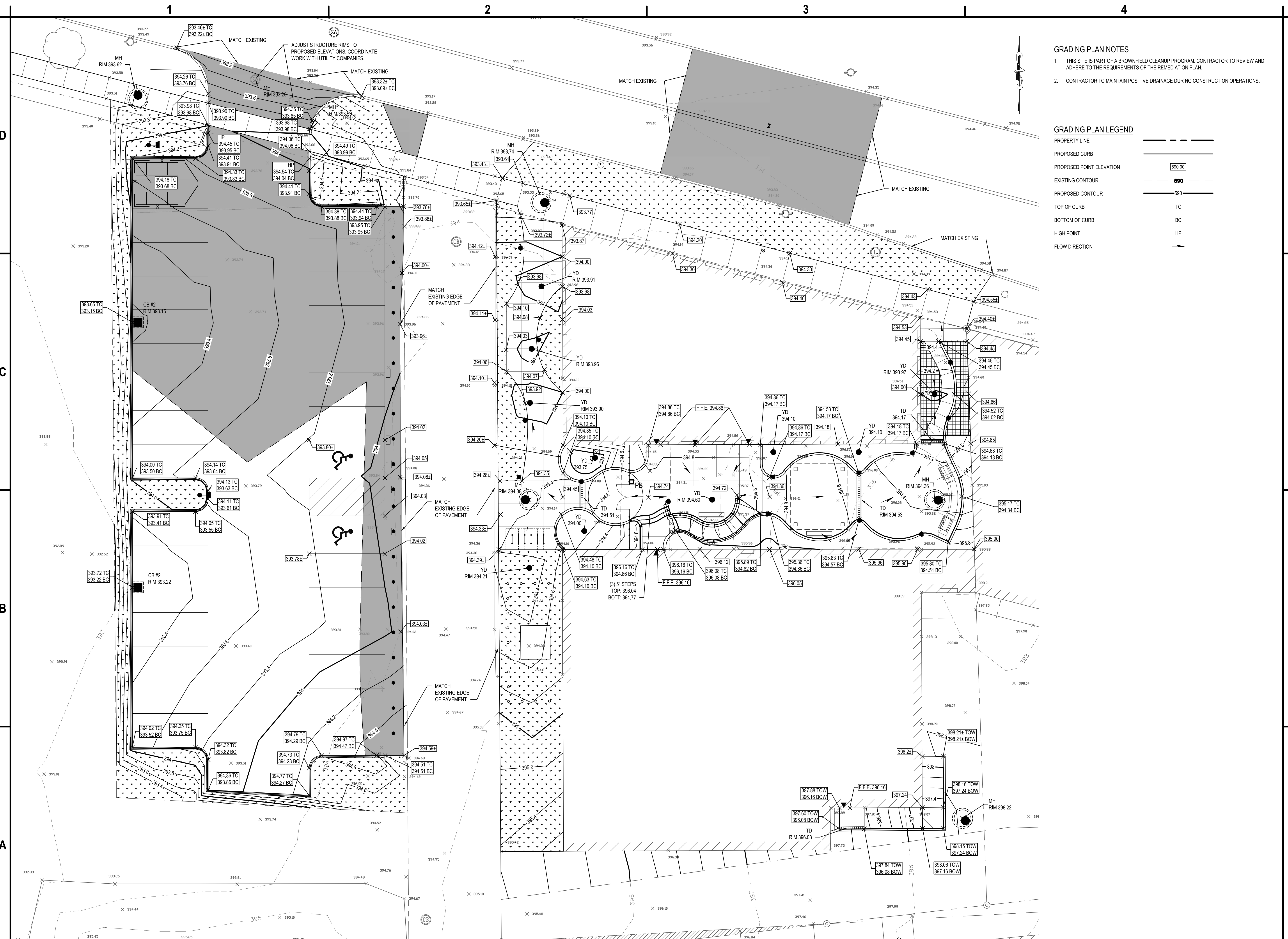
HARDSCAPE LAYOUT PLAN

C-103

Jan 15, 2024 - 2:44pm
 F:\Project\AC2 - 1117\GM\T\LLC\AC2.001.003 - Lofts at 1117 Civil Design\Design\CADD\Sheet Files\AC2001003_C103.dwg

A1 PROPOSED HARDSCAPE LAYOUT
 SCALE: 1" = 5'





- GRADING PLAN NOTES**
- THIS SITE IS PART OF A BROWNFIELD CLEANUP PROGRAM. CONTRACTOR TO REVIEW AND ADHERE TO THE REQUIREMENTS OF THE REMEDIATION PLAN.
 - CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION OPERATIONS.

GRADING PLAN LEGEND

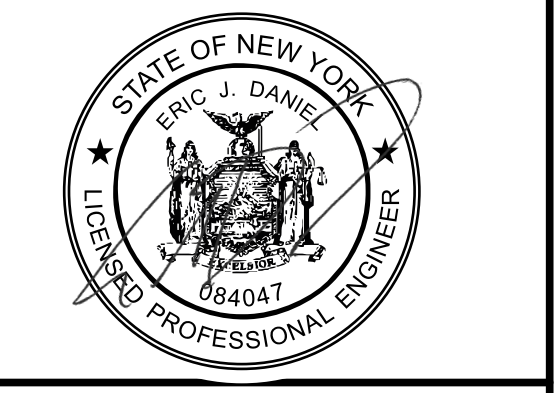
PROPERTY LINE	---
PROPOSED CURB	---
PROPOSED POINT ELEVATION	590.00
EXISTING CONTOUR	590
PROPOSED CONTOUR	590
TOP OF CURB	TC
BOTTOM OF CURB	BC
HIGH POINT	HP
FLOW DIRECTION	→



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 LOFTS AT 1117
 1117 & 1153 W. FAYETTE STREET
 SYRACUSE, NY**

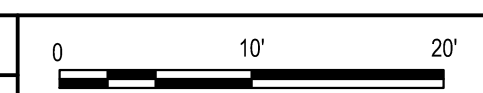
MARK	DATE	DESCRIPTION
1	1/15/2023	CITY/OWNER COMMENTS
REVISIONS		
PROJECT NO: AC2.001.003		
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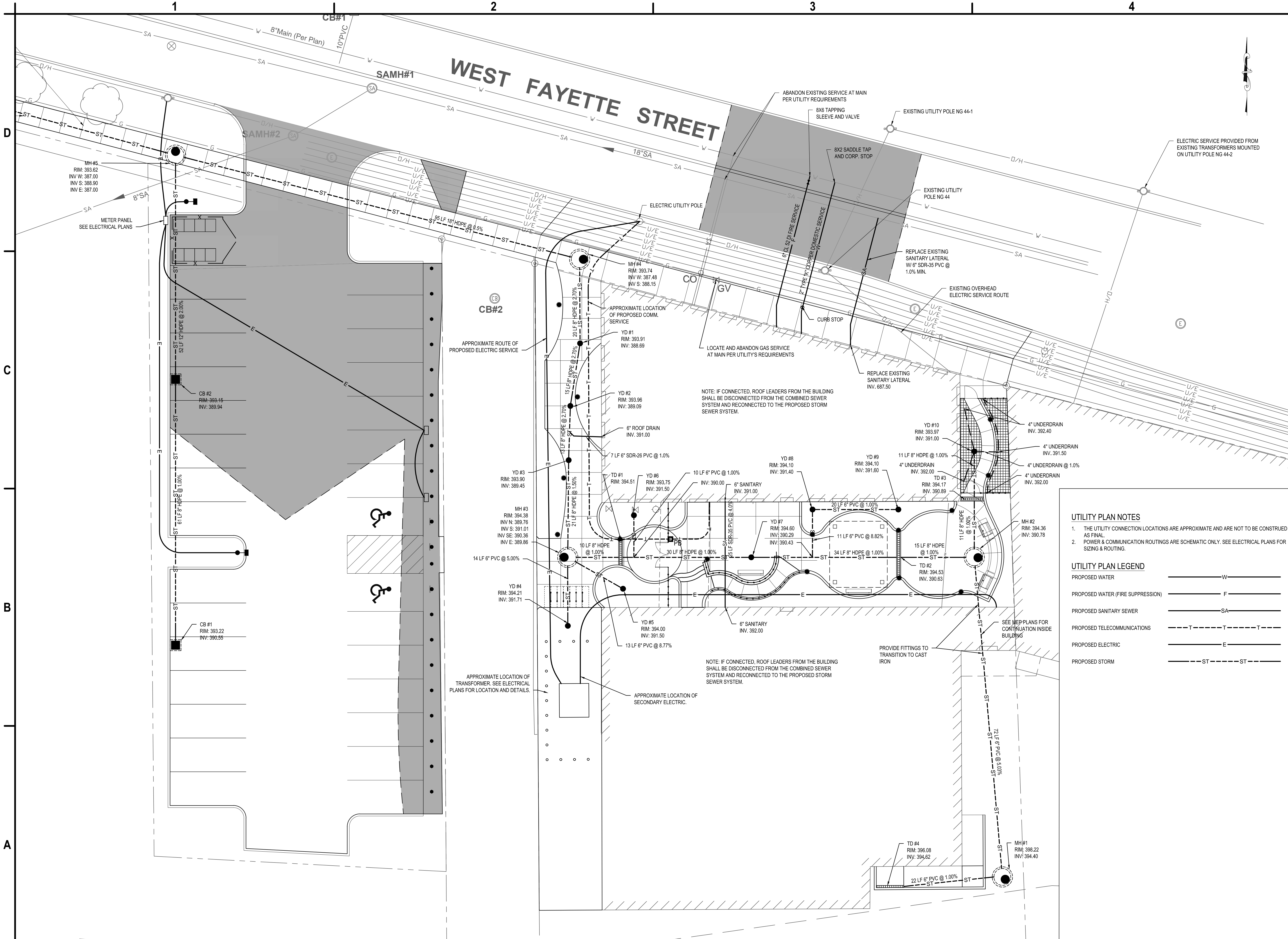
GRADING PLAN

C-104

Jan 15, 2024 - 2:18pm
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A1 GRADING PLAN
 SCALE: 1"=10'





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 LOFTS AT 1117
 1117 & 1153 W. FAYETTE STREET
 SYRACUSE, NY**

- UTILITY PLAN NOTES**
1. THE UTILITY CONNECTION LOCATIONS ARE APPROXIMATE AND ARE NOT TO BE CONSTRUED AS FINAL
 2. POWER & COMMUNICATION ROUTINGS ARE SCHEMATIC ONLY. SEE ELECTRICAL PLANS FOR SIZING & ROUTING.
- UTILITY PLAN LEGEND**
- PROPOSED WATER _____ W _____
 - PROPOSED WATER (FIRE SUPPRESSION) _____ F _____
 - PROPOSED SANITARY SEWER _____ SA _____
 - PROPOSED TELECOMMUNICATIONS _____ T _____ T _____ T _____
 - PROPOSED ELECTRIC _____ E _____
 - PROPOSED STORM _____ ST _____ ST _____

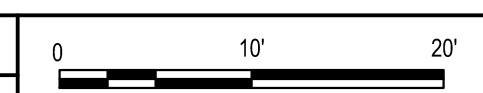
MARK	DATE	DESCRIPTION
1	1/15/2023	CITY/OWNER COMMENTS
REVISIONS		
PROJECT NO: AC2.001.003		
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DESIGNED BY: E. DANIEL		
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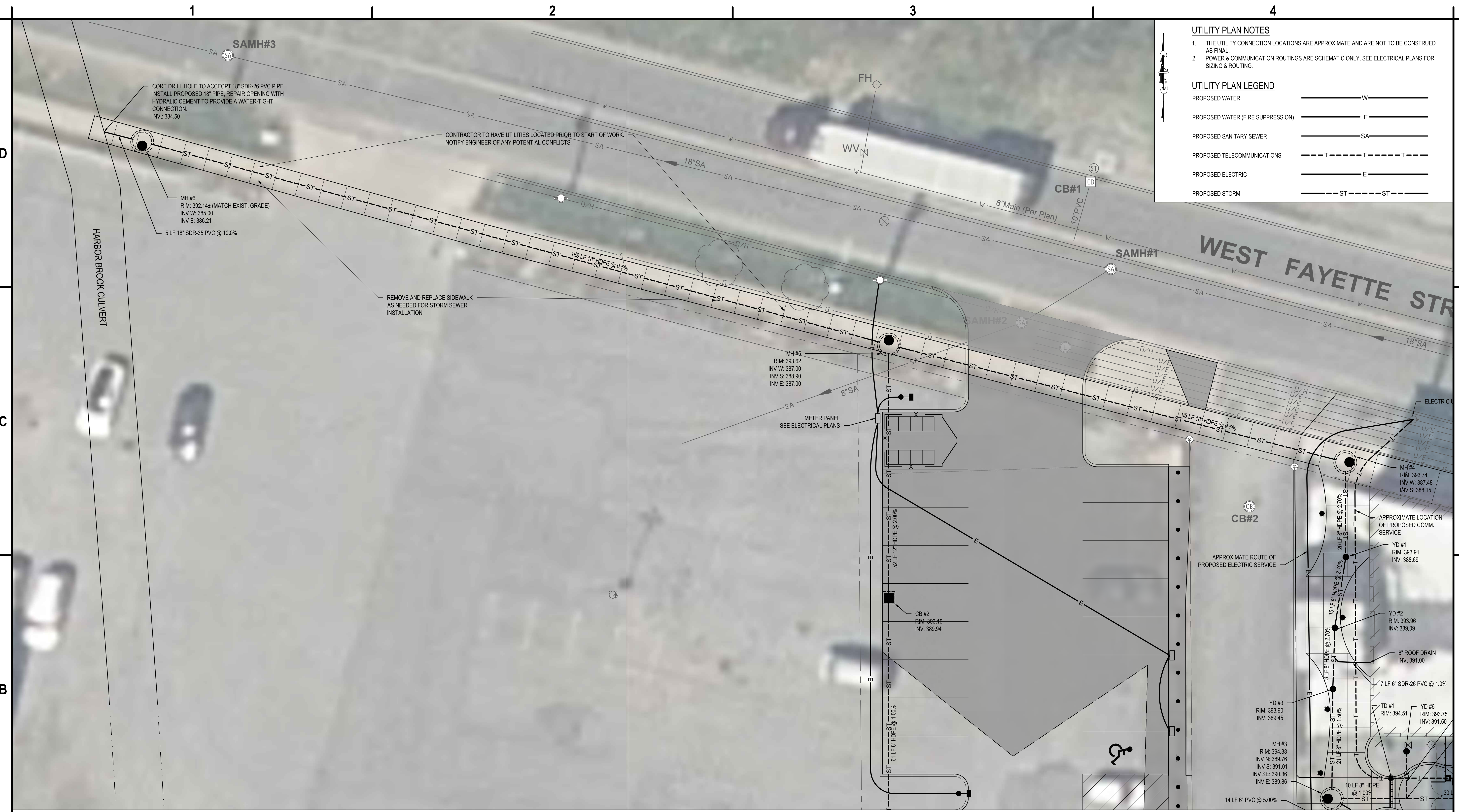
UTILITY PLAN

C-105

Jan 15, 2024 - 3:03pm
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A1 UTILITY PLAN
 SCALE: 1"=10'





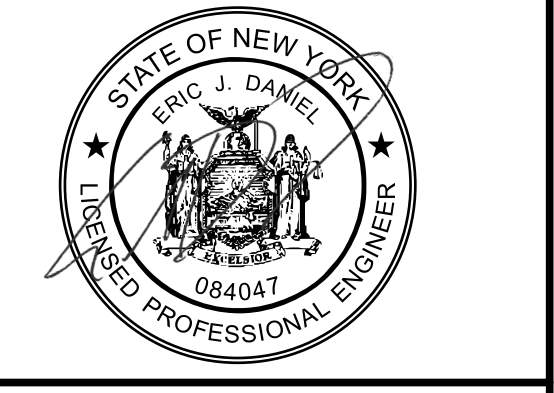
- UTILITY PLAN NOTES**
1. THE UTILITY CONNECTION LOCATIONS ARE APPROXIMATE AND ARE NOT TO BE CONSTRUCTED AS FINAL.
 2. POWER & COMMUNICATION ROUTINGS ARE SCHEMATIC ONLY. SEE ELECTRICAL PLANS FOR SIZING & ROUTING.
- UTILITY PLAN LEGEND**
- PROPOSED WATER: — W —
 - PROPOSED WATER (FIRE SUPPRESSION): — F —
 - PROPOSED SANITARY SEWER: — SA —
 - PROPOSED TELECOMMUNICATIONS: - - - T - - -
 - PROPOSED ELECTRIC: — E —
 - PROPOSED STORM: - - - ST - - -



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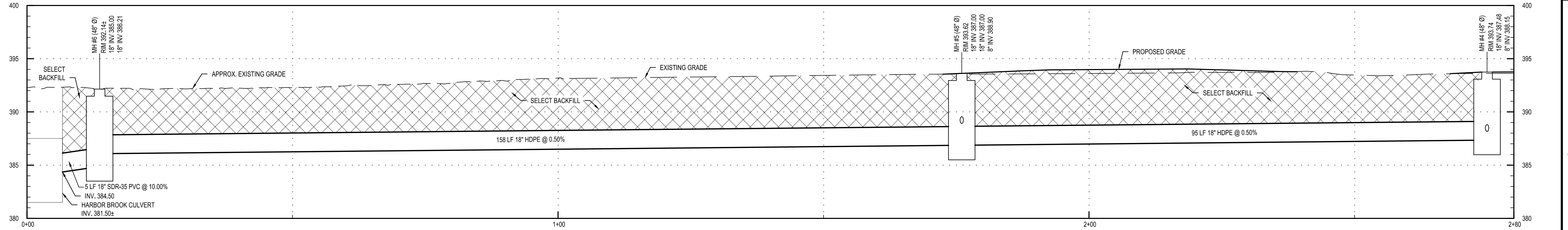
MARK	DATE	DESCRIPTION
1	1/15/2023	CITY/OWNER COMMENTS

REVISIONS	
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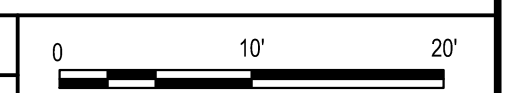
UTILITY PLAN

C-106

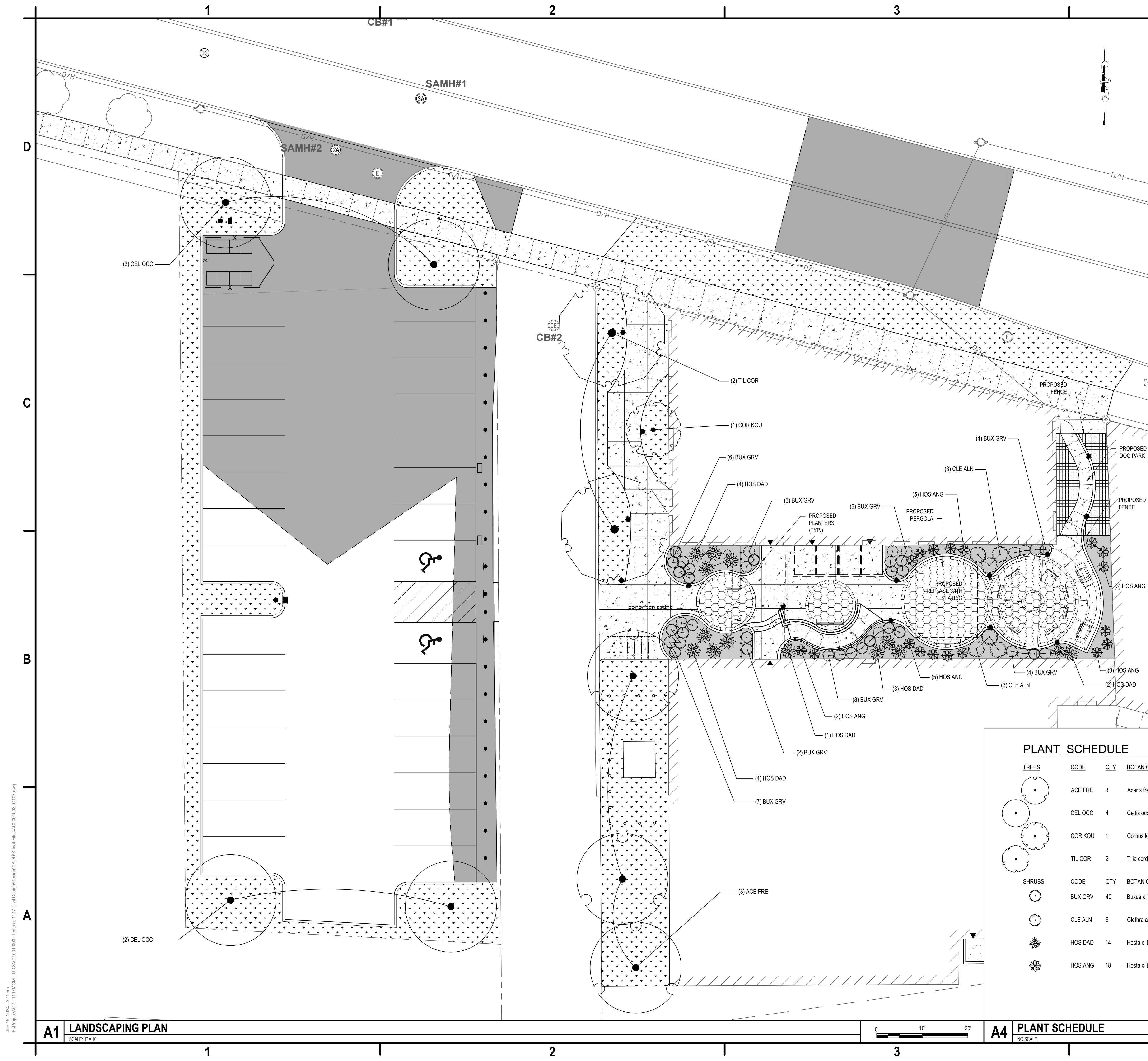


STORM SEWER PROFILE
 HORZ. SCALE: 1" = 10'
 VERT. SCALE: 1" = 5'

A1 UTILITY PLAN
 SCALE: 1" = 10'



Jan 15, 2024 - 3:04pm
 F:\Projects\AC2 - 1117\GMIT.LL\AC2.001.003 - Lofts at 1117 Civil Design\Design\CADD\Sheet Files\AC2001003_C106-C108.dwg



PROPOSED PATIO PAVERS

PROPOSED PLANTING BEDS

PROPOSED TURF AREA

PET RELIEF TURF

D4 LEGEND
NOT TO SCALE

GENERAL NOTE:
1. ALL LANDSCAPED AND LAWN/TURF AREAS TO RECEIVE A MINIMUM 4" OF TOPSOIL.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
	ACE FRE	3	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	2.5" Cal.	B&B	
	CEL OCC	4	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry	2.5" Cal.	B&B	
	COR KOU	1	Cornus kousa 'Miss Satomi' / Miss Satomi Kousa Dogwood	2" Cal.	B&B	
	TIL CDR	2	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	2.5" Cal.	B&B	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
	BUX GRV	40	Buxus x 'Green Velvet' / Green Velvet Boxwood	#5	Cont.	
	CLE ALN	6	Clethra alnifolia 'Hummingbird' / Hummingbird Summersweet	#5	Cont.	
	HOS DAD	14	Hosta x 'Big Daddy' / Big Daddy Hosta	#3	Cont.	
	HOS ANG	18	Hosta x 'Blue Angel' / Blue Angel Hosta	#3	Cont.	



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1117 & 1153 W. FAYETTE STREET
SYRACUSE, NY**

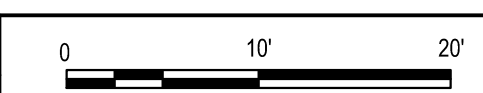
MARK	DATE	DESCRIPTION
1	1/15/2023	CITY/OWNER COMMENTS
REVISIONS		
PROJECT NO: AC2.001.003		
DATE: NOVEMBER 2023		
DRAWN BY: B. BUCKINGHAM		
DESIGNED BY: M. GRIDLEY		
CHECKED BY: E. DANIEL		
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW		

LANDSCAPING PLAN

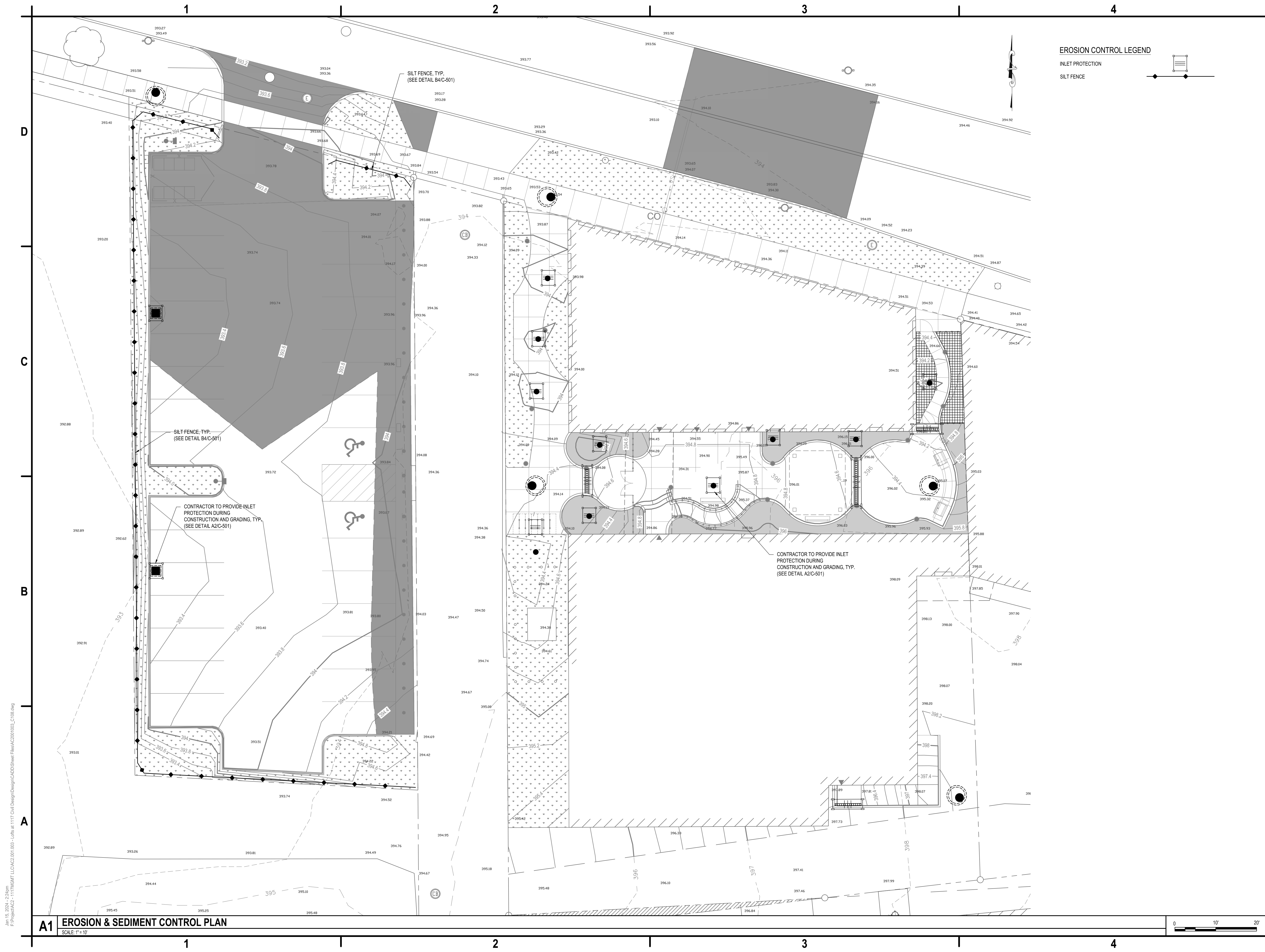
C-107

Jan 15, 2024 - 2:12pm
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A1 LANDSCAPING PLAN
SCALE: 1"=10'



A4 PLANT SCHEDULE
NO SCALE



EROSION CONTROL LEGEND

- INLET PROTECTION
- SILT FENCE



C&S Engineers, Inc.
 499 Col. Eileen Collins Blvd.
 Syracuse, New York 13212
 Phone: 315-455-2000
 Fax: 315-455-9667
 www.cscos.com

CERTIFICATE OF AUTHORIZATION #: 0018122

NOT FOR CONSTRUCTION



**BNZ1117, LLC, CASE 1117, LLC
 AND DANNAN REALTY, LLC
 LOFTS AT 1117
 1117 & 1153 W. FAYETTE STREET
 SYRACUSE, NY**

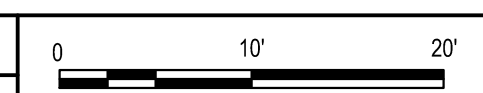
MARK	DATE	CITY/OWNER COMMENTS	DESCRIPTION
1	1/15/2023	CITY/OWNER COMMENTS	
REVISIONS			
PROJECT NO:		AC2.001.003	
DATE:		NOVEMBER 2023	
DRAWN BY:		M. OTT	
DESIGNED BY:		E. DANIEL	
CHECKED BY:		E. DANIEL	
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW			

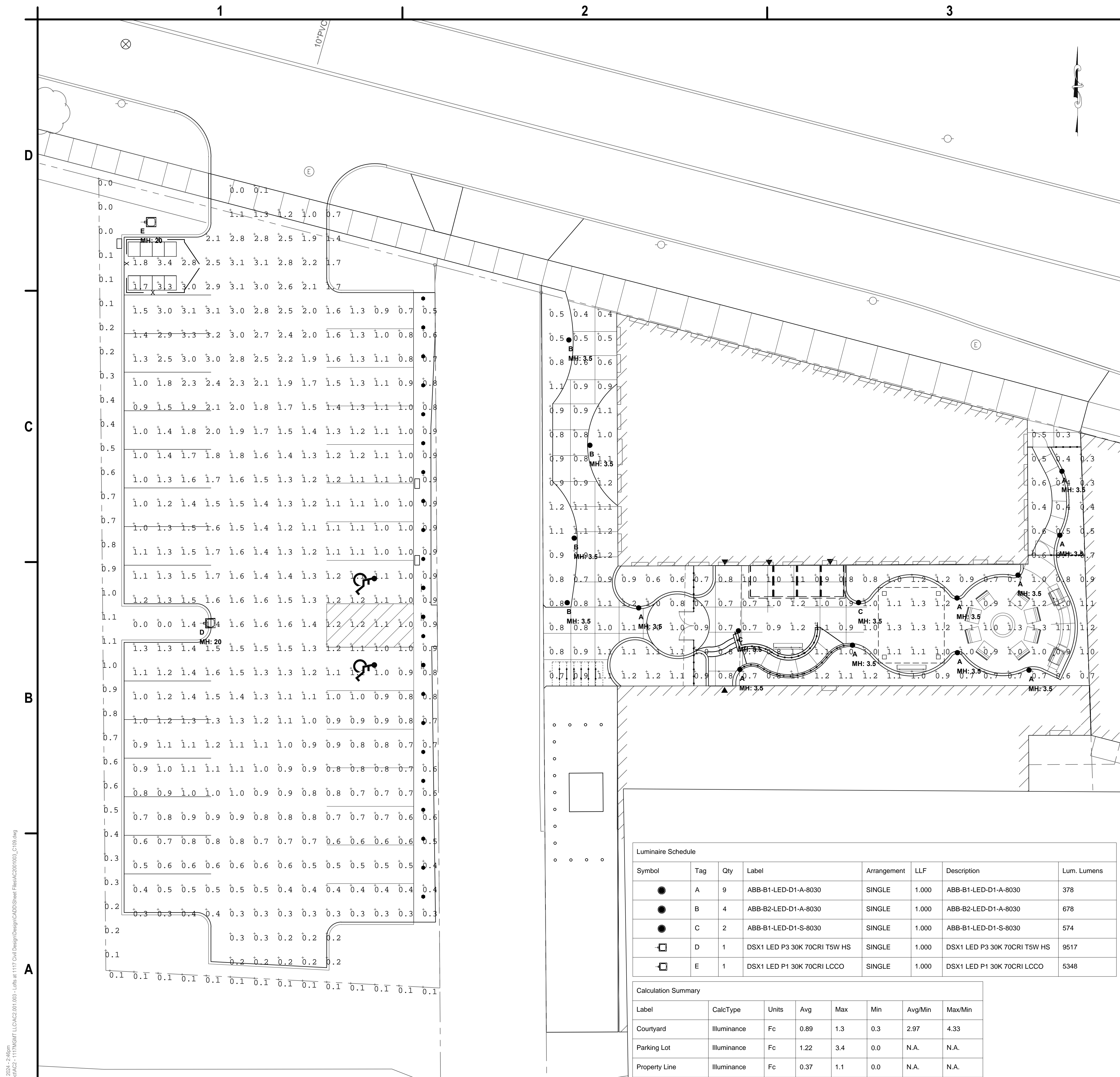
EROSION & SEDIMENT CONTROL PLAN

C-108

Jan 15, 2024 - 2:24pm
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A1 EROSION & SEDIMENT CONTROL PLAN
 SCALE: 1"=10'





Invue	
Project	Date
Comments	
Prepared by	

DESCRIPTION
The Arbor Bollard from Invue brings architectural style to the pedestrian level. The Arbor Bollard can be used along with Arbor post top luminaires to provide a coordinated look sure to enhance any architectural setting. WaveStream™ LED optics present a pixilation free image replacing visible glare, while providing high levels of pavement illumination.

SPECIFICATION FEATURES
Construction
Top Housing: Low copper, cast aluminum top maintains strength and precision while providing for rapid heat dissipation, vandal resistance and superior daylight. Lower Housing: Heavy 0.188" wall seamless extruded aluminum 4" O.D. shaft attaches to base via stainless steel fasteners. BASE: Rugged corrosion resistant extruded aluminum base mounts to foundation with three anchor bolts. Base features a pliable 1/2" thick neoprene leveling pad fitted to the bottom of base allows for sealing against water and dirt ingress regardless of minor deviations in grade of concrete pad.
Optics
General purpose symmetric distribution is available using WaveStream LED optical technology. The optical waveguide is manufactured using precision injection molded acrylic for the ultimate level of glare control and visual comfort. Offered standard in 4000K (+/- 275K CCT, optional 3000K minimum 80 CRI).

Electrical
LED driver are mounted to electrical tray for easy installation and maintenance for 120-277V 50/60Hz, 347V, 60Hz or 60V 60Hz operation. Offered standard with 0-10V dimming driver and Cooper Lighting Solutions' proprietary circuit module designed to withstand 100% of transient line surge. Luminaires is suitable for ambient temperature applications from -30°C (-22°F) to 40°C (104°F) and IP66 rated against the ingress of dust and water.

Controls
The Arbor Bollard options are designed to be simple and cost-effective ASHRAE and California Title 24 compliant solutions. An integrated dimming and occupancy sensor is a standalone control option available in on/off (MSP) and bi-level dimming (NSP/DM) operation. An optional handheld remote (HHR) allows custom programming to suit all needs.

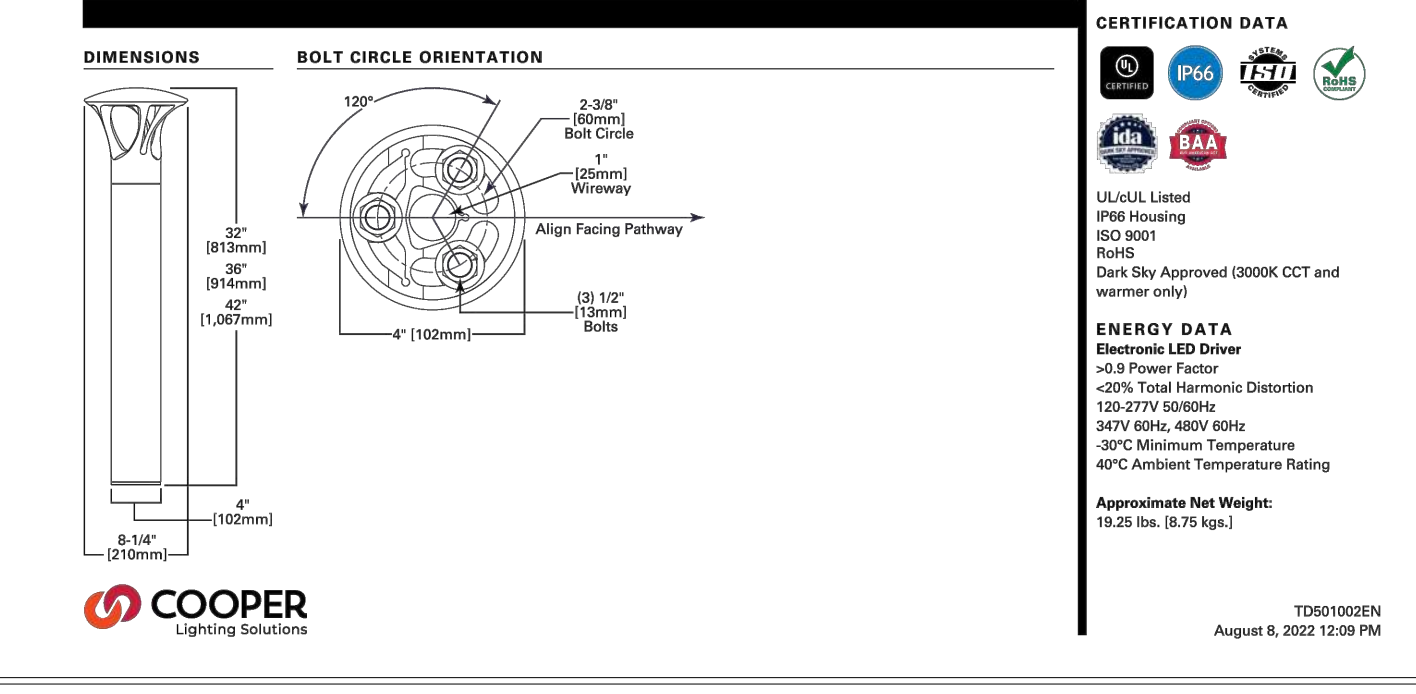
Mounting
Luminaires is mounted to 3 x 12" anchor bolts on a 3-3/8" bolt circle to with stand a 4600 pound overturn moment. Order anchor bolts and installation template separately (ABAnchor).

Finish
Cooper Lighting Solutions utilizes premium ultra-weatherable TGIC based polyester powder coatings that are specifically formulated to withstand extended outdoor exposure. The powders are formulated exclusively for Cooper Lighting Solutions to serve functionally as well as decorative. Good film appearance combined with excellent mechanical exterior exposure qualities display greater than twice as much gloss retention. RAL and custom color matches available. Finish is compliant with ASTM B117 3000hr salt spray standard. Options to meet Bay American Act requirements.

Warranty
Five-year warranty.



ABB ARBOR BOLLARD
PATHWAY LUMINAIRE



D-Series Size 1 LED Area Luminaire

Specifications
EPA: 0.60 ft (0.18m)
Length: 32.71" (831mm)
Width: 14.26" (362mm)
Height H1: 7.88" (200mm)
Height H2: 2.73" (69mm)
Weight: 34 lbs (15.4kg)

Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information	EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD
DSX1 LED	
Series	LED
Color Temperature	40K
Color Rendering Index	70CRI
Structure	T3M
Voltage	MVOLT
Mounting	SPA

Control options	Other options	Finish color
Shipped installed NEMO PIRHN: 40K-60K (2' installed with 1' lead section / ambient sensor, 8-40' mounting height, ambient sensor enabled at 26" ± 0.5") PR: High flow, medium ambient sensor, 8-40' mounting height, ambient sensor enabled at 26" ± 0.5" PER: NEMA lock receptacle only (controls ordered separately) PERS: Five pin receptacle only (controls ordered separately)	PERK: Seven pin receptacle only (controls ordered separately) FAO: Field adjustable output BL30: Bi-level switched dimming, 30% ± 1" DM: Bi-level switched dimming, 50% ± 1" DMG: 0-10V dimming with an external control, ambient sensor optional DS: Dual switching	Shipped installed SP200V: 200V supply protection HS: Housecode shield (black finish standard) LHO: Left rotated optic RHO: Right rotated optic CCE: Casual construction MA: 50% ambient operator Shipped separately ESO: External Case Shield (weathered, field install requires machine housing field) ESOB: End Spikes (field install required)
		DDBD: Dark Bronze DBLD: Black DNAD: Natural Aluminum DWAD: White DDBDZ: Textured Dark Bronze DBLDZ: Textured Black DNADZ: Textured Natural Aluminum DWADZ: Textured White

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Syracuse, New York 13212
Phone: 315-455-2000
Fax: 315-455-9667
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CERTIFICATE OF AUTHORIZATION # 0018122

NOT FOR CONSTRUCTION

STATE OF NEW YORK
ERIC J. DANIEL
LICENSED PROFESSIONAL ENGINEER
084047

**BNZ1117, LLC, CASE 1117, LLC
AND DANNAN REALTY, LLC
LOFTS AT 1117
1117 & 1153 W. FAYETTE STREET
SYRACUSE, NY**

1	1/15/2023	CITY/OWNER COMMENTS
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	AC2.001.003	
DATE:	NOVEMBER 2023	
DRAWN BY:	S. SCHIENER	
DESIGNED BY:	E. DANIEL	
CHECKED BY:	E. DANIEL	
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW		

PHOTOMETRIC PLAN

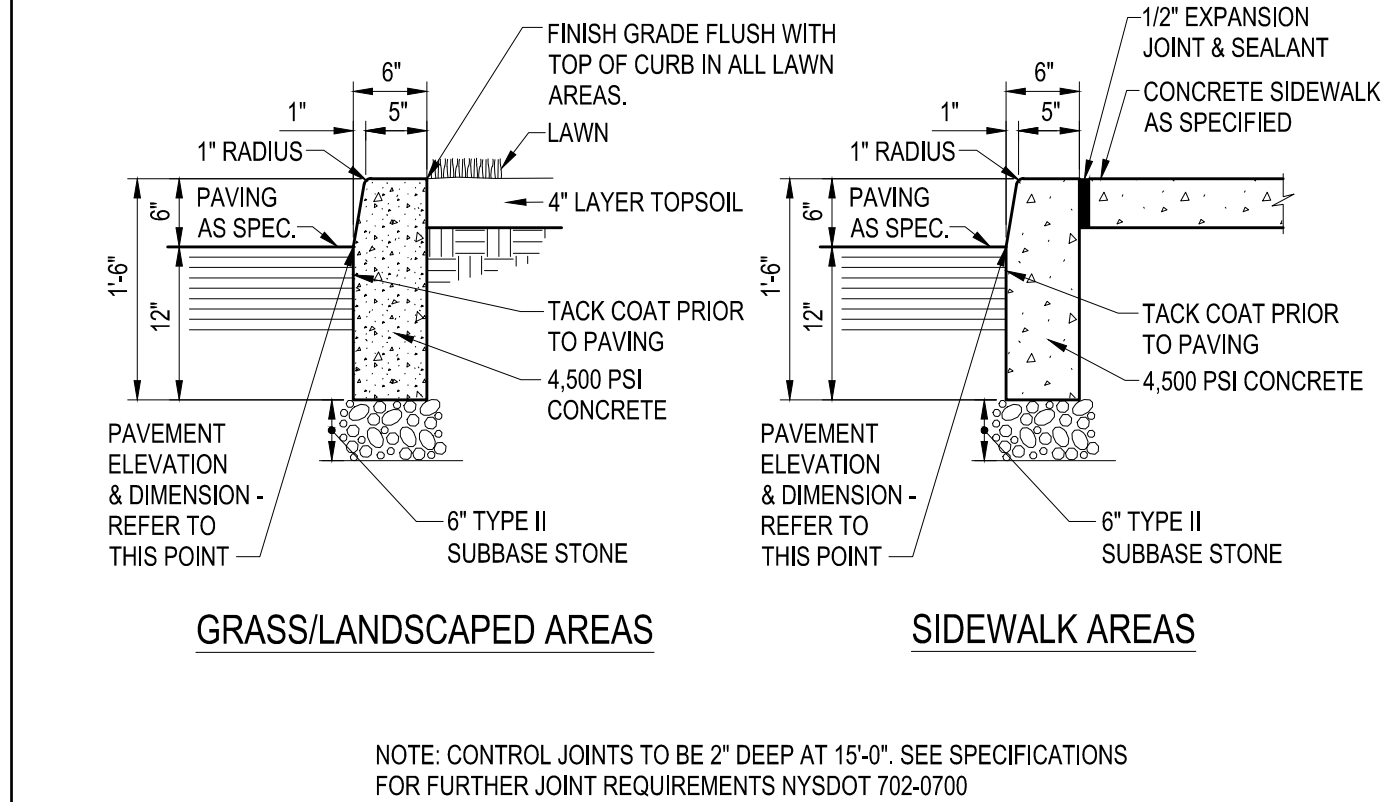
C-109

Jan 15, 2024 - 2:46pm
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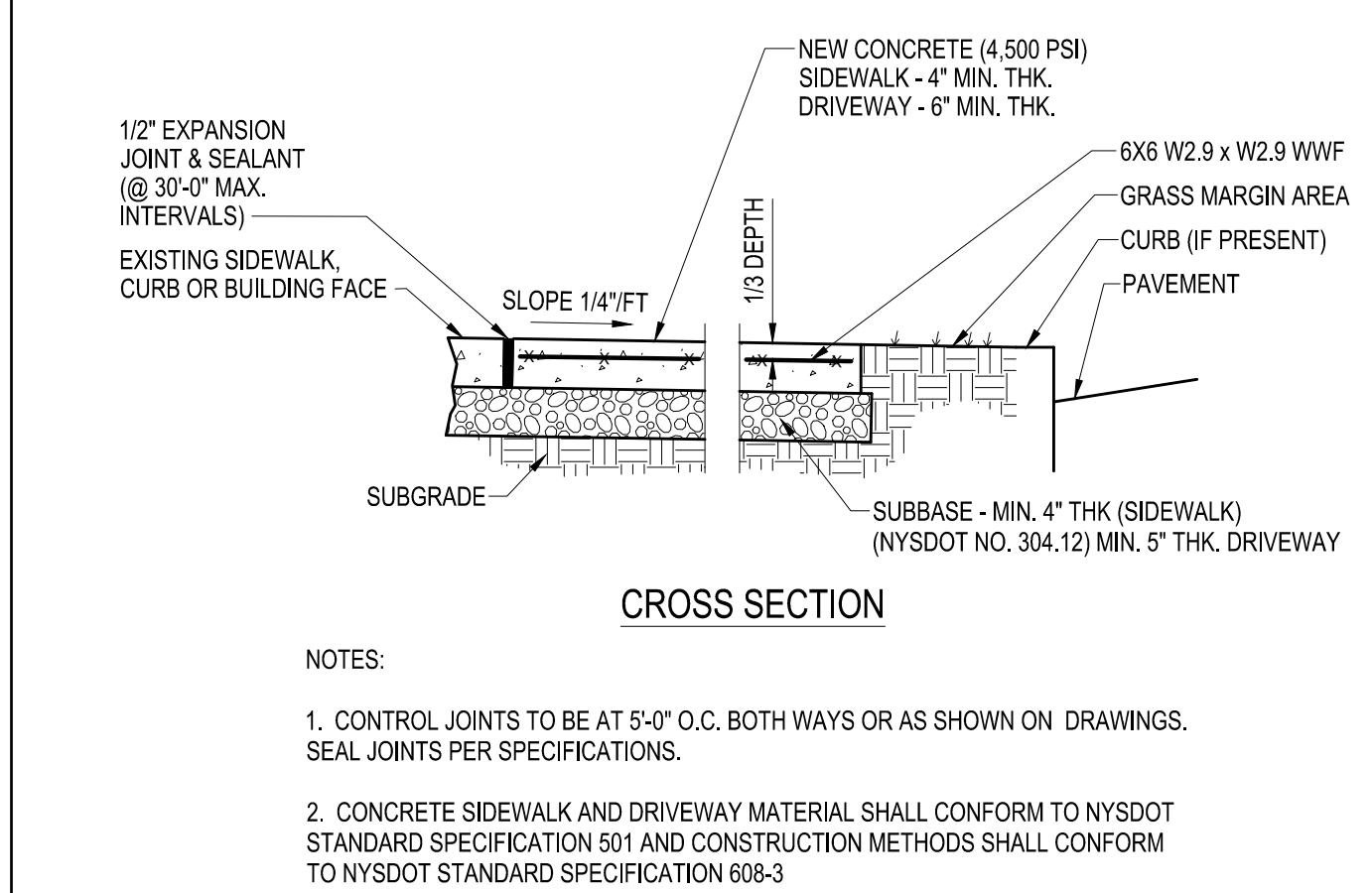
EROSION CONTROL NOTES:

THE FOLLOWING EROSION CONTROL PROCEDURE SHALL BE ADHERED TO BY THE CONTRACTOR:

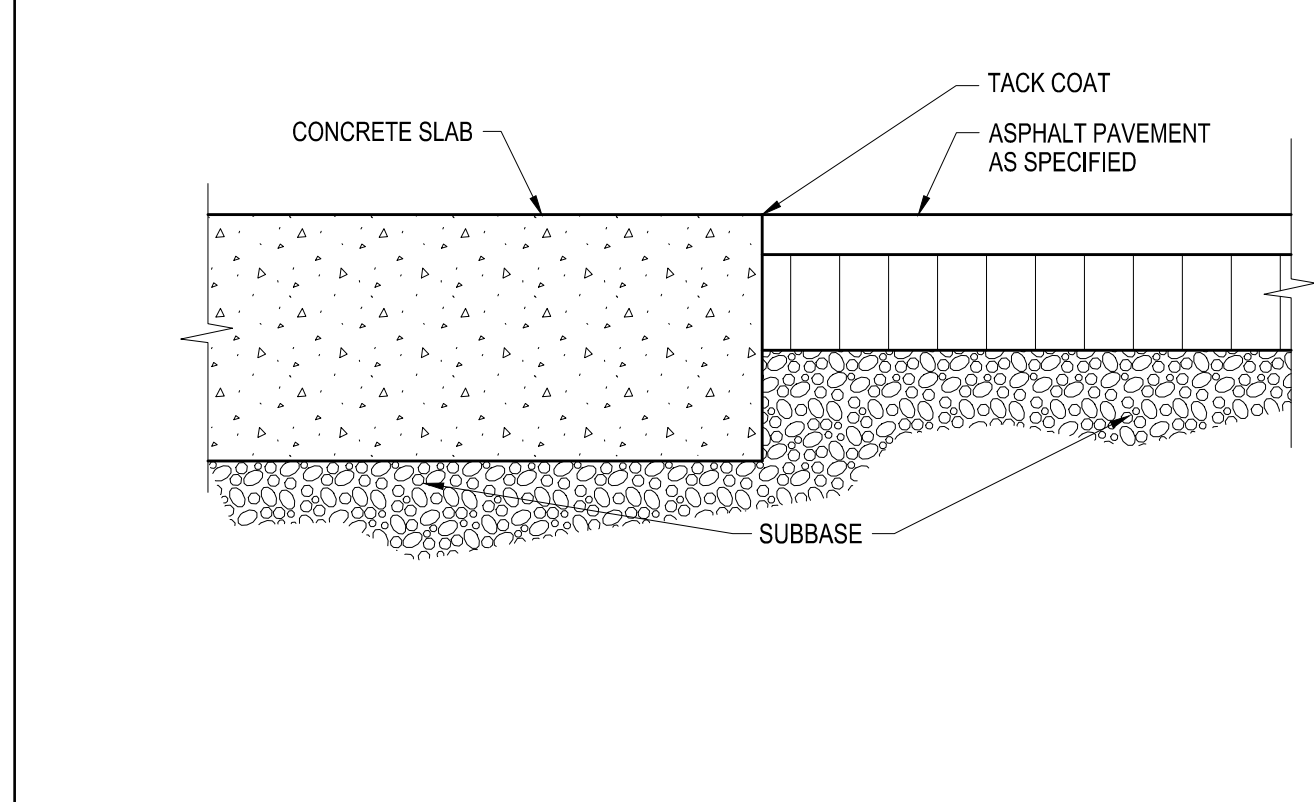
1. INSTALL TEMPORARY SILT FENCE BARRIERS AS SHOWN ON THE PLAN AND AT ALL EXISTING STORMWATER CATCH BASINS WITHIN THE WORK AREA TO PREVENT SEDIMENT MIGRATION. ALL SILT FENCE/SOCK BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS.
2. THE TOPSOIL SHALL BE STRIPPED & STOCKPILED ON SITE FOR RE-USE AS DIRECTED BY THE OWNER. ALL LOCAL ORDINANCES REGARDING THE SALE AND/OR REMOVAL OF TOPSOIL FROM THE SITE MUST BE FOLLOWED.
3. ALL SILT FENCES/SOCKS SHALL BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE & REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
5. THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION. DURING EARTHWORK OPERATIONS, WATER SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR AND WATER APPLIED AS NECESSARY AND AS DIRECTED BY THE OWNER IN ORDER TO CONTROL DUST.
6. DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED & ROAD SURFACES CLEANED BY THE CONTRACTOR ON A DAILY BASIS.
7. ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM 4" DEPTH & SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE & AS SOON AS PHYSICALLY POSSIBLE.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, DITCHES & CULVERTS. SILT BUILD-UP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM CULVERTS BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE TOWN.
9. IN ADDITION TO STORM WATER DISCHARGES, THE FOLLOWING NON-STORM WATER DISCHARGES MAY CONTRIBUTE TO THE RUN-OFF FROM THE SITE:
 - WATER FROM WATER SERVICE FLUSHINGS
 - WATER USED TO WASH DOWN CONSTRUCTION VEHICLES (NO DETERGENTS)
 - WATER USED FOR DUST CONTROL
 - UNCONTAMINATED GROUNDWATER
10. THE ABOVE NON-STORM WATER FLOWS SHALL BE TREATED IN THE SAME MANNER AS STORM WATER FLOWS INDICATED HEREIN.



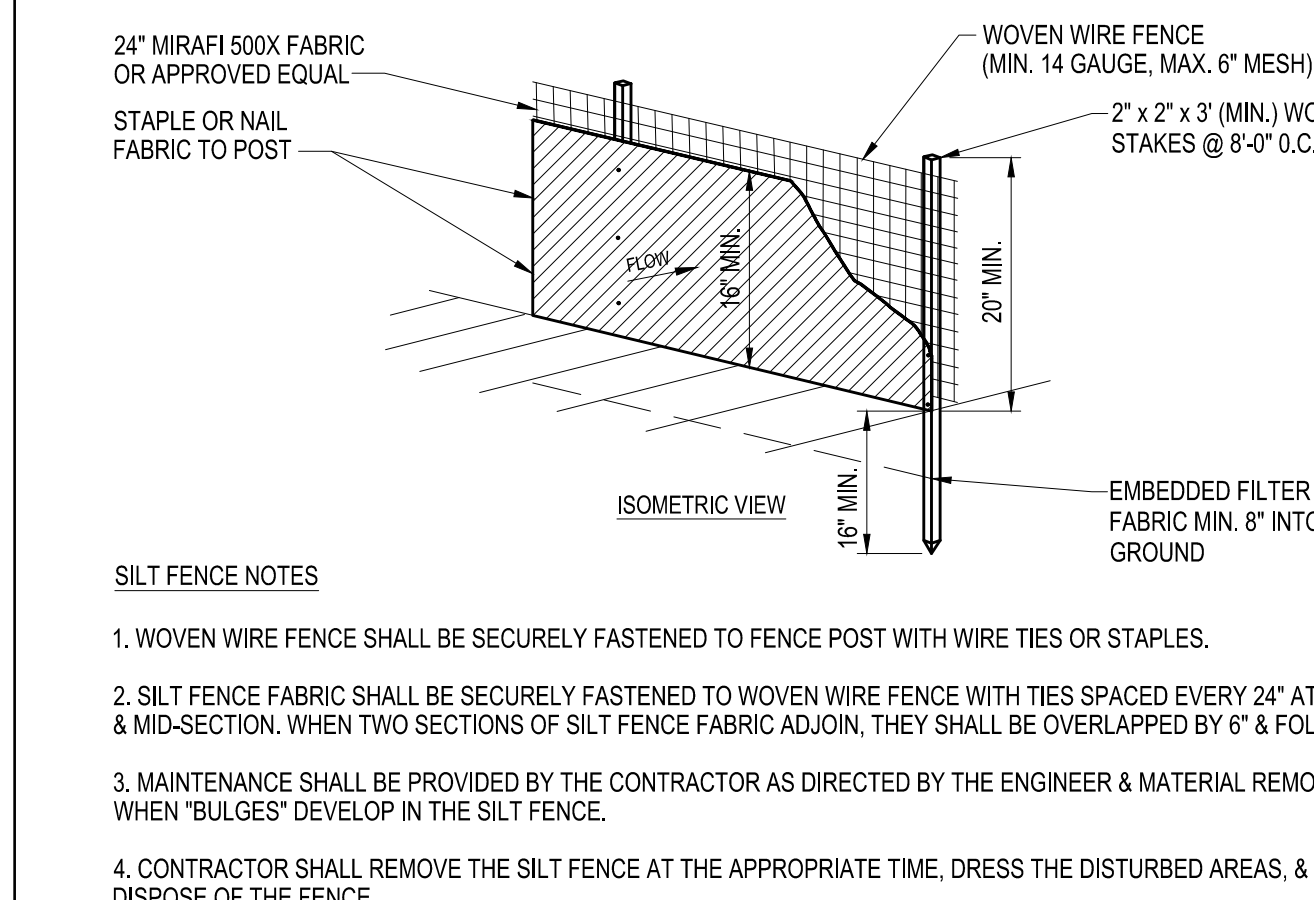
D2 CONCRETE CURB
NOT TO SCALE



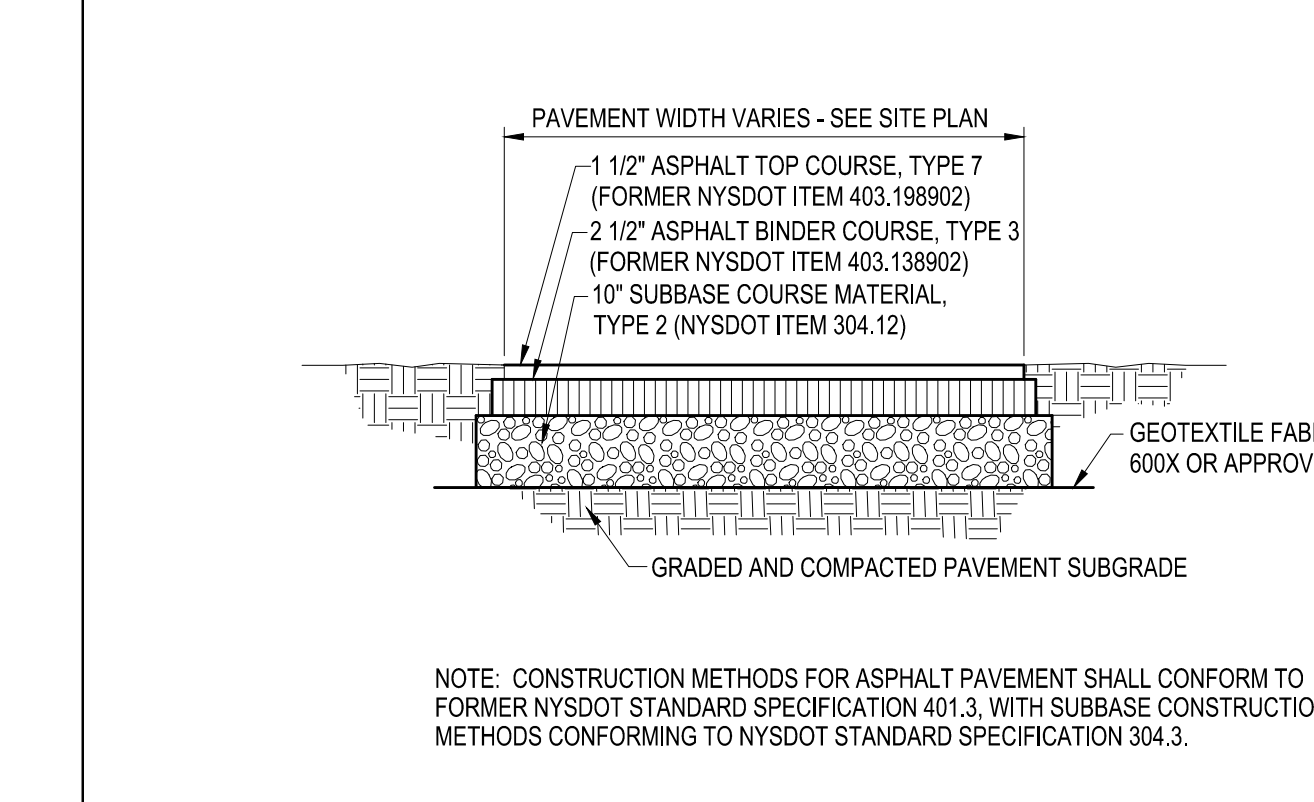
C2 CONCRETE SIDEWALK
NOT TO SCALE



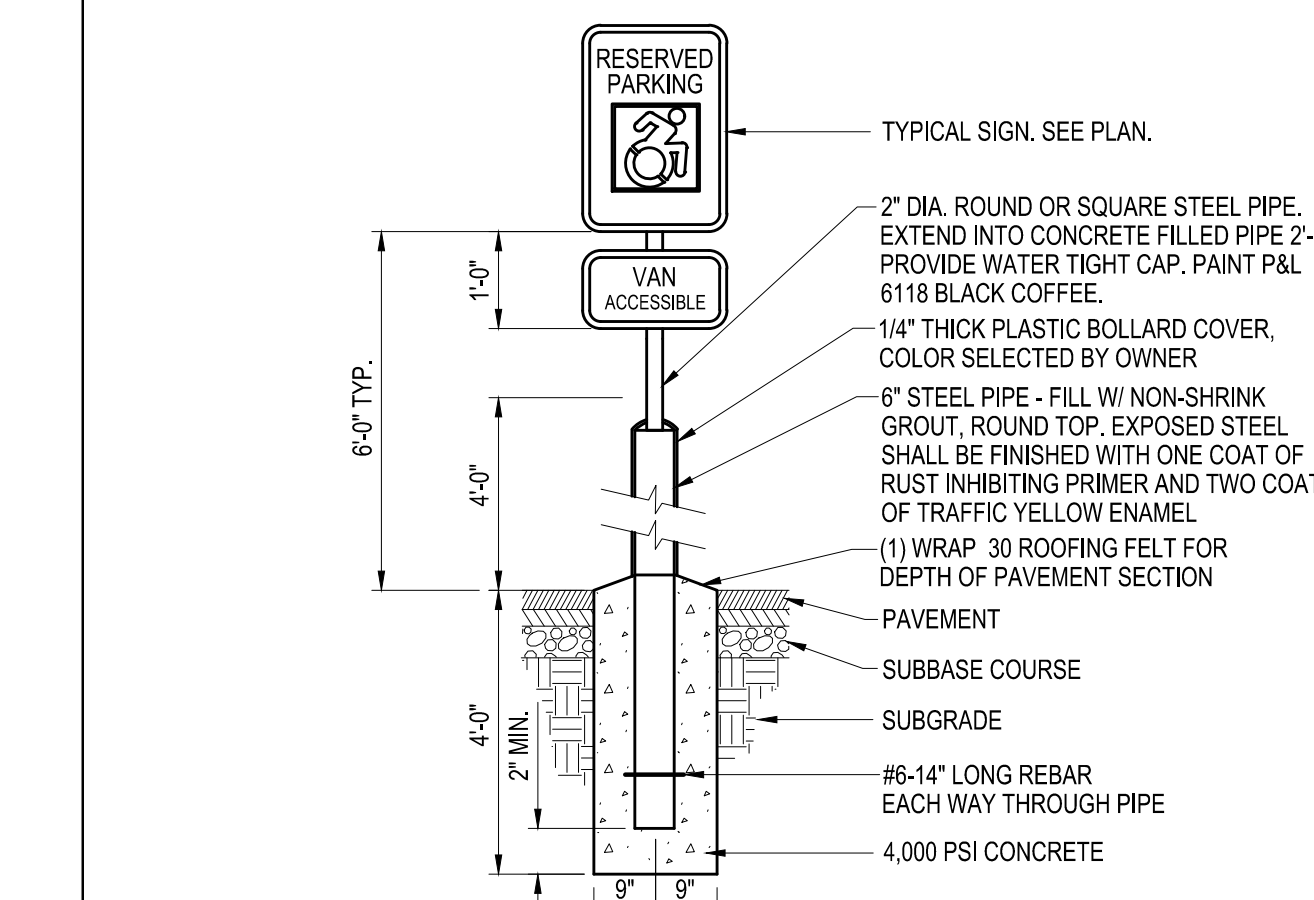
D3 TYPICAL CONCRETE TO ASPHALT DETAIL
NOT TO SCALE



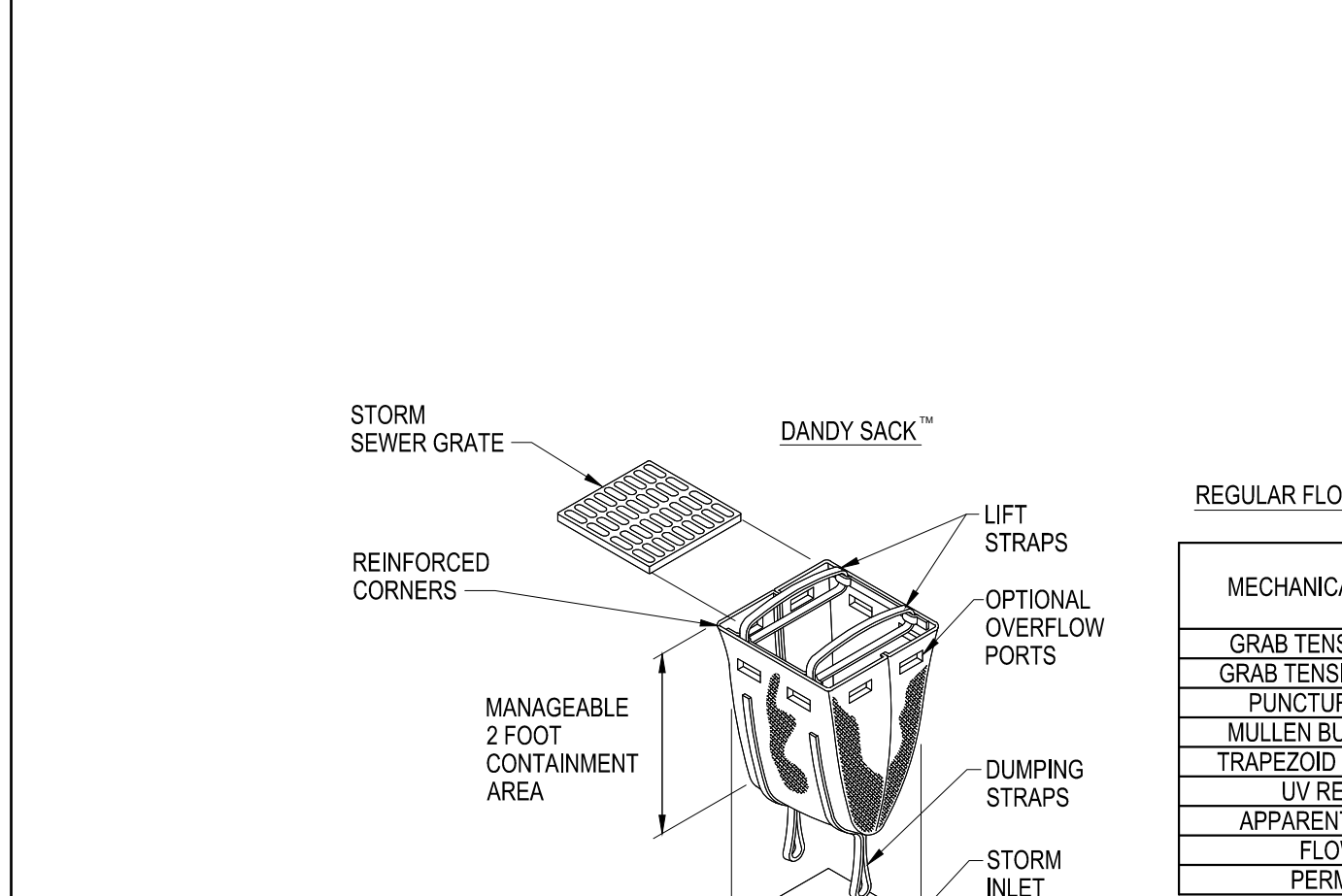
C3 TYPICAL SILT FENCE DETAIL
NOT TO SCALE



D4 ASPHALT PAVEMENT SECTION
NOT TO SCALE



C4 SIGN POST "B"
NOT TO SCALE



B4 TYPICAL SILT FENCE DETAIL
NOT TO SCALE

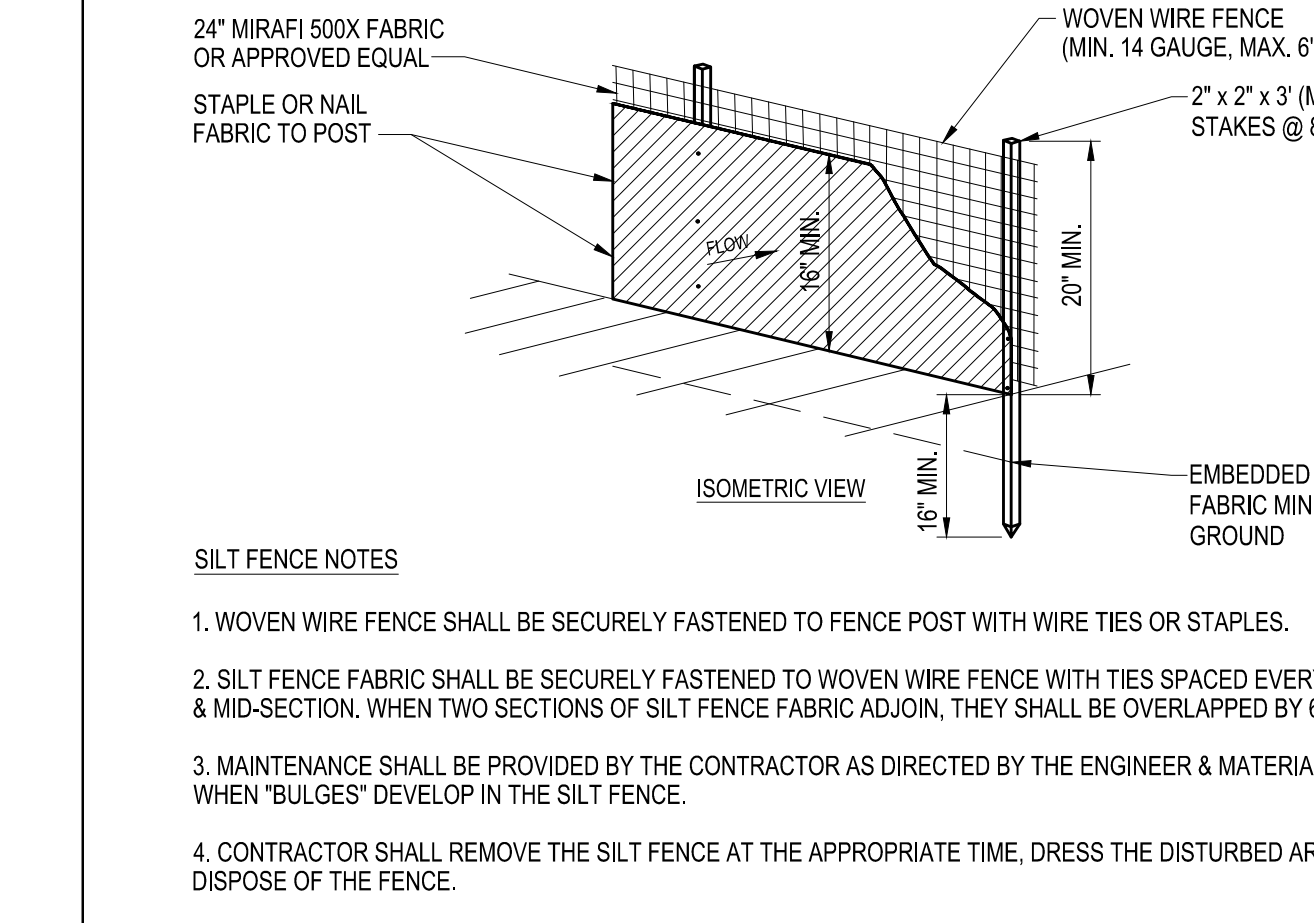
DANDY SACK™ SPECIFICATIONS

NOTE: THE DANDY SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

REGULAR FLOW DANDY SACK™ (BLACK)			
MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.78 (400) x 1.40 (315)
GRAB TENSILE ELONGATION	ASTM D 4632	%	15 x 15
PUNCTURE STRENGTH	ASTM D 4833	kN (lbs)	0.67 (150)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (psi)	5506 (800)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	1/min/m² (gal/min/ft²)	2852 (70)
PERMITTIVITY	ASTM D 4491	Sec⁻¹	0.90

HI-FLOW DANDY SACK™ (SAFETY ORANGE)			
MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4833	kN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (psi)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	1/min/m² (gal/min/ft²)	5907 (145)
PERMITTIVITY	ASTM D 4491	Sec⁻¹	2.1

*NOTE: DANDY SACKS™ CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENT PILLOWS.

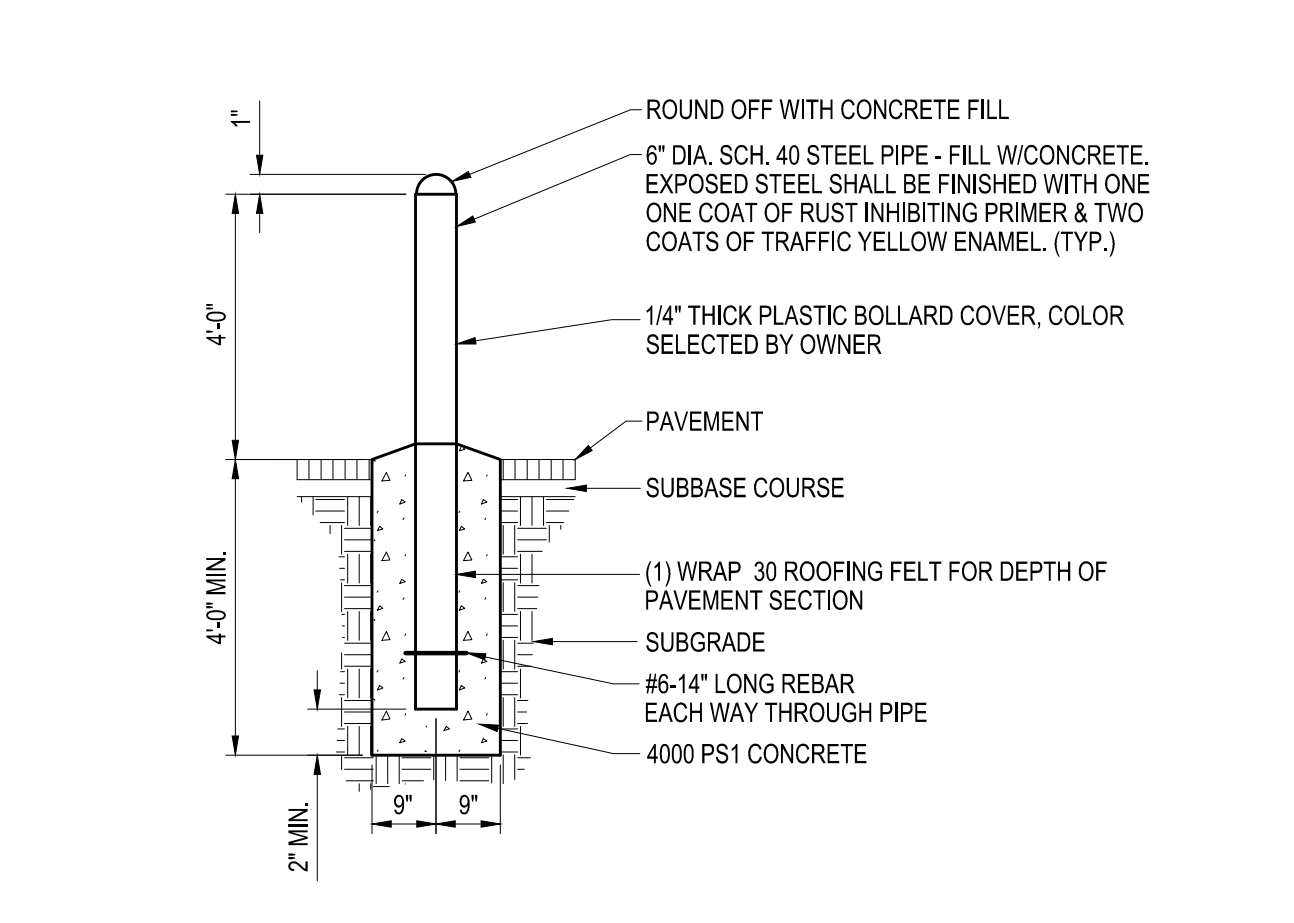


B4 TYPICAL SILT FENCE DETAIL
NOT TO SCALE

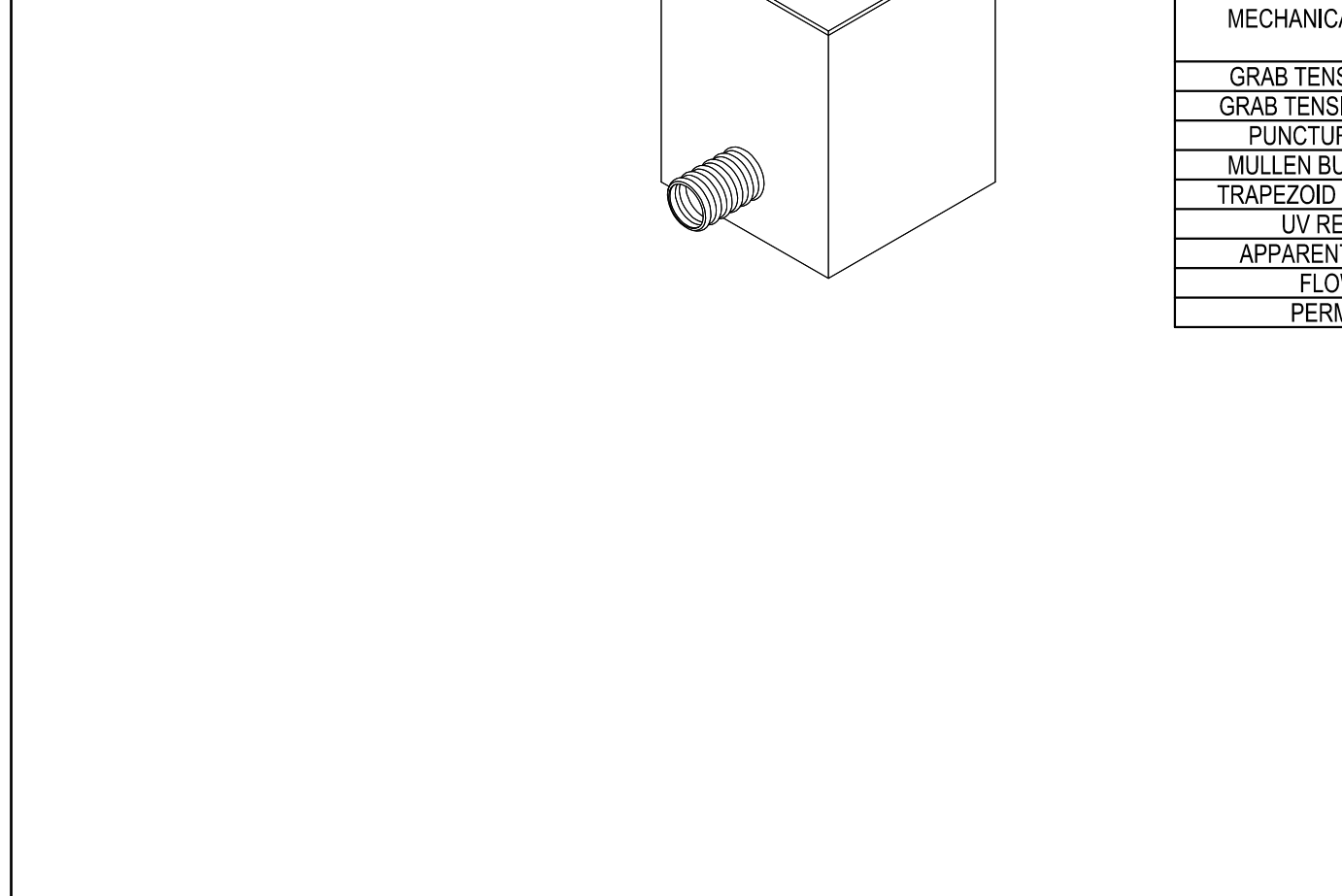
C1 GENERAL NOTES
NOT TO SCALE



B1 NOT USED
NOT TO SCALE



A1 BOLLARD DETAIL
NOT TO SCALE



A2 FILTER SACK INLET PROTECTION
NOT TO SCALE



A4 NOT USED
SCALE: 1" = 1'-0"

C&S COMPANIES
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499 Col. Eileen Collins Blvd.
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CERTIFICATE OF AUTHORIZATION # 0018122
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**BNZ1117, LLC, CASE 1117, LLC
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LOFTS AT 1117
1117 & 1153 W. FAYETTE STREET
SYRACUSE, NY**

MARK	DATE	DESCRIPTION
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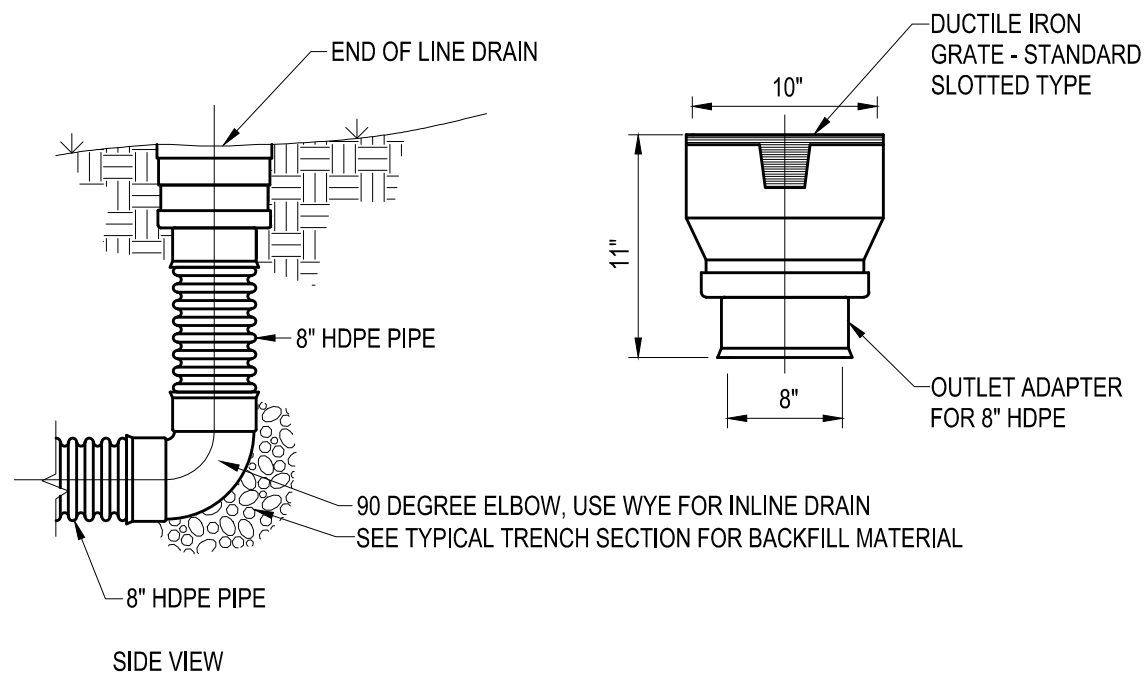
REVISIONS

PROJECT NO:	AC2.001.003
DATE:	NOVEMBER 2023
DRAWN BY:	B. BUCKINGHAM
DESIGNED BY:	E. DANIEL
CHECKED BY:	E. DANIEL

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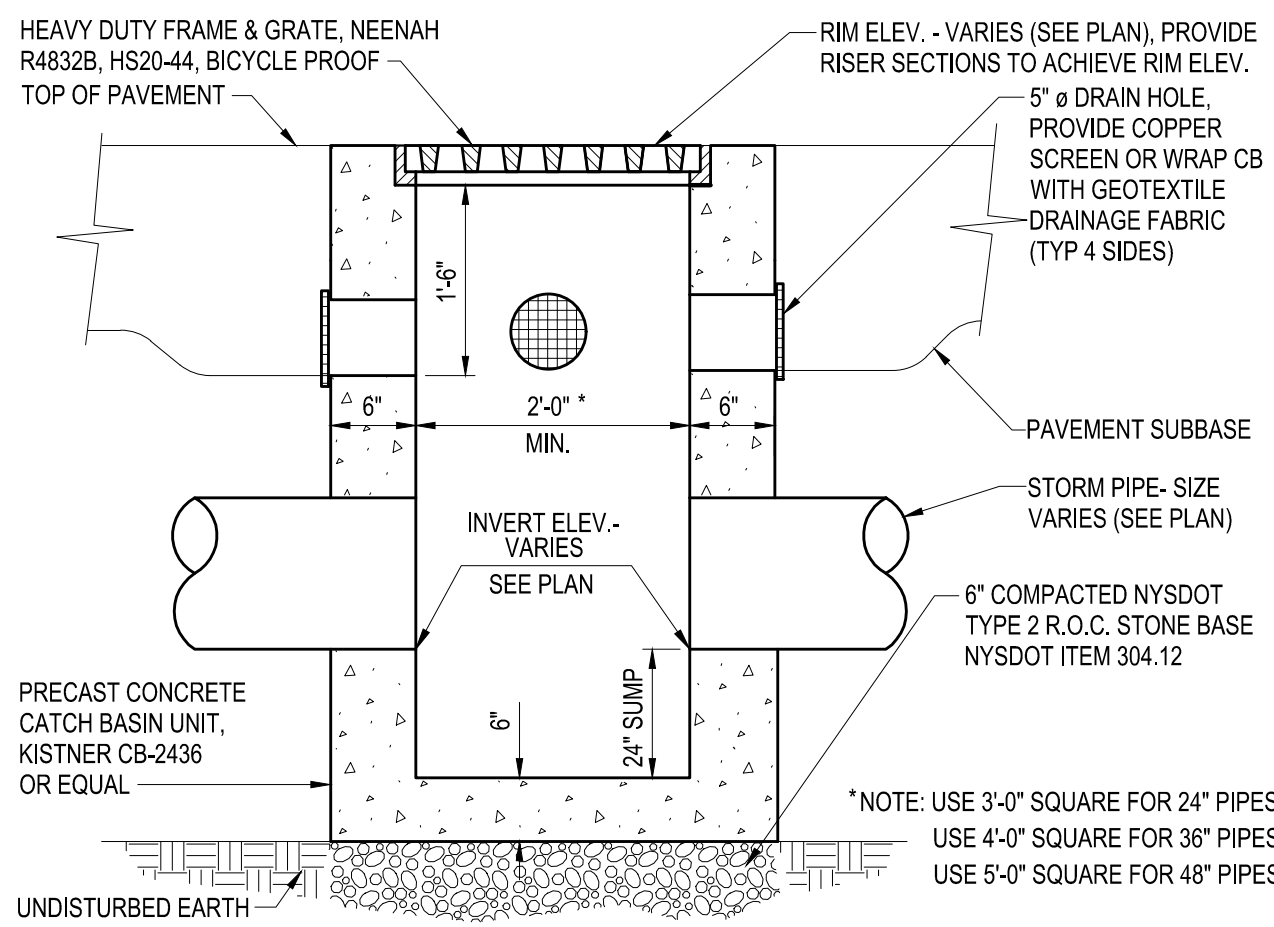
DETAILS

C-501



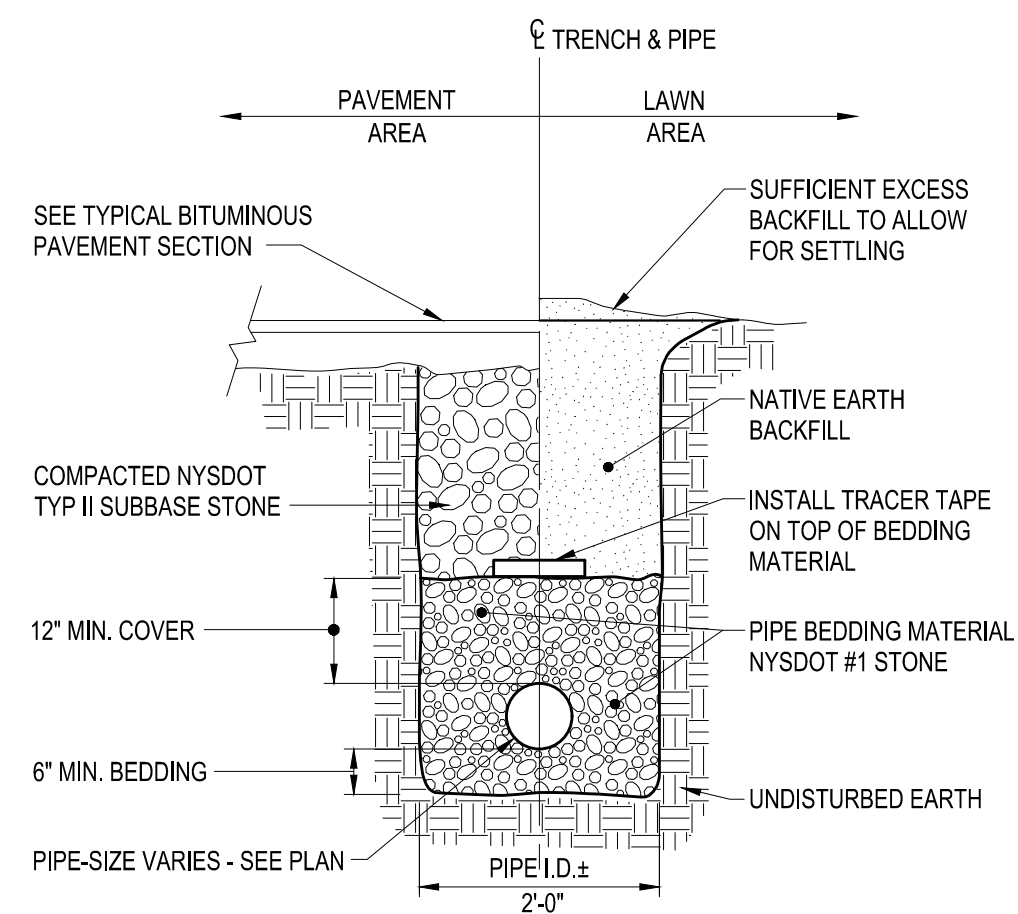
NOTE: YARD DRAIN BY NYLOPLAST OR EQUAL

D1 10" YARD DRAIN
NOT TO SCALE



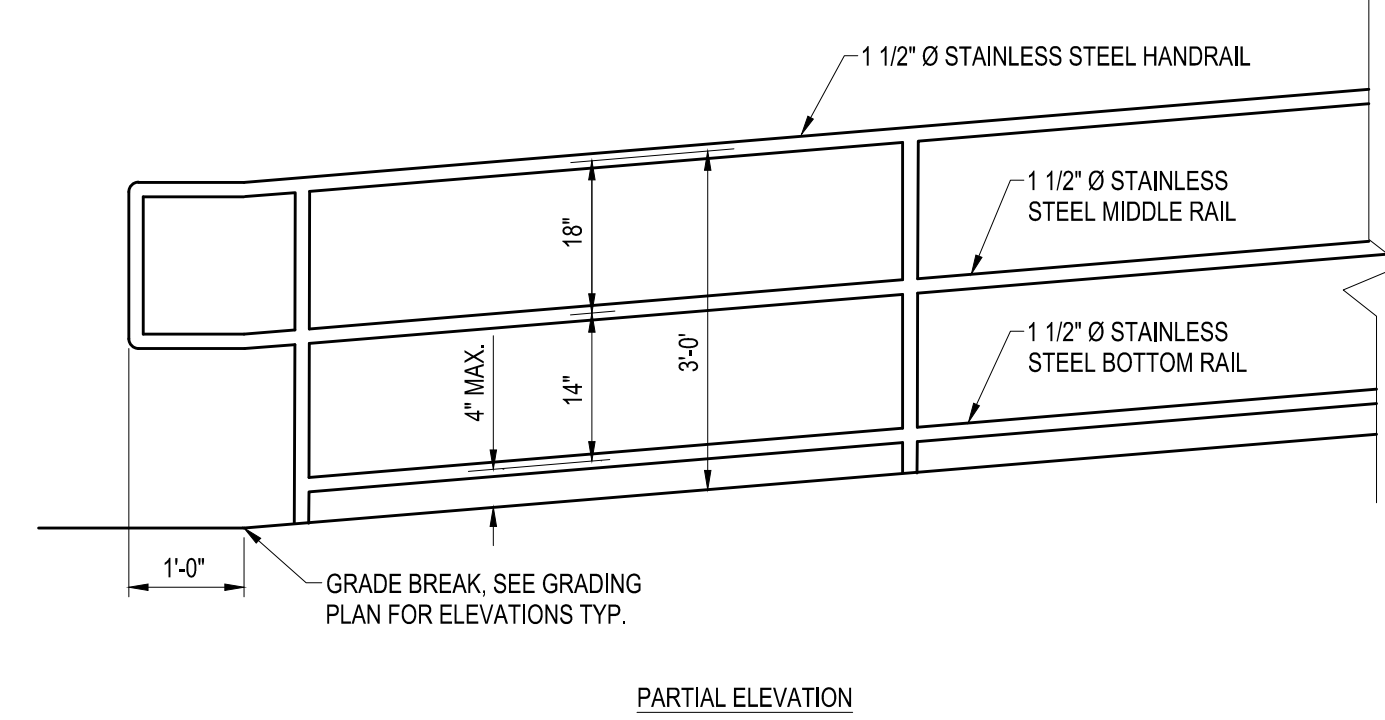
*NOTE: USE 3'-0" SQUARE FOR 24" PIPES
USE 4'-0" SQUARE FOR 36" PIPES
USE 5'-0" SQUARE FOR 48" PIPES

D2 TYPICAL PRECAST CATCH BASIN
NOT TO SCALE

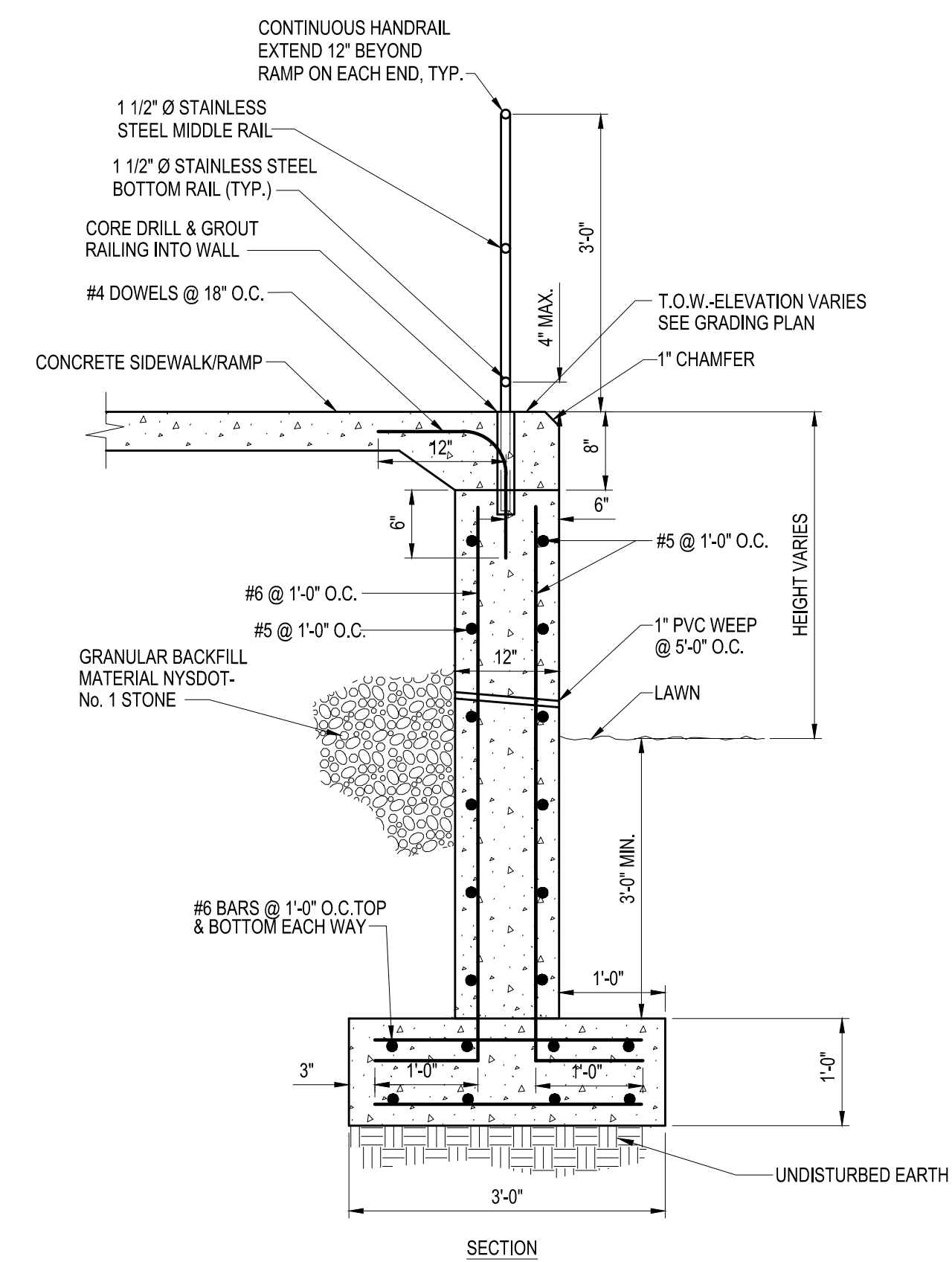


C1 STORM PIPE TRENCH SECTION
NOT TO SCALE

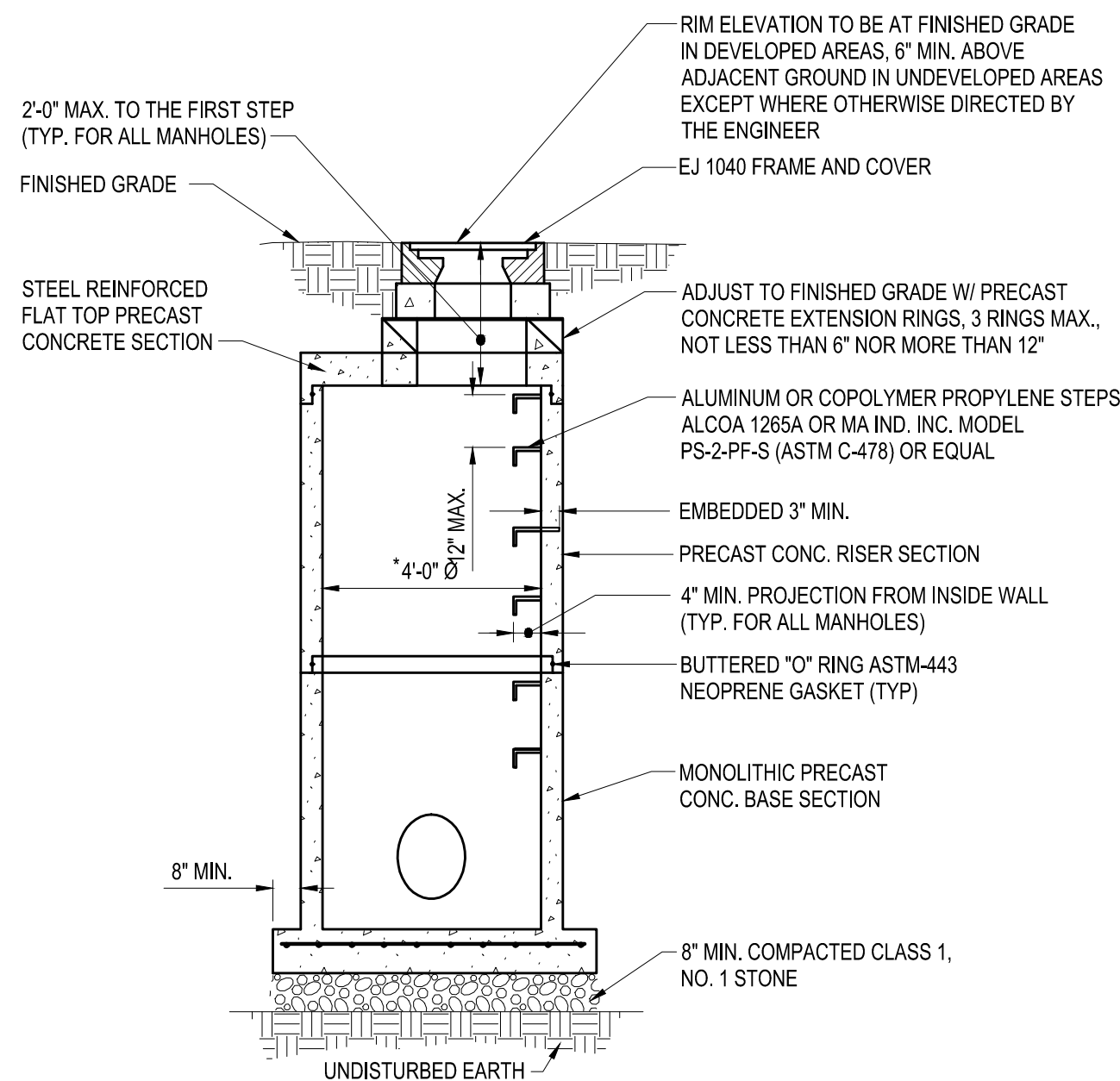
C2 NOT USED
NOT TO SCALE



C3 ACCESSIBLE RAMP DETAIL
NOT TO SCALE

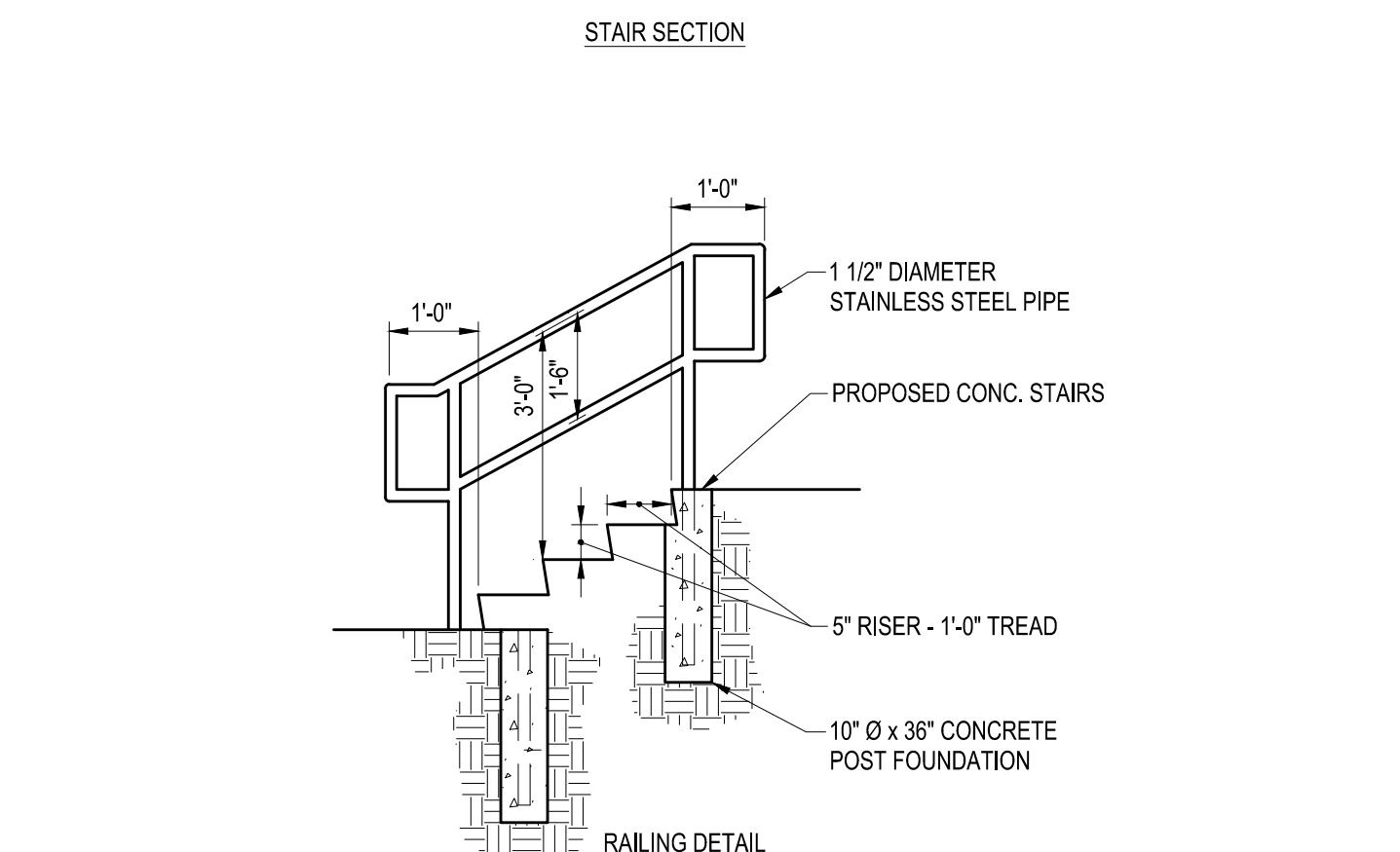
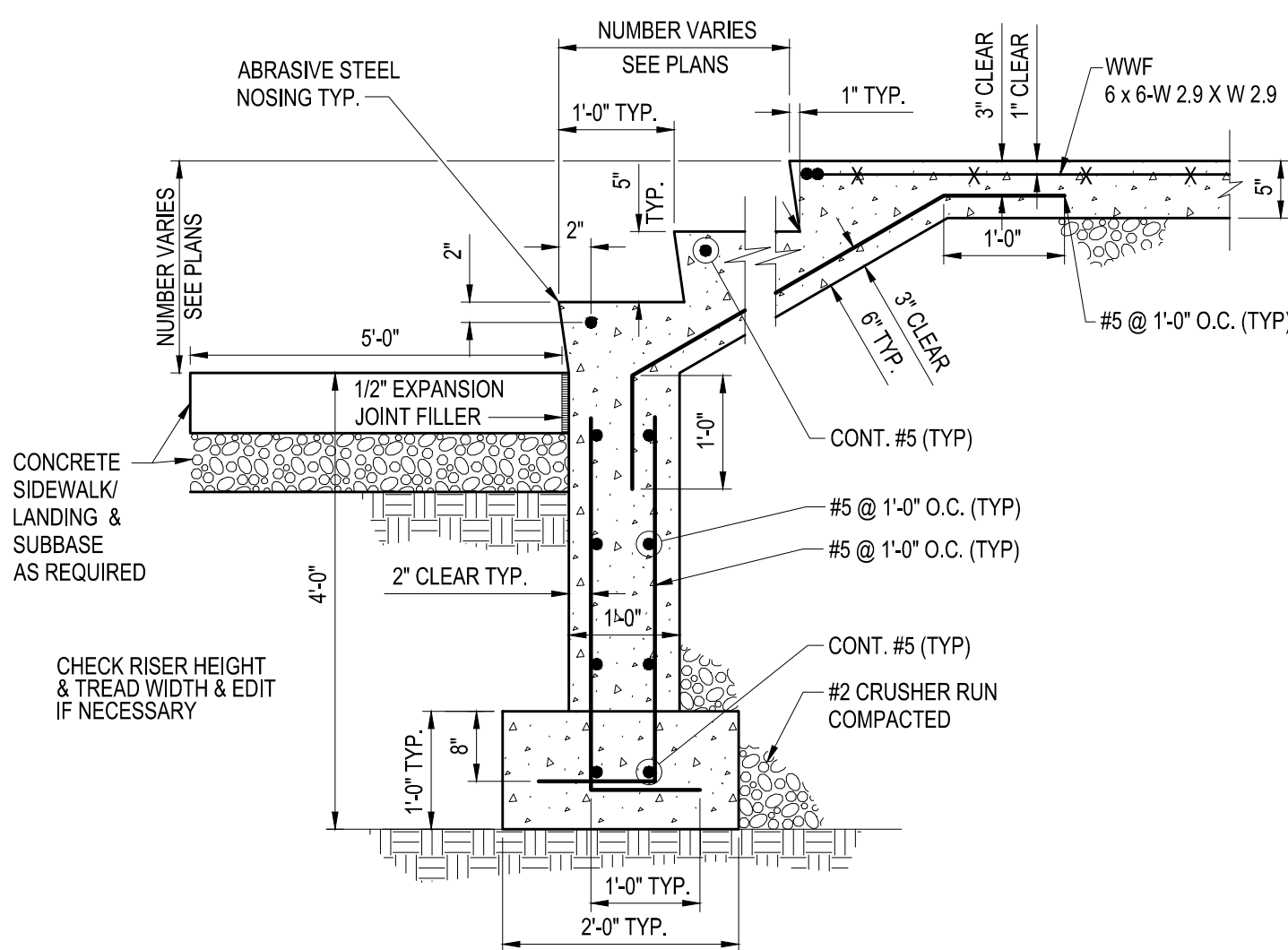


SECTION

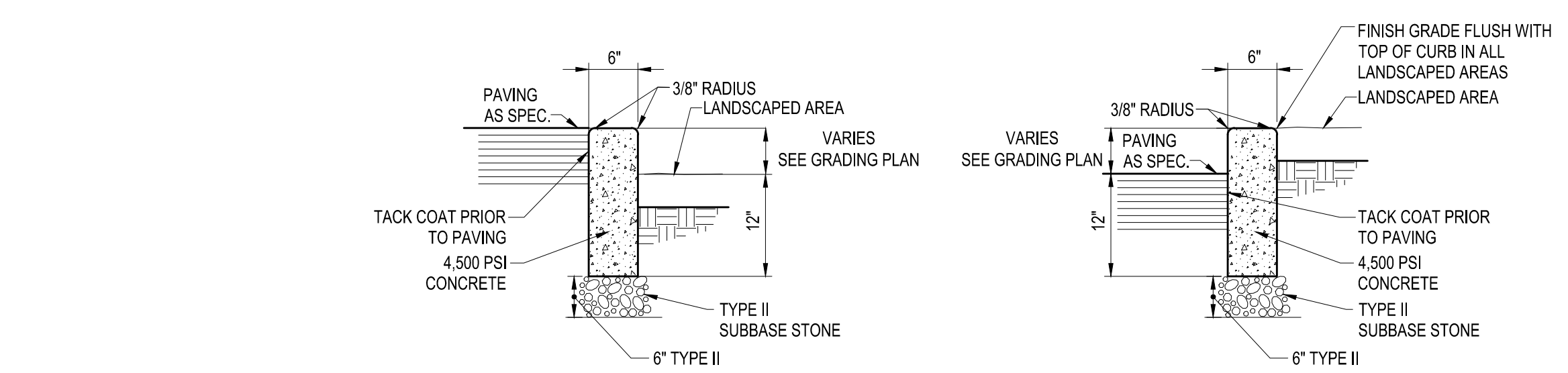


NOTE: MANHOLE FRAME AND COVER TO BE ADA COMPLIANT.

A1 STORM MANHOLE DETAIL
NOT TO SCALE

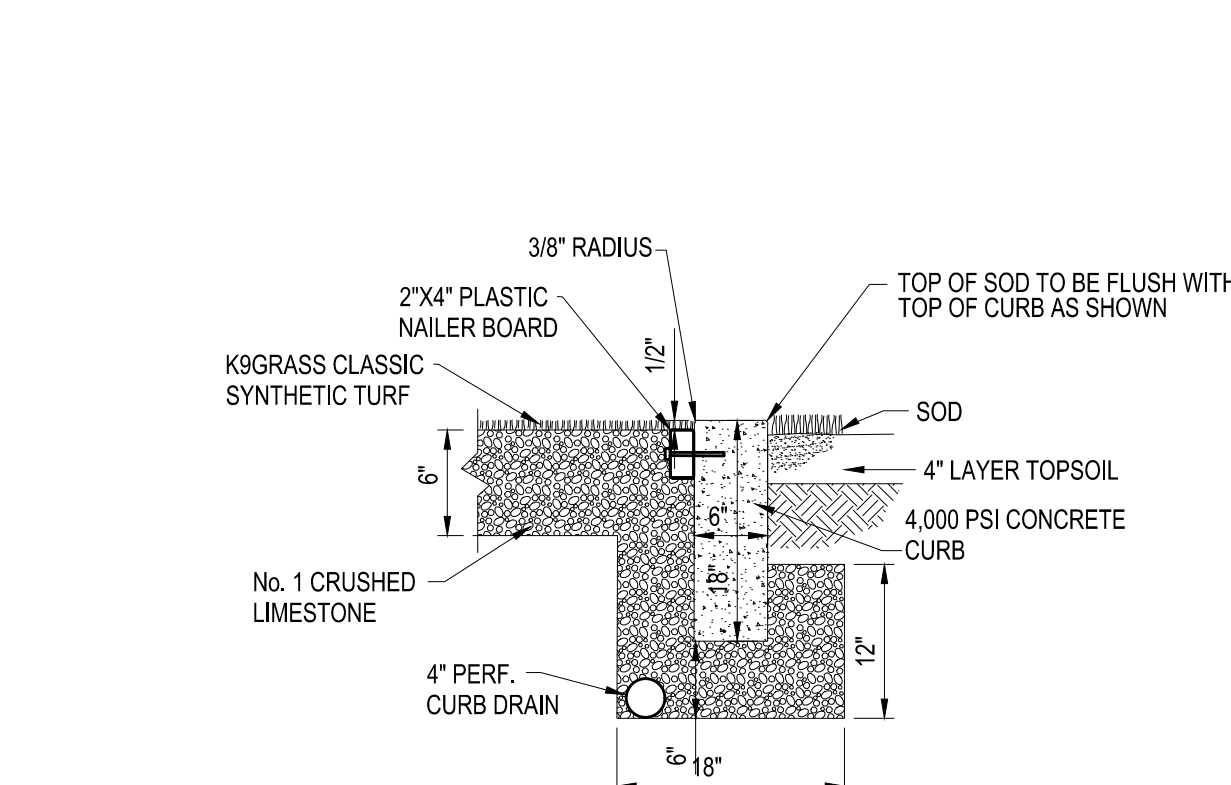


A2 TYPICAL EXTERIOR CONCRETE STAIR DETAIL
NOT TO SCALE

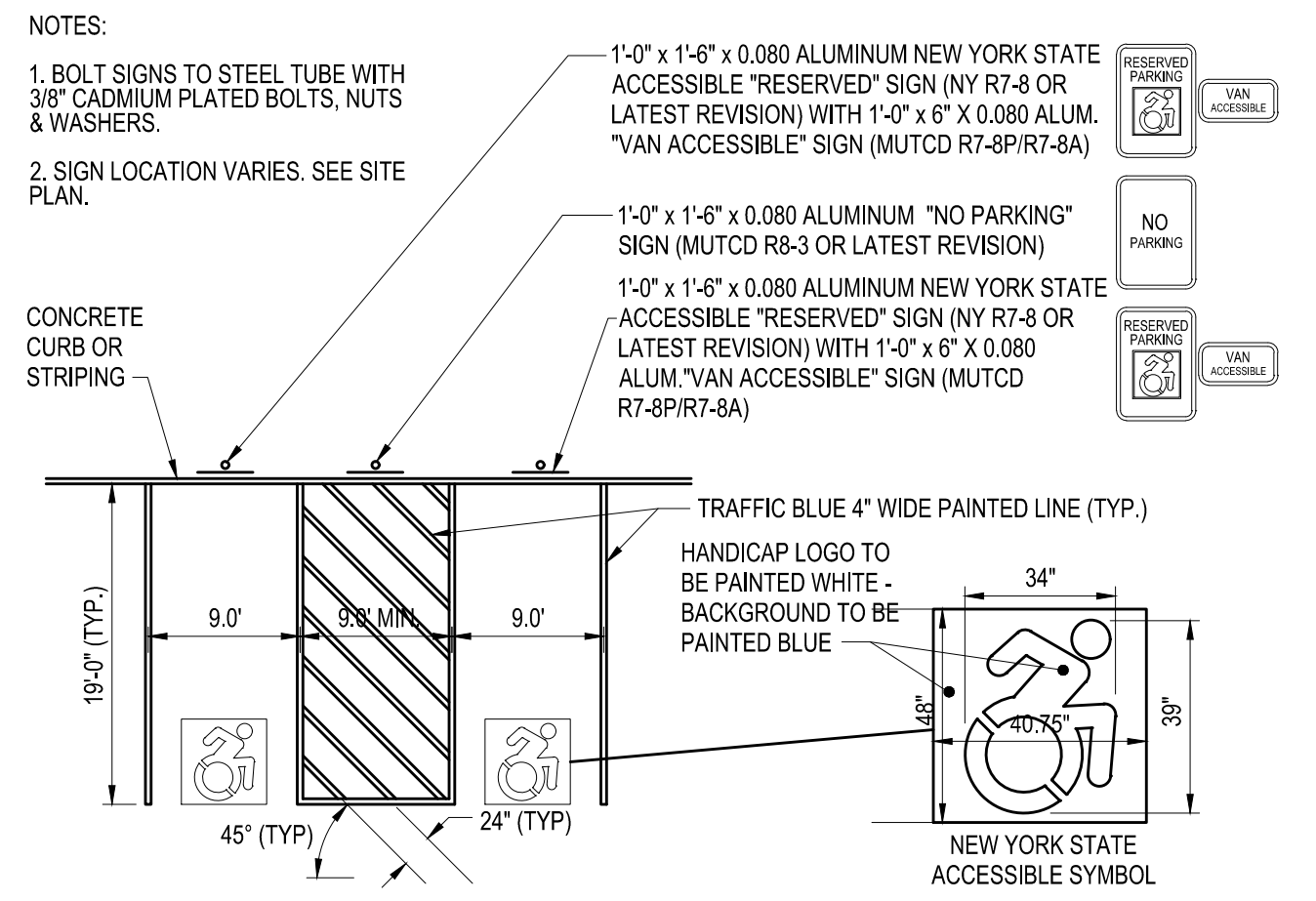


B3 LANDSCAPING CURB
NOT TO SCALE

NOTE: CONTROL JOINTS TO BE 2" DEEP AT 15'-0" SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700



A3 PET RELIEF AREA DETAIL
NOT TO SCALE



A4 ACCESSIBLE SIGNS & MARKINGS
NOT TO SCALE

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SYRACUSE, NY**

MARK	DATE	DESCRIPTION
1	11/15/2023	CITY/OWNER COMMENTS

REVISIONS	
PROJECT NO:	AC2.001.003
DATE:	NOVEMBER 2023
DRAWN BY:	B. BUCKINGHAM
DESIGNED BY:	E. DANIEL
CHECKED BY:	E. DANIEL

NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW

DETAILS
C-502

Jan 15, 2024, 12:22pm F:\Project\AC2 - 1117\MT\AC2 - 1117\MT\Design\Sheet\CADD\Sheet Files\AC200100_C502.dwg

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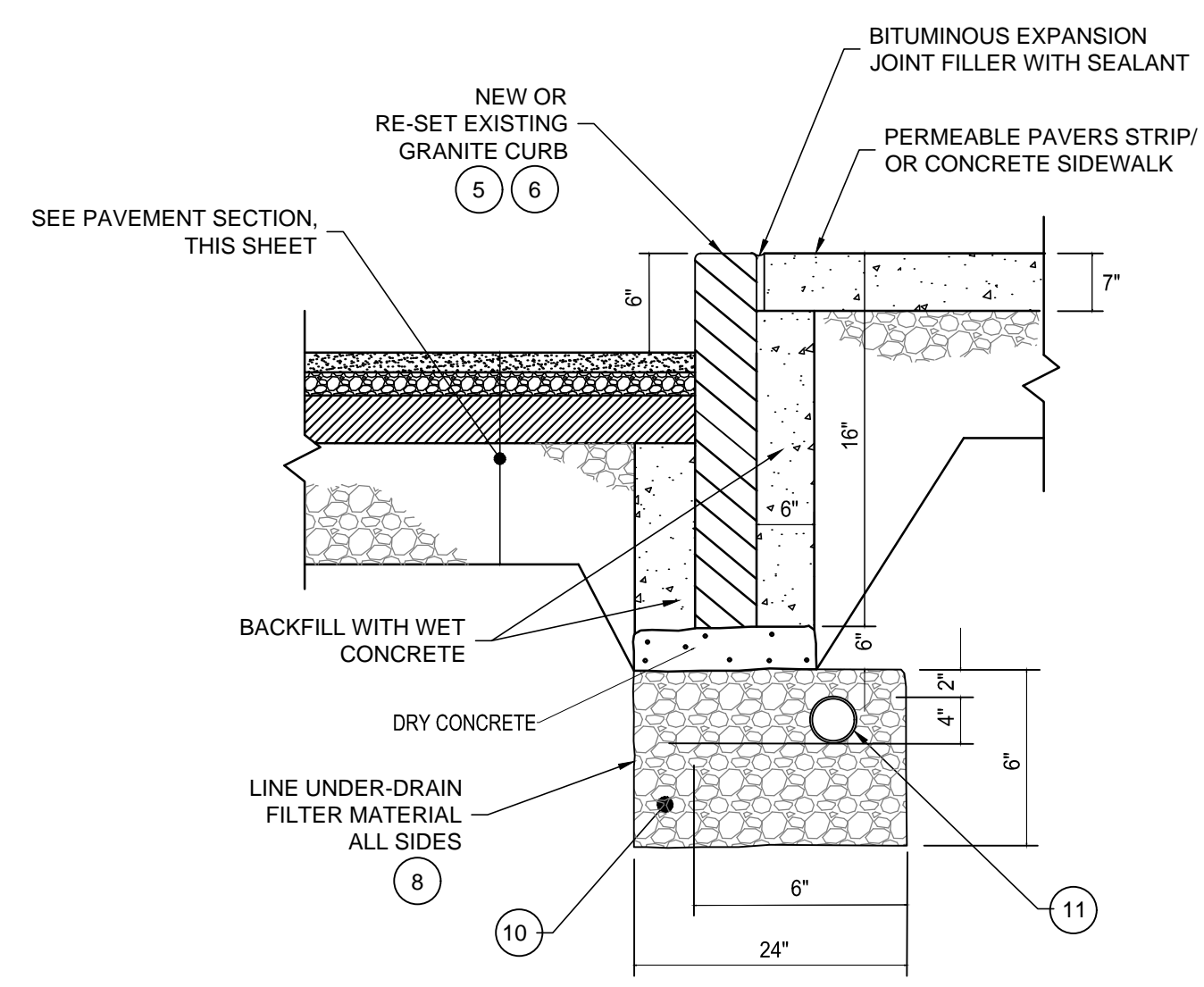
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D

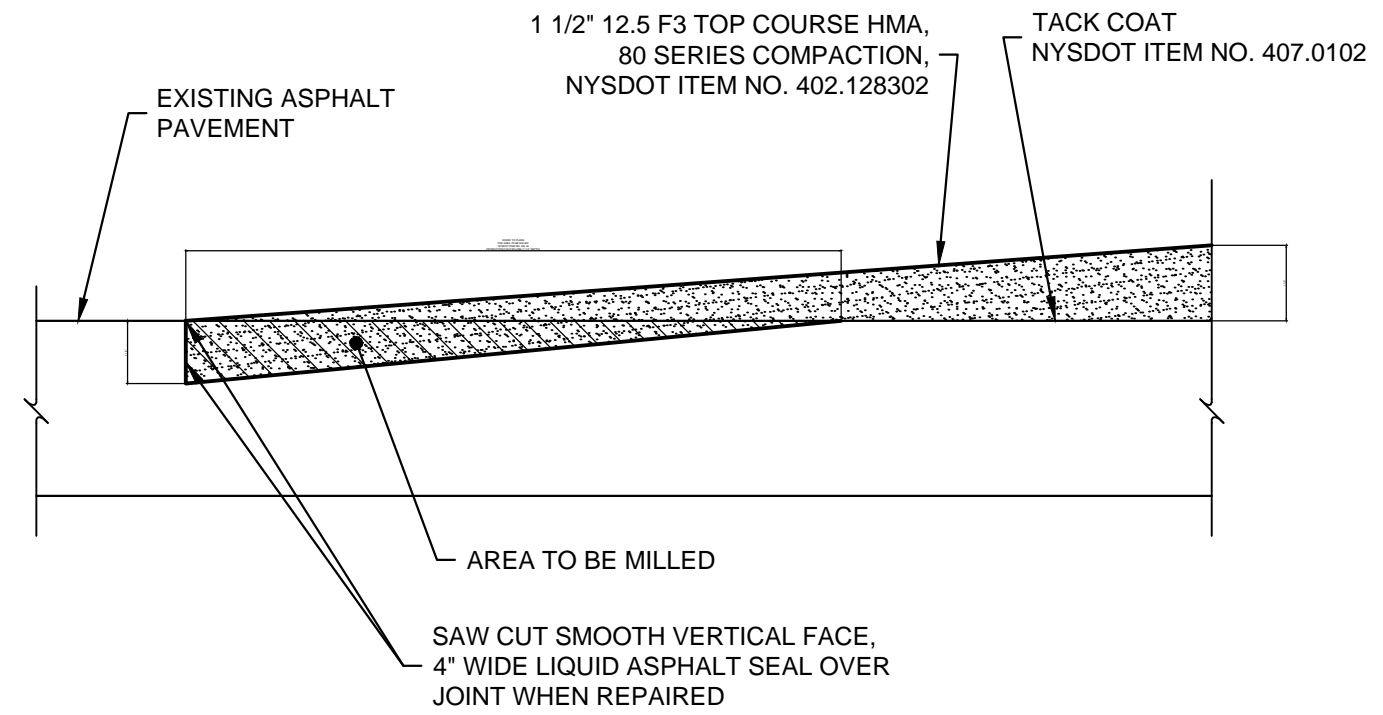
C

B

A



C1 TYPICAL GRANITE CURB DETAIL (IN CITY R.O.W.)
SCALE: N.T.S.



- MILL & OVERLAY NOTES:**
- CONTRACTOR TO MILL A DISTANCE TO ALLOW FOR 1 1/2" OF TOP COURSE TO BE INSTALLED.
 - CONTRACTOR TO SAW CUT & REMOVE ASPHALT / CONCRETE EDGE PRIOR TO PLACEMENT OF TOP COURSE.
 - CONTRACTOR TO SEAL EXISTING PAVEMENT CRACKS PRIOR TO PLACEMENT OF TACK COAT WITH HOT APPLIED JOINT SEALANT MATERIAL.
 - CONTRACTOR TO CLEAN ALL DEBRIS FROM EXISTING PAVEMENT PRIOR TO TACK COAT APPLICATION.

C2 MILL & OVERLAY DETAIL
SCALE: N.T.S.

D3 NOT USED
SCALE: N.T.S.

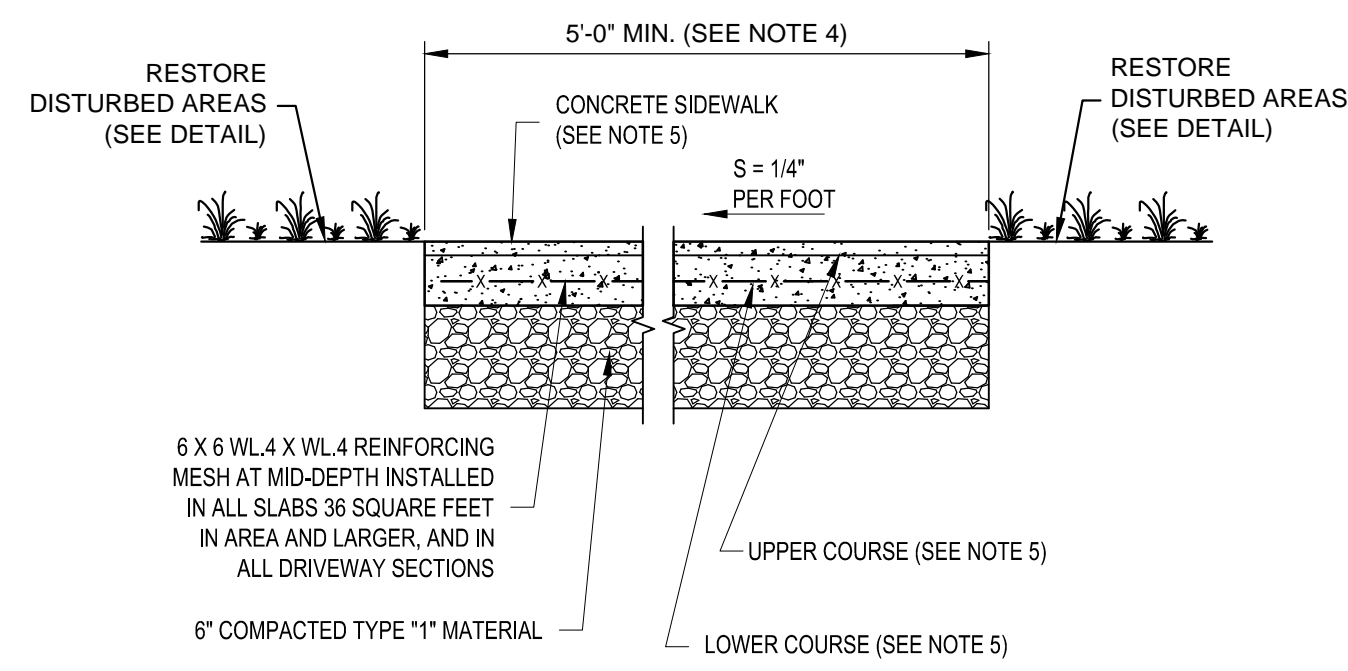
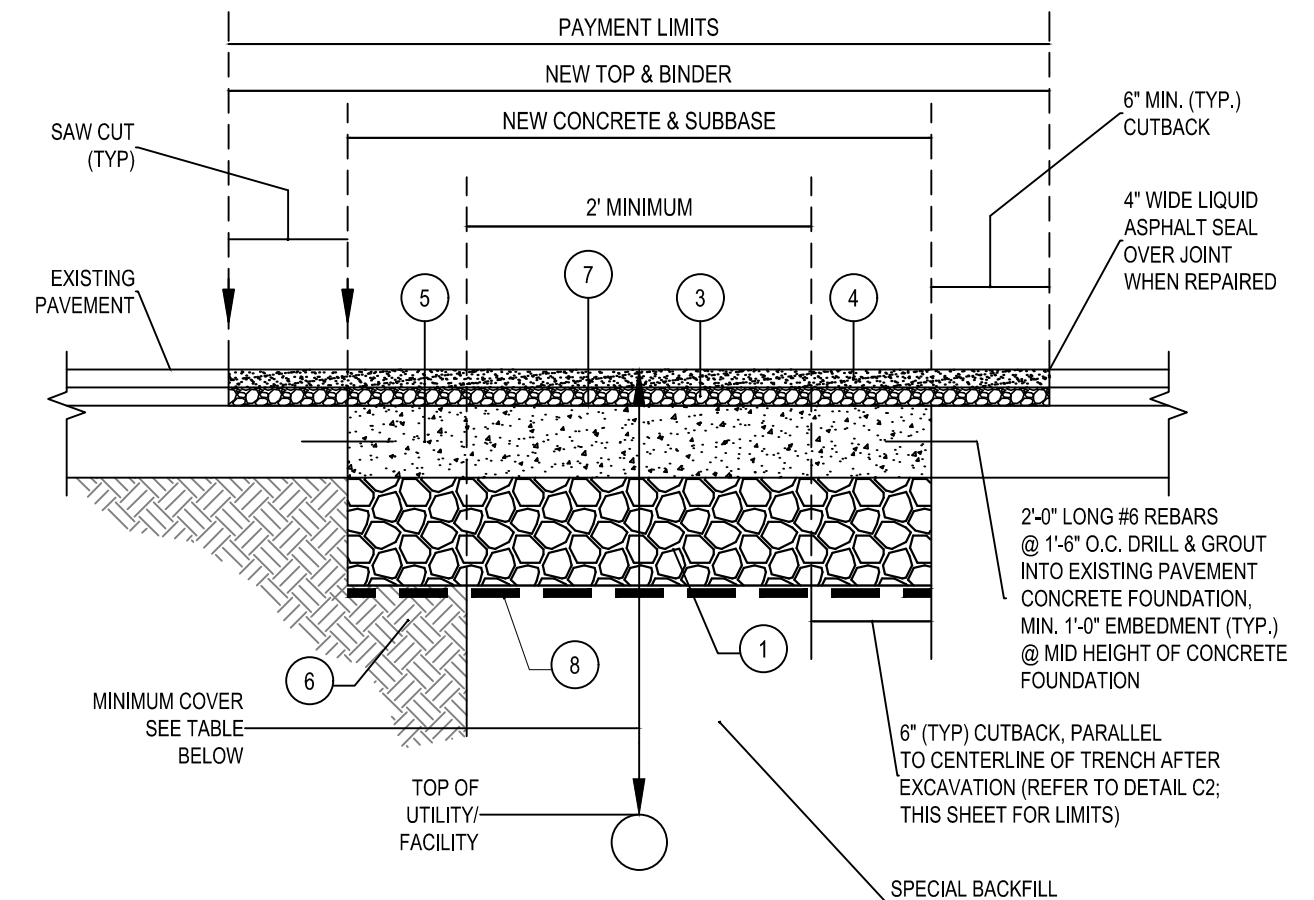
- PRIVATE UTILITY STREET CUT REPAIR:**
- WHEN 30% OR MORE OF THE PAVEMENT IS EXCAVATED BY PRIVATE UTILITY WORK, THE CITY, AT ITS DISCRETION, MAY REQUIRE RECONSTRUCTION FROM THE CENTER LINE TO THE EDGE/CURB OF THE ENTIRE SECTION.
 - WHEN 60% OR MORE OF THE PAVEMENT LANE AREA IS EXCAVATED BY PRIVATE UTILITY THE ENTIRE AREA FROM THE CENTER LINE OF THE PAVEMENT TO THE CURB MUST BE RECONSTRUCTED.
 - IF ANY PAVEMENT DISTURBANCE OCCURS WITHIN 2 FEET OF THE EDGE/CURB, PAVEMENT RECONSTRUCTION MUST BE COMPLETED TO THE EDGE/CURB.
 - IN AREAS WHERE TRENCH WIDTH VARIES THE PERCENTAGES SHALL BE DETERMINED PER 100 LINEAR FEET ALONG CENTER LINE OF THE STREET. IN INTERSECTIONS THE AREA WILL BE PER QUADRANT OF THE INTERSECTION.
 - EXISTING PAVEMENT IS TO BE SAW CUT FULL DEPTH TO OBTAIN A STRAIGHT AND NEAT EDGE FOR PAVING. SAW CUT IS TO BE MADE AFTER BACKFILLING THE TRENCH TO THE BOTTOM OF NEW PAVEMENT SECTION.

MINIMUM COVER:	
3'-0"	GAS, ELECTRIC, CABLE, TV, TELECOMMUNICATIONS
5'-0"	WATER
3' AS DIRECTED BY CITY'S ENGINEER	ALL OTHERS

C3 TYPICAL PIPE TRENCHING / RESTORATION DETAIL (IN CITY R.O.W.)
SCALE: N.T.S.

DRAWING KEY	DESCRIPTION:
1	SUBBASE COURSE NYS DOT ITEM NO. 304.12, TYPE 2
3	2" - 19 F9 BINDER COURSE HMA 80 SERIES COMPACTION NYS DOT ITEM NO. 402.198902
4	1 1/2" - F3 TOP COURSE HMA 80 SERIES COMPACTION NYS DOT ITEM NO. 402.128302
5	8" - F9 BASE COURSE HMA 80 SERIES COMPACTION NYS DOT ITEM NO. 402.378902
6	COMPACTED SUBGRADE
7	ASPHALT TACK COAT
8	GEOTEXTILE UNDERCUT (NYS DOT ITEM NO. 207.21)

- NOTES:**
- REFER TO CITY OF SYRACUSE STANDARD SPECIFICATIONS OR DETAILS. THE MINIMUM THICKNESS OF EACH LAYER OF BINDER, TOP, SUBBASE AND CONCRETE BASE SHALL MATCH THOSE SHOWN ON STANDARD DETAILS OR MATCH EXISTING WHERE EXISTING CONDITIONS EXCEED MINIMUMS.
 - IN NO CASE SHALL THE TOP OF CONCRETE BASE BE HIGHER THAN THAT OF THE SURROUNDING EXISTING CONCRETE.
 - IF PAVEMENT MARKINGS OR SIGNAL LOOPS ARE DISTURBED OR DESTROYED THEY SHALL BE REPLACED IN ACCORDANCE WITH CITY OF SYRACUSE STANDARDS.
 - MATCH EXISTING PAVEMENT SLOPE.
 - IF, IN THE OPINION OF THE CONTRACTOR, THE EXISTING CONCRETE FOUNDATION IS IN POOR CONDITION, THE ENGINEER SHALL BE CONTACTED FOR PRIOR APPROVAL TO ELIMINATE DOWELS.

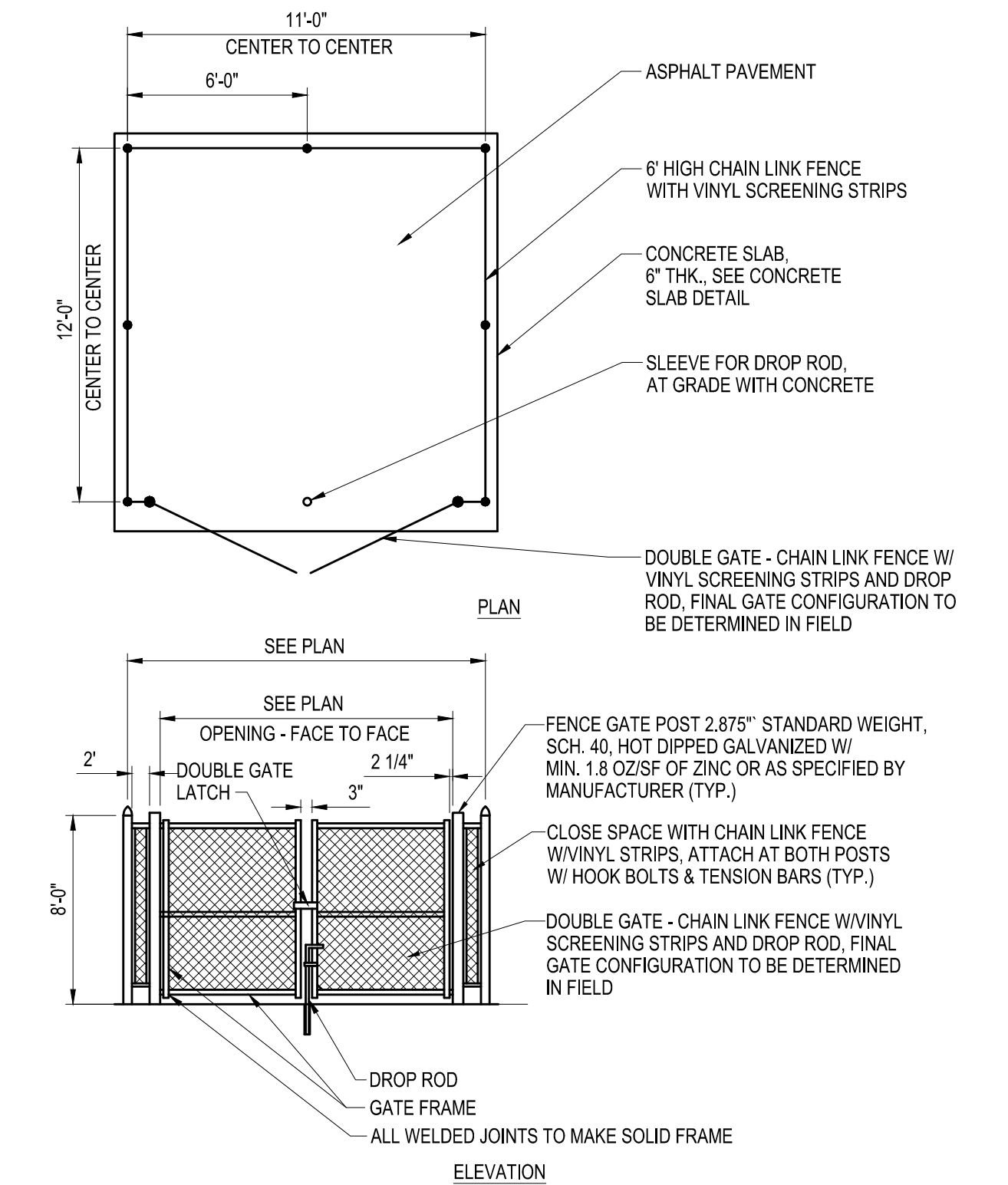


- NOTES:**
- CONCRETE SIDEWALK SHALL MATCH MINIMUMS SHOWN, OR EXISTING WHEN EXISTING EXCEEDS MINIMUM.
 - PREMOLDED BITUMINOUS EXPANSION JOINT FILLER WITH SEALANT SHALL BE PLACED BETWEEN ADJACENT SLABS, AT BUILDING LINES, AT CURBS, OR AT PENETRATING STRUCTURES.
 - SLABS SHALL BE A MAXIMUM OF 20 FEET LONG.
 - TRANSVERSE FALSE JOINTS AT 5' MAXIMUM INTERVALS OR MATCH EXISTING. NO LONGITUDINAL JOINTS. SIDEWALKS 6' AND GREATER IN WIDTH: TRANSVERSE FALSE JOINTS AT 6' MAXIMUM INTERVALS, LONGITUDINAL FALSE JOINTS AT 6' MAXIMUM INTERVALS.
 - TWO COURSE THICKNESS = 5" (7" IN DRIVEWAYS & CORNER RADIUS SIDEWALKS) UPPER COURSE = 1", LOWER COURSE = 4" (6" IN DRIVEWAYS & CORNER RADIUS SIDEWALKS)
 - CONCRETE SIDEWALK AREAS TO BE BROOM FINISHED PER CITY STANDARDS.

A1 TWO COURSE CONCRETE SIDEWALK DETAIL (IN CITY R.O.W.)
SCALE: N.T.S.

B2 NOT USED
SCALE: N.T.S.

B3 NOT USED
SCALE: N.T.S.



- CHAIN LINK FENCE GATE NOTES:**
- GATE POST FOOTINGS TO BE MIN. 36" DEEP x (4x) POST DIAMETER, EXTEND POST TO WITHIN 6" OF BOTTOM.
 - GATE FRAMES TO BE 2" SQUARE GALVANIZED STEEL, WEIGHING 2.60 LB/FT IN ACCORDANCE WITH ASTM F 900 OR AS RECOMMENDED BY MANUFACTURER.
 - CHAIN LINK FENCE FABRIC SHALL BE 2" MESH, 9 GAUGE, ZINC COATED STEEL CORE WIRE. INSTALL MESH WITH HOOK BOLTS AND TENSION BARS ON ALL 4 SIDES, ATTACH AT 15" MAX.
 - DOUBLE GATE LATCH TO BE FORKED TYPE CAPABLE OF RETAINING GATE IN CLOSED POSITION AND HAVE PROVISION FOR PAD LOCK. LATCH SHALL BE OPERABLE FROM EITHER SIDE OF GATE.
 - ALL HARDWARE TO BE HOT DIPPED GALVANIZED STEEL TO SUIT GATE SIZE.

A4 TRASH ENCLOSURE
SCALE: N.T.S.

A2 NOT USED
SCALE: N.T.S.

A3 NOT USED
SCALE: N.T.S.



C&S Engineers, Inc.
499 Col. Eileen Collins Blvd.
Syracuse, New York 13212
Phone: 315-455-2000
Fax: 315-455-9667
www.cscos.com

CERTIFICATE OF AUTHORIZATION # 0018122
NOT FOR CONSTRUCTION



BNZ1117, LLC, CASE 1117, LLC AND DANNAN REALTY, LLC LOFTS AT 1117 1117 & 1153 W. FAYETTE STREET SYRACUSE, NY

MARK	DATE	CITY/OWNER COMMENTS	DESCRIPTION
1	1/15/2023	CITY/OWNER COMMENTS	

REVISIONS

PROJECT NO:	AC2.001.003
DATE:	NOVEMBER 2023
DRAWN BY:	B. BUCKINGHAM
DESIGNED BY:	E. DANIEL
CHECKED BY:	E. DANIEL

NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW

DETAILS

C-503



J.Ryan McMahon, II
County Executive

Onondaga County Planning Board

RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: December 13, 2023
OCPB Case # Z-23-317

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a SPECIAL PERMIT from the City of Syracuse Planning Commission at the request of Ryan Benz for the property located at 1153 West Fayette Street; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Harbor Brook, a county-owned drainage channel; and
- WHEREAS, the applicant is proposing to construct a new parking lot for an apartment building on an adjacent lot in a Mixed-Use Transition (MX3) zoning district; and
- WHEREAS, the Board previously offered No Position with Comment on a special permit referral (Z-18-326) to establish an event and banquet hall in the existing building with comments suggesting the City clarify the future allowed uses under ReZone and encouraging the applicant to add landscaping to improve the aesthetics of the site and improve stormwater quality; and
- WHEREAS, the site is located near the intersection of West Fayette Street and South Geddes Street, both local roads in the Near Westside neighborhood of the City of Syracuse; the site has frontage on West Fayette Street and is located in a mixed use area that includes George W. Fowler High School, the recently renovated Gear Factory building, and other commercial and residential lots; parcels north across the street from the site contain short line rail lines; and
- WHEREAS, aerial imagery shows the site contains an existing six-story masonry building, the Cosmopolitan Building, at the western side of the parcel and a large tarvia parking area covering the remainder of the site east of the building; there is a second smaller parking area at the rear of the building that consists of broken tarvia and crushed stone and provides an area for deliveries; there are two existing full access driveways onto West Fayette Street that provide access to the large parking lot and a third existing full access driveway onto West Fayette Street that provides access to the smaller rear parking lot; and
- WHEREAS, the current referral is part of a larger project to redevelop building located at 1117 West Fayette Street, a local road, into 38 affordable residential units; per the referral materials, the subject area was split from the larger lot in a subdivision that was filed with the Onondaga County Clerk on 11/13/23 (that action was not referred to this Board); the newly created lot is a trapezoidal parcel with 71.93' of road frontage on West Fayette Street and extending approximately 150' from the road; and
- WHEREAS, per the Demolition Plan dated 11/2023, the proposal is to remove some of the existing asphalt which currently covers the whole of the subdivided lot, replace some of the pavement, construct a 24'-wide driveway onto West Fayette Street, and install lawn or landscaping along the new lot's southern, western, and northern boundaries; the lot will be restriped to have 28 parking spaces; the Site Plan dated 11/2023 shows the lot will provide access to an alley between the

buildings located at 1117 West Fayette Street; and

WHEREAS, per the Environmental Assessment Form (EAF) dated 5/23/23, 0.254 acres of the site will be disturbed by the proposed project; the adjacent lot to the west occurs over a section of channelized Harbor Brook, an Onondaga County-owned drainage channel that drains directly into Onondaga Lake; and

WHEREAS, the proposed parking lot has no existing or proposed access to public drinking water or sewer; and

WHEREAS, per the EAF Mapper, the site contains waterbodies listed as water-quality impaired (Lower Harbor Brook and tributaries); aerial imagery shows Harbor Brook is channelized at the site and crosses the existing parking lot below ground; and

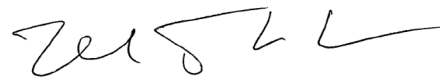
WHEREAS, the EAF Mapper indicates that the project is within 2,000 feet of a site in the New York State Department of Environmental Conservation (NYS DEC) Environmental Site Remediation database (734022); and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board recommends the following MODIFICATION(S) to the proposed action prior to local board approval of the proposed action:

1. Projects within an Onondaga County Drainage District that require a Stormwater Pollution Prevention Plan (SWPPP) must submit a copy of the SWPPP to the Onondaga County Department of Water Environment Protection for review. The municipality must ensure any mitigation as may be determined by the Department is reflected on project plans prior to, or as a condition of, municipal approval.
2. The applicant must coordinate and obtain approval from the Onondaga County Department of Water Environment Protection regarding the proposed stormwater connection to the channelized portion of Harbor Brook prior to, or as a condition of, municipal approval..

The Board offers the following comment:

Given the site's proximity to a channelized section of Harbor Brook, a stream and Onondaga County-owned drainage channel running under the parking lot, draining directly to Onondaga Lake, the Board encourages the applicant and municipality to ensure adequate protections are in place for this important stream and watershed. The applicant and municipality are advised to ensure stormwater quantity and quality are managed appropriately for any drainage from the site.



Martin E. Voss, Chairman
Onondaga County Planning Board

Project: MiSPR-23-18

Date: 1/22/2024

Short Environmental Assessment Form

Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: **MISPR-23-18**Date: **1/22/2024**

Short Environmental Assessment Form

Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
City of Syracuse City Planning Commission	1/22/2024
Name of Lead Agency	Date
Steven Kulick	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT FORM



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: Ryan Benz
From: Zhitong Wu, Zoning Planner
Date: 1/18/2024 12:39:58 PM
Re: SP - Other SP-23-15
1117 Fayette St W, Syracuse, 13204

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sidewalk Inspector	Pending	11/21/2023		
DPW - Transportation Planner	Internal Review Complete	11/29/2023	Neil Milcarek-Burke	Sidewalk required through all driveway openings. 6' wide to match existing walk in front of building along Fayette St frontage. As part of work all hardscape in the ROW (old apron areas, etc.) is to be removed and restored to top soil and seeded. To be shown on revised plans. Bike parking is required, See Articles 4.4 E-H, 5.4 A, 5.5 B for additional guidance. Openings typically utilize NYSDOT type-3 style openings, what is justification for radial curb?
Engineering - City Engineer	Pending	11/21/2023		
Zoning Planner	Approved	01/16/2024	Zhitong Wu	Approved per updated site plan submitted on 1/16/2024.
Planning Commission	Pending	11/21/2023		
Common Council	Pending	11/21/2023		
Onondaga Co Planning Board	Conditionally Approved	12/13/2023	Zhitong Wu	Approved with modification to the proposed action: 1. Projects within an Onondaga County Drainage District that require a Stormwater Pollution Prevention Plan (SWPPP) must submit a copy of the SWPPP to the Onondaga County Department of Water Environment Protection for review. The municipality must ensure any mitigation as may be determined by the Department is reflected on project plans prior to, or as a condition of, municipal approval. 2. The applicant must coordinate and obtain approval from the Onondaga County Department of Water

Environment Protection regarding the proposed stormwater connection to the channelized portion of Harbor Brook prior to, or as a condition of, municipal approval.

The Board offers the following comment:
Given the site's proximity to a channelized section of Harbor Brook, a stream and Onondaga County-owned drainage channel running under the parking lot, draining directly to Onondaga Lake, the Board encourages the applicant and municipality to ensure adequate protections are in place for this important stream and watershed. The applicant and municipality are advised to ensure stormwater quantity and quality are managed appropriately for any drainage from the site.