



# Office of Zoning Administration

CITY OF SYRACUSE, MAYOR BEN WALSH

**Jacob R. Dishaw**  
Zoning Administrator

**Meira Hertzberg**  
Zoning Attorney

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Zoning Planner II

**Zhitong Wu**  
Zoning Planner II

**Haohui Pan**  
Zoning Planner I

**Patrick Voorheis**  
Zoning Planner I

TO: City of Syracuse City Planning Commission

FROM: Jake Dishaw, Zoning Administrator

DATE: January 22, 2024

Re: Zoning Administrator Referral  
MiSPR-23-18 to City Planning Commission

The above-referenced project (MiSPR-23-18) is located at 400 Burnet Avenue, Syracuse, NY 13203, in the Mixed-Use Transition, MX-3 zone district. Pursuant to ReZone, Art. 5, Sec. 5.4A.(2)b.1., this project has been determined to be a Minor Site Plan Review because the gross floor area of this nonresidential project is less than 10,000 square feet.

The project proposes to change the occupancy from “warehouse” use to “retail, general” use on the first and second floor of the existing three-story building located at the western corner of the property. The project also proposes to renovate the exterior façades of the subject building. Pursuant to ReZone, Art. 5, Sec. 5.4A.(2)b.2.iii. & v., the project requires referral to the City Planning Commission for further review and decision.

Referral is required because this project:

- fails to address adverse comments from the Department of Public Works and Department of Engineering regarding the proposed work in the public right-of-way per ReZone, Art. 5, Sec. 5.4A.(2)b.2.iii.. There is an on-going conversation between the applicant and city departments attempting to resolve the issues raised, but the agency concerns have not been addressed yet.
- proposes a change of occupancy from storage use to retail use, which will cause potential traffic impacts in the neighborhood per ReZone, Art. 5, Sec. 5.4A.(2)b.2.v..

Therefore, the project (MiSPR-23-18) at 400 Burnet Avenue, Syracuse, NY 13203 is referred by the Zoning Administrator to the City Planning Commission for review and decision. Should the City Planning Commission accept the referral, a public hearing is required. This Item may be heard on January 22, 2024 as all public and legal notice requirement have been satisfied in anticipation of referral.

**GROWTH. DIVERSITY. OPPORTUNITY FOR ALL.**

Office of Zoning Administration 300 South State Street, Suite 700 Syracuse, NY 13202

Office: 315 448 8640 | [zoning@syr.gov](mailto:zoning@syr.gov) | [www.syr.gov](http://www.syr.gov)



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i><b>MiSPR-23-18</b></i>	<i><b>Staff Report – January 22, 2023</b></i>
<i><b>Application Type:</b></i>	Minor Site Plan Review
<i><b>Project Address:</b></i>	400 Burnet Ave & Catherine St (Tax Map ID: 030.-05-01.0)
<i><b>Summary of Proposed Action:</b></i>	<p>The applicant proposes to change the occupancy on the first and second floor of the 3-story building at the western corner of the parcel, from storage use to retail use, and proposes exterior renovations to the building façade.</p> <p>The proposed change of occupancy will have a potential traffic impact in the local area, and the project has not addressed the adverse comments from city departments. Therefore, the Zoning Administrator has referred this project to City Planning Commission for review and decision.</p>
<i><b>Owner/Applicant</b></i>	Tom Hornstein, Cashe, LLC (Owner/Applicant)
<i><b>Existing Zone District:</b></i>	Mixed-Use Transition, MX-3 Zone District
<i><b>Surrounding Zone Districts:</b></i>	The neighboring properties to the north, south, west, and east are the Mixed-Use Transition, MX-3 Zone District.
<i><b>Companion Application(s)</b></i>	None
<i><b>Scope of Work:</b></i>	Change the occupancy on the first and second floor of the 3-story building at the western corner of the parcel from storage use to retail use. Renovate the exterior elevation of the 3-story building including window restoration and maintenance, and door addition.
<i><b>Staff Analysis:</b></i>	<p><b>Pros:</b></p> <ul style="list-style-type: none"> <li>- The exterior renovation intends to restore the historic appearance of the building, which is good for historic preservation.</li> </ul> <p><b>Cons:</b></p> <ul style="list-style-type: none"> <li>- The change of occupancy from storage to retail space will have potential traffic impacts on neighboring areas.</li> </ul>
<i><b>Zoning Procedural History:</b></i>	<p>400 Burnet Ave &amp; Catherine St</p> <ul style="list-style-type: none"> <li>- AS-83-016   Off-premise sign establishment, denied by CPC on 6/23/1983.</li> <li>- AS-84-015   Off-premise sign establishment, conditionally approved by CPC on 7/5/1984.</li> <li>- AS-84-15A   Appeal for AS-84-15, denied by CPC on 8/8/1984.</li> <li>- AS-87-101   Off-premise sign establishment for PARK, denied by CPC on 1/5/1988.</li> <li>- AS-88-037   Off-premise sign establishment, denied by CPC on 6/22/1988.</li> <li>- AS-98-23   Off-premise sign establishment for PRIDGEN, denied by CPC on 7/14/1998.</li> <li>- AS-99-21   Off-premise sign establishment for PRIDGEN, denied by CPC on 5/14/1999.</li> <li>- AS-99-21A   Appeal for AS-99-21, closed administratively on 8/6/1999.</li> <li>- AS-08-20   Sign Waiver to waive area and number requirements for SYNAPSE, approved by CPC on 8/11/2008.</li> <li>- PR-22-12   Project Site Review for façade alteration and site changes for Antiques at Railways Commons, denied without prejudice by CPC on 8/11/2022.</li> </ul>
<i><b>Summary of Zoning History:</b></i>	Before the year 2000, all the zoning projects that were proposed on the property were for establishing off-premise signage. Almost all of them were denied. In 2008, there was a sign waiver that approved for sign plans for SYNAPSE. In 2022, the property owner, Tom Hornstein, had applied for a Project Site Review (PR-22-12) to change the occupancy on

**MiSPR-23-18**

	the first and second floor of the 3-story building at the western corner of the parcel from storage use to retail use (for Antiques at Railways Commons), and exterior renovation to the building façade. The Project Site Review was denied without prejudice by CPC due to the absence of the applicant at 2 public hearings and failure to provide any response or revised plan in response to the public hearing and departments review comments.
<b><i>Code Enforcement History:</i></b>	See attached code enforcement history.
<b><i>Zoning Violations:</i></b>	The subject parcel currently has: <ul style="list-style-type: none"><li>- 3 open zoning violations in 2023 for operating the Antiques at Railways Commons illegally (without any proper permits and approvals).</li><li>- 1 open zoning violations in 2023 for establishing on-site signages illegally.</li><li>- There were 7 open violations in 2022 and 2023 citing the illegal retail business (Antiques at Railways Commons), and there were 5 open violations citing the deteriorating structures and graffiti on the site.</li></ul>
<b><i>Summary of Changes:</i></b>	This is not a continued application.
<b><i>Property Characteristics:</i></b>	The subject property is regular in shape with 656.36 feet of frontage on Burnet Avenue, and a lot depth of 85 feet fronting on Catherine Street.
<b><i>SEQR Determination:</i></b>	Pursuant to the New York State Environmental Quality Review Regulations, the proposal is an Unlisted Action.
<b><i>Onondaga County Planning Board Referral:</i></b>	Pursuant to GML §239-1, m and n, the proposal was reviewed by the Onondaga County Planning Board with no opposition.

**Application Submittals:** The application submitted the following in support of the proposed project:

- Minor Site Plan Review application
- Short Environmental Assessment Form Part 1
- Land Survey Map, Part of Blocks 43 & 171, City of Syracuse, N.Y.; Licensed Land Surveyor: GARY ENSIGN COTTRELL; Cottrell Land Surveyors, PC; Scale: 1" = 20'; Dated: 07/13/1971.
- Site Plan (Sheet A-0), prepared by Daniel Manning Architect; dated 7/17/2023, revised 1/8/2024; Scale: 1" = 30'.
- Floor Plan (Sheet A-1), prepared by Daniel Manning Architect; dated 11/21/2023, revised 12/7/2023; scaled as noted.
- Elevation Plan (Sheet A-2), prepared by Daniel Manning Architect; dated 7/17/2023; Scale: 1/8" = 1'.
- Proposed Exterior Materials (Sheet A-3), prepared by Daniel Manning Architect; dated 7/17/2023; no scale.

**Attachments:**

Minor Site Plan Review Application

Short Environmental Assessment Form Part 2 & Part 3

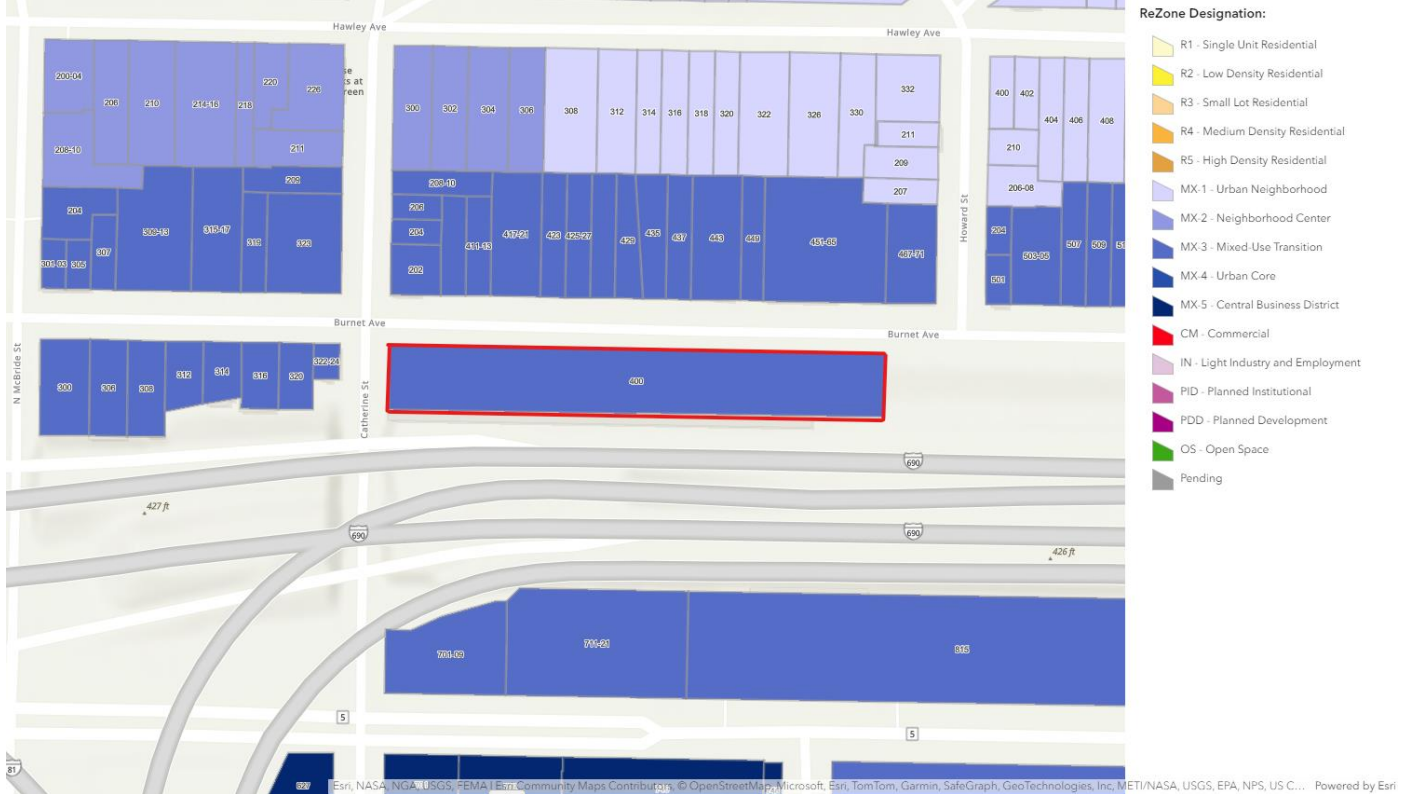
Code Enforcement History

OCPB Comments

IPS Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of Embassy Suites on the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/> (SOCPA Citation)

**Site Plan Review Application**



For Office Use Only	
Zoning District:	_____
Application Number: S-	_____ - _____
Date:	_____

Office of Zoning Administration  
 201 East Washington St.  
 Syracuse, NY 13202  
 Phone: (315) 448-8640  
 Email: zoning@syr.gov.net

**Site Plan Review Application**

*This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

**General Project Information**

Business/project name: Antiques at Railway Commons		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 400 Burnet Ave, Syracuse, NY 13203		
Lot numbers: 01.0	Block number: 05	Lot size (sq. ft.) 55,321.2
Current use of property: Vacant, Commercial, Storage		Proposed: Comm. - Storage + Retail
Current number of dwelling units (if applicable): none		Proposed: none
Current onsite parking (if applicable): none		Proposed: 13
Zoning (base and any overlay) of property: Mx-3		
Companion zoning applications (if applicable, list any related zoning applications): none		
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor		
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input checked="" type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary): TBD		
Size:	Type:	Location:
Size:	Type:	Location:
Nature and extent of Site Plan requested (attach additional pages if necessary): Tenant improvement work to include the repair and/or replacement of existing windows, patch/re point existing brick, a new entrance door and sidewalk and street line improvements. The first floor tenant space is a proposed change of use from storage to mercantile. The second and third floors use would remain the same, storage.		

**Owner/Owner's Agent Certification**

By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.

Print owner name: Colette, HC 120 Vanish Manning - Architect

Signature: [Handwritten Signature] Date: 08/25/2025

Mailing address: 225 Yonkers St, Suite 104 Syracuse NY 13204

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: ANTIQUES AT RAILWAY COMMONS			
Project Location (describe, and attach a location map): 400 BURNET AVE, SYRACUSE, NY 13203			
Brief Description of Proposed Action: Interior renovations and to the existing 3-story building on the west end of the property (corner of Burnet Ave and Catherine St) for tenant improvements. New city sidewalks, street curbing, driveway aprons and off-street parking area within a previously paved area of the site to provide the required off-street parking for the proposed use.			
Name of Applicant or Sponsor: Jared McCormick		Telephone: (607) 345-7050 E-Mail: jmccormick@dma-llc.com	
Address: 225 Wilkinson Street, Suite 104			
City/PO: Syracuse		State: NY	Zip Code: 13204
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse Planning Commission, Zoning Administration and Permit Office, SHPO			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.27 acres	
b. Total acreage to be physically disturbed?		_____ 0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.27 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Peregrine Falcon	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Jared McCormick</u>		Date: <u>June 20, 2022</u>
Signature: <u>J. McCormick</u>	Digitally signed by Jared McCormick, Assoc. AIA Date: 2022.06.20 12:19:29-04'00'	Title: <u>Project Architect</u>

August 29, 2023  
(JMC)

**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

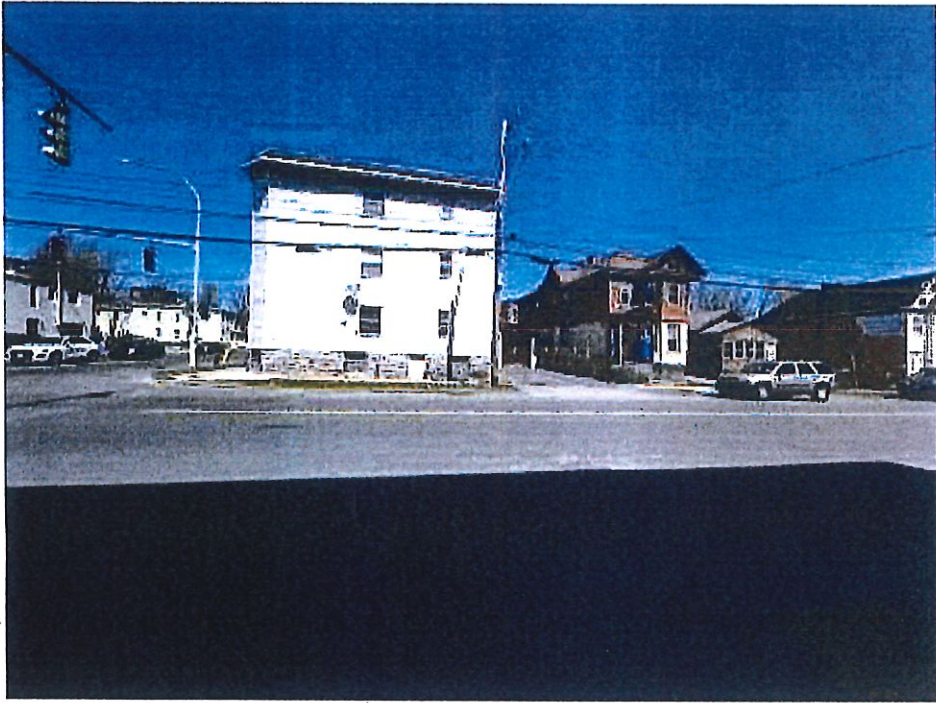
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Map features: Burrill Ave, Syracuse, 680, 13

Map labels: Ottawa, Montreal, Toronto, Detroit, Cleveland, Pittsburgh, Philadelphia, New York, Albany, Boston, Providence

Attribution: Saimin, USGS, Intermap, INCREMENT, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri Thailand, NCCO, OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Peregrine Falcon
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



1



2



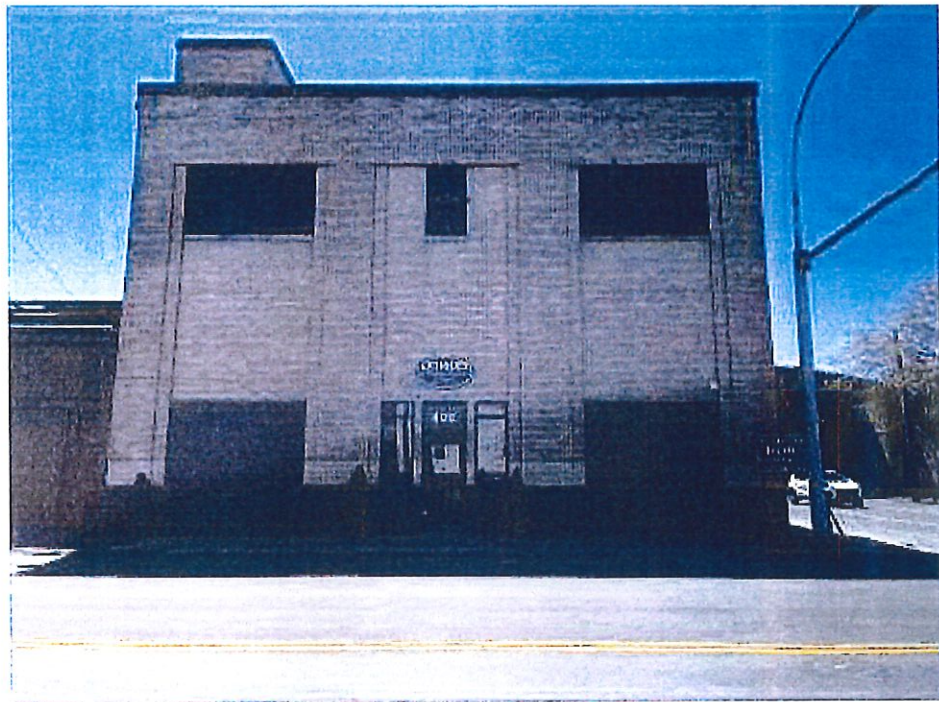
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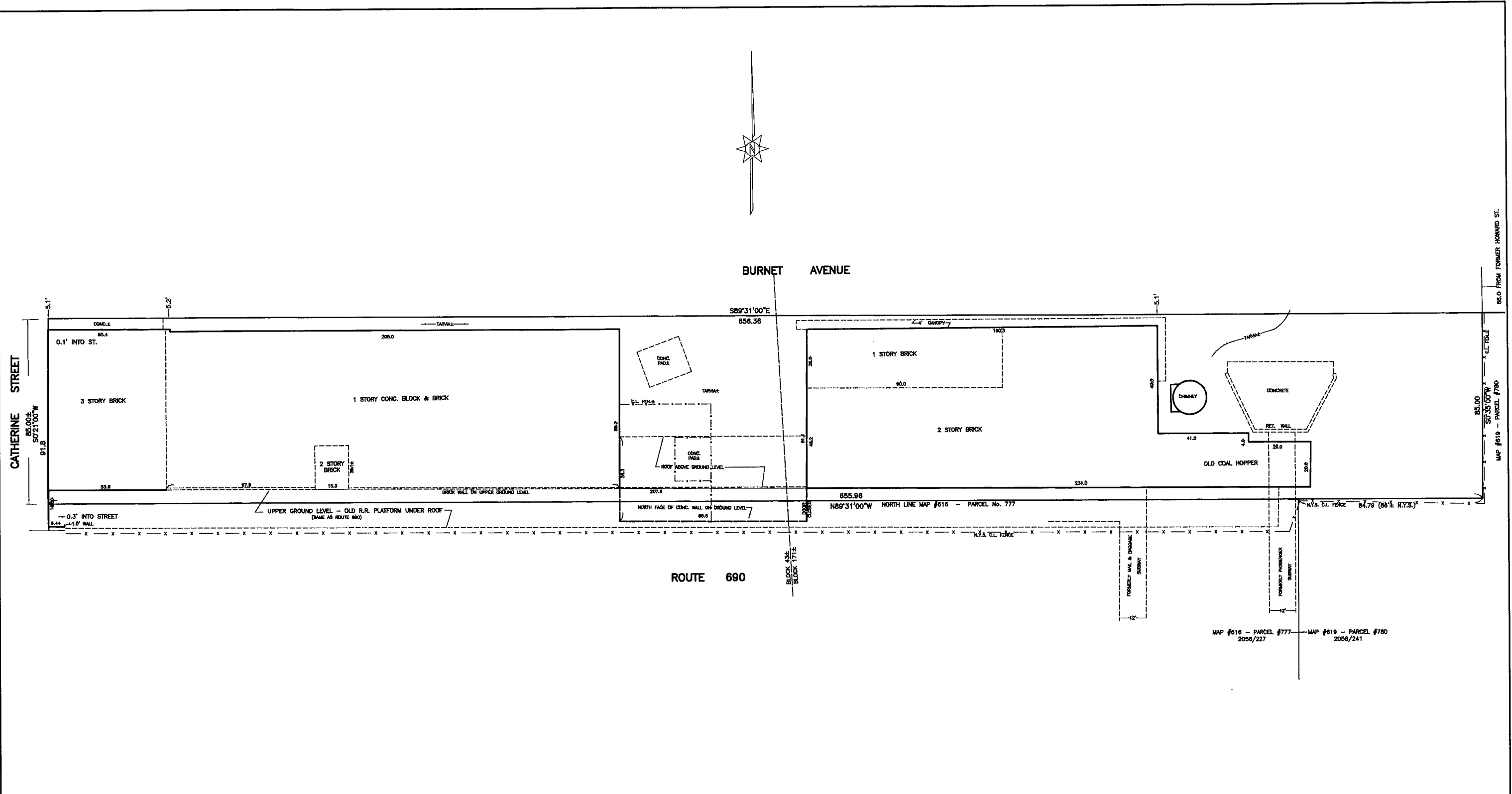
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6



7



CATHERINE STREET

BURNET AVENUE

ROUTE 690

FOR CONVEYANCE AND/OR MORTGAGE PURPOSES OCCURRING WITHIN ONE YEAR OF THE LATEST CERTIFICATION DATE ONLY. THE UNDERSIGNED CERTIFIES THAT THIS MAP WAS MADE FROM AN ACTUAL SURVEY ON 07-13-1971 MAPS WITHOUT SIGNER'S EMBOSSED SEAL ARE UNCERTIFIED COPIES ASSUMED TO CONTAIN UNAUTHORIZED ALTERATIONS. RECERTIFIED ON: AUG. 21, 2020



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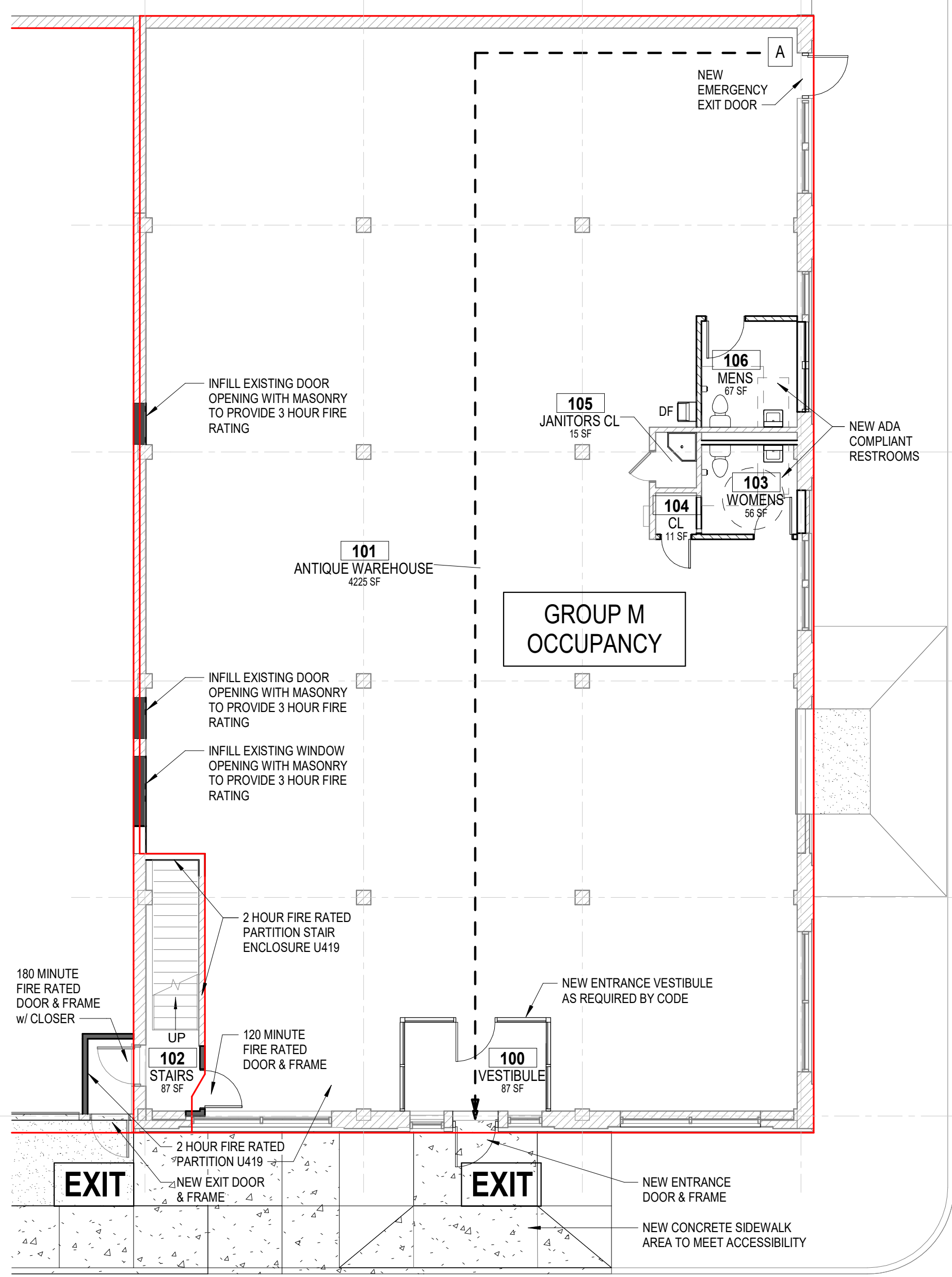
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No. 400 BURNET AVENUE

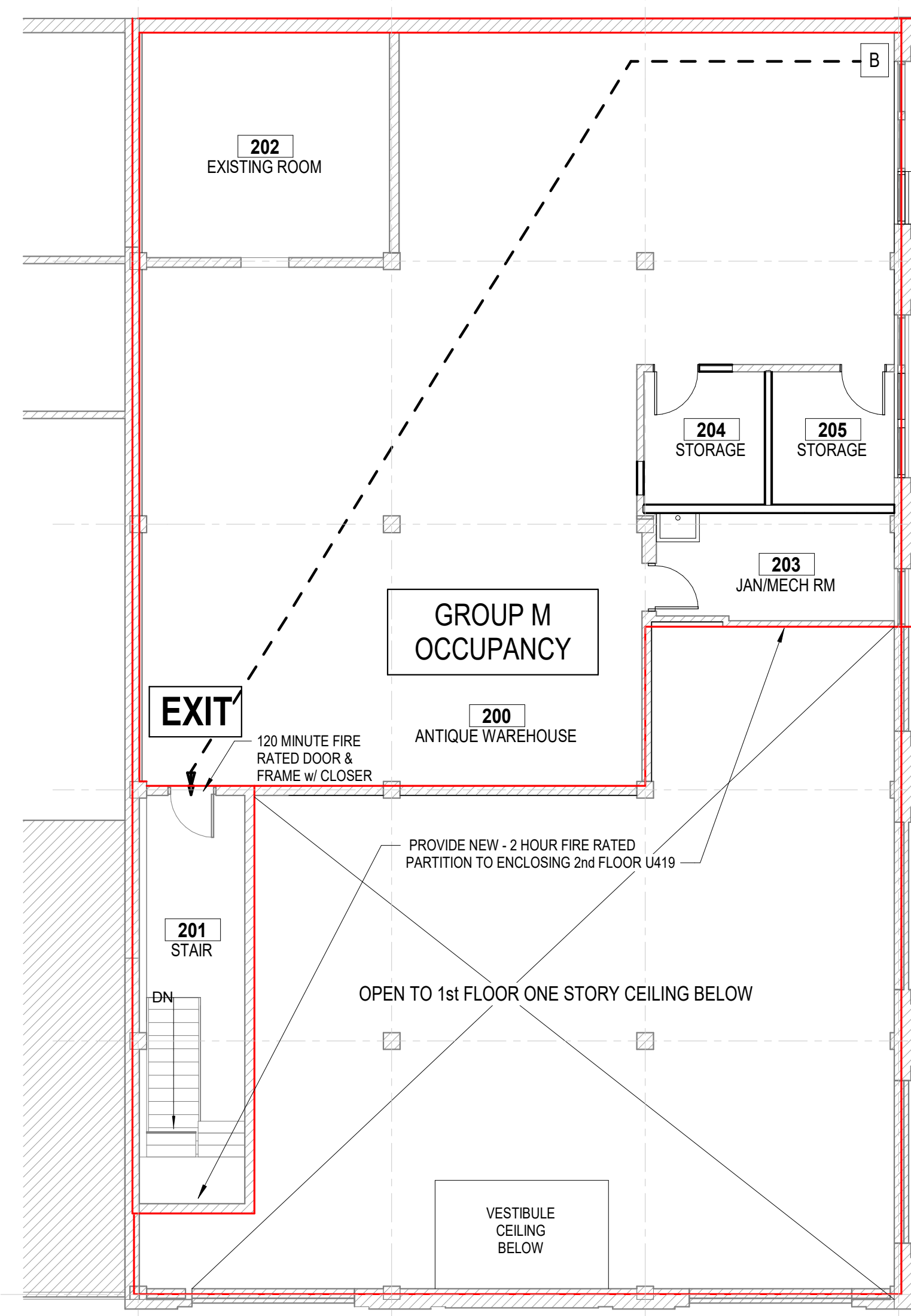
**PART OF BLOCKS 43 & 171**  
CITY OF SYRACUSE, N. Y.

I.D: 30-5-1	FILE: ROLL 30-5 BIN 8B
DATE: 7-13-1971	SCALE: 1" = 20' B/P: 206/15
REVISIONS	

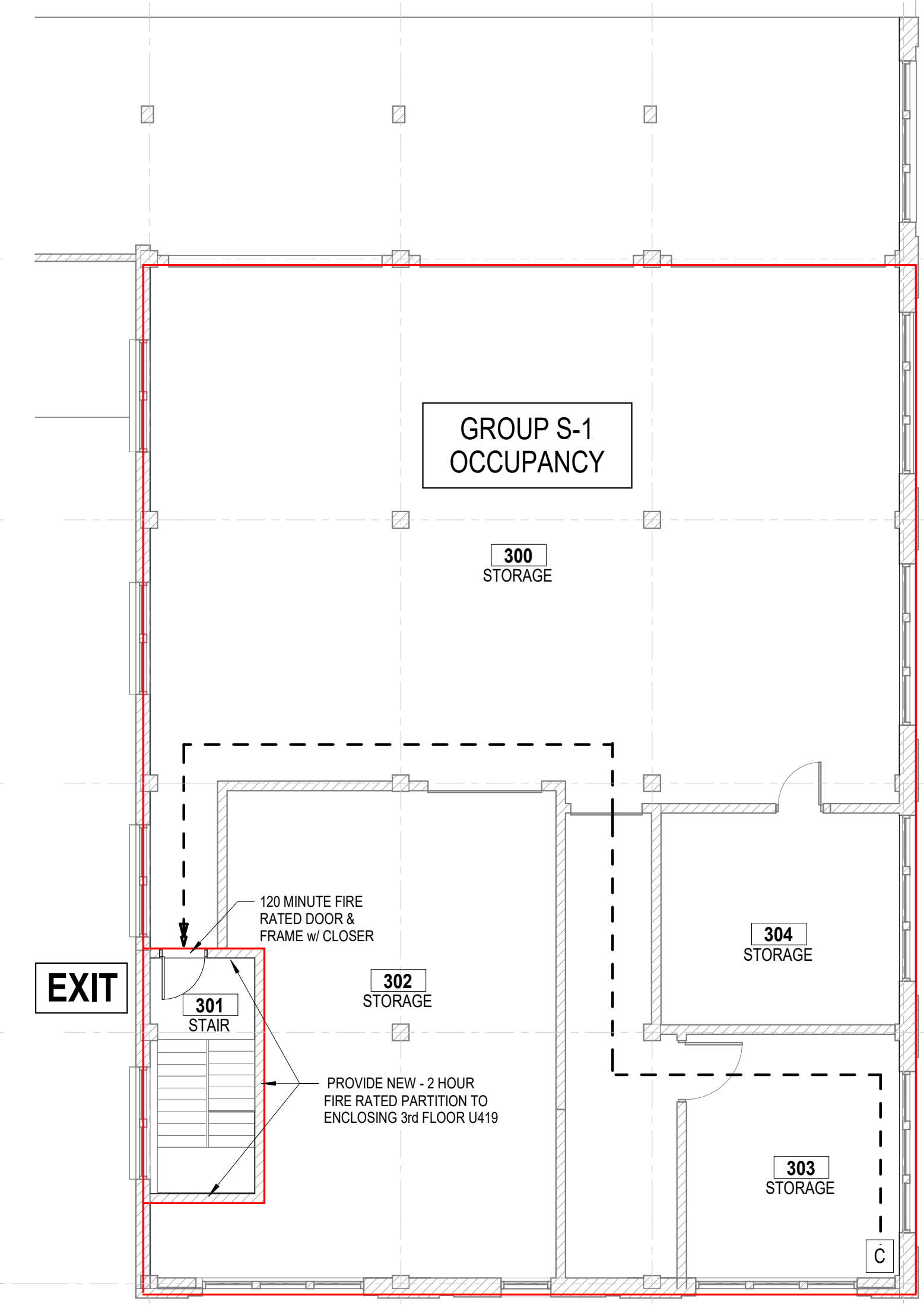
COTTRELL LAND SURVEYORS, PC.  
7308 STATE RTE 173, MANLIUS, NY 13104  
(315)682-8121, WWW.COTTRELLSURVEYORS.COM



**1 1ST FLOOR - WEST END**  
SCALE: 1/8" = 1'-0"



**2 2ND FLOOR - WEST END**  
SCALE: 1/8" = 1'-0"



**3 3RD FLOOR - WEST END**  
SCALE: 1/8" = 1'-0"

**APPLICABLE CODES:**  
(BCNYS) BUILDING CODE OF NEW YORK STATE, 2020 ED.  
(EBCNYS) EXISTING BUILDING CODE OF NEW YORK STATE, 2020 ED.

**EXISTING BUILDING SUMMARY:**  
AN EXISTING 3-STORY TYPE IB CONSTRUCTION  
EXISTING FLOOR AREAS  
MAIN LEVEL = 4,809 SF  
SECOND LEVEL = 2,720 SF  
THIRD LEVEL = 3,774 SF  
(1) EXISTING EXIT  
NO SPRINKLER SYSTEM IS PRESENT THROUGHOUT THE BUILDING

**NEW WORK SUMMARY:**

**PARTIAL CHANGE IN OCCUPANCY**  
FIRST AND SECOND FLOORS - S-1 TO MERCANTILE  
THIRD FLOORS - ALTERATION LEVEL 2

**2020 EXISTING BUILDING CODE OF NYS:**  
CHAPTER 6 - CLASSIFICATION OF WORK  
ALTERATION LEVEL 2  
ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW

**CHAPTER 12 - HISTORIC BUILDINGS**  
SECTION 1202 REPAIRS  
PARTIAL REPLACEMENT FOR REPAIRS THAT MATCH THE ORIGINAL IN CONFIGURATION, HEIGHT, AND SIZE SHALL BE PERMITTED.

1203.3 MEANS OF EGRESS  
EXISTING DOOR OPENINGS AND CORRIDOR AND STAIRWAY WIDTHS LESS THAN THOSE SPECIFIED ELSEWHERE

**2020 BUILDING CODE OF NEW YORK STATE:**  
CHAPTER 5 - BUILDING HEIGHTS AND AREAS  
ALLOWABLE HEIGHTS AND AREAS:  
AREA  
EXISTING AREA 11,303 SF  
ALLOWABLE: UNLIMITED  
TOTAL AREA: 11,303 SF

HEIGHT:  
HEIGHT PROPOSED\* 34.3'  
HEIGHT ALLOWABLE: 160'

**CHAPTER 9 - FIRE PROTECTION SYSTEMS**  
SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS:  
EXISTING BUILDING AREAS ARE **NOT** SPRINKLERED

GROUP M: SPRINKLERS NOT REQUIRED PER SECTION 903

**SECTION 907 - FIRE ALARM AND DETECTION SYSTEMS:**  
907.2.1 - GROUP M

**CHAPTER 10 - MEANS OF EGRESS**  
1004 OCCUPANT LOAD:  
(TABLE 1004.1.2)

1006.2.1 COMMON PATH OF TRAVEL:

NUMBER OF EXITS GROUP M

1017.2 EXIT ACCESS TRAVEL DISTANCE:  
TABLE 1020.1 CORRIDOR FIRE-RESISTANCE:

**MANUAL FIRE ALARM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM REQUIRED AND TO BE PROVIDED**

1ST FLOOR GROUP M = 81 OCCUPANTS  
2ND FLOOR GROUP M = 46 OCCUPANTS  
3RD FLOOR GROUP S-1 = 13 OCCUPANTS  
TOTAL GROUP M OCCUPANT LOAD = 140 OCCUPANTS

75 FEET - GROUP M WITHOUT SPRINKLER SYSTEM, OL > 30  
100 FEET - GROUP S WITHOUT SPRINKLER SYSTEM, OL ≤ 30

2 EXITS REQUIRED - 1 PROVIDED AT GRADE LEVEL BY EXIT DOOR #1

GROUP M = 200' WITHOUT SPRINKLER SYSTEM

GROUP M W/ OCCUPANT LOAD GREATER THAN 30 WITHOUT SPRINKLER SYSTEM = 1-HOUR FIRE-RATING REQUIRED, **PROVIDED**

EXIT & TRAVEL DISTANCE DATA	
EXIT ROUTE	DISTANCE
A	23'
A	86'
	109'
B	16'
B	58'
B	1'
B	75'
C	30'
C	23'
C	19'
C	13'
C	14'
	98'

**4 CODE ANALYSIS**  
SCALE: 1/8" = 1'-0"

PROJECT: RENOVATIONS AND SITE IMPROVEMENTS FOR: ANTIQUES AT  
**RAILWAY COMMONS**  
400 BURNETT AVENUE  
SYRACUSE, NEW YORK

ARCHITECT: **JMA**  
DANIEL MANNING  
ARCHITECT PLLC  
225 WILKINSON STREET, SUITE 104 - SYRACUSE, NEW YORK 13204  
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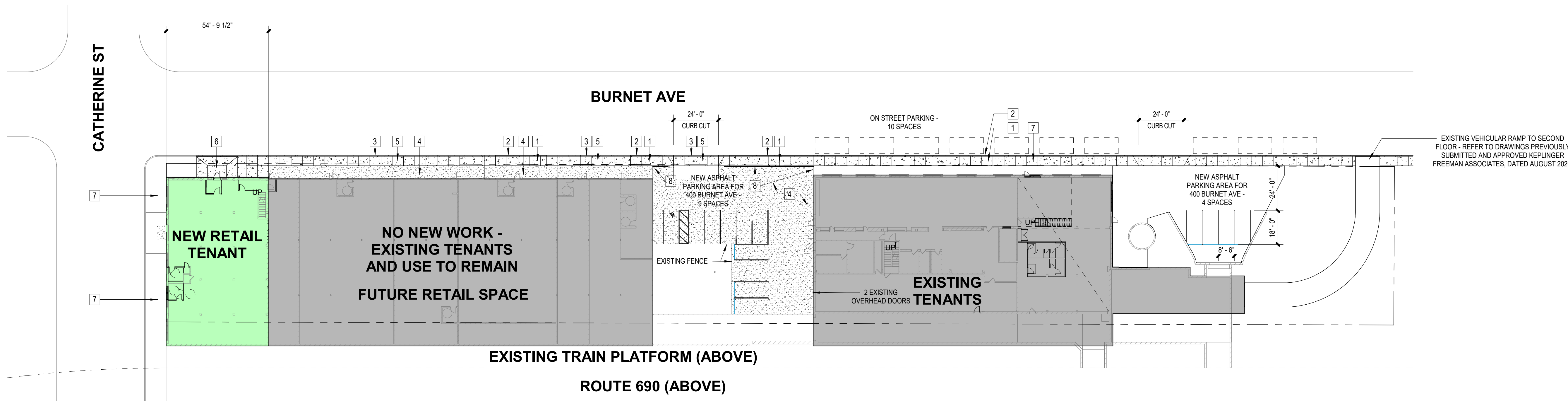
PROJECT NORTH

Revision	
No	Date
1	11/30/23
2	12/7/23

DATE: 11/21/23 SCALE: 1/8" = 1'-0"  
DRAWN BY: JRM / JTS JOB No. 20030

DRAWING DESCRIPTION  
CODE ANALYSIS  
PLANS - WEST

SHEET NUMBER  
**CODE-1**

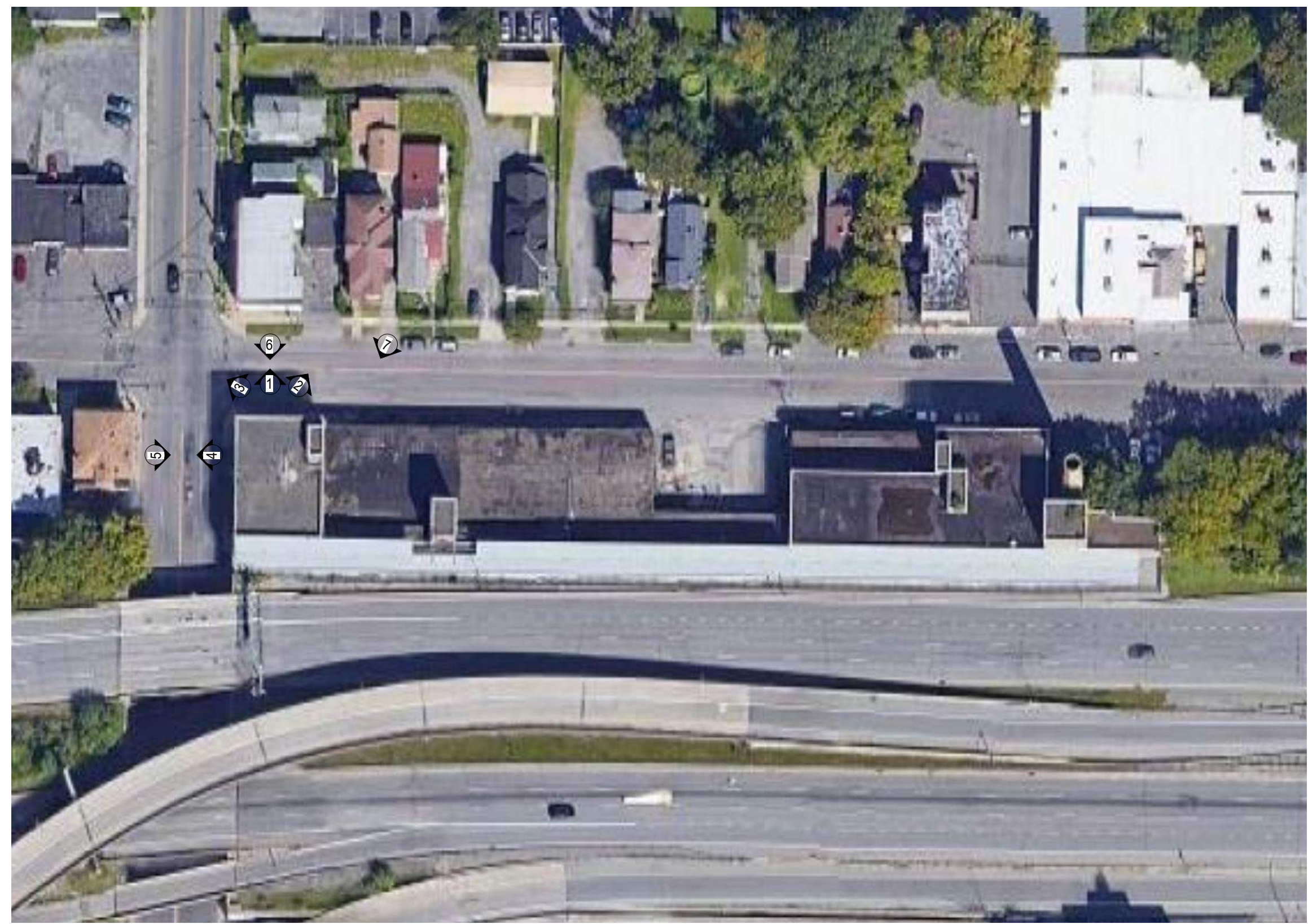


EXISTING VEHICULAR RAMP TO SECOND FLOOR - REFER TO DRAWINGS PREVIOUSLY SUBMITTED AND APPROVED KEPLINGER FREEMAN ASSOCIATES, DATED AUGUST 2020.

**1 SITE PLAN**  
SCALE: 1" = 30'-0"

PROJECT ZONING SUMMARY			
<b>PROJECT LOCATION:</b> 400 BURNET AVE, SYRACUSE, NY 13202			
<b>TAX MAP/PARCEL ID NUMBER:</b>		030-05-01.0	
<b>GENERAL PROJECT DESCRIPTION:</b> REPAIRS AND CHANGE IN OCCUPANCY ON FIRST & SECOND FLOOR			
<b>ZONING DISTRICT:</b> INDUSTRIAL DISTRICT CLASS A (IA)			
<b>BUILDING USE:</b> MERCANTILE/ STORAGE	PERMITTED	NOT PERMITTED	
<b>SPECIAL PERMIT REQUIRED</b>	YES	NO	
ZONING ITEMS			
	ALLOWED	PROVIDED	
<b>LOT COVERAGE REQUIREMENTS:</b>			
MINIMUM LOT SIZE (SQ.FT.)	2000 SQ.FT.	55481.97 SQ.FT.	
MINIMUM FRONTAGE (FT)	0' - 0"	0' - 0"	
MINIMUM LOT WIDTH (FT)	0' - 0"	0' - 0"	
BUILDING AREA (FOOTPRINT)	37455 SQ.FT.		
MAXIMUM LOT COVERAGE (%)	100%	67.508418%	
<b>BUILDING HEIGHT AND STORY REQUIREMENTS:</b>			
BUILDING MAXIMUM HEIGHT	UNLIMITED	74' - 0"	
BUILDING MAXIMUM # OF STORIES	UNLIMITED	3 STORIES	
<b>LOT SETBACK REQUIREMENTS:</b>			
FRONT YARD SETBACK	0' - 0"	0' - 0"	
SIDE YARD SETBACK	0' - 0"	0' - 0"	
BACK YARD SETBACK	0' - 0"	0' - 0"	
<b>PARKING REQUIREMENTS:</b>			
	21 SPACES	13 SPACES	
1 SPACE PER 300 SF			
<b>GENERAL COMMENTS:</b>			
USE VARIANCE NEEDED	NO	AREA VARIANCE NEEDED	NO
REQUIREMENTS MET			
REQUIREMENTS NOT MET, AREA OR USE VARIANCE REQUIRED			

**PARKING SPACE CALCULATION:**  
MAIN LEVEL = 4,156 SF  
SECOND LEVEL = 2,223 SF  
TOTAL MERCANTILE AREA = 6,379 SF  
6,379 SF / 300 = 21 PARKING SPACES  
13 SPACES OFF STREET PARKING  
10 SPACES ON STREET PARKING

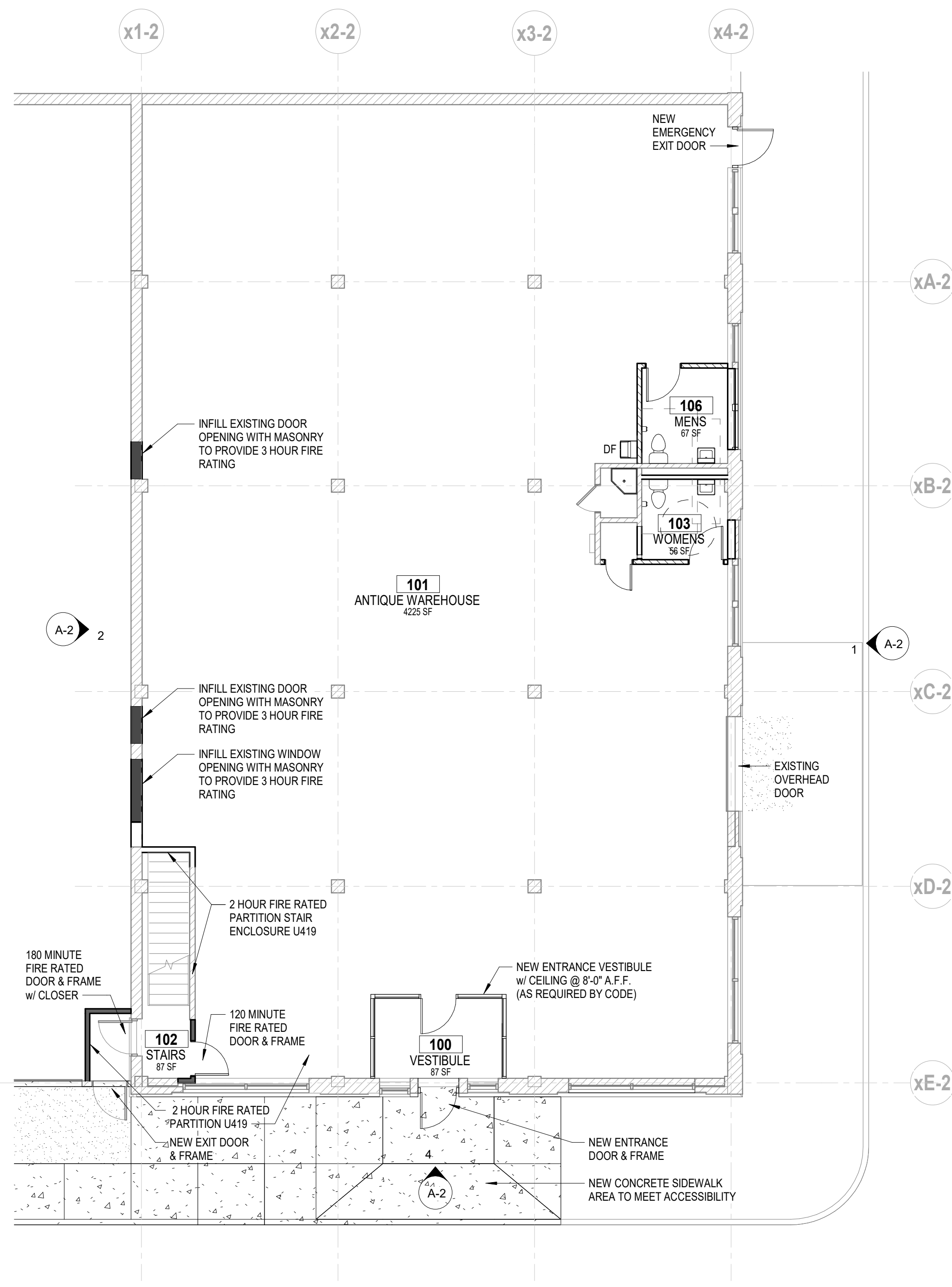


SITE PLAN SHEET NOTES	
1	NEW 5' WIDE CONCRETE SIDEWALK PER CITY OF SYRACUSE STANDARDS
2	NEW 6" CURB PER CITY OF SYRACUSE STANDARDS
3	NEW 1 1/2" HEADER CURB PER CITY OF SYRACUSE STANDARDS
4	NEW ASPHALT PAVEMENT AREA
5	NEW 5' WIDE CONCRETE SIDEWALK FINISH W/ NEW DROPPED HEADER CURB
6	NEW CONCRETE SIDEWALK AREA RISEN AND TRANSITION TO PROVIDE ACCESSIBILITY TO BUILDING ENTRANCE DOOR
7	NO WORK PROPOSED TO THIS EXISTING AREA
8	NEW 4' HIGH FENCE

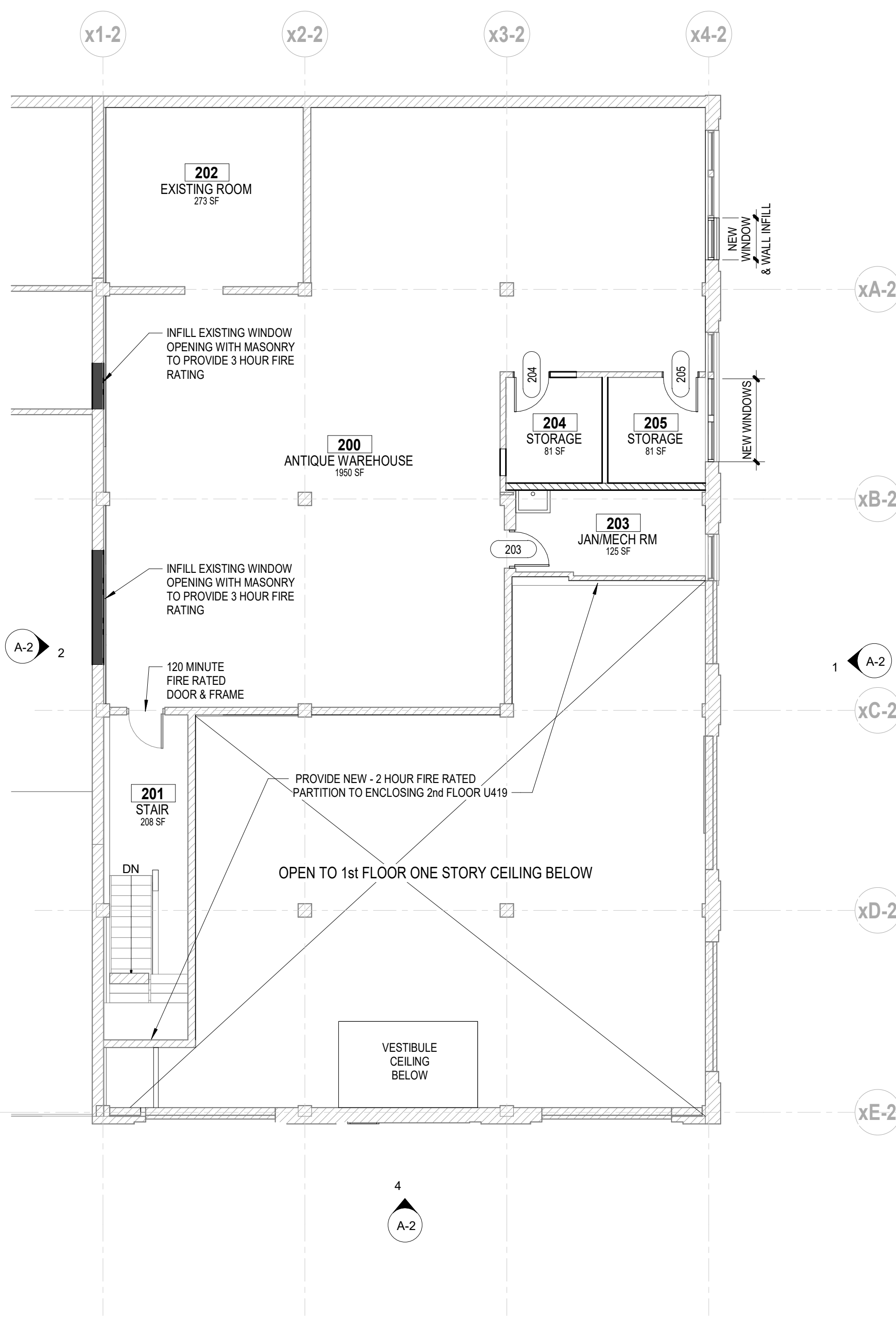
PROJECT:  
RENOVATIONS FOR:  
**RAILWAY COMMONS**  
400 BURNET AVENUE  
SYRACUSE, NEW YORK

ARCHITECT:  
**JMA**  
DANIEL MANNING  
ARCHITECT PLLC  
225 WILKINSON STREET, SUITE 104 - SYRACUSE, NEW YORK 13204  
THE ARCHITECT HAS REVIEWED THE DRAWINGS AND THE NOTATION OF A LICENSED ARCHITECT OR ENGINEER TO ALTER THIS DOCUMENT IN ANY WAY. ALTERED: THE ALTERING PROFESSIONAL SHALL PRINT HIS/HER SEAL AND THE NOTATION OF A LICENSED ARCHITECT OR ENGINEER TO ALTER THIS DOCUMENT IN ANY WAY. A DESCRIPTION OF THE ALTERATION, THIS STATEMENT IS PLACED HEREIN AS REQUIRED BY LAW.

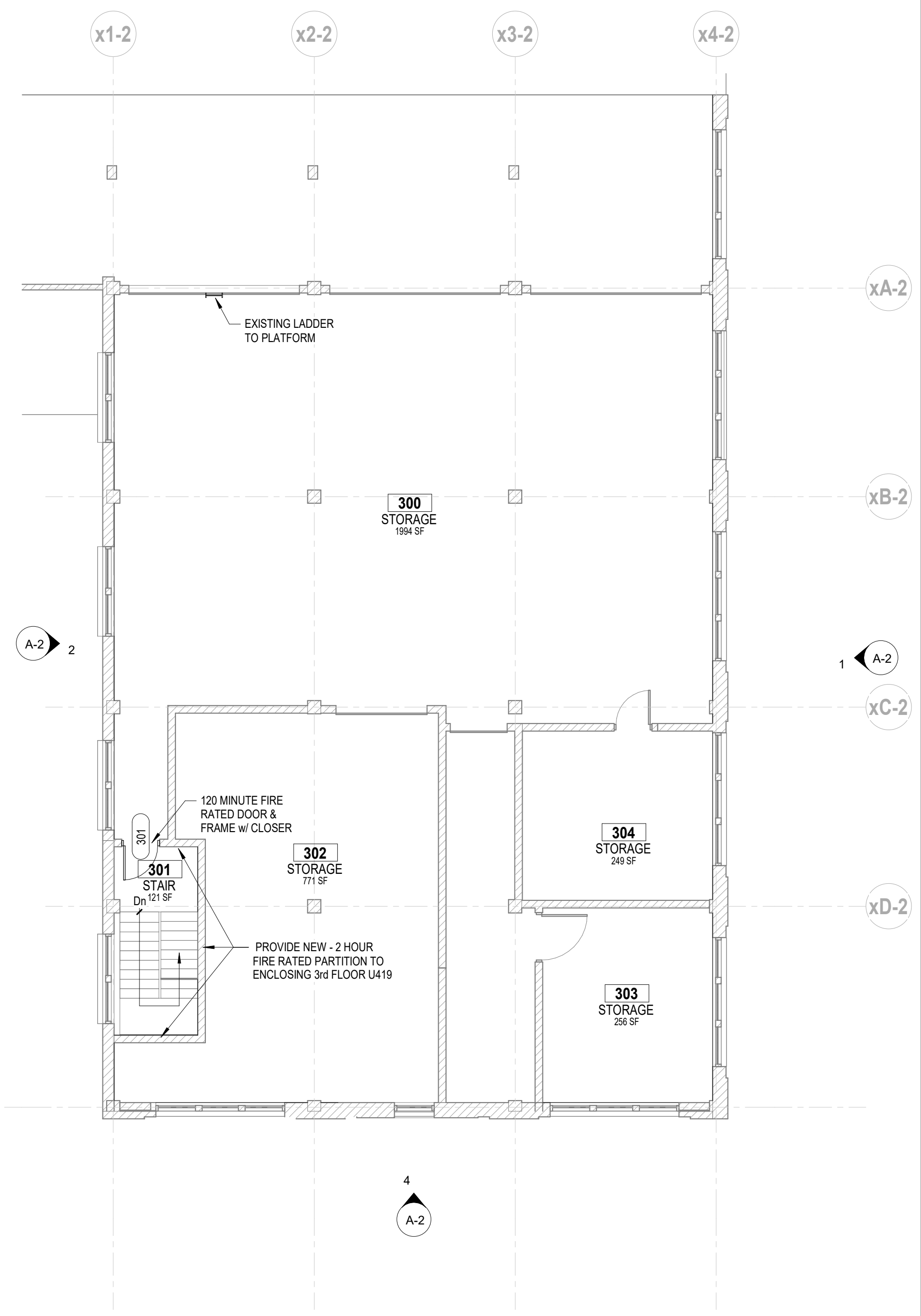
PROJECT NORTH	
Revision	
No	Date
2	1/8/24
DATE	SCALE
7/17/23	1" = 30'-0"
DRAWN BY	JOB No.
JRM	20030
DRAWING DESCRIPTION	
PROPOSED SITE PLAN	
SHEET NUMBER	
<b>A-0</b>	



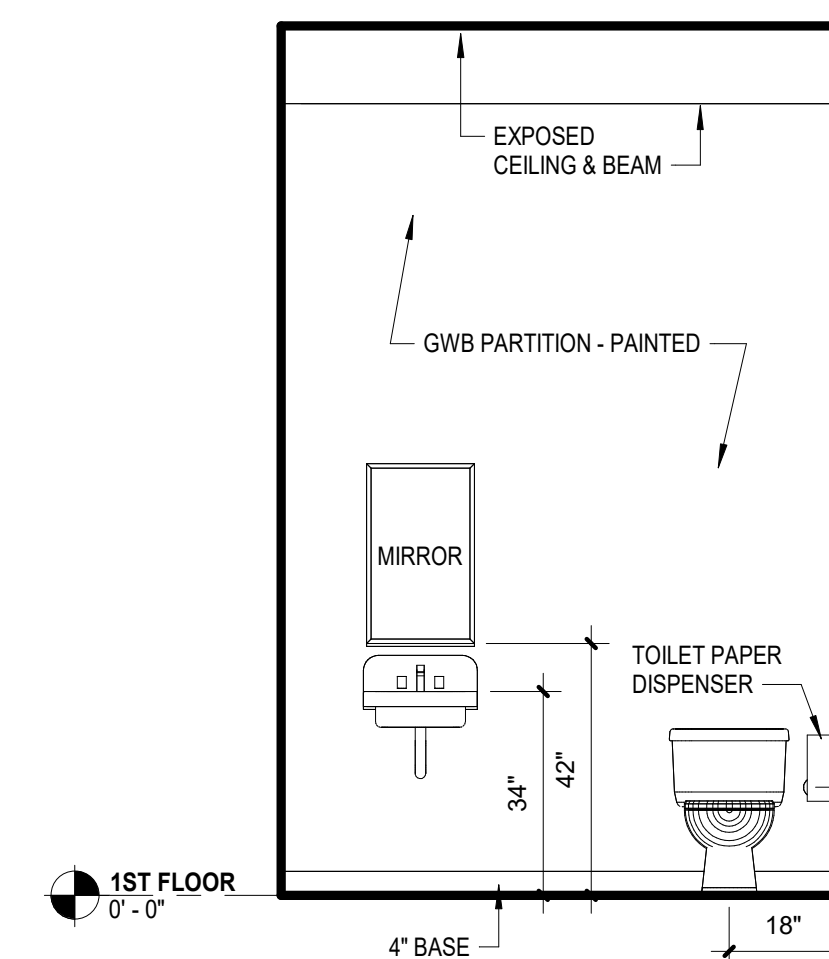
1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



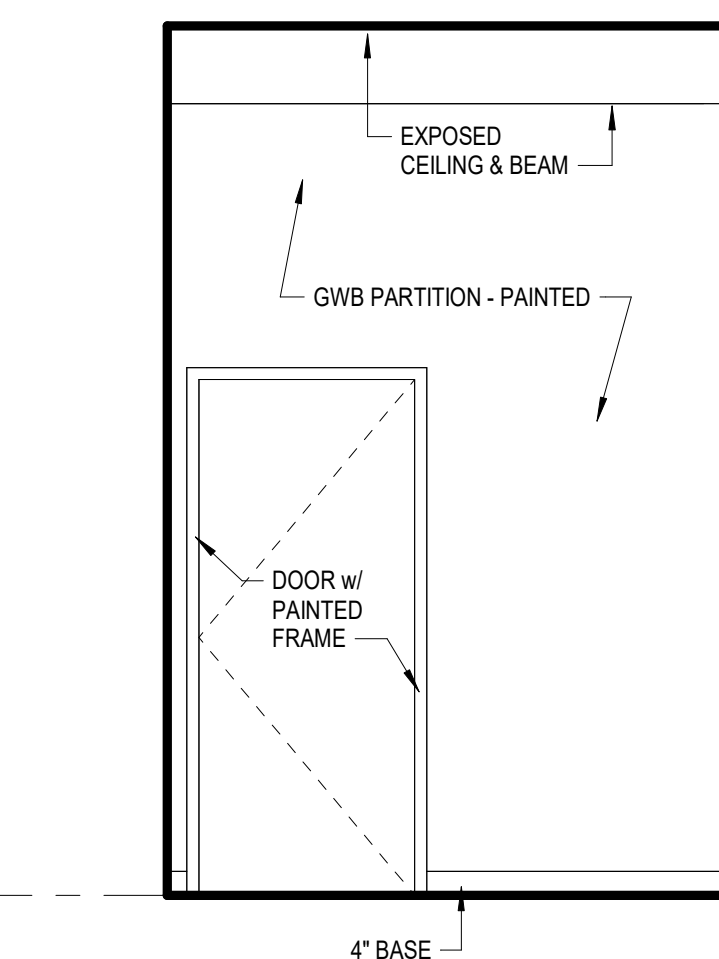
2 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



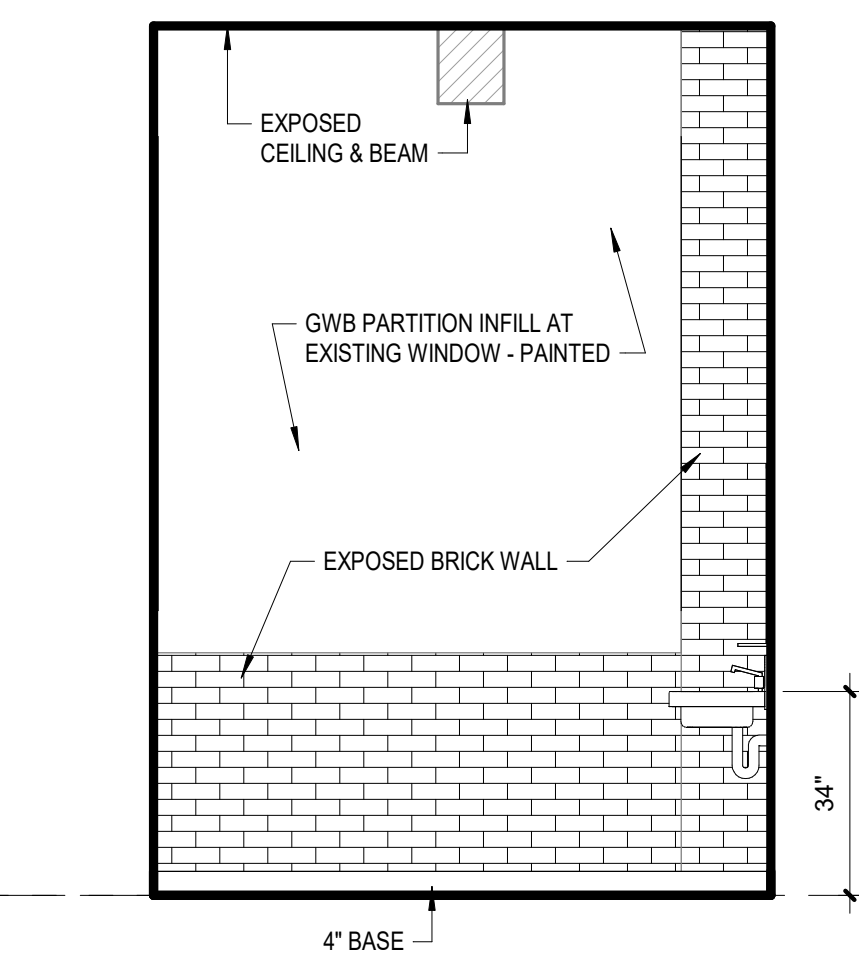
3 PROPOSED THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



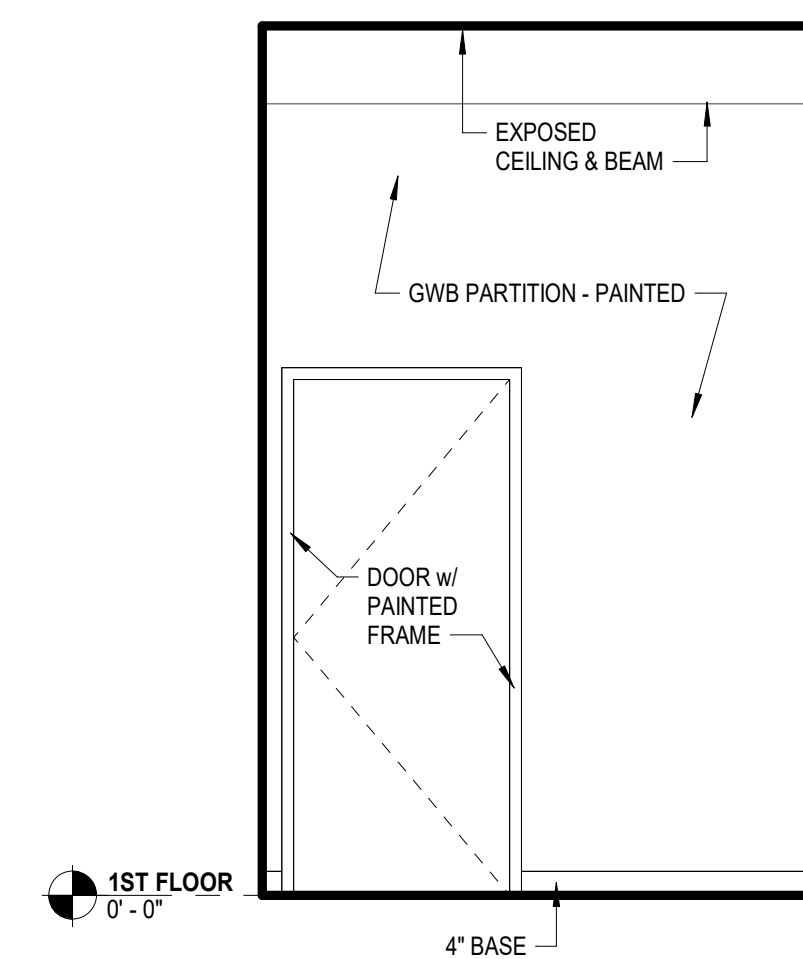
4 MENS ROOM\_NORTH ELEVATION  
SCALE: 3/8" = 1'-0"



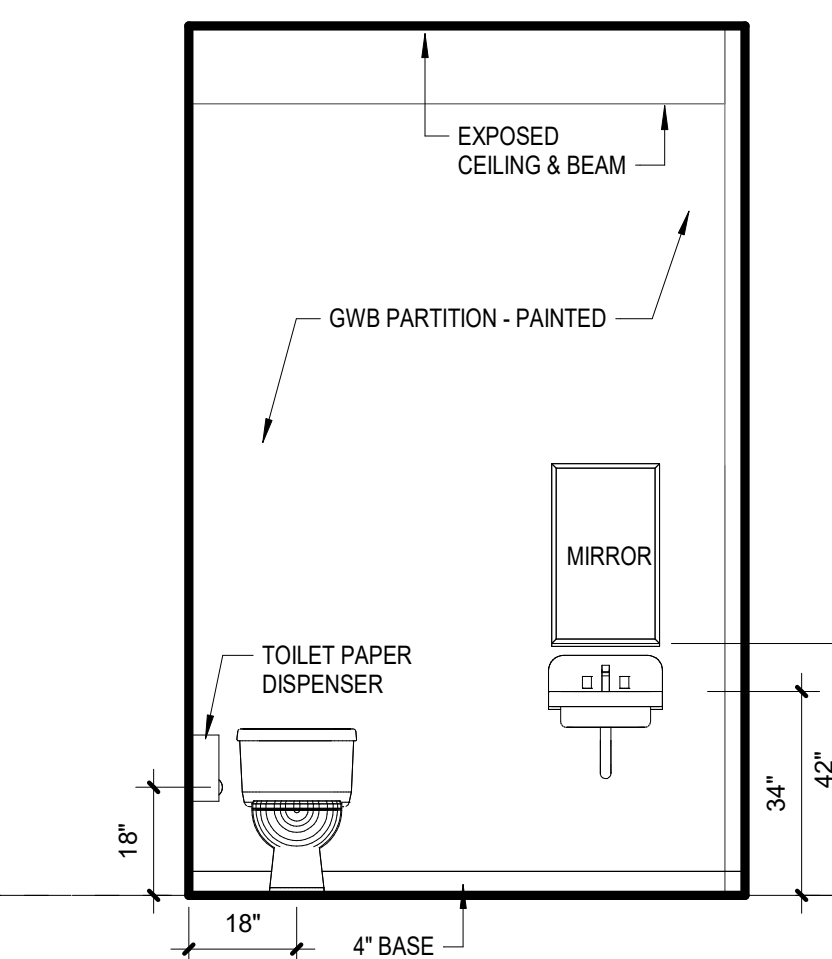
5 MENS ROOM\_SOUTH ELEVATION  
SCALE: 3/8" = 1'-0"



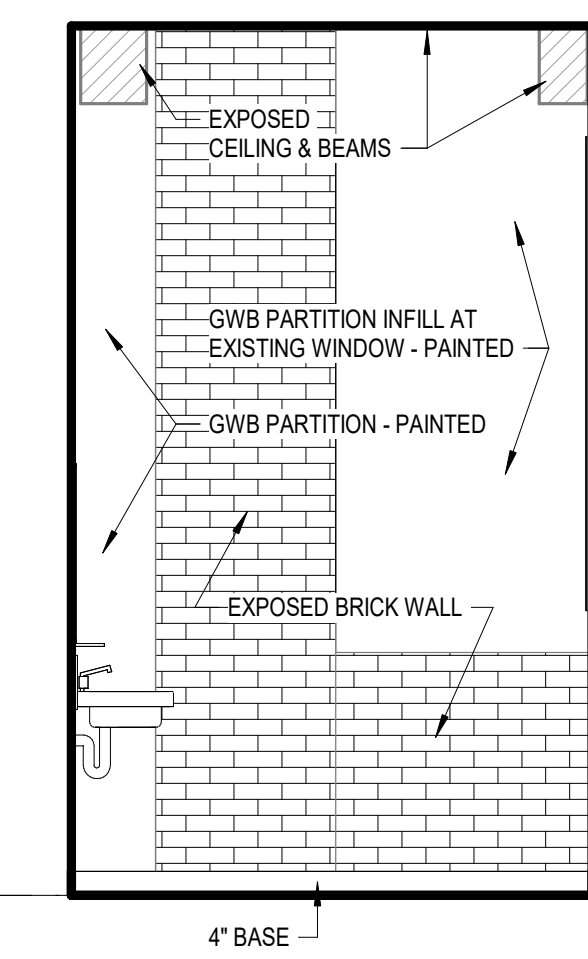
6 MENS ROOM\_WEST ELEVATION  
SCALE: 3/8" = 1'-0"



7 WOMENS ROOM\_NORTH ELEVATION  
SCALE: 3/8" = 1'-0"



8 WOMENS ROOM\_SOUTH ELEVATION  
SCALE: 3/8" = 1'-0"



9 WOMENS ROOM\_WEST ELEVATION  
SCALE: 3/8" = 1'-0"

PROJECT: RENOVATIONS AND SITE IMPROVEMENTS FOR: ANTIQUES AT

**RAILWAY COMMONS**

400 BURNETT AVENUE  
SYRACUSE, NEW YORK

ARCHITECT: **DMA**  
DANIEL MANNING  
ARCHITECT PLLC  
225 WILKINSON STREET, SUITE 104 - SYRACUSE, NEW YORK 13204

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PROJECT NORTH

Revision	
No	Date
1	11/30/23
2	12/7/23

DATE	SCALE
11/21/23	As indicated
DRAWN BY	JOB No.
JRM / JTS	20030

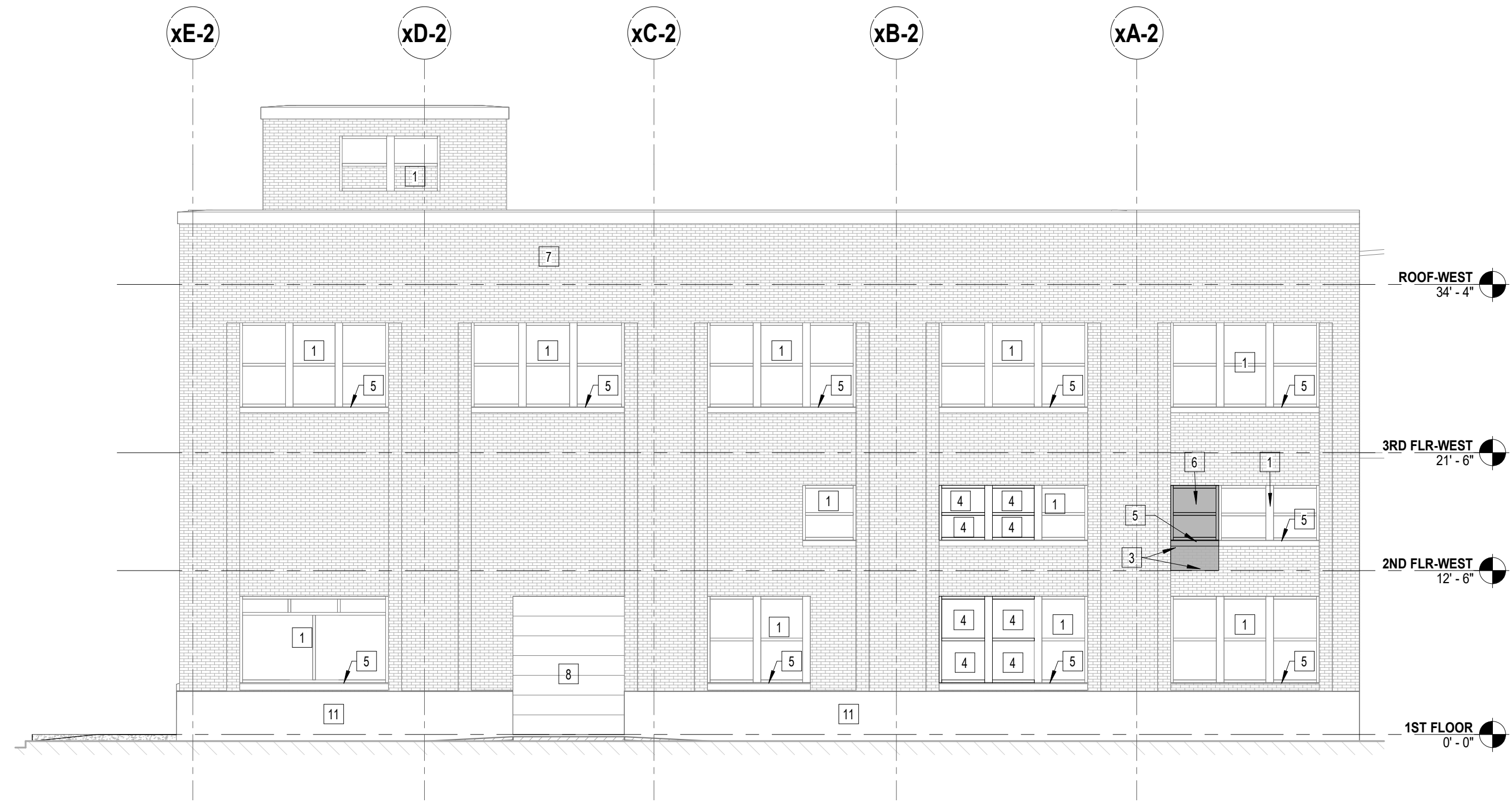
DRAWING DESCRIPTION  
PROPOSED FLOOR  
PLANS AND  
RESTROOM  
ELEVATIONS

SHEET NUMBER  
**A-1**



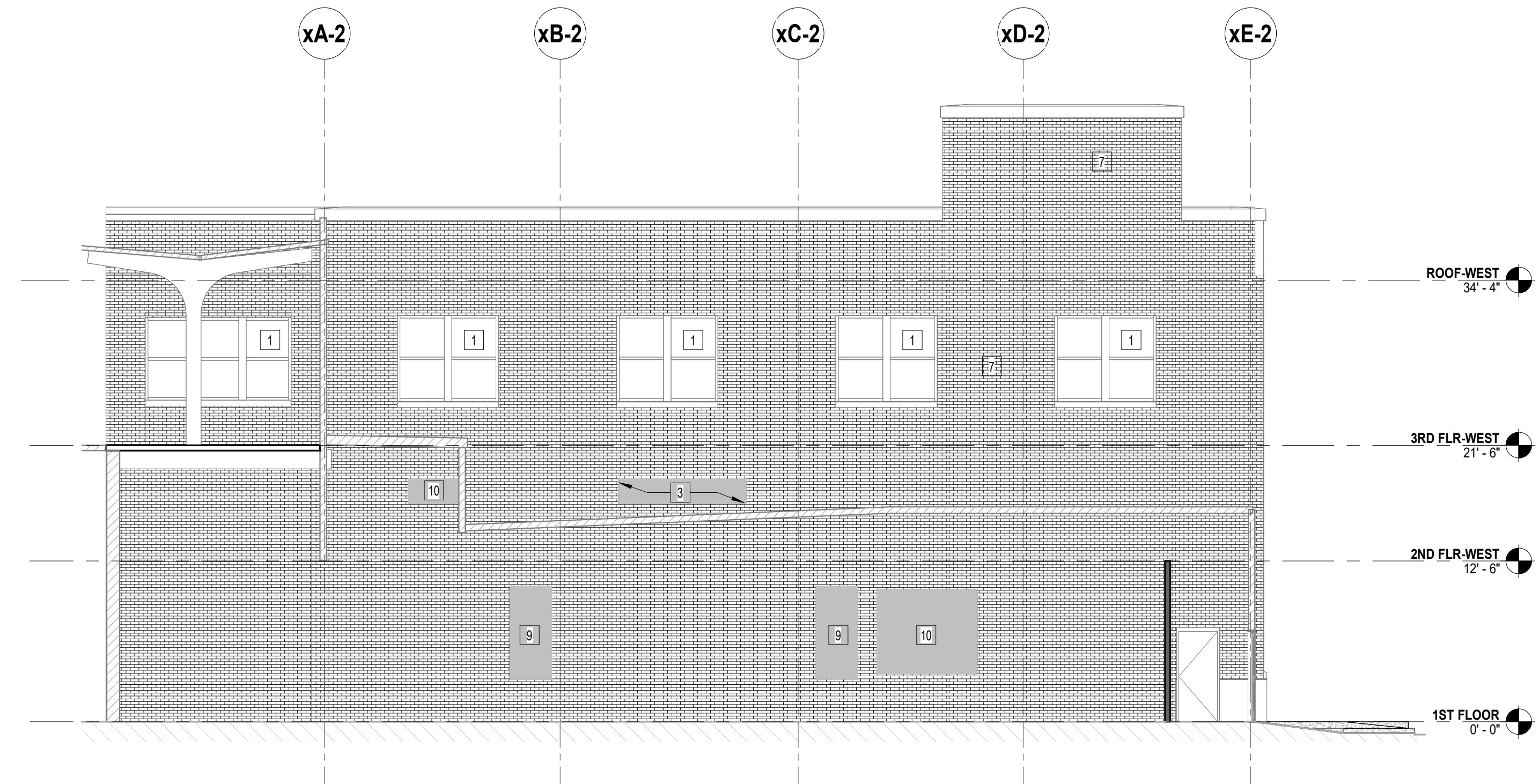


**4** PROPOSED NORTH ELEVATION (BURNET AVE)  
SCALE: 1/8" = 1'-0"



**1** PROPOSED WEST ELEVATION (CATHERINE ST)  
SCALE: 1/8" = 1'-0"

ELEVATION SHEET NOTES	
1	EXISTING WINDOWS TO BE RESTORED (SCRAPED, PRIMED, PAINTED AND REGLAZED) COLOR = DARK BRONZE
2	NEW STOREFRONT ENTRANCE DOOR, FRAME AND GLAZED TRANSOM PANEL EQUAL TO DIAMOND WINDOW STEEL REPLICA SERIES COLOR = DARK BRONZE
3	INFILL EXISTING DOOR WITH BRICK TO MATCH EXISTING
4	PRIVACY FILM APPLIED TO INTERIOR SIDE OF REGLAZED EXISTING WINDOWS
5	EXISTING CONCRETE SILL TO BE RESTORED AND PAINTED. COLOR = BROWN
6	NEW WINDOW EQUAL TO DIAMOND STEEL REPLICA SERIES - MATCH EXISTING
7	EXISTING BRICK TO BE REPOINTED AND REPAIRED
8	EXISTING OVERHEAD DOOR TO REMAIN
9	INFILL EXISTING DOOR WITH CMU BLOCK - PAINT TO MATCH EXISTING
10	INFILL EXISTING WINDOW WITH CMU BLOCK - PAINT TO MATCH EXISTING
11	EXISTING CONCRETE WALL TO BE PARGED AND/OR REPAIRED AND PAINTED COLOR = BROWN



**2** PROPOSED EAST ELEVATION  
SCALE: 1/8" = 1'-0"

PROJECT:  
RENOVATIONS AT:  
**RAILWAY COMMONS**  
400 BURNET AVENUE  
SYRACUSE, NEW YORK

ARCHITECT:  
**JMA**  
DANIEL MANNING  
ARCHITECT PLLC  
225 WILKINSON STREET, SUITE 104 - SYRACUSE, NEW YORK 13204  
I, THE ARCHITECT, HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF NEW YORK AND I AM THE AUTHOR OF THIS DOCUMENT. I HAVE REVIEWED AND APPROVED THE INFORMATION CONTAINED HEREIN AND I AM NOT PROVIDING ANY PROFESSIONAL SERVICES OR OPINIONS HEREIN. THIS STATEMENT IS PLACED HEREIN AS REQUIRED BY LAW.

PROJECT NORTH

Revision	
No	Date

DATE	SCALE
7/17/23	1/8" = 1'-0"
DRAWN BY	JOB No.
KET/JRM	20030

DRAWING DESCRIPTION  
PROPOSED  
ELEVATIONS

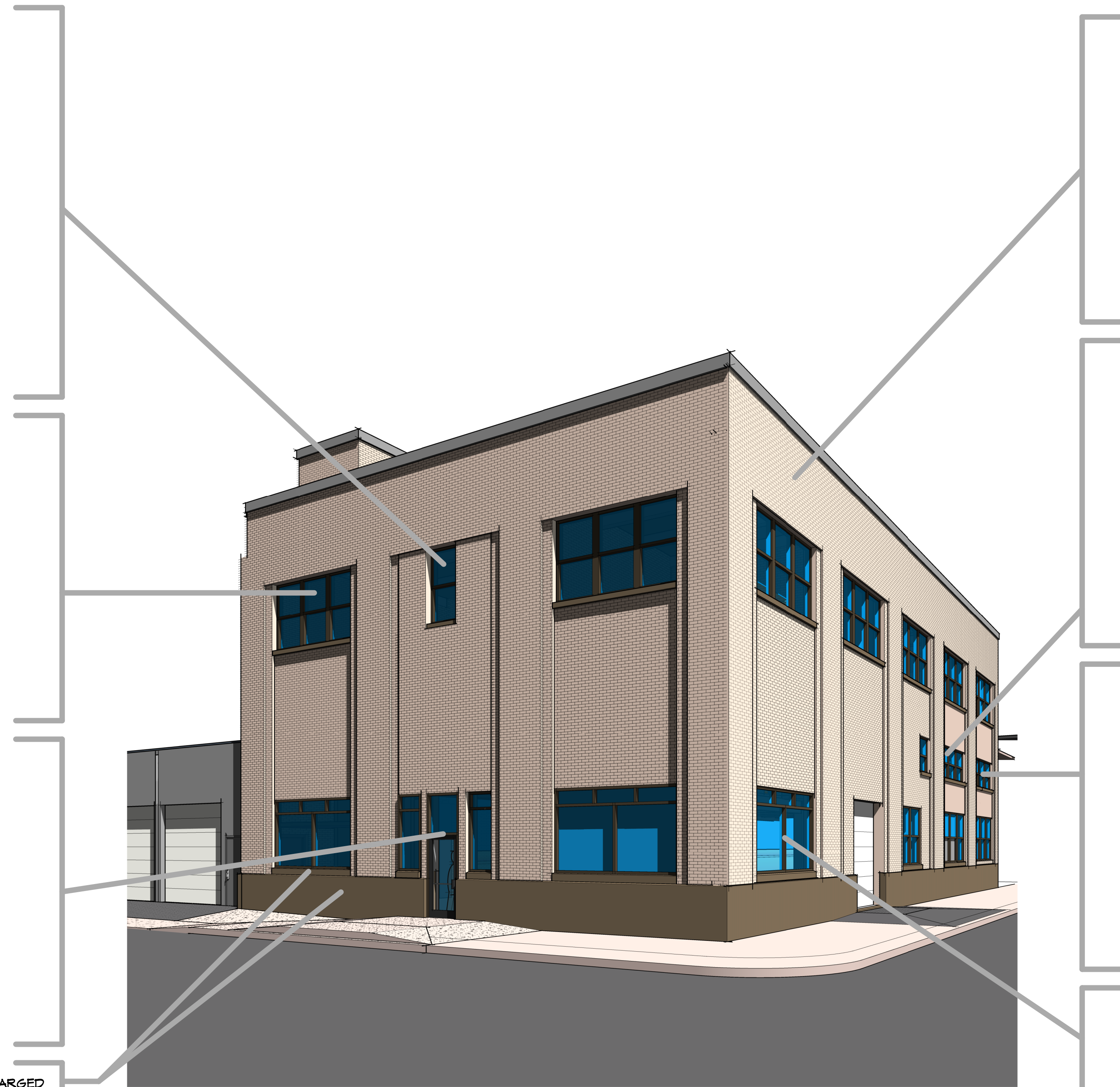
SHEET NUMBER  
**A-2**

EXISTING WINDOWS  
TO BE RESTORED  
AND PAINTED

EXISTING WINDOWS  
TO BE RESTORED  
AND PAINTED

NEW EXTERIOR  
DOOR:  
STANDARD  
ALUMINUM DOOR,

EXISTING CONCRETE WALL AND SILLS TO BE PARGED  
AND/OR REPAIRED AND PAINTED BROWN



1 PROPOSED STREET VIEW  
A-3 SCALE:

EXISTING BRICK TO  
BE REPAIRED  
AND REPOINTED  
WHERE NECESSARY

PRIVACY FILM: 3M  
FASARA GLASS  
FINISHES -  
CHAMONIX (APPLIED  
TO INTERIOR OF

EXISTING WINDOWS  
TO BE RESTORED  
AND PAINTED

EXISTING WINDOWS  
TO BE RESTORED  
AND PAINTED

PROJECT:  
RENOVATIONS FOR:  
**RAILWAY COMMONS**  
400 BURNET AVENUE  
SYRACUSE, NEW YORK

ARCHITECT:  
**JMA**  
DANIEL MANNING  
ARCHITECT PLLC  
225 WILKINSON STREET, SUITE 104 - SYRACUSE, NEW YORK, 13204  
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PROJECT NORTH

Revision	
No	Date

DATE 7/17/23	SCALE
DRAWN BY JRM	JOB No. 20030

DRAWING DESCRIPTION  
PROPOSED  
EXTERIOR  
MATERIALS

SHEET NUMBER  
**A-3**



# Onondaga County Planning Board

## RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

J.Ryan McMahon, II  
COUNTY EXECUTIVE

Meeting Date: January 03, 2024  
OCPB Case # Z-24-10

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a PROJECT SITE REVIEW from the City of Syracuse Planning Commission at the request of Tom Hornstein for the property located 400 Burnet Ave & Catherine St; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Interstate Routes 81 and 690, both state highways; and
- WHEREAS, the applicant is proposing to change the occupancy from storage to retail use on the first and second floor, interior renovations, and renovations to exterior facades along with multiple site improvements to be made by the City to sidewalks, curbing, and road access on a 1.23-acre parcel in a Mixed Use Transition (MX3) zoning district; and
- WHEREAS, the Board previously offered no position on a site plan review referral (Z-22-259) to establish an antique store on a portion of the existing building, per the referral, this project was later denied by the City Planning Commission; per the resolution included in the referral materials, the application was denied for multiple reasons including the applicant failing to attend two public hearings, failure to present requested updates and revisions, and failure to provide sufficient justification for a requested parking waiver; and
- WHEREAS, the site is located in the City's Hawley Green neighborhood with nearby commercial and residential land uses; the property abuts Interstate 690 West and the Townsend Street exit and has frontage on Catherine Street and Burnet Avenue, both local roads;  
ADVISORY NOTE: Any work within the state right-of-way is subject to a highway work permit from the NYS Department of Transportation; and
- WHEREAS, the site survey dated 7/13/1971 and recertified on 8/21/2020 shows four adjacent brick buildings, a former railroad platform, coal hopper, chimney, and two areas of concrete; a tarvia area with a curb cut on Burnet Avenue exists in the middle of the site; and
- WHEREAS, per the Proposed Site Plan dated 12/7/23, the applicant is proposing to change the occupancy from storage to retail on the first and second floors of the western side of the complex; renovations including new ADA compliant restrooms, new exterior entrances to the first floor and bike rack, and updates to comply with fire code; existing parking areas at the center of the complex and along the eastern side of the building will contain a total of 13 parking spaces, accessed via 24'-wide automatic parking gates; and
- WHEREAS, the Site Plan details multiple improvements to be made by Syracuse Department of Public Works including a new 5'-wide sidewalk, 6" curb, a 1.5" header curb, and sidewalk ramp to the western entrance from Burnet Avenue, a local road; and
- WHEREAS, per the New York State Department of Transportation, the subject parcel have some property acquired for the Interstate 81 Viaduct project, but the building will

not be impacted; and

WHEREAS, per the referral notice, the site is served by public drinking water and no changes to the existing infrastructure are proposed; and

WHEREAS, per the referral notice, the site is served by public sewers and is located within the Metropolitan Wastewater Treatment Plant service area, an area designated as flow constrained and impacted by excessive wet weather flow; an increase in flow is proposed;

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required due to an anticipated increase in use; additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:

<http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and

WHEREAS, the project is within 2,000 feet of multiple sites (IDs: C734111, B00003, C734148, V00502) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); and

WHEREAS, the site may contain the Peregrine Falcon, or its associated habitat, which has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper); and

WHEREAS, the site contains the New York Central Railroad Passenger & Freight Station, and is near the Hawley-Green Street Historic District which are listed on, or have been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places; and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has determined that said referral will have no significant adverse inter-community or county-wide implications and may consequently be acted on solely by the referring board.



Martin E. Voss, Chairman  
Onondaga County Planning Board

Project: MiSPR-23-18

Date: 1/22/2024

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: MiSPR-23-18

Date: 1/22/2024

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

City of Syracuse City Planning Commission  
 \_\_\_\_\_  
 Name of Lead Agency

1/22/2024  
 \_\_\_\_\_  
 Date

Steven Kulick  
 \_\_\_\_\_  
 Print or Type Name of Responsible Officer in Lead Agency

Chairperson  
 \_\_\_\_\_  
 Title of Responsible Officer

\_\_\_\_\_  
 Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
 Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**

City of Syracuse  
**Parcel History**  
 01/01/1900 - 01/18/2024  
 Tax Map #: 030.-05-01.0  
 Owners: BURNET RR ASSOC, Cashe, LLC  
 Zoning: MX-3

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	06/23/83	Project	Off Premise Advertising	Denied	AS-83-016   Off-premise advertising. aka 400 Burnet Ave & Catherine St
400 Burnet Ave & Catherine St	07/05/84	Project	Off Premise Advertising	Approved with	AS-84-015   Appealed to CPC-denied 8/8/84. Z.A. Approval rescinded on 6/22/88. aka 400 Burnet Ave & Catherine St
400 Burnet Ave & Catherine St	08/08/84	Project	Off Premise Advertising	Denied	AS-84-15A   OFF-PREMISE ADVERTISING SIGN (PARK).
400 Burnet Ave & Catherine St	01/05/88	Project	Off Premise Advertising	Denied	AS-87-101   Off-premise advertising (Park) aka 400 Burnet Ave & Catherine St
400 Burnet Ave & Catherine St	06/22/88	Project	Off Premise Advertising	Denied	AS-88-037   Off-premise advertising.(Park) Ref: AS-84-15 aka 400 Burnet Ave & Catherine St
400 Burnet Ave & Catherine St	07/14/98	Project	Off Premise Advertising	Denied	AS-98-23   OFF-PREMISE ADVERTISING (PRIDGEN)
400 Burnet Ave & Catherine St	05/14/99	Project	Off Premise Advertising	Denied	AS-99-21   OFF-PREMISE ADVERTISING (PRIDGEN)
400 Burnet Ave & Catherine St	08/06/99	Project	Off Premise Advertising	Closed	AS-99-21A   OFF-PREMISE ADVERTISING SIGNS (PRIDGEN)
400 Burnet Ave & Catherine St	08/11/08	Project	Sign Waiver	Approved	AS-08-20   WAIVER OF AREA & NUMBER (SYNAPSE)
400 Burnet Ave & Catherine St	06/05/12	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	06/06/12	Violation	2010 IMC - Section 304.4 - Structural members	Open	
400 Burnet Ave & Catherine St	06/06/12	Violation	2010 IMC - Section 302.4 - Weeds	Closed	
400 Burnet Ave & Catherine St	06/06/12	Violation	2010 IMC - Section 304.13.1- Glazing	Closed	
400 Burnet Ave & Catherine St	06/06/12	Violation	2010 IMC - Section 307.1 - Accumulation of rubbish and garbage	Closed	
400 Burnet Ave & Catherine St	06/18/12	Inspection	Complaint Re-Inspection	Pass	
400 Burnet Ave & Catherine St	08/13/12	Completed Complaint	Complaint Reqst - General	Completed	2012-12951

City of Syracuse  
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	08/15/16	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	08/15/16	Violation	SPCC - Section 27-72 (f) - Overgrowth	Closed	
400 Burnet Ave & Catherine St	08/23/16	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	09/06/16	Completed Complaint	Overgrowth: Private, Occ	Completed	2016-23655   O/G
400 Burnet Ave & Catherine St	09/06/16	Inspection	Complaint Re-Inspection	Pass	
400 Burnet Ave & Catherine St	07/18/17	Completed Complaint	Illegal Trash Set Out	Completed	2017-20384   recliner
400 Burnet Ave & Catherine St	09/28/17	Permit Application	Antenna / Dish	Issued	30166   New roof top antennae
400 Burnet Ave & Catherine St	07/18/18	Inspection	Inspector Notification	In Progress	
400 Burnet Ave & Catherine St	08/01/18	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	08/01/18	Violation	SPCC - Section 27-72 (f) - Overgrowth	Closed	
400 Burnet Ave & Catherine St	08/09/18	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	08/30/18	Completed Complaint	Overgrowth: Private, Occ	Completed	2018-23633   Overgrowth
400 Burnet Ave & Catherine St	08/30/18	Inspection	Complaint Re-Inspection	Pass	
400 Burnet Ave & Catherine St	09/17/18	Inspection	Progress Inspection	No Work Started	
400 Burnet Ave & Catherine St	11/30/18	Inspection	Progress Inspection	No Work Started	
400 Burnet Ave & Catherine St	01/03/19	Inspection	Progress Inspection	No Progress	
400 Burnet Ave & Catherine St	02/08/19	Inspection	Progress Inspection	No Progress	
400 Burnet Ave & Catherine St	03/01/19	Inspection	Progress Inspection	No Progress	
400 Burnet Ave & Catherine St	04/08/19	Inspection	Progress Inspection	No Progress	
400 Burnet Ave & Catherine St	06/07/19	Inspection	Progress Inspection	No Progress	
400 Burnet Ave & Catherine St	06/21/19	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	07/31/19	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	09/04/19	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	09/25/19	Permit Application	Electric	Issued	39328   Electric
400 Burnet Ave & Catherine St	09/26/19	Inspection	Inspector Notification	In Progress	
400 Burnet Ave & Catherine St	09/26/19	Inspection	Service Inspection	In Progress	



## City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	10/01/19	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	10/02/19	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	10/08/19	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	10/22/19	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	11/05/19	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	11/19/19	Inspection	Final Inspection	Pass	
400 Burnet Ave & Catherine St	11/20/19	Completed Permit	Electric	Certificate Issued	39328   Electric   Certificate of Completion #39328
400 Burnet Ave & Catherine St	12/19/19	Completed Complaint	Vacant Lot: Trash/Debris	Completed	2016-18223   across from 459 at 448 burnet there is an illegal dump site where people are coming daily and dumping stuff please remove it from there.. - Kathy 476-3107
400 Burnet Ave & Catherine St	02/05/20	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	02/18/20	Permit Application	Antenna / Dish	Issued	40838   Antenna
400 Burnet Ave & Catherine St	02/21/20	Inspection	Final Inspection	Pass	
400 Burnet Ave & Catherine St	02/21/20	Completed Permit	Antenna / Dish	Certificate Issued	30166   New roof top antennae   Certificate of Completion #30166
400 Burnet Ave & Catherine St	04/14/20	Inspection	Inspector Notification	In Progress	
400 Burnet Ave & Catherine St	05/12/20	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	06/12/20	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	10/20/20	Project	Pre-Development	Active	Railway Common   Meet with Ed Keplinger to discuss the project for 400 Burnet Ave. There are no building modifications proposed.  Construction of concrete ramp from Burnet Avenue to second floor of building. The ramp will be utilized for vehicle access to the second floor of the building and will only be used by the owner's employees. The ramp will be 12 feet wide with concrete curbs on each side and have an approximate 22% slope. A trench drain will be installed at the base of the ramp by Burnet Avenue. The trench drain will discharge into an on-site drywell. Sidewalks will be constructed to City of Syracuse standards will be constructed within the Burnet Avenue right-of-way where the ramp is being constructed.

## City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	12/10/20	Permit Application	Misc.(deck, fence,ramp)	Issued	43148   Construct a non-pedestrian ramp on the east side of the building from the ground floor to the third floor of the building.
400 Burnet Ave & Catherine St	02/03/21	Inspection	Inspector Notification	In Progress	
400 Burnet Ave & Catherine St	02/18/21	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	02/18/21	Violation	SPCC - Section 27-73 (b) - Graffiti	Closed	
400 Burnet Ave & Catherine St	02/18/21	Violation	2020 PMCNYS - Section 305.3 - interior surfaces	Closed	
400 Burnet Ave & Catherine St	02/18/21	Violation	2020 PMCNYS - Section 304.9 - Overhang extensions	Closed	
400 Burnet Ave & Catherine St	02/18/21	Violation	2020 PMCNYS - Section 304.11 - Chimneys and towers	Closed	
400 Burnet Ave & Catherine St	02/22/21	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	03/05/21	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	03/10/21	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	03/31/21	Inspection	Complaint Re-Inspection	In Progress	
400 Burnet Ave & Catherine St	04/08/21	Inspection	Complaint Inspection	N/A	
400 Burnet Ave & Catherine St	04/13/21	Inspection	Final Inspection	In Progress	
400 Burnet Ave & Catherine St	04/14/21	Inspection	Complaint Re-Inspection	Fail	
400 Burnet Ave & Catherine St	04/14/21	Inspection	Complaint Re-Inspection	In Progress	
400 Burnet Ave & Catherine St	04/15/21	Inspection	Complaint Inspection	N/A	
400 Burnet Ave & Catherine St	04/19/21	Inspection	Complaint Inspection	N/A	
400 Burnet Ave & Catherine St	04/19/21	Inspection	Complaint Re-Inspection	In Progress	
400 Burnet Ave & Catherine St	04/29/21	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	04/29/21	Violation	2015 IPMC Section 304.11 Chimneys	Closed	
400 Burnet Ave & Catherine St	05/05/21	Inspection	Complaint Re-Inspection	Fail	
400 Burnet Ave & Catherine St	05/14/21	Inspection	Complaint Re-Inspection	N/A	

City of Syracuse  
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	05/24/21	Completed Complaint	Property Maintenance-Ext	Completed	2021-09128   Illegal mechanics shop at the train station, also, selling cars there/parked diagonally on the platform
400 Burnet Ave & Catherine St	05/24/21	Inspection	Complaint Re-Inspection	Fail	
400 Burnet Ave & Catherine St	05/24/21	Inspection	Complaint Inspection	N/A	
400 Burnet Ave & Catherine St	05/24/21	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
400 Burnet Ave & Catherine St	05/26/21	Inspection	Progress Inspection	No Work Started	
400 Burnet Ave & Catherine St	05/27/21	Inspection	Complaint Inspection	In Progress	
400 Burnet Ave & Catherine St	06/07/21	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	06/17/21	Completed Complaint	Property Maintenance-Ext	Completed	2021-16885
400 Burnet Ave & Catherine St	06/17/21	Inspection	Complaint Inspection	N/A	
400 Burnet Ave & Catherine St	06/17/21	Inspection	Complaint Re-Inspection	Fail	
400 Burnet Ave & Catherine St	06/21/21	Inspection	Complaint Inspection	In Progress	
400 Burnet Ave & Catherine St	06/23/21	Inspection	Progress Inspection	No Work Started	
400 Burnet Ave & Catherine St	06/24/21	Inspection	Complaint Re-Inspection	Fail	
400 Burnet Ave & Catherine St	07/14/21	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	07/14/21	Inspection	Complaint Inspection	N/A	
400 Burnet Ave & Catherine St	07/14/21	Inspection	Complaint Inspection	In Progress	
400 Burnet Ave & Catherine St	07/23/21	Inspection	Complaint Re-Inspection	In Progress	
400 Burnet Ave & Catherine St	07/30/21	Inspection	Progress Inspection	No Progress	
400 Burnet Ave & Catherine St	08/19/21	Completed Complaint	Property Maintenance-Ext	Completed	2021-04745   Dumpster is blocking complainant's door and parking spot, doing work on the roof with no portable railings - throwing debris on the side of the bldg from the roof
400 Burnet Ave & Catherine St	08/19/21	Inspection	Complaint Re-Inspection	Pass	
400 Burnet Ave & Catherine St	08/23/21	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	09/16/21	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	10/29/21	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	11/30/21	Inspection	Progress Inspection	In Progress	

City of Syracuse  
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	12/16/21	Closed Permit	Misc.(deck, fence,ramp)	Canceled	43148   Construct a non-pedestrian ramp on the east side of the building from the ground floor to the third floor of the building.
400 Burnet Ave & Catherine St	12/16/21	Inspection	Progress Inspection	No Progress	
400 Burnet Ave & Catherine St	12/28/21	Closed Permit	Antenna / Dish	Canceled	40838   Antenna
400 Burnet Ave & Catherine St	12/29/21	Inspection	Final Inspection	No Progress	
400 Burnet Ave & Catherine St	03/04/22	Permit Application	Antenna / Dish	Issued	45890   Remove 9 existing antennas and replace with 9 newer technology antennas, add one OVP and Hybrid to support the newer antennas/ Verizon
400 Burnet Ave & Catherine St	03/31/22	Inspection	Inspector Notification	In Progress	
400 Burnet Ave & Catherine St	04/15/22	Completed Complaint	Property Maintenance-Ext	Admin-Closed	2021-19206   Jennie's Auto Sales, aka 430 Burnet Ave: Cars parked on the street, looks illegal
400 Burnet Ave & Catherine St	04/15/22	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	04/21/22	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	04/28/22	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	04/28/22	Violation	SZC - Section Z-C-6 - Illegal Signage	Closed	
400 Burnet Ave & Catherine St	05/16/22	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	05/27/22	Inspection	Complaint Inspection	In Progress	
400 Burnet Ave & Catherine St	06/02/22	Completed Complaint	Property Maintenance-Ext	Completed	2022-03042   Signage issue
400 Burnet Ave & Catherine St	06/02/22	Inspection	Complaint Re-Inspection	Pass	
400 Burnet Ave & Catherine St	06/15/22	Inspection	Complaint Inspection	In Progress	
400 Burnet Ave & Catherine St	08/11/22	Project	Project Site Review	Denied Without	PR-22-12   FACADE ALTERATIONS & SITE CHANGES (RAILWAY COMMONS - ANTIQUES) waive required parking retail tenant (antiques) build out in the former train station
400 Burnet Ave & Catherine St	08/31/22	Complaint	Property Maintenance-Int	Open	2022-07941   water in comng into the tenants shorage unit
400 Burnet Ave & Catherine St	09/05/22	Inspection	Complaint Re-Inspection	Pass	
400 Burnet Ave & Catherine St	09/06/22	Inspection	Complaint Inspection	Fail	

City of Syracuse  
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	09/06/22	Violation	Section 105.2 Building Permits	Open	
400 Burnet Ave & Catherine St	09/06/22	Violation	2020 PMCNYS - Section 305.3 - interior surfaces	Open	
400 Burnet Ave & Catherine St	09/07/22	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	09/07/22	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
400 Burnet Ave & Catherine St	09/13/22	Completed Complaint	Property Maintenance-Ext	Owner Compliance	2021-11676   Smoke stack in disrepair, needs inspection and repair or removal.
400 Burnet Ave & Catherine St	09/15/22	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	09/19/22	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	09/19/22	Violation	SZC - Section Z-B-1 - Illegal Land Use	Closed	
400 Burnet Ave & Catherine St	09/26/22	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	10/31/22	Inspection	Complaint Re-Inspection	Pass	
400 Burnet Ave & Catherine St	11/04/22	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	11/09/22	Inspection	Complaint Re-Inspection	<None>	
400 Burnet Ave & Catherine St	11/22/22	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	12/05/22	Inspection	BAA - 1st Ticket Plea	Ticket Dismissed	
400 Burnet Ave & Catherine St	12/28/22	Complaint	Property Maintenance-Int	Open	2022-10952   Illegal living & retail space
400 Burnet Ave & Catherine St	12/28/22	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	12/28/22	Violation	2020 PMCNYS - Section 107.1.4 - Unlawful Structures	Open	
400 Burnet Ave & Catherine St	12/30/22	Violation	2020 PMCNYS - Section 107.1.4 - Unlawful Structures	Open	
400 Burnet Ave & Catherine St	12/30/22	Violation	2020 PMCNYS - Section 605.4 - Wiring	Closed	
400 Burnet Ave & Catherine St	01/06/23	Inspection	Complaint Inspection	In Progress	
400 Burnet Ave & Catherine St	01/10/23	Completed Complaint	Property Maintenance-Ext	Completed	2022-08439

City of Syracuse  
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	01/10/23	Inspection	Complaint Re-Inspection	Pass	
400 Burnet Ave & Catherine St	01/20/23	Inspection	Complaint Re-Inspection	In Progress	
400 Burnet Ave & Catherine St	01/24/23	Violation	SZC - Section Z-B-1 - Illegal Land Use	Open	
400 Burnet Ave & Catherine St	01/24/23	Violation	SZC - Section Z-B-1 - Illegal Land Use	Open	
400 Burnet Ave & Catherine St	02/10/23	Inspection	Final Inspection	Pass	
400 Burnet Ave & Catherine St	02/10/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	02/10/23	Completed Permit	Antenna / Dish	Certificate Issued	45890   Remove 9 existing antennas and replace with 9 newer technology antennas, add one OVP and Hybrid to support the newer antennas/ Verizon   Certificate of Completion #45890
400 Burnet Ave & Catherine St	02/21/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	03/20/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	03/24/23	Completed Complaint	Property Maintenance- Ext	Completed	2022-08103   TD
400 Burnet Ave & Catherine St	04/05/23	Inspection	Progress Inspection	In Progress	
400 Burnet Ave & Catherine St	04/18/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	05/15/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	06/07/23	Inspection	Progress Inspection	<None>	
400 Burnet Ave & Catherine St	06/26/23	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	06/26/23	Violation	2020 PMCNYS - Section 302.1 - Sanitation	Closed	
400 Burnet Ave & Catherine St	06/28/23	Inspection	Complaint Re-Inspection	In Progress	
400 Burnet Ave & Catherine St	07/05/23	Inspection	BAA - 1st Ticket Plea	Ticket Default	
400 Burnet Ave & Catherine St	07/05/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	07/12/23	Inspection	Complaint Re-Inspection	Fail	
400 Burnet Ave & Catherine St	07/12/23	Violation	SZC - Section Z-B-1 - Illegal Land Use	Closed	
400 Burnet Ave & Catherine St	07/28/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	08/01/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	08/01/23	Inspection	Complaint Re-Inspection	No Progress	

## City of Syracuse Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	08/04/23	Complaint	Property Maintenance-Ext	Referred to Law	2023-05696   Exterior and zoning issues
400 Burnet Ave & Catherine St	08/04/23	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	08/04/23	Violation	Section 105.2 Building Permits	Open	
400 Burnet Ave & Catherine St	08/04/23	Violation	2020 PMCNYS - Section 305.3 - interior surfaces	Open	
400 Burnet Ave & Catherine St	08/04/23	Violation	2020 PMCNYS - Section 302.1 - Sanitation	Closed	
400 Burnet Ave & Catherine St	08/04/23	Violation	SZC - Section Z-B-1 - Illegal Land Use	Closed	
400 Burnet Ave & Catherine St	08/04/23	Violation	2020 PMCNYS - Section 107.1.4 - Unlawful Structures	Open	
400 Burnet Ave & Catherine St	08/04/23	Violation	2020 PMCNYS - Section 304.6 - Exterior Walls	Open	
400 Burnet Ave & Catherine St	08/04/23	Violation	2020 PMCNYS - Section 304.15 - Doors	Open	
400 Burnet Ave & Catherine St	08/04/23	Violation	SPCC - Section 27-73 (b) - Graffiti	Open	
400 Burnet Ave & Catherine St	08/04/23	Violation	SZC - Section VI-Sign Restrictions	Open	
400 Burnet Ave & Catherine St	08/04/23	Inspection	Complaint Inspection	<None>	
400 Burnet Ave & Catherine St	08/15/23	Inspection	Complaint Re-Inspection	In Progress	
400 Burnet Ave & Catherine St	08/22/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	08/29/23	Completed Complaint	Property Maintenance-Ext	Admin-Closed	2023-04434   TD
400 Burnet Ave & Catherine St	08/29/23	Inspection	Complaint Re-Inspection	N/A	
400 Burnet Ave & Catherine St	09/05/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	09/05/23	Inspection	BAA - Default 30 Day Deadline	Default	
400 Burnet Ave & Catherine St	09/11/23	Violation	2020 FCNYS- - 604.5 - Extension cords	Closed	
400 Burnet Ave & Catherine St	09/11/23	Inspection	Complaint Inspection	Fail	

City of Syracuse  
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	09/20/23	Completed Complaint	Property Maintenance-Ext	Completed	2023-06400   Use of extension cords
400 Burnet Ave & Catherine St	09/20/23	Inspection	Complaint Re-Inspection	Pass	
400 Burnet Ave & Catherine St	09/20/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	09/25/23	Complaint	Property Maintenance-Int	Referred to Law	2023-06766   Illegal business: Unit 10
400 Burnet Ave & Catherine St	09/25/23	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	09/25/23	Violation	2020 PMCNYS - Section 107.1.4 - Unlawful Structures	Open	
400 Burnet Ave & Catherine St	09/25/23	Violation	2020 PMCNYS - Section 107.1.3 - Structure Unfit for Human Occupancy	Open	
400 Burnet Ave & Catherine St	09/27/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	10/03/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	10/11/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	10/11/23	Complaint	Property Maintenance-Ext	Open	2023-07132   Antique Store
400 Burnet Ave & Catherine St	10/11/23	Violation	SZC - Section Z-B-1 - Illegal Land Use	Open	
400 Burnet Ave & Catherine St	10/25/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	11/01/23	Project	Minor Site Plan Review	Active	MiSPR-23-18   exterior repair and replacement of windows, patch and repoint brick, new door entrance, sidewalk and street line replacements, change of occupancy for first floor.
400 Burnet Ave & Catherine St	11/08/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	11/09/23	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	01/04/24	Inspection	Complaint Re-Inspection	No Progress	
400 Burnet Ave & Catherine St	01/04/24	Inspection	Complaint Re-Inspection	No Progress	



City of Syracuse  
**Parcel History**  
 01/01/1900 - 01/18/2024  
 Tax Map #: 030.-05-01.1  
 Owners: Cashe, LLC  
 Zoning:

Address	Date	Transaction	Transaction Type	Status	Description
400 Burnet Ave & Catherine St	12/13/23	Inspection	Complaint Inspection	Fail	
400 Burnet Ave & Catherine St	12/13/23	Violation	SZC - Section Z-B-1 - Illegal Land Use	Closed	
400 Burnet Ave & Catherine St	12/18/23	Completed Complaint	Property Maintenance- Ext	Completed	2023-08377   Dumpster in ROW
400 Burnet Ave & Catherine St	12/18/23	Inspection	Complaint Re-Inspection	Pass	



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Cashe, LLC  
From: Zhitong Wu, Zoning Planner  
Date: 1/18/2024 10:13:36 AM  
Re: Minor Site Plan Review MiSPR-23-18  
400 Burnet Ave & Catherine St, Syracuse, 13203

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Zoning Planner	Internal Review Complete	01/10/2024	Zhitong Wu	<p>Comments sent to applicant. Holding for revised plan.</p> <p>1/8/2024 Per revised site plan, the aluminum fences in the front setback can only be 4 feet high. Comments sent to applicant on 12/18/2023. Holding for revised plan. This project will be reviewed and decided by CPC.</p> <p>1/10/2024 Per revised plan submitted on 1/10/2024, the proposed fence is in compliance with zoning code. The project is pending on CPC's decision.</p>
Landmark Preservation Board	Internal Review Complete	11/16/2023	Kate Auwaerter	<p>Renovations: The proposed building renovations/ alterations to the tenant space are minimal and compatible with the historic character of the property.</p> <p>Signage: The proposed projecting signs for the new commercial space (antique business) are compatible with the building. The remaining 16 signs, including the signs that identify the property owner, appear to be excessive. I recommend that the applicant submit a revised tenant sign package when it is clear how the currently vacant commercial space will be used.</p>
DPW - Transportation Planner	Internal Review Complete	12/14/2023	Neil Milcarek-Burke	<p>Previous comments from PR-22-12 still apply.</p> <p>There are significant concerns with the development as proposed:</p> <p>- Commercial properties are allowed 1 driveway/curb-cut at 24' max width in typical applications, transition</p>

curb to be 3' or less either side of cut.

- The proposed site plan includes 5+ driveways/curb-cuts with 12' of transition curbing each, totaling over 200' of curb-cut and far exceeding allowable dimensions. This design would introduce significant complexity to the curblines, while privatizing the curb space and preventing on-street parking.
- Additionally, the proposed design fails to provide a safe and comfortable streetscape for pedestrians by rendering the majority of the streetscape into an elongated driveway.
- The only permissible driveway/curb-cut is for the onsite parking area which should incorporate a single opening at 24' in width, with bollards along the property line to channelize access and prevent errant parking in the ROW/sidewalk area.
- The building frontages (both east and west) of the channelized access point are to incorporate full reveal 6" granite curbing outside of the center parking area 24' opening and the vehicular ramp area. Ramp area must be dimensioned and detailed on plans.
- Overhead/man doors along Burnet Avenue are to utilize curb side loading and curbside to be signed for on street parking as determined appropriate by DPW.
- 5' concrete sidewalk is required along the entire property frontage.
- Bike parking to be provided on site using 3 staple-style/inverted-u racks (no wave style) in a conspicuous and well-lit area near the main entrance.

DPW Sidewalks - Zoning	Pending	11/20/2023		
Eng. Design & Cons. - Zoning	Internal Review Complete	12/08/2023	Mirza Malkoc	<ul style="list-style-type: none"> <li>• All construction in the R.O.W. will require a permit, all construction in the R.O.W. to be per City standards and specifications.</li> <li>• Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review.</li> <li>• This is just a reminder that a Stormwater Pollution Prevention Plan (SWPPP) is required for review if the soil disturbance is greater than 10,000sf.</li> <li>• Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties &amp; to the City R.O.W.</li> <li>• The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan &amp; details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council Approval.</li> <li>• Onondaga County Plumbing Control shall review and approve the plans as well.</li> </ul>
DPW Sewers - Zoning	Internal Review Complete	12/11/2023	Vinny Esposito	<p>Any masonry washing will require permits through OCWEP.</p> <p>A Grading and drainage plan is required for the site.</p>
DPW Traffic Control- Zoning	Internal Review Complete	12/11/2023	Charles Gafrancesco	<p>12.11.23 All work that will effect the passage of vehicular traffic or pedestrians in the public ROW will require an MUTCD compliant WZTP to be submitted and approved.</p>
Onondaga Co Planning Board	Approved	01/08/2024	Zhitong Wu	No Position.
Eng. Mapping - Zoning	Internal Review Complete	12/15/2023	Ray Wills	Work shown should have no impact on Mapping Division assets in the area.
Planning Commission	Pending	01/08/2024		