

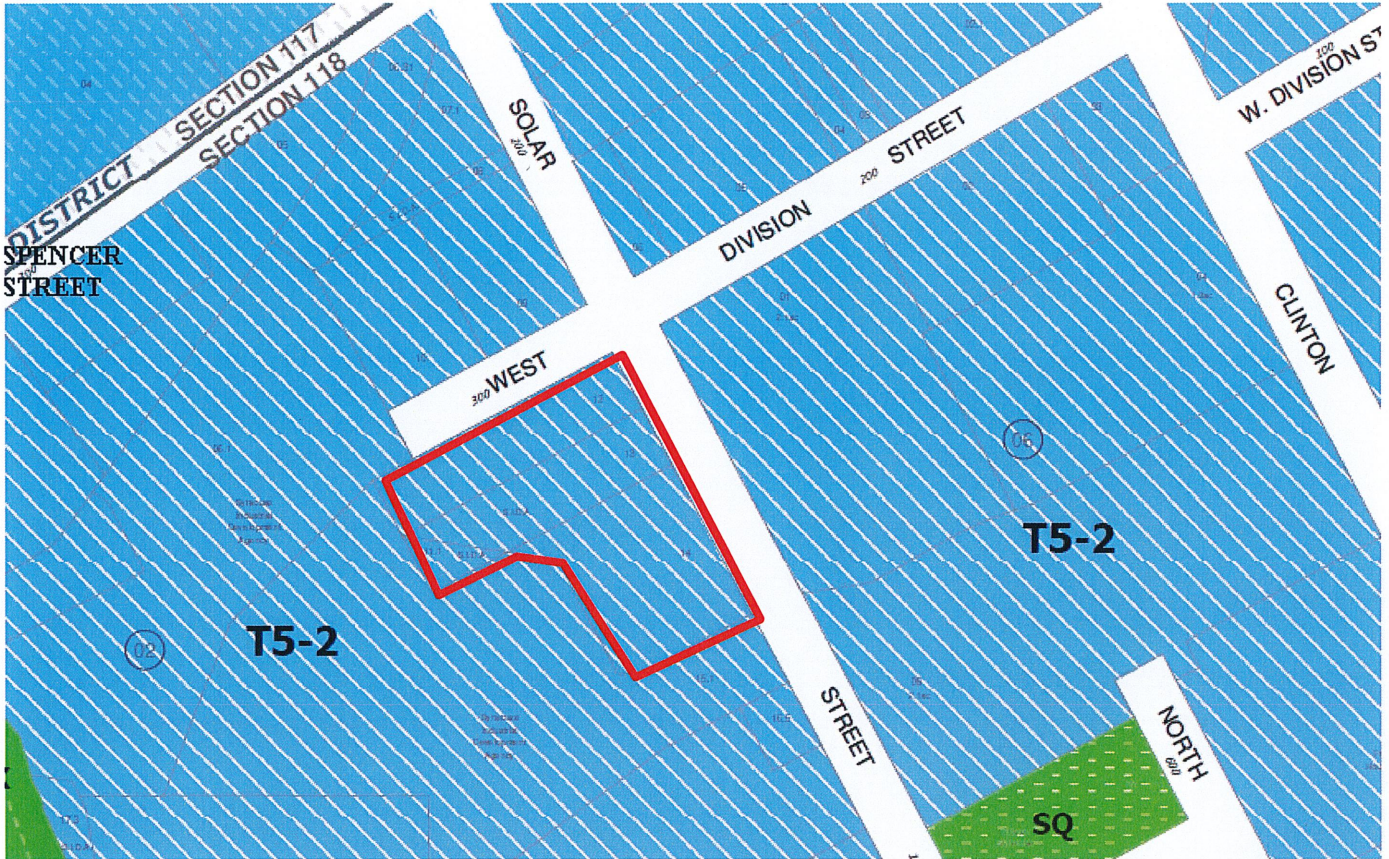
New Business
December 13, 2021

SR-20-02M2

Site Plan Review Modification-New Construction
Modify Site Plan
151-199 Solar Street
(aka 127, 163-167, 163-167 Rear, and 171 Solar Street)

- The applicant is requesting to **modify the site plan for the construction of a three-story, 54,480-square foot, mixed-use building** on property situated at 151-199 Solar Street (aka 127, 163-167, 163-167 Rear, and 171 Solar Street).
- The proposed revision consists of **constructing a storage shed adjacent to a dumpster enclosure** per the enclosed site plan (Sheet L3.0) and enclosure detail.
- Finishing materials for the shed and dumpster consist of brick and limestone.
- The City Planning Commission approved a Site Plan Review for the proposed building and site alterations (SR-20-02) on October 13, 2020.
- The City Planning Commission approved a Site Plan Review Modification on July 19, 2021, to reduce the number of off-street parking spaces by three, to 103 spaces (SP-20-02M1).
- The proposed revisions do not necessitate any exceptions from Part B, Section IX, Article 4 of the City of Syracuse Zoning Rules and Regulations, as amended.

151-199 Solar Street
Aka 127, 163-167, 163-167 rear and 171 Solar Street



Zoning District Map



Aerial Photo

151-199 Solar Street
Aka 127, 163-167, 163-167 rear and 171 Solar Street



Land Use Plan - Character Area Map

Industrial Legacy

Industrial Legacy areas are previous sites of heavy industry located near major road and rail (and former canal) corridors. With the evolution of industrial technologies, these remaining buildings are typically no longer appropriate for heavy industrial use, but may accommodate light-industry or warehousing. In many locations there is potential for conversion to retail, services, and residential uses. A wide range of building forms are typically found throughout the area—detached and row-style residential and commercial buildings may be interspersed among industrial activities. This is seen today along corridors such as W. Fayette Street, Erie Blvd. West, parts of Burnet Ave., and surrounding the intersection of Salina and Wolf Streets.

New construction should mimic the surrounding residential forms or the larger industrial forms (usually close to the sidewalk) depending on use. Fenestration patterns should respect surrounding precedent, as well. Setbacks, lot sizes, and parking arrangements will vary widely here since most projects are adaptive reuse of existing buildings, but every effort should be made to make development pedestrian friendly and provide ample landscaping and adequate screening in and around parking areas. Sidewalks here will often be narrower than in the Urban Core or Neighborhood Centers, but pedestrian spaces may be created on private parcels with ample open space.

151-199 Solar Street
Aka 127, 163-167, 163-167 rear and 171 Solar Street



Tax Map

City of Syracuse
Office of Zoning Administration

PROJECT SITE / SITE PLAN (LAKE FRONT) / MULTI-BUILDING / PROJECT PLAN
REVIEW APPLICATION

City Hall Commons - Room 500 * 201 E. Washington Street * Syracuse, NY 13202-1426

315-448-8640 * zoning@syrgov.net * www.syrgov.net/Zoning.aspx

Office Use Filing Date: 1/18/2021 Case: SR-20-02M2 Zoning District: LKF-T5[2]

REQUESTED (Check applicable and briefly describe.)

- Project Site Review: _____
- Site Plan Review (Lake Front): Additional Changes to Approved Site Plan SR-20-02
- Multi-Building Review: _____
- Project Plan Review: _____

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) <u>151-199 Solar St.</u>	<u>118.-02-13.1</u>	<u>400 W.Division St, LLC</u>	<u>2016</u>
2) _____	_____	_____	_____
3) _____	_____	_____	_____
4) _____	_____	_____	_____

As listed in the Department of Assessment property tax records at <http://syrgov.net/Assessment.aspx> - 315-448-8280.

COMPANION ZONING APPLICATION(S) (List any related City Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

- 1) _____ 2) _____ 3) _____

PROJECT CONSTRUCTION (Check all that apply and briefly describe, as applicable.)

- Demolition (full and partial): _____
- New Construction: _____
- Façade (Exterior) Alterations: _____
- Site Changes: Changes to Approved Site Plan SR-20-02

PROJECT INFORMATION (Briefly describe, as applicable.)

Project Name: Solar Street Mixed Use Development

Current Land Use(s): Vacant

Proposed Land Use(s): Residential and Commercial

Number of Dwelling Units: 28 units

Days and Hours of Operation: 5 days a wk.

Number of Onsite Parking Spaces: 103 parking spaces

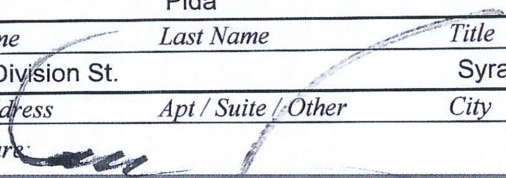
PROJECT DESCRIPTION (Provide a brief description of the project, including purpose or need.)

Site Plan SR-20-02 to be amended on proposed changes to the previously submitted Site plans. Changes include expansion of approved waste enclosure to add a 14' x 14' covered shed area per architectural plans. Utilities to be extended to shed for power and cleaning.

City of Syracuse Office of Zoning Administration

PROPERTY OWNER(S) (required)

As listed in Department of Assessment property tax records (<http://syrgov.net/Assessment.aspx> - 315-448-8280). If not listed as the owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a letter describing the legal arrangement. If the property owner is a Corporation or Organization, the person signing must provide member verification. **Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.**

David	Pida		400 W.Division St, LLC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
400 W. Division St.		Syracuse	NY	13204	<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i> janice.quinlan@rrms.com
<i>* Signature:</i> 			<i>Date:</i> 11.16.2021		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
<i>* Signature:</i>			<i>Date:</i>		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
<i>* Signature:</i>			<i>Date:</i>		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
<i>* Signature:</i>			<i>Date:</i>		

*** OWNER SIGNATURE DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

Scott	Freeman	Landscape Architec	Keplinger Freeman Assoc.		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
6320 Fly Rd.	109	East Syracuse	NY	13057	<i>Phone:</i> 315-445-7980
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i> vr@keplingerfreeman.com
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

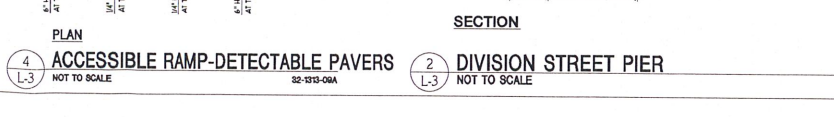
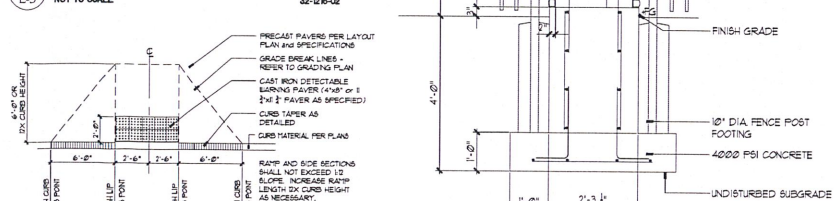
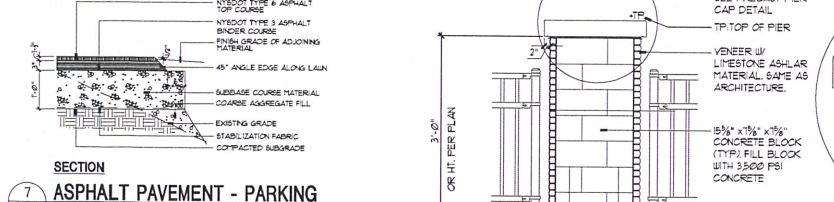
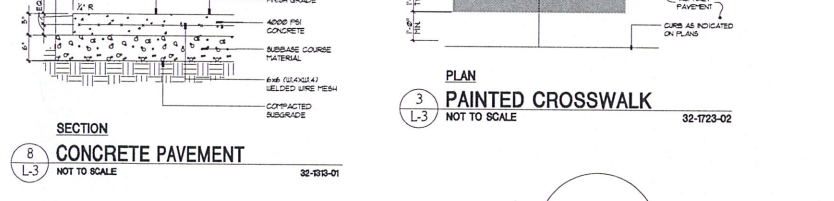
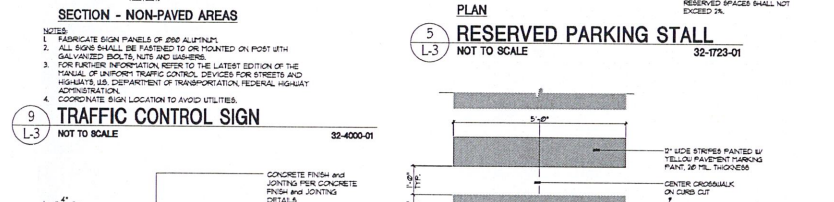
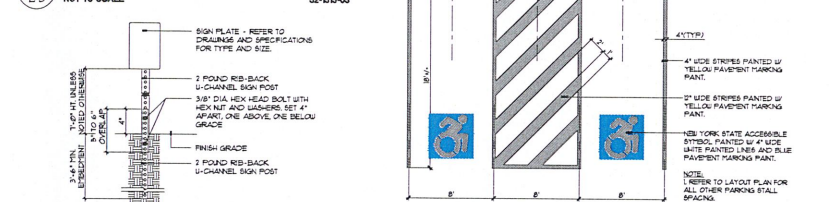
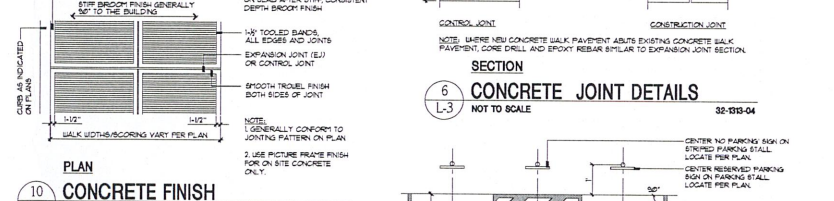
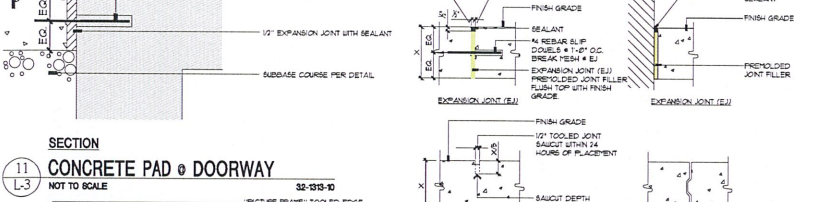
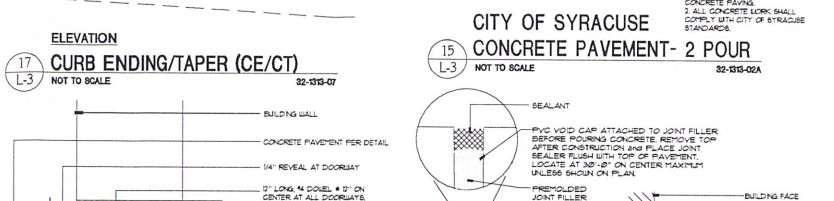
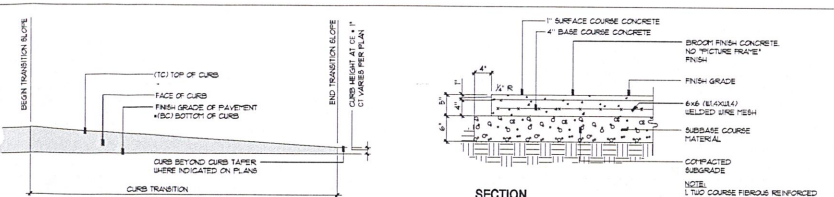
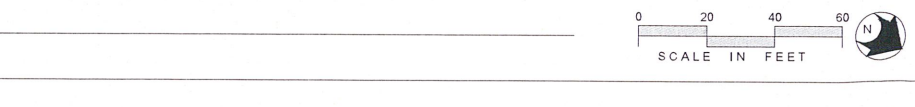
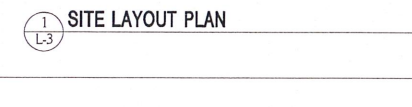
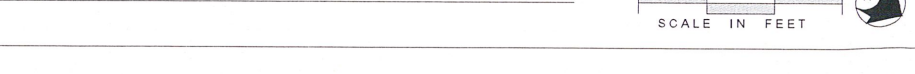
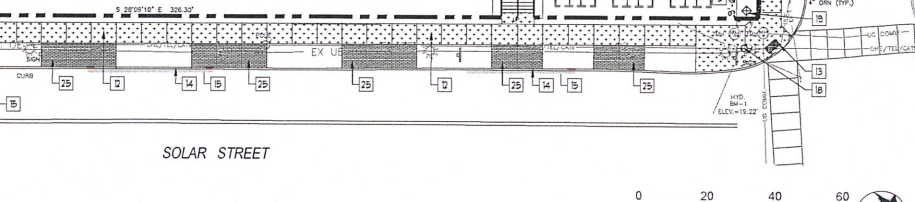
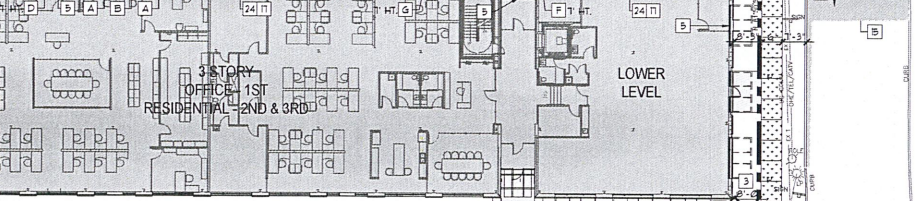
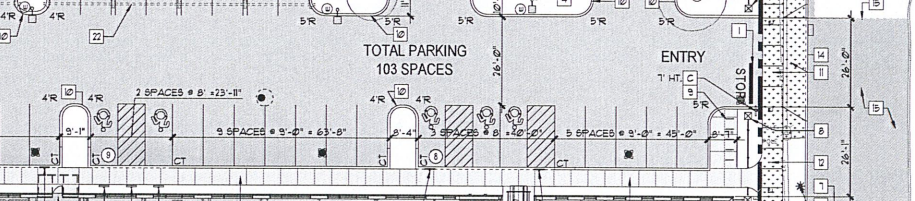
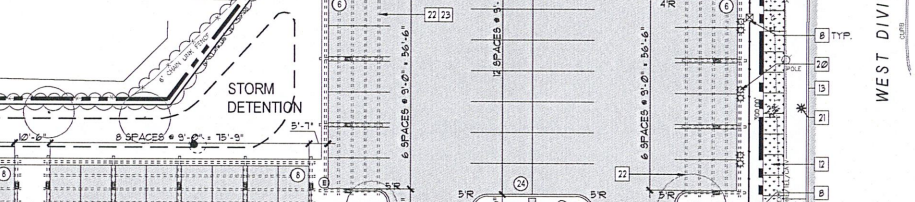
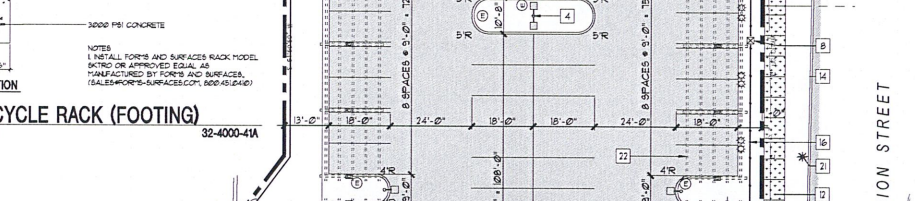
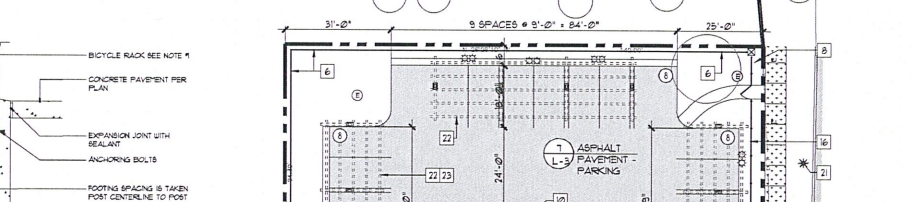
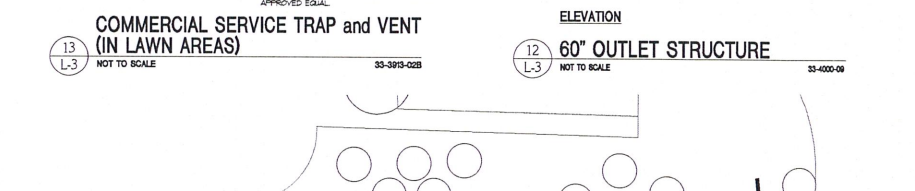
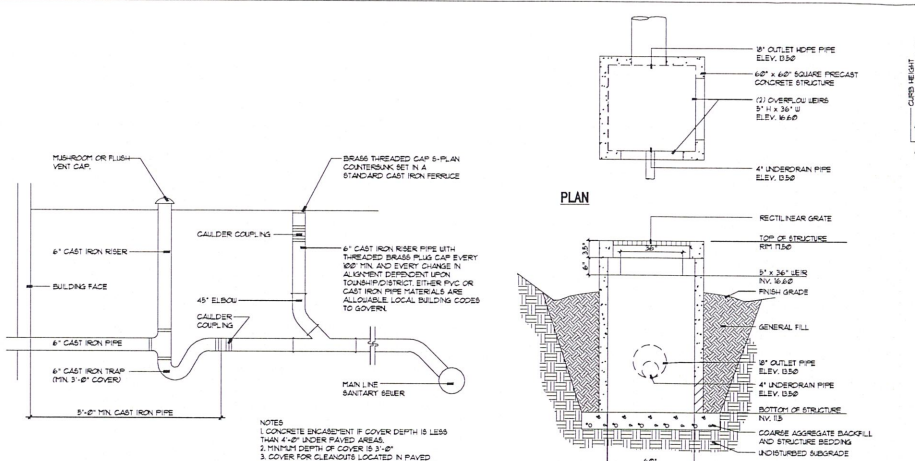
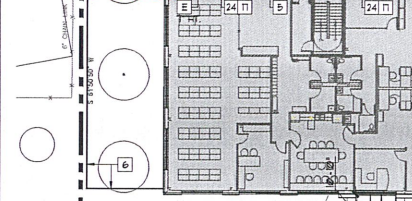
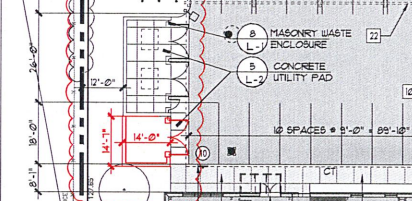
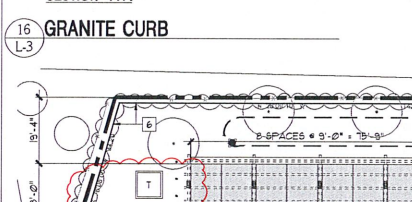
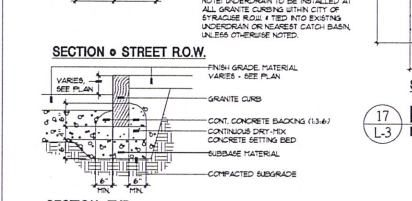
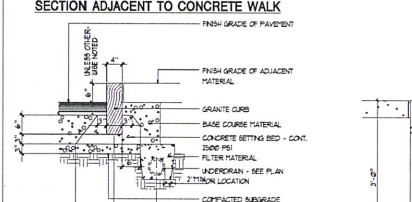
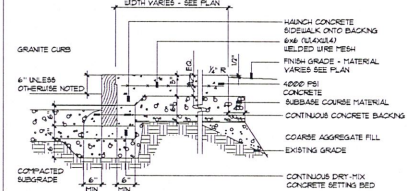
REPRESENTATIVE(S)/CONTACT(S) (if applicable)

Scott	Freeman	Landscape Architec	Keplinger Freeman Assoc.		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
Scott	109	East Syracuse	NY	13057	<i>Phone:</i> 315-445-7980
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i> vr@keplingerfreeman.com
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

ZONING DATA CHART		SOLAR-ZONING DATA	
ZONING - LAKEFRONT DISTRICT (T3-2)	REQUIRED	PROPOSED	
FRONT YARD SETBACK	18'-54"	326'	
SIDE YARD SETBACK	0'-0" FT	7'-6" (NORTH) 5'-0" (EAST)	
REAR YARD SETBACK	0'	25'-0" (SOUTH)	
BUILDING HEIGHT	3-6 STORIES	3 STORIES	

PARKING DATA CHART		SOLAR-PARKING DATA	
PARKING SPACES SIZE: 9' X 18'			
PROFESSIONAL OFFICE - 1 SPACE PER 500 SF	REQUIRED	PROVIDED	
RESIDENTIAL (MULTIPLE DWELLINGS) - 1 SPACE PER DWELLING UNIT	REQUIRED	PROVIDED	
OFFICE - 18,600 TOTAL SF	38 SPACES	73 SPACES	
RESIDENTIAL - 16 UNITS (NO FLR)	16 SPACES	16 SPACES	
TOTAL SPACES	54 SPACES	89 SPACES	

NOTE: 1. SOME PARKING AREAS WILL BE COVERED WITH EITHER A STRUCTURE OR SOLAR STRUCTURE. REFER TO STRUCTURAL PLANS FOR PARKING CANOPY CONSTRUCTION. REFER TO MEP ELECTRICAL DRAWINGS FOR SOLAR ARRAY CONSTRUCTION.

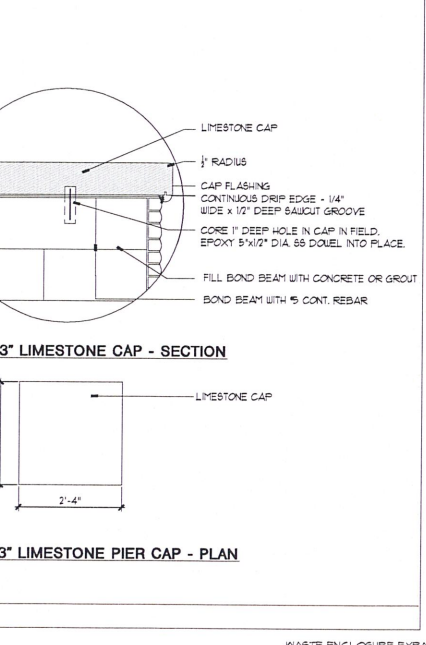


- ### LAYOUT CONSTRUCTION NOTES
- 1" WIDE PAINTED WHITE STOP BAR AND PAINTED WHITE 3" HEIGHT STOP.
 - 4" WIDE PAINTED LINES (TYP).
 - BUILDING LAYOUT BASELINE.
 - INSTALL LIGHT POLE AND CONDUIT PER ELECTRICAL DRAWINGS.
 - INSTALL DOORBELL AT DOORWAYS PER DETAIL 10L-3.
 - INSTALL ORNAMENTAL FENCE PER DETAIL 7A-4.
 - MATCH EXISTING ROW STREET CUT ASPHALT PAVEMENT REPAIR PER DETAIL 7A-10.
 - INSTALL WALL COLUMN/PIER PER DETAIL 7A-3.
 - INSTALL STAPLE STYLE BACK ROCKS PER DETAIL 17A-3.
 - INSTALL CONCRETE CURB PER DETAIL 9A-2-0.
 - INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT 2 FOUR (7" OVERALL KARRON DRIVEWAY).
 - INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT 2 FOUR (5" OVERALL KARRON DRIVEWAY).
 - INSTALL ADA PANEL PER DETAIL 4L-3.
 - INSTALL GRANITE CURB PER DETAIL 6L-1.
 - INSTALL ASPHALT PAVEMENT PER CITY OF SYRACUSE DETAIL 9L-4.
 - INSTALL ORNAMENTAL FENCING PER DETAIL 7A-4.
 - INSTALL CONCRETE PAVEMENT PER DETAIL 9L-3.
 - EXISTING FIRE HYDRANT.
 - INSTALL BUILDING MONUMENT PER FUTURE DETAIL SIGNAGE MUST BE APPROVED BY CITY OF SYRACUSE PRIOR TO INSTALLATION.
 - INSTALL EV CHARGER STATION PER MEP DRAWING E-6-01.
 - CITY OF SYRACUSE ROW LIGHTING TO BE COORDINATED WITH CITY OF SYRACUSE DEPARTMENT OF PUBLIC WORKS.
 - PARKING LOT CANOPIES AND ROOFINGS PER STRUCTURAL PLANS.
 - COORDINATE PARKING LOT CANOPIES WITH SOLAR PANELS WITH MEP DRAWINGS.
 - COORDINATE LIMITS OF SNOW MELT SYSTEM WITH MEP DRAWING M-3-01.
 - INSTALL BRICK PAVING WITH SOLIDER COURSE PER DETAIL 8A-1. COLOR TO MATCH EXISTING BRICKS * SOLAR 4 PLUM STREET.

SIGN SCHEDULE

KEY	SIGN PLATE	RESERVED PARKING ANY TIME	NO PARKING ANY TIME	STOP SIGN	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO LEFT	NO PARKING ANY TIME	NO PARKING ANY TIME
A	RESERVED PARKING ANY TIME	RESERVED PARKING ANY TIME	NO PARKING ANY TIME	STOP SIGN	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO LEFT	NO PARKING ANY TIME	NO PARKING ANY TIME
B	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	STOP SIGN	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO LEFT	NO PARKING ANY TIME	NO PARKING ANY TIME
C	STOP SIGN	STOP SIGN	STOP SIGN	STOP SIGN	STOP SIGN	STOP SIGN	STOP SIGN	STOP SIGN
D	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO RIGHT	EMPLOYEE PARKING TO RIGHT
E	EMPLOYEE PARKING TO LEFT	EMPLOYEE PARKING TO LEFT	EMPLOYEE PARKING TO LEFT	EMPLOYEE PARKING TO LEFT	EMPLOYEE PARKING TO LEFT	EMPLOYEE PARKING TO LEFT	EMPLOYEE PARKING TO LEFT	EMPLOYEE PARKING TO LEFT
F	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME
G	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME	NO PARKING ANY TIME

NOTES:
1. REFER TO TRAFFIC CONTROL SIGN DETAIL 9L-3 FOR INSTALLATION IN NON-PAVED AREAS. REFER TO TRAFFIC CONTROL SIGN IN BOLLARD DETAIL 10L-4 FOR INSTALLATION IN PAVED/CONCRETE AREAS.
2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT N.Y.S.D.O.T. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
3. ALL SIGNS SHALL BE 4'-0" UNLESS INDICATED ON PLANS.



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F: 315.472.3756
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6201 W. 10TH ST. SUITE 100
SUNNYVALE, NY 13290
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RZ Engineering, PLLC
REGISTERED PROFESSIONAL ENGINEER
1000 W. 10TH ST. SUITE 100
SUNNYVALE, NY 13290
PHONE: (315) 443-7800 FAX: (315) 443-1981

REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW YORK
NO. 10393

PIDA MULTI-USE PROJECT
151-99 SOLAR ST.
SYRACUSE, NY 13204

REVISIONS

NO.	DATE	BY
6.	7-27-21	KFA
7.	8-12-21	KFA
8.	8-25-21	KFA
9.	9-07-21	KFA
10.	10-14-21	KFA
11.	10-19-21	KFA

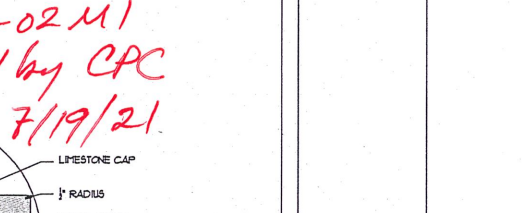
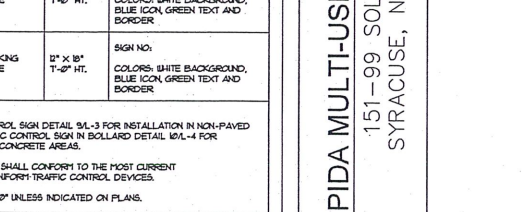
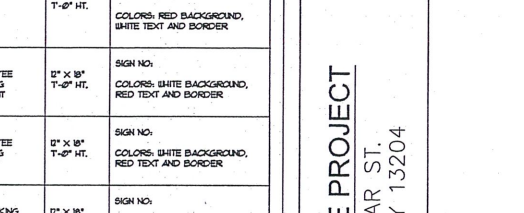
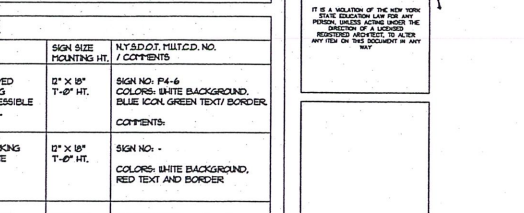
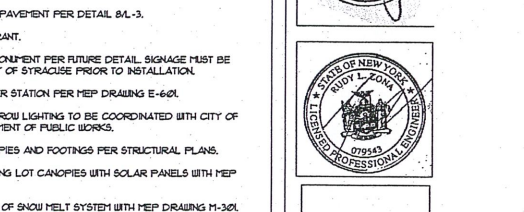
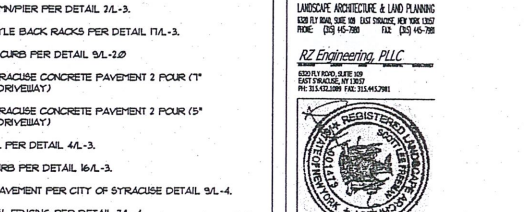
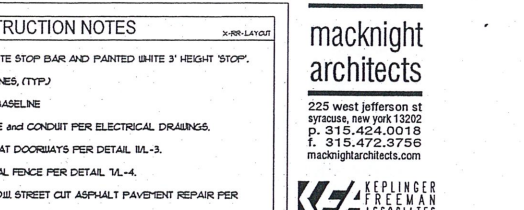
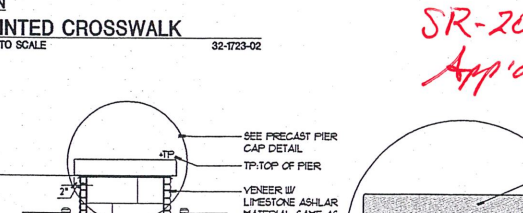
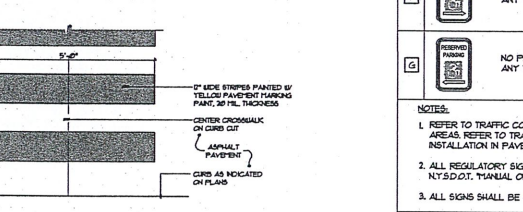
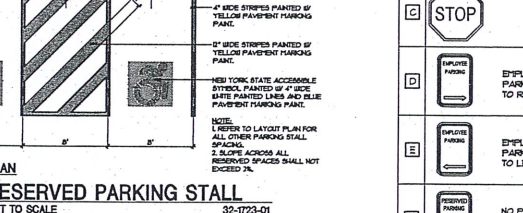
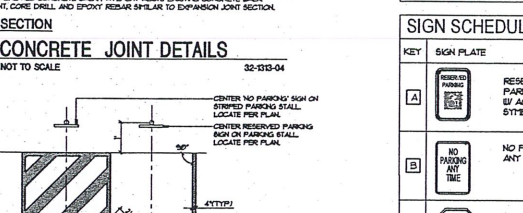
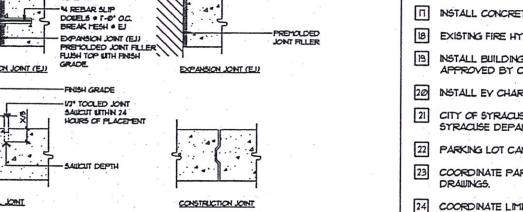
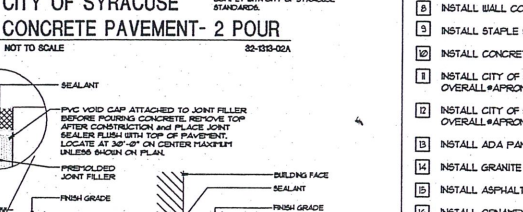
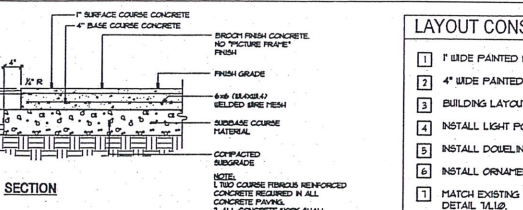
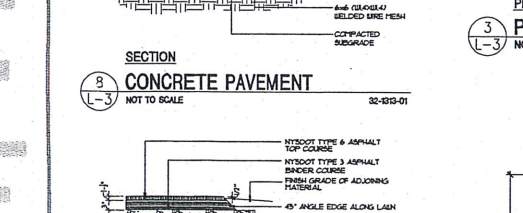
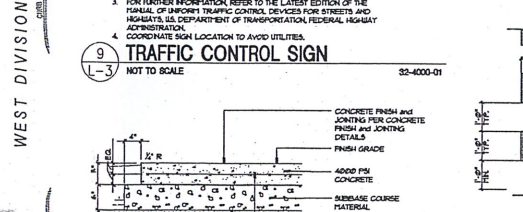
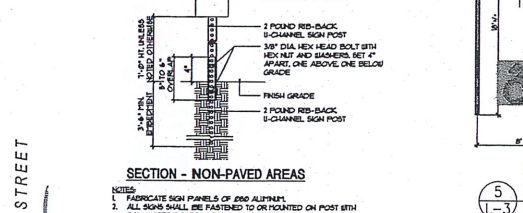
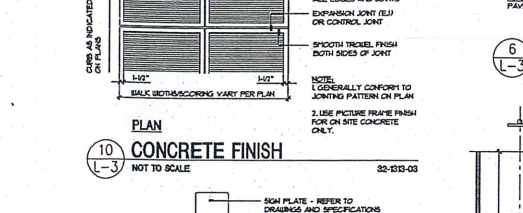
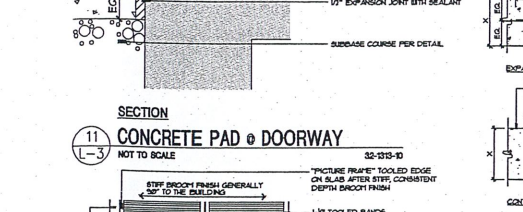
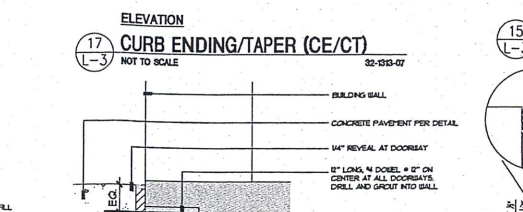
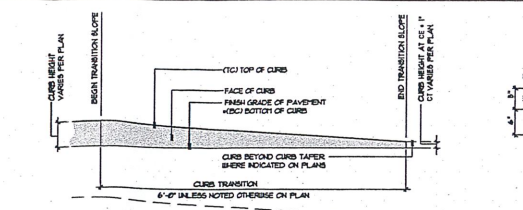
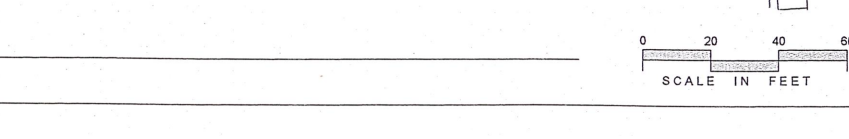
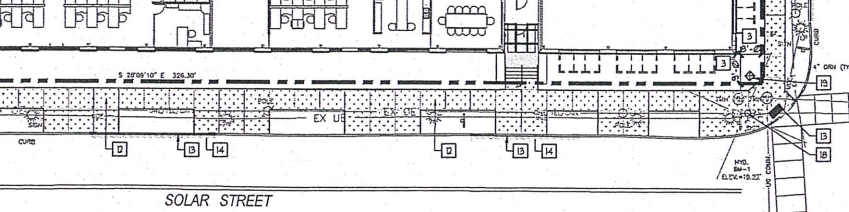
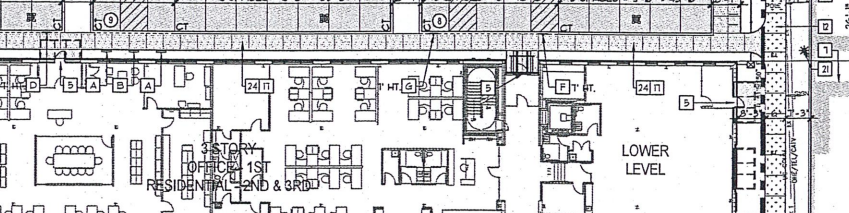
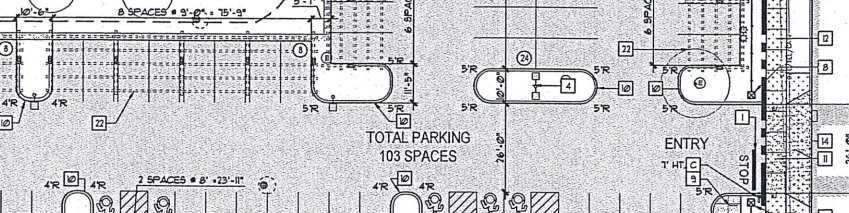
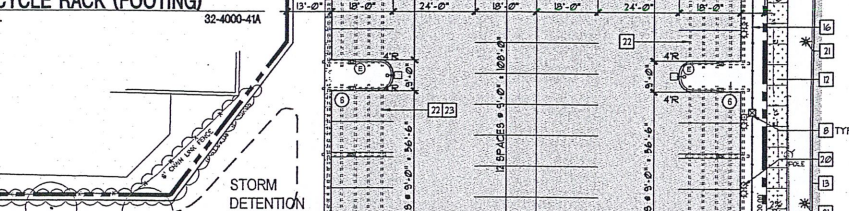
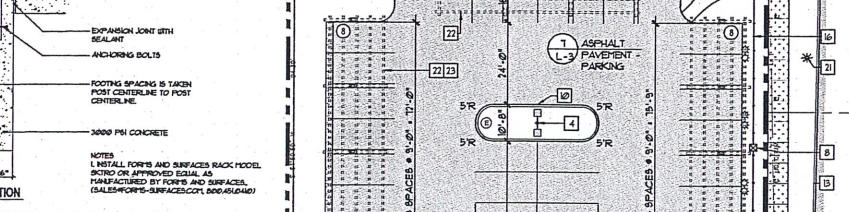
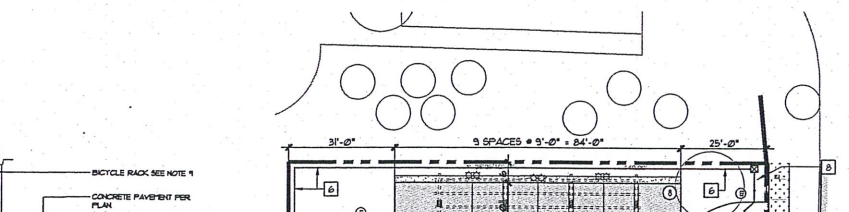
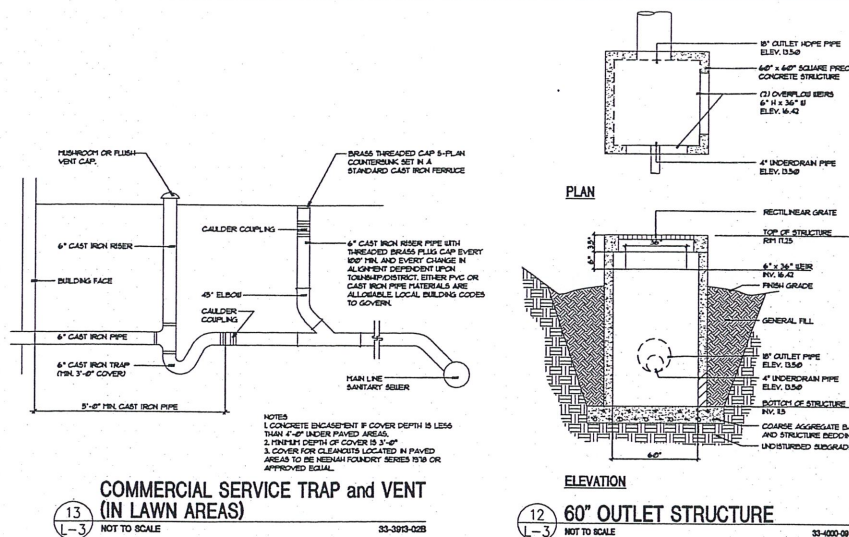
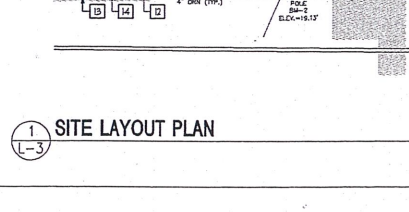
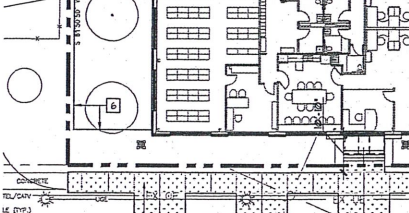
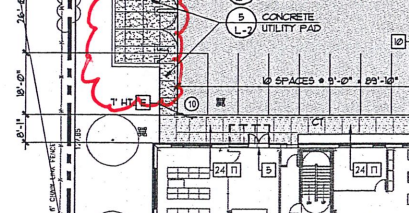
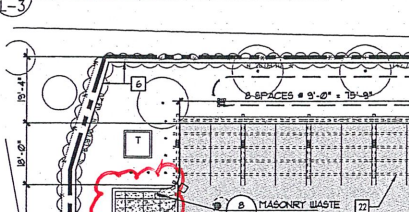
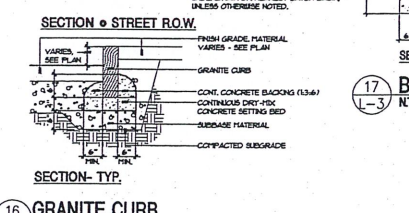
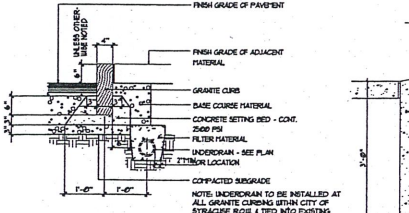
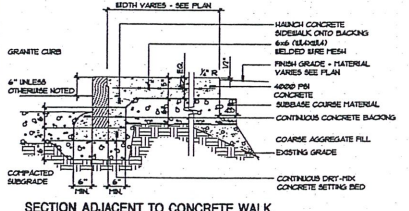
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SCALE: 1"=20'
DRAWN: VER
PROJ.: 35056
TITLE: SITE LAYOUT PLAN

L3.0

WASTE ENCLOSURE EXPANSION CITY SUBMISSION

ZONING DATA CHART		SOLAR-ZONING DATA	
ZONING - LAKEFRONT DISTRICT (T5-2)	REQUIRED	PROPOSED	
LOT WIDTH	18'-5"	336'	
FRONT YARD SETBACK	0'-0" FT	7'-6" (NORTH) 9'-1" (EAST)	
SIDE YARD SETBACK	0'	25'-0" (SOUTH)	
REAR YARD SETBACK	0'	23'-0" (WEST) 9'-4" (EAST)	
BUILDING HEIGHT	3-6 STORIES	3 STORIES	

PARKING DATA CHART		SOLAR-PARKING DATA	
PARKING SPACES SIZE: 9' X 18'			
PROFESSIONAL OFFICE - 1 SPACE PER 500 SF	REQUIRED	PROVIDED	
RESIDENTIAL (MULTIPLE DWELLINGS) - 1 SPACE PER DWELLING UNIT	REQUIRED	PROVIDED	
OFFICE - 18,600 TOTAL SF	38 SPACES	72 SPACES	
RESIDENTIAL - 16 UNITS (2ND FLR)	16 SPACES	16 SPACES	
RESIDENTIAL - 16 UNITS (3RD FLR)	16 SPACES	16 SPACES	
TOTAL SPACES	70 SPACES	103 SPACES	



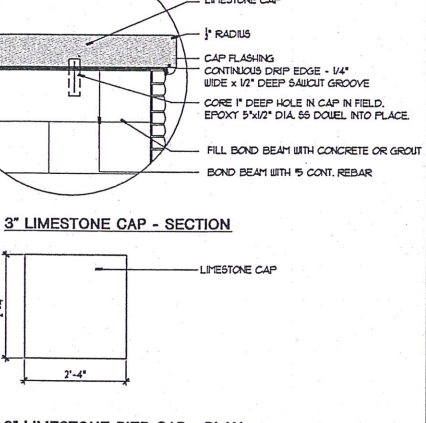
- ### LAYOUT CONSTRUCTION NOTES
- 1" WIDE PAINTED WHITE STOP BAR AND PAINTED WHITE 3" HEIGHT 'STOP'.
 - 4" WIDE PAINTED LINES (TYP.)
 - BUILDING LAYOUT BASELINE
 - INSTALL LIGHT POLE AND CONDUIT PER ELECTRICAL DRAWINGS.
 - INSTALL DOUBLING AT DOORWAYS PER DETAIL 11L-3.
 - INSTALL ORNAMENTAL FENCE PER DETAIL 11L-4.
 - MATCH EXISTING ROW STREET CURT ASPHALT PAVEMENT REPAIR PER DETAIL 11L-6.
 - INSTALL WALL COLUMN/PIER PER DETAIL 21L-3.
 - INSTALL STAPLE STYLE BACK RACKS PER DETAIL 11L-3.
 - INSTALL CONCRETE CURBS PER DETAIL 9L-2/3.
 - INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT 2 POUR (TYP) OVER ALL PAVEMENT DRIVEWAYS.
 - INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT 2 POUR (5' OVERALL PAVEMENT DRIVEWAY).
 - INSTALL ADA PANEL PER DETAIL 4L-3.
 - INSTALL GRANITE CURBS PER DETAIL 16L-3.
 - INSTALL ASPHALT PAVEMENT PER CITY OF SYRACUSE DETAIL 9L-4.
 - INSTALL ORNAMENTAL FENCING PER DETAIL 11L-4.
 - INSTALL CONCRETE PAVEMENT PER DETAIL 8L-3.
 - EXISTING FIRE HYDRANT.
 - INSTALL BUILDING MONUMENT PER FUTURE DETAIL. SIGNAGE MUST BE APPROVED BY CITY OF SYRACUSE PRIOR TO INSTALLATION.
 - INSTALL EV CHARGER STATION PER MEP DRAWING E-601.
 - CITY OF SYRACUSE ROW LIGHTING TO BE COORDINATED WITH CITY OF SYRACUSE DEPARTMENT OF PUBLIC WORKS.
 - PARKING LOT CANOPIES AND FOOTINGS PER STRUCTURAL PLANS.
 - COORDINATE PARKING LOT CANOPIES WITH SOLAR PANELS WITH MEP DRAWINGS.
 - COORDINATE LIMITS OF SNOW MELT SYSTEM WITH MEP DRAWING M-301.

SIGN SCHEDULE

KEY	SIGN PLATE	SIGN SIZE POINTING HT.	NYSDOT PLT.CD. NO. / COMMENTS
A	RESERVED PARKING BY ACCESSIBLE SYMBOL	8" x 8" T-20" HT.	SIGN NO. PA-6 COLORS: WHITE BACKGROUND, BLUE ICON GREEN TEXT BORDER
B	NO PARKING ANY TIME	8" x 8" T-20" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
C	STOP SIGN	24" x 24" T-20" HT.	SIGN NO. RS-1C COLORS: RED BACKGROUND, WHITE TEXT AND BORDER
D	EMPLOYEE PARKING TO RIGHT	8" x 8" T-20" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
E	EMPLOYEE PARKING TO LEFT	8" x 8" T-20" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
F	NO PARKING ANY TIME	8" x 8" T-20" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT AND BORDER
G	NO PARKING ANY TIME	8" x 8" T-20" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT AND BORDER

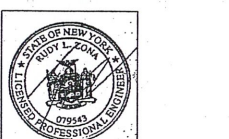
NOTES:
 1. REFER TO TRAFFIC CONTROL SIGN DETAIL 9L-3 FOR INSTALLATION IN NON-PAVED AREAS. REFER TO TRAFFIC CONTROL SIGN IN BOLLARD DETAIL 9L-4 FOR INSTALLATION IN PAVED/CONCRETE AREAS.
 2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NYSDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 3. ALL SIGNS SHALL BE 4'-0" UNLESS INDICATED ON PLANS.

SR-20-02 M1
 App'd by CPC
 7/19/21



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 macknightarchitects.com

KLING STUBBINS
 LANDSCAPE ARCHITECTURE & LAND PLANNING
 100 N. WASHINGTON ST. SUITE 1000
 SYRACUSE, NY 13202
 TEL: (315) 462-7800 FAX: (315) 462-7808



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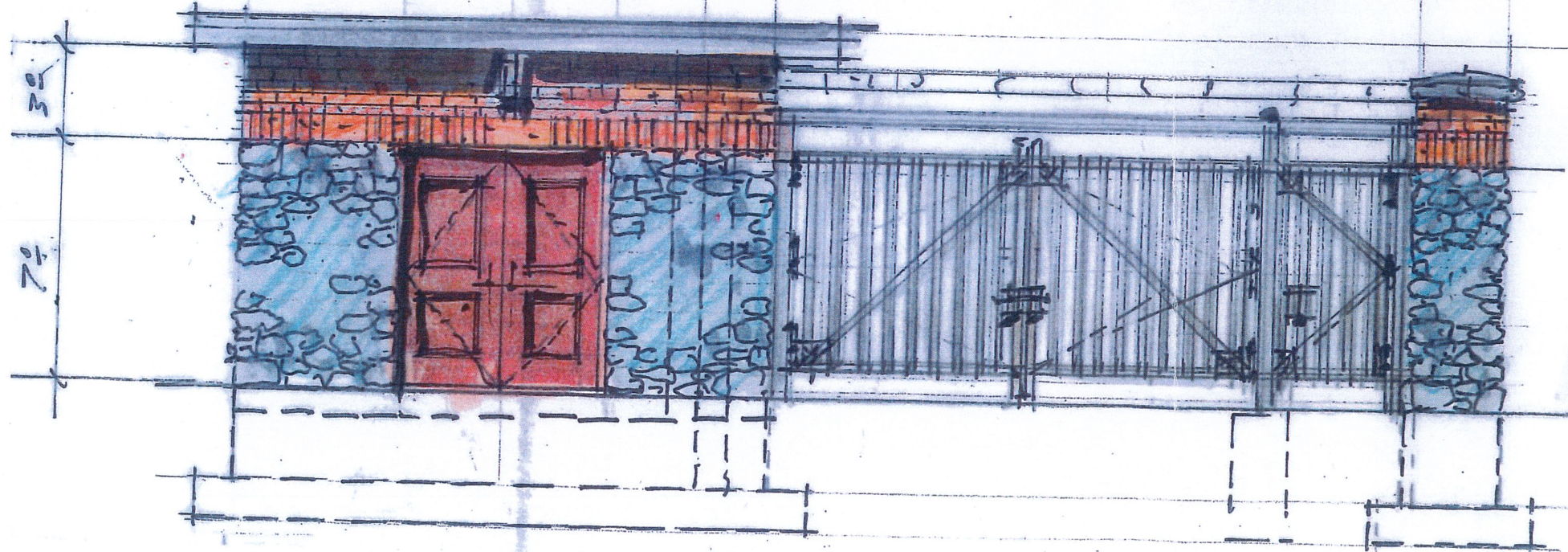
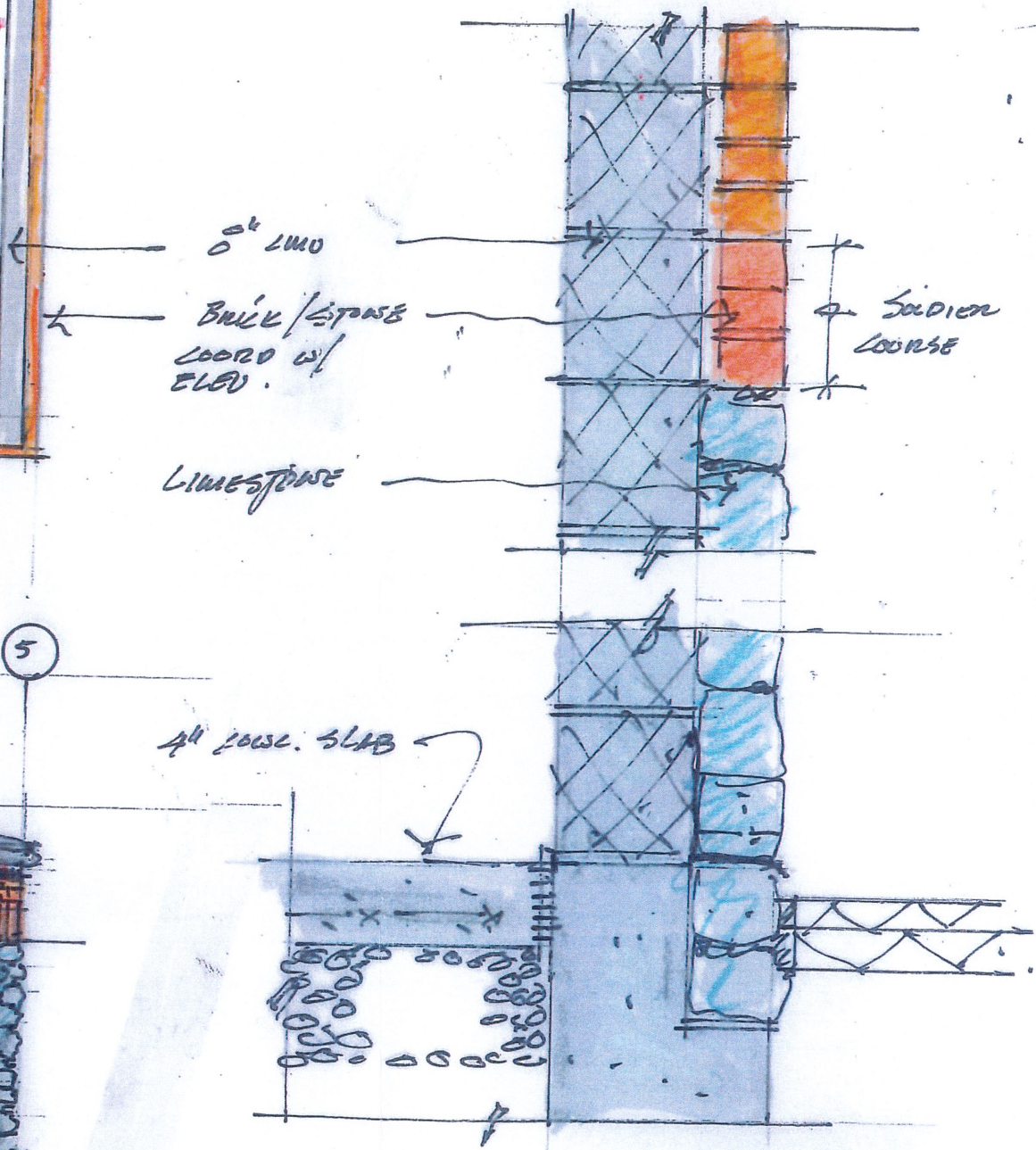
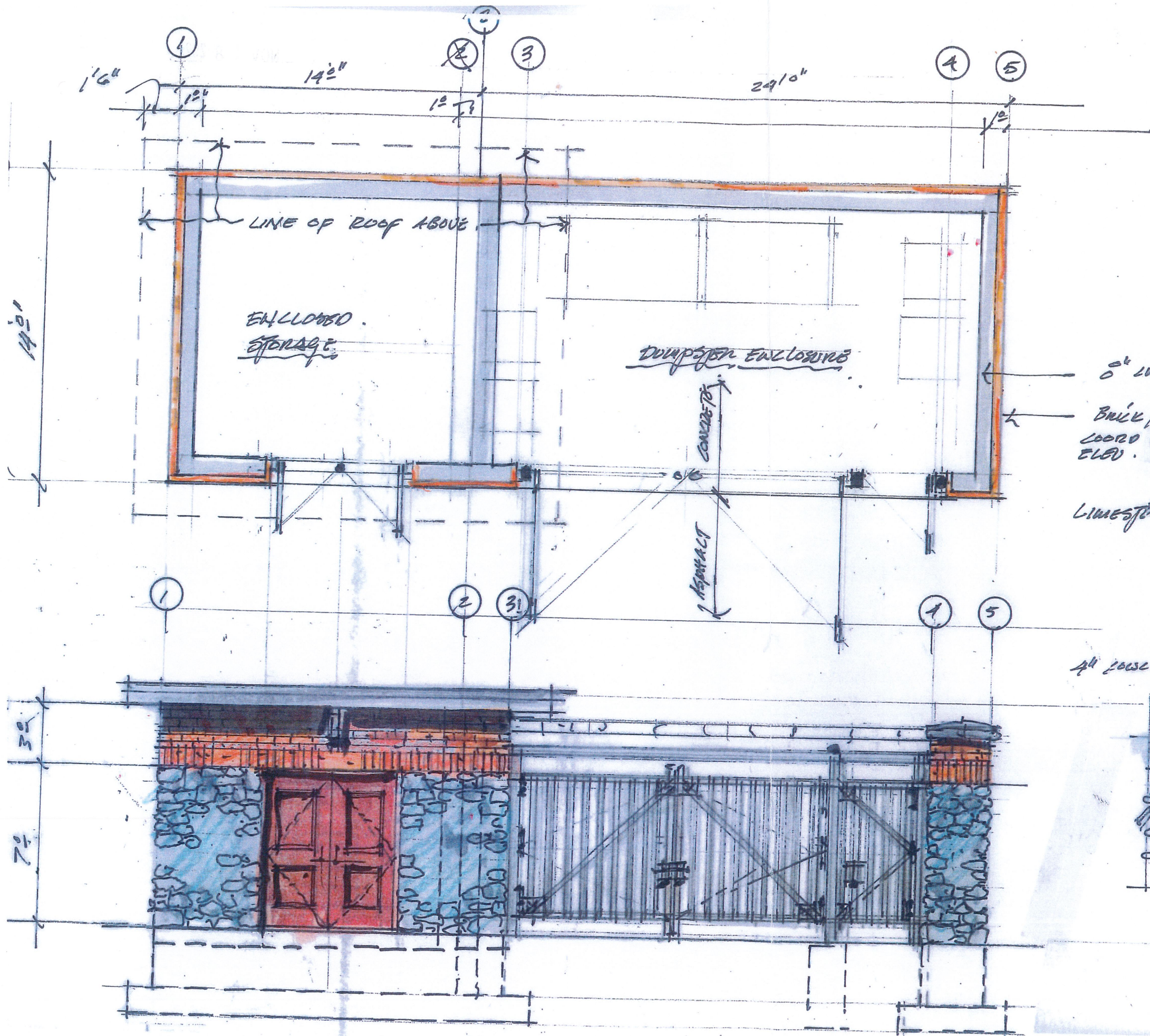
PIDA MULTI-USE PROJECT
 151-99 SOLAR ST.
 SYRACUSE, NY 13204

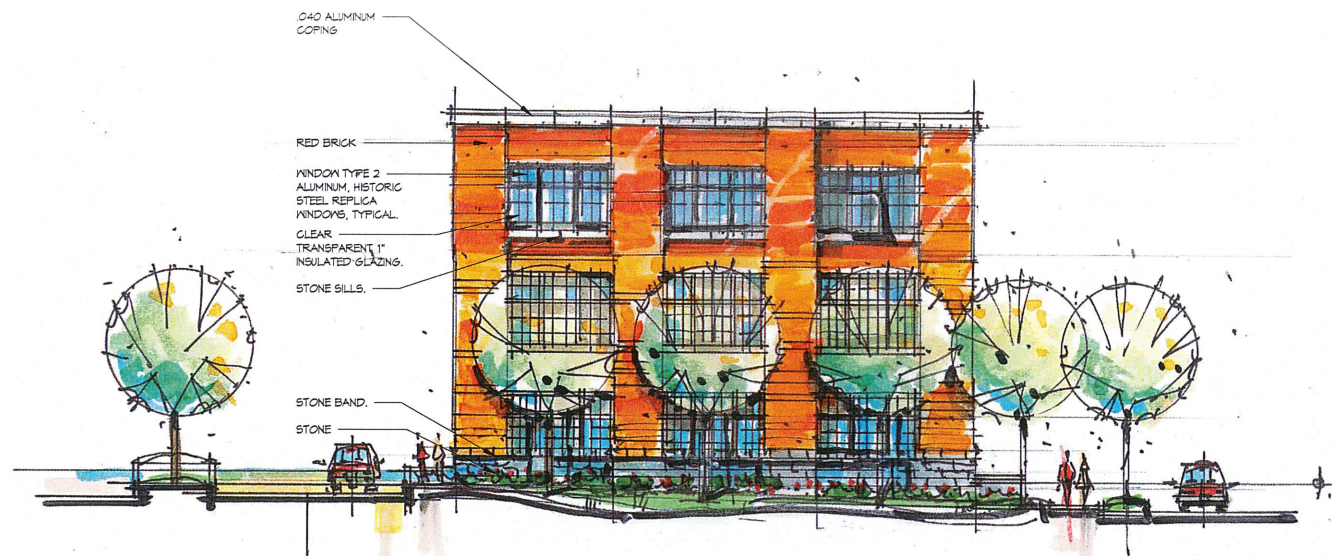
REVISIONS

NO.	DATE	BY
1.	8-14-20	KFA
2.	1-19-21	KFA
3.	5-10-21	KFA
4.	5-28-21	KFA

DATE: 08-14-20
 SCALE: 1"=20'
 DRAWN: CRF
 PROJ: 35056
 TITLE: SITE LAYOUT PLAN

L3.0





10 SOUTH ELEVATION

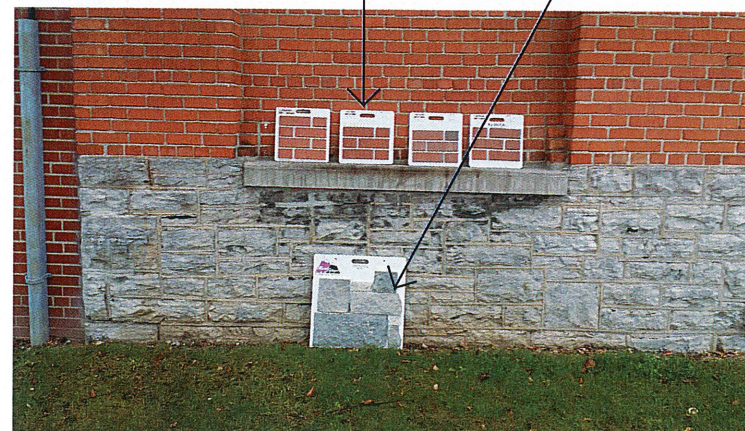


20 NORTH ELEVATION



PROPOSED WINDOWS
(WINDOW TYPE 1) ALUMINUM, SIMULATED HISTORIC STEEL SASH
Manufacturer: Winco, or EQUAL
Series: 3250, 3.25" steel replica
Color: Black
(WINDOW TYPE 2) ALUMINUM, SIMULATED HISTORIC STEEL SASH
HUNG WINDOW
Manufacturer: Winco, or EQUAL
Series: 1450-HR-SR HUNG REPLICA
Color: Black

PROPOSED MASONRY MATERIALS (OR EQUAL)
BRICK
MANUFACTURER- Glensery, Hammar
TYPE- Facebrick
SERIES: Red
FINISH: Matt
STONE
MANUFACTURER- Rolling Rock Building Stone
TYPE- Real Stone veneer
SERIES: Real Stone Platinum Series
Color: Seneca Limestone Gray Ashlar



PROPOSED MASONRY MATERIALS SHOWN AT BUILDING ACROSS THE STREET (DUPLI GRAPHICS)



PROPOSED BRICK COLOR
SHOWN AGAINST DUPLI GRAPHICS BUILDING
ACROSS THE STREET FROM THIS SITE



Seneca Limestone® gray ashlar

PROPOSED LIMESTONE VENEER

01 PROPOSED MATERIALS

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAWS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED REGISTERED ARCHITECT, TO ALTER AN ITEM ON THIS DOCUMENT IN ANY WAY.

MIXED-USE BUILDING
151-99 Solar Street
Syracuse, New York

REVISIONS

NO.	DATE	BY

DATE 8/14/20

SCALE

DRAWN SM

PROJ. --

TITLE
NORTH & SOUTH
ELEVATIONS

A-202



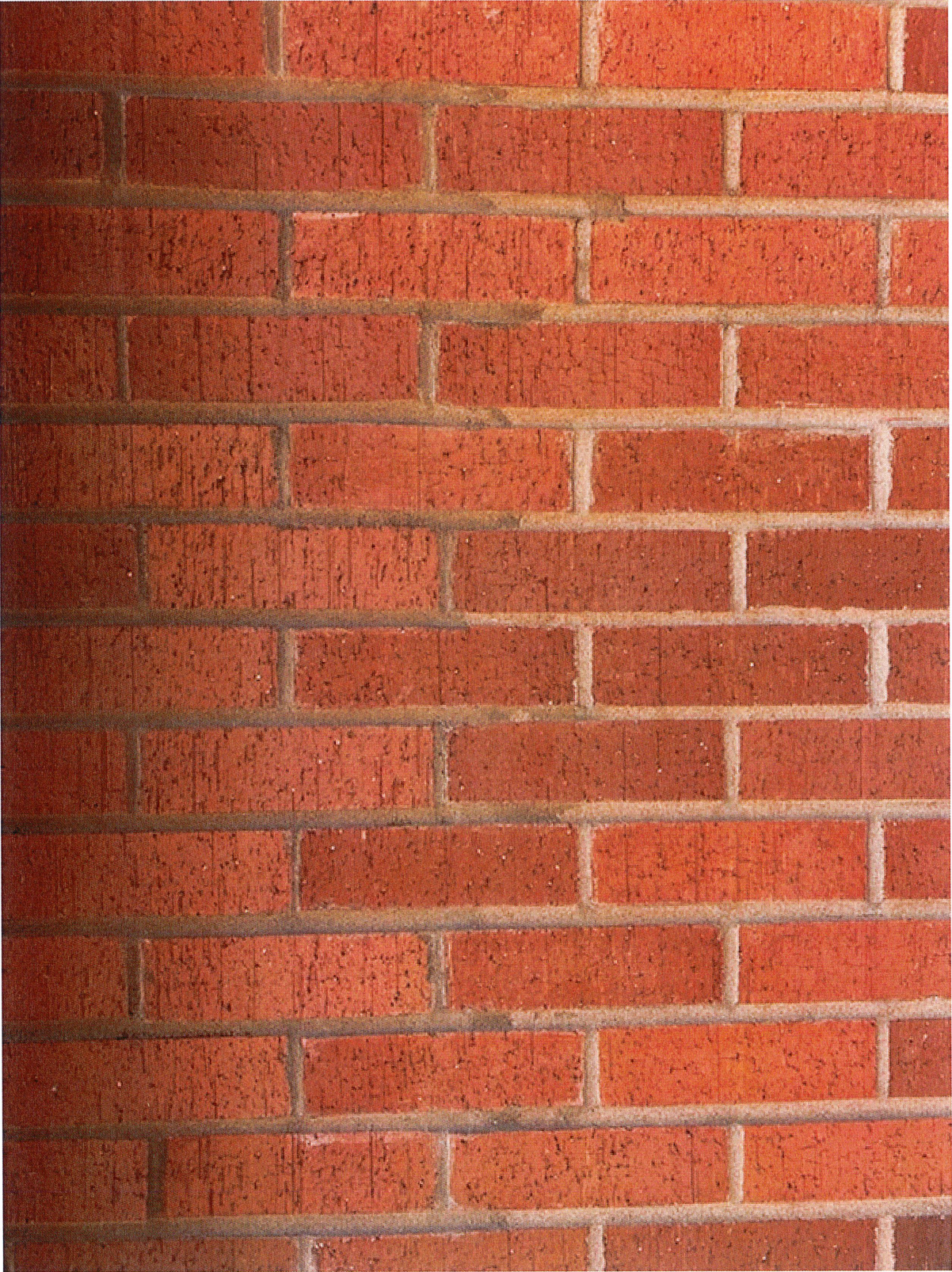
Real Stone
VENEER
The Natural Stone ... and the rest!

PLATINUM SERIES
Piedmont™





Seneca Limestone® gray ashlar



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Solar Street Commercial Development			
Project Location (describe, and attach a location map): 151-99 Solar St. & W. Division St. (Tax ID 118-02-13.1)			
Brief Description of Proposed Action: Site Plan SR-20-02 to be amended on proposed changes to the previously submitted Site plans. Changes include expansion of approved waste enclosure to add a 14' x 14' covered shed area per architectural plans. Utilities to be extended to shed for power and cleaning.			
Name of Applicant or Sponsor: Dave Pida		Telephone:	
		E-Mail:	
Address: 400 W. Division St.			
City/PO: Syracuse		State: NY	Zip Code: 13204
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYSDEC		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 1.66 acres			
b. Total acreage to be physically disturbed? _____ 1.66 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ XXX acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

1005 11/1/2019

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

1505 8 1 2016

