

OFFICE OF ZONING ADMINISTRATION

Ben Walsh, Mayor

PUBLIC NOTICE CITY OF SYRACUSE BOARD OF ZONING APPEALS

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held on Thursday, January 16th, 2025, at 1:00 p.m. in the Common Council Chambers, City Hall, Syracuse, New York to consider in full, or in part, the following applications. *Please note this is not necessarily the order in which they will be heard*.

 <u>Application V-24-25</u> is a Use Variance requesting to deviate from Article 4, Section 4.4F(4) of the Syracuse Zoning Ordinance by proposing 18 off-street parking spaces between the front building facade and adjacent street frontage for the proposed "Family Support Facility" use type (Children Rising Center). The property is located at 311 East Taylor Street. The property is owned by Syracuse House Authority and is within the Neighborhood Center (MX-2) Zone District.

The above proposals will be open for inspection 72-hours prior to the public hearing at the Office of Zoning Administration, or on-line at <u>https://www.syr.gov/Boards-and-Commissions/BZA/BZA-Meetings</u>. Persons wishing to comment on an application may do so in person or by attorney at the public hearing. Written comments may be filed at the public hearing, mailed, or emailed to the Office of Zoning Administration at 300 S State Street, Suite 700, Syracuse, NY 13202, or Zoning@syr.gov.

AGENDA BOARD OF ZONING APPEALS **Thursday, January 16th, 2025** 1:00 P.M. CITY HALL COMMON COUNCIL CHAMBERS

I. Call to Order

- II. Adoption of the minutes of the December 12, 2024 Board of Zoning Appeals Meeting
- III. Public Hearing

A. New Business

1) <u>V-24-25</u>

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A Use Variance to allow parking between the front building façade of a future ChildrenRising Center and adjacent street frontage.311 East Taylor StreetWilliam J. Simmons, Syracuse Housing Authority Owner/ApplicantMX-2 Zone District

IV. Adjourn

Minutes City of Syracuse Board of Zoning Appeals Thursday, December 12th, 2024 1:00 p.m. Common Council Chamber

I. Meeting called to order at 1:00 p.m.

Members Present		Staff Present	
Mr. Michael Cheslik	Yes	Mr. Jake Dishaw	No
Ms. Honora Spillane	Yes	Ms. Meira Hertzberg	Yes
Ms. Karen Gillette	Yes	Mr. Cristian Toellner	Yes
Mr. Otis. Jennings	Yes	Mr. Zhitong Wu	Yes
Mr. Timothy Rudd	Yes	Mr. Nate Pan	No
Mr. Liam Kirst	No	Ms. Amber Dillon	No
Ms. Honora Spillane Ms. Karen Gillette Mr. Otis. Jennings Mr. Timothy Rudd	Yes Yes Yes Yes	Ms. Meira Hertzberg Mr. Cristian Toellner Mr. Zhitong Wu Mr. Nate Pan	Yes Yes Yes No

II. Approval of Minutes

A motion to approve November 21st, 2024, meeting minutes was made by Mr. Cheslik and seconded by Mr. Jennings. The motion carried unanimously.

III. Public Hearings

A. New Business

1) <u>V-24-23</u>

A Use Variance to permit business identification signs to face a private driveway on commercial property

2921 Erie Boulevard. E Donald DeStefano of Boss Properties LLC, Owner Adam Richardson, Applicant CM Zone District

Adam Richardson, the applicant for the project, presented the application. They explained The need of signage for their new business, and that since the tenant space is located at the rear of the property, ReZone does not permit signage which does not have street frontage.

Mr. Cheslik asked the applicant if the signage would be illuminated. The applicant replied that both signs would be illuminated, and explained the placement for both signs, one which will be on the rear of the property, and the other would face the private driveway on the side of the property. Mr. Cheslik also asked if the sign on back of the property would be visible from Interstate 690. The applicant replied it would be visible during the winter.

Mr. Rudd asked what businesses are currently on the property. The applicant replied their tenant space was vacant beforehand, and the tenant space in the front of the building is occupied by Visionworks.

Ms. Spillane asked staff if there are future tenants in the building, would they have to come in separately for a use variance to add signage to that section of the building. Staff replied that would not have to each ask for a separate variance.

Mr. Rudd asked about the allowed illumination for the signs. Staff replied the signs would have to follow the allowed amount of illumination allowed in ReZone. The illumination would not be able to spill over onto adjacent properties.

Mr. Cheslik asked if the signage on the multi-tenant sign is the signage being proposed for this variance. The applicant replied that the current on-site signage is a temporary banner they used for their grand opening.

Ms. Spillane opened public comment. No one spoke in favor or in opposition to the application. Ms. Spillane closed public comment.

Asst. Corporation Counsel Hertzberg assisted the BZA in its SEQR review and determination of the proposed Unlisted action for V-24-23. Mr. Rudd moved to make a negative SEQR declaration. Ms. Gillette seconded the motion. The motion passed unanimously.

Mr. Rudd moved to approve Use Variance V-24-23 with additional staff and general conditions. Mr. Jennings seconded the motion. Mr. Rudd explained that it would be difficult to operate a marijuana store without a sign and would not be able to receive a reasonable return on the property. The building is perpendicular to the street frontage, and the applicant's business in in the rear tenant space of the building, which proves the unique circumstances, and neighborhood character would not be altered due to similar signage created by adjacent commercial property business owners. The orientation of the property and the building the tenant currently occupies created the hardship of not being allowed signage due to the tenant's space not having any street frontage. Ms. Spillane added the applicant gave financial evidence and documentation of recent sales, further proving the applicant could not receive a reasonable return without signage. The motion to approve Use Variance V-24-23 was unanimously passed.

2) <u>V-24-24</u>

A Use Variance to allow the establishment of the "Off-premise sign" land use type not permitted in the MX-3 Zone District.

200 S West St. & W Fayette St. Stephen Case, Owner Lily Dougherty, Applicant MX-3 Zone District

The attorney of the owner of the property presented the application. They explained that the small lot size is largely unbuildable, and went through the use variance criteria, explaining the benefits of an off-premise sign on the property which is in the MX-3 Zone District. The property is currently unfit for most land uses permitted in the Zone District.

Ms. Spillane asked if the "off-premise sign" would be the primary use for generating revenue. The applicant replied that the billboard would be the only land use on the property.

Mr. Rudd asked if there would be additional landscaping to improve the site. The applicant replied that the landscaping plans in their submittals are planned to be completed to improve the general attractiveness of the property.

Ms. Spillane asked staff if the proposed site plan conforms to ReZone guidelines and if the proposed billboard would have to conform to the signage guidelines in ReZone, such as the allowed illumination of the sign. Zoning Director Cristian Toellner replied the landscaping plan conforms to Article 4.5 of ReZone and that the billboard would also have to conform to ReZone Standards.

Ms. Spillane opened public comment. No one spoke in favor or in opposition to the application. Ms. Spillane closed public comment.

Asst. Corporation Counsel Hertzberg assisted the BZA in its SEQR review and determination of the proposed Unlisted action for V-24-24. Ms. Gillette moved to make a negative SEQR declaration. Mr. Jennings seconded the motion. The motion passed unanimously.

Mr. Cheslik moved to approve Use Variance V-24-24 with additional staff and general conditions. Mr. Jennings seconded the motion. Mr. Cheslik went through the criteria the applicant needs to prove for a use variance. Mr. Cheslik explained that the inability to receive a reasonable return on the property was proved through the applicant's submittals of previous financial data. The unique circumstances are due to the small shape and lot size of the parcel. The hardship is not self-created due to the small size of the parcel and the limited land uses that could be created on the property. The neighborhood character would not be altered because the area is largely commercial development, and an additional billboard would not be a detrimental addition. Mr. Jennings reiterated that the applicants would not be able to make a reasonable return due to the size and location of the parcel. The motion to approve Use Variance V-24-24 was unanimously passed.

IV. Adjourn

A motion to adjourn was made by Mr. Gillette and seconded by Mr. Jennings. The motion carried unanimously. Meeting called to adjourn at 1:35 p.m.

General Conditions for Variance Approval

- 1. All construction, improvements and additions relating to this proposal, including those activities required in order to comply with the conditions of this approval, shall be completed by the applicant or its agents within twelve (12) months of the date of approval of this resolution by the City of Syracuse or this approval will be considered null and void; administrative extensions to this requirement for up to one year may be obtained from the Zoning Administrator at any time within the first twelve (12) months, after which, any and all extensions require approval from the Board of Zoning Appeals.
- 2. This approval does not relieve the applicant from compliance with any other regulatory or licensing provisions applicable thereto by the properly constituted Federal, State, County or City authorities.



CITY OF SYRACUSE, MAYOR BEN WALSH 300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development Jake Dishaw, Zoning Administrator Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>V-24-25</u>	Staff Report – January 16th, 2025		
Application Type:	Use Variance		
Project Address:	311 East Taylor Street (Tax ID: To be determinate by the Onondaga County)		
Summary of Proposed Action:	The applicant is requesting a Use Variance to seek relief from ReZone, Art. 4, Sec. 4.4F(4)c, which prohibits parking areas from being located between the front building façade and adjacent street frontage. If granted, the use variance would allow 16 vehicle parking spaces within the front setback on E Taylor Street. The proposed parking area is proposed to be between the front building façade of the future Children Rising Center and East Taylor Street.		
Owner/Applicant	William J. Simmons, Syracuse Housing Au	thority Owner/Applicant	
Zoning Violations	Zoning ViolationsThe proposed project is seeking a Use Variance to violate the following Ordinance:1. For all other uses in all residential and MX districts, off-street parking shall not be located between the front building façade and the adjacend frontage including garages and garage door.		
	Prohibited in Zoning Code	Proposed by Applicant	
	Parking area between the front building façade and adjacent street frontage.	Install 16 parking spaces between the front building façade and adjacent street frontage.	
Existing Zone District:	Neighborhood Center (MX-2) Zone District		
Surrounding Zone Districts:	The neighboring properties to the north and east are within the MX-2 Zone District. The neighboring properties to the south are within the Light Industry and Employment (LI) Zone District and the neighboring properties to the west are located within the Mixed-Use Transition (MX-3) Zone District.		
Companion Application(s)	MaSPR-24-44: Major Site Plan review to build a 75,000 SF building governed by the "Family Support Facility" use type.		
Scope of Work:	There is no scope of work associated with the	his Use Variance.	
Staff Analysis:	 Factors: The subject property, located at 311 E Taylor Street, is bounded by S State Street, S Townsend Street, and E Taylor Street. To the south of E Taylor Street, an elevated railroad line physically walls of the neighborhoods to the south and only allows passage through an underpass. There is a plan for a linear trail to the north of the site, which creates a unique scenario where the property is connected to multiple modes of transit on all sides. According to ReZone, Art. 2, Sec. 2.17C(8), a primary street frontage shall be identified when a lot has more than two frontages. This Office of Zoning Administration identifies the East Taylor Street frontage as the primary street frontage, because the main entrance of the proposed facility faces E Taylor Street. The other parking area is permitted within the side setback along South State Street, which is considered non-primary frontage. On a non-primary frontage, a parking area is allowed between a building and the public right-of-way, provided it includes landscaping plan show appropriate buffering along S State St. 		

- The applicant minimizes sound and light pollution from vehicles along S State Street by including 4-ft high rivet hedges, 45-ft high Freeman maple trees, and 6-ft high double file viburnum hedges.
- The Children Rising Center has 75,000 SF gross floor area, containing three major components:
 - (1) Early Learning & Child Care (14,200 SF) for children aged 6 weeks to 5 years.
 - (2) Parent & Child Engagement/Entertainment Space (13,600 SF) for children aged 6 weeks to 8 years.
 - (3) Health & Wellness Center (47,200 SF) for children aged 8 years to adults.

The site is in a densely populated area of townhouse-style apartments managed by the Syracuse Housing Authority on the eastern edge of Downtown Syracuse. Nearby parcels include other apartment complexes, a fire station, the Oncenter and its parking garage, as well as an Upstate Medical University Residence Hall. The surrounding "Pioneer Homes" neighborhood is planned to be demolished and rebuilt in phases according to the East Adams Transformation plan. Pedestrian experience, walkability, multi-modal transit options, and safety are some of the main priorities of the plan.

- The existing land use type on the property is Multi-units dwelling with six (6) two-story townhouse apartments. There are 55 parking spaces installed between the apartments. The apartments and parking will be demolished entirely prior to the construction of the Children Rising Center. The new site layout, with two entrances and separate parking areas on the south and west sides, is designed to minimize traffic flow compared to the existing layout, which accommodates 55 vehicles through a single entrance. The proposed site circulation in necessary to increase safety of parents dropping off minors and prevent congestion on along E Taylor and S State Street.

Staff Analysis of Applicant's Use Variance Criteria

1. Reasonable Return Analysis:

The applicant has provided substantial evidence demonstrating that the Children Rising Center cannot achieve a reasonable return without the proposed Variance.

- Financial Loss: If the CRC reduced the building by 15,000 SF to conform to the parking area location requirement, then the CRC would not be able to recoup the cost of construction.
- Loss in Services: The financial losses would directly affect the center's ability to provide its planned services. The reduction in square footage would necessitate the elimination of at least two early learning/childcare classrooms, which are vital for serving children aged 6 weeks to 5 years. Furthermore, youth programming would be significantly reduced, limiting the center's ability to serve older children and teenagers.
- Loss in Employment: The financial strain would force the CRC to eliminate eight employee positions. This reduction in staff would further compromise the center's operational efficiency and ability to deliver quality programs.

The applicant's evidence clearly demonstrates the inability to achieve a reasonable return without the requested use variance. If the use variance was denied the pro forma for the CRC may prevent the facility from being built.

2. Unique Circumstances Analysis:

The unique circumstances identified by the applicant primarily focus on the existing site constraints.

- Natural Site Features: According to the submitted property survey, 311 E Taylor Street has three street frontages: E Taylor Street (south), South State Street (west), and S Townsend Street (east). This unique site condition presents a significant challenge for designing the parking area in compliance with zoning requirements, which prohibit parking between the front building façade and the adjacent street frontage. Any other site layout or configuration would reduce the building footprint and impede the ability to offer the full range of planned services.
- Existing Traffic Condition: South State Street and S Townsend Street are major north, south traffic corridors connecting the southern part of Syracuse to downtown, each featuring four vehicle lanes for passenger cars, public buses, and delivery trucks. In contrast, E Taylor Street is 60 feet wide, has two lanes and experiences lower traffic volumes, which by situating the parking lot entrance on this road would allow north and southbound traffic to continue to flow. There is no other feasible option for the applicant to install a vehicle entrance that would not further impede north and south bound traffic on the major corridors. Placing 25 parking spaces (16 in the front setback and 9 behind the front building façade) and a vehicle entrance on the E Taylor St. helps mitigate potential traffic impacts while accommodating the center's parking needs.
- Compatibility to Future Development: The applicant proposes a linear park in the rear yard to serve children using the facility. Situating parking in the rear yard would conflict with the intent of providing a safe outdoor play area. Although parking between the building and the street is inconsistent with zoning requirements, it is a more compatible solution that preserves the rear yard for safe, child-friendly outdoor activities. It also promotes connectivity to the future neighborhoods and the facility.

The applicant demonstrates that the unique circumstance is not self-created and in order to mesh with future plans for the neighborhood, to promote connectivity and safety, the use variance request is appropriate.

3. Neighborhood Character Analysis:

The applicant has provided adequate evidence demonstrating that granting the variance will not alter the essential character of the neighborhood.

• Surrounding Neighborhood Characters: The majority of neighboring properties around the subject parcel are located within Mixed-Use Zone districts (MX-2, MX-3, MX-5). These Zone Districts are designed to foster interaction between higher-density residential uses and nonresidential uses that provide goods and services. The proposed parking area for the Children Rising Center is compatible with the neighborhood's character, as accessory off-street parking for primary uses is permitted within these Mixed-Use Zone districts. Furthermore, the parcel directly south of the project site is part of a railroad corridor situated within a Light Industrial (LI) Zone district. The railroad tracks elevated approximately 20

feet above the ground, serve as a physical barrier, effectively separating the proposed front setback parking area from properties on the southside properties. This natural barrier ensures that the parking area does not visually or functionally disrupt the neighborhood's character.

• Landscape Buffer: According to the submitted site plan, all parking areas fronting E Taylor Street will be buffered with continuous evergreen vegetation. This landscaping will soften and screen headlights and parked vehicles from pedestrian view, thereby maintaining the aesthetic quality of the streetscape. The presence of these buffers also ensures that vehicles cannot illegally access E Taylor Street through the front setback, as all onsite vehicles must use the designated legal entrance. This design consideration further prevents any potential hazards or damage to the sidewalk along E Taylor Street, reinforcing the safety and integrity of the neighborhood environment.

4. Self-Created Hardship Analysis:

The applicant has adequately demonstrated that their request for a use variance is not the result of a self-created hardship.

- Property Boundaries: The subject property was originally part of a larger parcel (301-11 E Taylor Street) with four street frontages spanning multiple city blocks. The applicant has not created a self-created hardship because the strategic resubdivision of 301-11 E Taylor Street into three parcels (including a future neighborhood park), aligns with the future East Adams Transformation and I-81 Community Grid plans.
- Zoning Restrictions: The current zoning regulations limit parking between the front building façade and adjacent street frontages to enhance safety and improve the streetscape. While these restrictions are generally practical for parcels with one or two street frontages, they pose significant challenges for properties which have more than two frontages. These regulations unexpectedly create difficulties for developments that require substantial parking provisions, necessitating adjustments that may reduce the scale of construction to comply with Zoning requirements.
- Community Demand: The proposed scale of the Children Rising Center is not arbitrary. The 75,000 SF facility is the result of thorough planning by architects and engineers, based on extensive demand research and community engagement conducted by various local organizations and government agencies. According to the Children Rising Center's website, The center's location is intended to serve over 3,000 dwellings in Syracuse's southside, westside, and downtown areas, justifying its size and scope to meet the substantial needs of the surrounding community.

The above analysis of property collectively supports the conclusion that the hardship is not self-created. Instead, it arises from preexisting physical constraints, regulatory limitations, and the necessity to address community needs effectively.

	 Recommended conditions if approved: 1. This Use Variance shall adhere to the general use variance conditions. 2. The landscaping buffer along East Taylor Street and South Townsend Street shall be continuously maintained and vegetation replaced when necessary.
Zoning Procedural History:	New created parcel, no Zoning History is available.
Summary of Zoning History:	In March 2024, the City Planning Commission approved the resubdvision application R-23-70 to split one lot (301-11 Taylor Street E& State St S.) into three new lots (New lot1: 901 South State Street; New lot 2: 915 South State Street; New lot 3: 927 South State Street). In May, the applicant successfully filed the approved map at the Onondaga County Clerk to finalize the proposed resubdivision. There are 12 existing apartment buildings remaining on the new lot 3 aka 927 S State Street. In October 2024, City Planning Commission approved the Resubdivision R-24-56 split one lot (927 South State Street) into 2 new lots. new "Lot 3" shall be known as 929 South State Street, and new " Lot 4" shall be known as 311 East Taylor Street . The approved map is in the process of being filed at the Onondaga County Clerk's office
Code Enforcement History:	New created parcel, no Code Enforcement is available yet.
Summary of Changes:	This is not a continued application.
Property Characteristics:	Existing property characteristics: The subject lot for the Children Rising Center is known as 311 East Taylor St. It will be an irregularly shaped parcel with 186,393.5 FT (4.28 Acres). The property will have three primary street frontages with 438.45 feet of east frontage on South Townsend Street., 462.52 feet of west frontage on South State Street., and the south frontage on the East Taylor Street property line borders 412.41 FT. The northern property line borders 413.83 feet in width.
SEQR Determination:	Pursuant to 6 NYCRR §617.2(al), the proposal is an Unlisted Action.
Onondaga County Planning Board Referral:	Pursuant to GML §239-1, m and n, the proposal does not meet the review criteria of Onondaga County Planning Board.

Application Submittals: The application submitted the following in support of the proposed project:

- Use Variance application
- Short Environmental Assessment Form Part 1

• Demolition and Erosion & Sediment and Control Plan : BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C0.3), 300 East Taylor Street Syracuse, New York 13202 EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1"=20'

• Materials Plan: BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C1.1), 300 East Taylor Street Syracuse, New York 13202; EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1"=20"

• Layout Plan : BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C1.2), 300 East Taylor Street Syracuse, New York 13202; EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1''=20'

• Grading Plan : BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C2.1), 300 East Taylor Street Syracuse, New York 13202; EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1''=20'

• Planting Plan: BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C4.1), 300 East Taylor Street Syracuse, New York 13202; EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1"=20"

• Exterior Elevations: BLUEPRINT 15 CHILDREN RISING CENTER (Sheet A3.01), 300 East Taylor Street Syracuse, New York 13202 ; + King Architects; Date 12/20/2024; Scale: 1''=20'

Attachments:

Use Variance Application Short Environmental Assessment Form Part 2 & Part 3 Photographs of Site IPS Comments from City Departments Proposed and Existing Site and Floor Plans <u>V-24-25</u>

Context Maps:



Description: Figure 1 shows the current Zone District of the subject property. Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property. Image Source: ConnectExplorer[™], Eagle View Technology Corporation

Office of Zoning Administration One Park Place, 300 S State St, Suite 700 Syracuse, NY 13202 Phone: (315) 448-8640 Email: zoning@syrgov.net

Summary of Variance Procedure (cont.)

What is a variance and when is a variance needed for my project? If your project is not expressly allowed under the current zoning ordinance you may seek a variance from the City of Syracuse Board of Zoning Appeals. A zoning variance is an exception to a zoning ordinance that may be granted by the Board of Zoning Appeals on a case-by-case basis. Depending on the nature of the proposed project an applicant will be required to apply for either a use or an Area Variance. The evidence burden for the approval of a variance is on the applicant. Therefore the applicant should provide any evidence that may support their claim. Evidence may include financial records and estimates and detailed explanations, supported by evidence, of the nature of the project and its potential effect on the community.

A **Use Variance** is required to permit a use of land that is otherwise prohibited by the local zoning ordinance. Here, the applicant must seek permission from the Board of Zoning appeals to use the property in a manner that is not permitted in their zoning district.

Use Variance Approval Criteria

In making its determination the Board of Zoning Appeals must find that the applicant meets all of the criteria to demonstrate an unnecessary hardship on the property. A Use Variance cannot be granted without a showing by the applicant that applicable requirements of this Ordinance have caused unnecessary hardship. In order to prove unnecessary hardship, the applicant meet the requirements of New York General City Law, which requires the applicant to demonstrate that, for each and every allowed use under the zone district in which the property is located: (if the use variance is granted)

- The applicant must prove that the property is unable to achieve a reasonable return for any use allowed in that zone district;
- The applicant must prove that unique circumstances apply to the property for which the variance is requested;
- The applicant must prove that the hardship is not selfcreated; and
- The applicant must prove that the essential character of the neighborhood will not be altered.

Generally, the necessity for a Use Variance is more difficult to prove than the necessity for an Area Variance because all the above criteria must be proven in order to permit the Board to approve an application. An **Area Variance** is required for a use of land in a manner that is allowable under the local zoning ordinance, but which is not allowed by the dimensional or physical requirements of the applicable zoning regulations. One seeks an area variance to seek relief from hardship created by the strict application of the zoning code.

Area Variance Approval Criteria

In making its determination, the Board of Zoning Appeals will take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, and welfare of the neighborhood or community by such grant. In making such determination the board shall also consider:

- whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the Area Variance;
- whether the benefit sought by the applicant can be achieved by some method feasible for the applicant to pursue, other than an Area Variance;
- whether the requested Area Variance is substantial;
- whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
- Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Zoning Appeals and shall not necessarily preclude the granting of the Area Variance.

The board of appeals, in the granting of Area Variances, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.



Office of Zoning Administration One Park Place, 300 S State St, Suite 700 Syracuse, NY 13202 Phone: (315) 448-8640 Email: zoning@syrgov.net

Variance Application

This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method**. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.

General Project Information

Business/project name: Blueprint 15 - Children Rising Center Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 311 East Taylor Street Lot size (sq. ft.) 185,957 Lot numbers: 095-.08-01.0 Block number: Current use of property: Residential Proposed: Commercial Current number of dwelling units (if applicable): 25 Proposed: 0 Current hours of operation (if applicable): NA Proposed: 18 Current onsite parking (if applicable): 56 Proposed: 62 Zoning (base and any overlay) of property: MX -2 Neighborhood Center Companion zoning applications (if applicable, list any related zoning applications): Site Plan Review Application Project construction (check all that apply): ■ Demolition (full or partial) ■ New construction □ Exterior alterations ■ Site changes Variance requested (check one and cite the section of the Zoning Ordinance that a variance is requested): ■ Use variance □ Area variance Nature and extent of variance requested (attach additional pages if necessary): A variance is requested to allow the use of parking (16 parking spaces) in front of the main entry of the building along East Taylor Street.



Office of Zoning Administration One Park Place, 300 S State St, Suite 700 Syracuse, NY 13202 Phone: (315) 448-8640 Email: zoning@syrgov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under revi application.	ew give my endorsement of this		
Print owner's name: William J. Simmons			
Signature: Willer Sim	Date: 12/23/24		
Mailing address: 516 Burt Street, Syracuse, NY 13202			
Print authorized agent's name: William J. Simmons Date: 12/23/24			
Signature:			
Mailing address: 516 Burt Street, Syracuse, NY 13202			
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.			

Use Variance Test

A Use Variance is permission to establish a land use that is not allowed by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that this has caused an unnecessary hardship using all of the four tests below (see <u>https://www.dos.ny.gov/lg/publications/Zoning Board of Appeals.pdf</u> for more information). Briefly describe below how each of the required Use Variance tests is met and attach all supporting materials.

1. Reasonable Return

Describe how the property is unable to achieve a reasonable return for any use allowed in that zoning district (actual "dollars and cents" proof must be submitted).

The Children Rising Center (CRC) would need to be reduced by approximately 15,000 sf if the variance is not granted. Such a size reduction would result in significant adverse implications on both operating revenue and programming. CRC would experience a loss of \$150,000 in annual rental income and roughly \$1,050,000 over our 7-year New Markets Tax Credit (NMTC) compliance period, which results in losing \$5.5 million in NMTC equity to construct the Children Rising Center. This loss of square footage would result in the elimination of at least two early learning/childcare classrooms, a large reduction to the parent/child resource center, significantly reduced youth programming, and the elimination of eight employee positions. In short, a reduction of this magnitude would render the Children Rising Center project infeasible.

2. Unique Circumstances

Describe that unique circumstances apply to the property for which the variance is requested.

The property has street frontage on three sides, with an elevated railroad to the south of the site, plans for a liner park to the north of the site, and site circulation prioritizing safety for the people visiting the facility; when these factors are combined it creates a unique circumstance specific to the site. The elevated railroad to the south of the site, and the linear park to the north of the park, puts a constraint on where the building entrance can be since State and Townsend Street are not ideal for a primary vehicle entrance. Moreover, the Zoning Office determined the primary frontage to be along E Taylor Street since the building entrance faces E Taylor Street. Furthermore, if parking was kept 'behind' the building to the north of the site, then this site configuration would disconnect the building to the future linear park and future neighborhoods. Therefore, in order to design the building to align with future plans for a linear park, to enhance the safety of the children attending the facility, to use open space and parks to connect the neighborhoods of the East Adams Transformation project to the CRC, this use variance is necessary to overcome the unique site circumstances.

3. Neighborhood Character

Describe the variance, if granted, the essential character of the neighborhood will not be altered.

Parking is aligned with existing transit-based character of the railroad tracks along East Taylor Street and the Syracuse Housing Authority's Garage along South State Street. This alignment will allow the building to be connected to the future neighborhood and park development to the north and east. The perimeter of the parking will be buffered with evergreen vegetation to soften and screen headlights and parking from view. The variance request to allow parking in the front setback along E Taylor Street will not alter the essential character of the neighborhood since this the Child Rising Center is included in the entire East Adams Transformation Project and as such, is establishing the future neighborhood character.

4. Self-Created Hardship

Describe how the hardship is not self-created.

The lot has street frontage on three sides. Putting parking 'behind' the building would only further isolate it from it's adjacent neighbors. Safety is paramount to the user, having drop-off and parking at the main entrance ensures guardians can observe minors make their way into/and from the building safely. The public engagement meetings and discussions of the East Adams Transformation project occurred prior to the adoption of the Syracuse Zoning Ordinance as adopted on July 1, 2023.

GENERAL NOTES:

- 1. REFER TO PROJECT SPECIFICATIONS FOR DETAILED INFORMATION AND COORDINATE WITH PROJECT DRAWINGS. 2. THE CONTRACTOR SHALL USE THE WRITTEN DIMENSIONS PROVIDED WITHIN THE
- CONTRACT DRAWINGS. SCALED DIMENSIONS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.
- 3. THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE IMMEDIATELY IF CLARIFICATION OR INTERPRETATION OF THE CONTRACT DOCUMENTS, OR ANY OTHER ASPECTS OF THE PROJECT, IS REQUIRED.
- 4. LEGEND REPRESENTS STANDARD LINE TYPES AND HATCHING UNLESS INDICATED ON SPECIFIC DRAWINGS.
- 5. THE ABBREVIATIONS AND SYMBOLS HEREIN ARE STANDARD OF THIS OFFICE AND APPLY TO A VARIETY OF PROJECTS. ONLY A PORTION OF THEM WILL NECESSARILY APPLY TO ANY GIVEN PROJECT. SEE THE LISTINGS IN OTHER SECTIONS OF THIS PROJECT FOR
- ADDITIONAL SYMBOLS AND ABBREVIATIONS. 6. EDR IS NOT RESPONSIBLE FOR SITE SECURITY AND SAFETY, OR CONSTRUCTION MEANS AND METHODS.
- 7. EDR IS NOT RESPONSIBLE FOR THE SEQUENCING OF CONSTRUCTION UNLESS A SEQUENCE OF CONSTRUCTION IS PROVIDED IN THE CONTRACT DOCUMENTS. SITE CIVIL NOTES:
- 1. THE CONTRACTOR SHALL APPLY FOR ALL REQUIRED PERMITS, PAY ALL FEES REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION OVER THE FACILITIES AND NATURAL FEATURES FOUND ON SITE, AND FURNISH COPIES TO THE OWNER PRIOR TO COMMENCING WORK.
- 2. THE CONTRACTOR'S WORK AREA SHALL BE CONFINED TO THE CONTRACT LIMIT LINES. THE CONTRACTOR SHALL OBTAIN ANY ADDITIONAL EASEMENTS OR WORK RELEASES SHOULD THE CONTRACTOR REQUIRE ADDITIONAL AREA TO ACCOMMODATE HIS OPERATIONS. 3. SITE ACCESS IS RESTRICTED TO THE LOCATIONS DESIGNATED ON PLAN.
- 4. THE CONTRACTOR SHALL ADHERE TO ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE AND LOCAL SAFETY REGULATIONS.
- 5. CONTRACTOR SHALL PROMPTLY REPORT TO THE OWNER'S REPRESENTATIVE ANY DISCREPANCIES FOUND ON THE SITE OR IN THE CONTRACT DOCUMENTS FOR REVIEW AND RESOLUTION BEFORE PROCEEDING WITH THE WORK IN THE AREA IN QUESTION. PROVIDE FIELD INFORMATION SPECIFIC TO THE DISCREPANCY TO EXPEDITE RESOLUTION. 6. THE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS PREPARED BY C. T. MALE AND ASSOCIATES AND DATED NOVEMBER 18, 2024.
- 7. NO SUBSURFACE SOIL INFORMATION WAS OBTAINED ON THIS SITE FOR THIS CONSTRUCTION.
- 8. THE START OF ANY ON-SITE CONSTRUCTION INCLUDING STRIPPING TOPSOIL, REMOVING CUT OR PLACING FILL MATERIAL ESTABLISHES THAT THE CONTRACTOR ACCEPTS THE CONTRACT DOCUMENTS AS ACCURATELY REPRESENTING THE EXISTING SITE CONDITIONS. 9. DURING SALVAGE OPERATIONS FOR MATERIAL INTENDED FOR REUSE ON SITE, MATERIAL
- MAY BE DAMAGED AND OR NOT SUITABLE FOR REUSE. THE CONTRACTOR SHALL VERIFY QUANTITY AND QUALITY OF SALVAGED MATERIAL AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES.
- 10. ALL FACILITIES TO BE CONSTRUCTED OR INSTALLED SHALL COMPLY WITH ALL SECTIONS AND LATEST REVISIONS OF THE REQUIREMENTS OF ALL AGENCIES OF GOVERNMENT HAVING JURISDICTION. 11. LONG LEAD AND SCARCE MATERIALS SHALL BE ORDERED IN A TIMELY MANNER TO
- PREVENT AVOIDABLE CONSTRUCTION DELAYS. 12. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE CAUSED BY CONSTRUCTION TO EXISTING UTILITIES AND FACILITIES WHICH ARE NOT INCLUDED AS PART OF THE INTENDED WORK. THE CONTRACTOR SHALL REPAIR, RESTORE AND/OR REPLACE ALL DAMAGE TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- 13. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION EQUAL TO THAT WHICH EXISTED PRIOR TO CONSTRUCTION IN ACCORDANCE WITH SPECIFICATIONS.
- 14. THE CONTRACTOR SHALL RESTORE ALL DISTURBED SURFACES TO ORIGINAL OR BETTER CONDITION INCLUDING 6 INCHES OF TOPSOIL, SEED, FERTILIZER, AND MULCH. OTHER SURFACES SHALL BE RESTORED AS SHOWN ON THE DETAILS.
- 15. CONTRACTOR SHALL PROVIDE POSITIVE SITE DRAINAGE DURING CONSTRUCTION OPERATIONS. ALL FINAL LINES AND GRADES SHALL BE CONSTRUCTED TO MAINTAIN POSITIVE SITE DRAINAGE TO EXISTING DRAINAGE STRUCTURES. 16. ALL PAVEMENT SHALL BE SAW CUT PRIOR TO RESTORATION.
- 17. CONTRACTOR SHALL COORDINATE STAGING AREAS WITH OWNER. 18. WHILE EVERY EFFORT HAS BEEN MADE TO IDENTIFY THE ITEMS TO BE DEMOLISHED, IT IS CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SCOPE OF WORK IN THE FIELD, REVIEW THESE CONTRACT DRAWINGS, ALL PREVIOUS CONSTRUCTION DRAWINGS / DOCUMENTS SPECIFICATIONS, AND EXISTING FACILITY PLANS. THE CONTRACTOR SHALL REPAIR ALL SURFACES AND PLUG ABANDONED PENETRATIONS UPON REMOVAL OF THE DEMOLISHED ITEMS PER THE SPECIFICATIONS.
- 19. CONTRACTOR SHALL VISIT AND EXAMINE THE SITE TO FULLY UNDERSTAND ALL THE CONDITIONS PERTAINING TO THE SCOPE OF WORK, UNDERSTAND DIFFICULTIES TO BE ENCOUNTERED AND MATERIALS REQUIRED FOR THE COMPLETE INSTALLATION OF THE WORK SHOWN ON THE DRAWINGS AND OR SPECIFIED AT NO ADDITIONAL COST TO THE OWNER. THE EXACT LOCATION, CONDITION, SIZE, AND RIM/INVERT ELEVATIONS OF THE EXISTING PIPING, EQUIPMENT, SERVICES, ETC. SHALL BE FIELD VERIFIED. CONTRACTOR SHALL MODIFY LAYOUT WITH THE APPROVAL OF THE ENGINEER WHERE REQUIRED TO CLEAR OBSTRUCTIONS AT NO ADDITIONAL COST TO THE OWNER. 20. CONTRACTOR SHALL CLEAN AND CAMERA EXISTING STORM LINES TO REMAIN, PRIOR TO
- CONSTRUCTION AND REPORT FINDINGS TO OWNER'S REP. 21. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND MAKE ALL NECESSARY PROVISIONS FOR PROTECTION OF THE PUBLIC, THE WORKERS AND THE WORK, AND FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC AS REQUIRED BY THE AGENCIES OF GOVERNMENT HAVING JURISDICTION. 22. LOCATE, PROTECT, AND MAINTAIN BENCHMARKS, MONUMENTS, CONTROL POINTS AND
- PROJECT ENGINEERING REFERENCE POINTS. 23. COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS REGARDING MATERIALS, METHODS OF WORK AND DISPOSAL OF EXCESS AND WASTE MATERIALS. 24. BURNING OF MATERIALS OF ANY DESCRIPTION ON THE SITE IS PROHIBITED.
- 25. PRIOR TO PERFORMING ANY EXCAVATION WITHIN THE CONSTRUCTION AREA, CONFIRM WITH DIG SAFELY NEW YORK AT 1-800-962-7962 THAT ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE CURRENTLY VERIFIED, OR ARRANGE FOR VERIFICATION.

UTILITIES NOTES:

1. EXISTING UTILITIES (PIPE/STRUCTURE LOCATIONS, SIZES, AND INVERT ELEVATIONS) SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORDED MAPS AND SHALL BE INTERPRETED AS APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING AND FIELD VERIFYING ALL EXISTING INFORMATION AT ALL LOCATIONS IN CLOSE PROXIMITY TO THE UTILITIES AND WORK UNDER CONSTRUCTION. THIS INFORMATION INCLUDES BUT IS NOT LIMITED TO EXISTING PIPE AND STRUCTURE SIZES, PIPE AND STRUCTURE LOCATIONS, PIPE SLOPES, STRUCTURE RIM AND INVERT ELEVATIONS, PIPE MATERIALS AND PIPE CONDITIONS. THIS SHALL INCLUDE PIPE INVERTS, MATERIALS AND SIZES FOR UTILITIES CONNECTING TO DOWNSTREAM STRUCTURES. THIS VERIFICATION SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF SHOP DRAWING SUBMITTALS, ORDERING OF MATERIALS, AND THE START OF ANY REMOVALS FOR THIS PROJECT. ANY PROPOSED MODIFICATIONS TO THE DESIGN SHALL BE SUBMITTED AS SHOP DRAWINGS INCLUDING BUT NOT LIMITED TO DESIGN DRAWINGS AND UTILITY PROFILES INCLUDING PIPE AND STRUCTURE LAYOUT, STRUCTURE RIM AND

INVERT ELEVATIONS, AND PIPE SIZES, MATERIALS AND SLOPES.

ABBREVIATIONS

AL ACT APPR	ALUMINUM ACTUAL APPROXIMATE/ APPROXIMATELY
BC BLDG BM BOS BS BW B&B	BOTTOM OF CURB BUILDING BENCHMARK BOTTOM OF SLOPE BOTTOM OF STAIR BOTTOM OF WALL BALLED AND BURLAPPED
CAL CB CF CI CIP CIR CJ CLF CLL CLR CLSM CMP CO COL CONC CONT CONTR CY	CALIPER CATCH BASIN CUBIC FEET CAST IRON CAST IN PLACE CIRCLE/CIRCULAR CONTROL JOINT CHAIN-LINK FENCE CONTRACT LIMIT LINE CLEAR CONTROLLED LOW STRENGTH MATERIAL CORRUGATED METAL PIPE CLEANOUT COLUMN CONCRETE CONTAINER CONTRACTOR CUBIC YARDS

DET	DETAIL	16	
DIM	DIMENSION	ID	INSIDE DIAMETER
DIA	DIAMETER	IN	INCH/INCHES
DMH	DROP MANHOLE	INL	INLET
DWG	DRAWING	INV	INVERT
		IP	IRON PIPE
E	EAST		
EA	EACH	JB	JUNCTION BOX
EJ	EXPANSION JOINT		
EL	ELEVATION	L	LENGTH/LONG
EQ	EQUAL	LA	LANDSCAPE ARCHITECT
ES	END SECTION	LAT	LATITUDE
EX	EXISTING	LF	LINEAR FEET
EXP	EXPANSION	LFT	LEFT
		LIN	LINEAR
FFE	FINISHED FLOOR ELEVATION	LP	LOW POINT
FG	FINISHED GRADE		
FIN	FINISH	Μ	METER
FL	FLOOR	MAX	MAXIMUM
FTG	FOOTING	MH	MANHOLE
FT	FOOT/FEET	MIN	MINIMUM
		MISC	MISCELLANEOUS
GA	GAUGE	MON	MONUMENT
GAL	GALLON		
GALV	GALVANIZED	Ν	NORTH
GC	GENERAL CONTRACTOR	NIC	NOT IN CONTRACT
GR	GUARDRAIL	NOM	NOMINAL
GV	GAS VALVE	NTS	NOT TO SCALE
		NUM	NUMBER
HOR	HORIZONTAL		
HP	HIGH POINT	OC	ON CENTER
НТ	HEIGHT	OCEW	ON CENTER EACH WAY
HW	HEAD WALL	OD	OUTSIDE DIAMETER
HWY	HIGHWAY	OP	OUTLET PROTECTION
HYD	HYDRANT	I	

- TIMELY REVIEW.
- EXISTING VALVES ARE CLOSED. ARRANGEMENTS WITH THE UTILITY COMPANY.
- WORK

- OWNER.
- TERMINATION POINTS BEFORE DISCONNECTION. WITH THE FINISHED GRADE ELEVATIONS.

- MATTER AND BE IN OPERATION THROUGHOUT CONSTRUCTION. SPECIFICATIONS.
- 18. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE OWNER FOR THE WYE
- APPLICABLE REGULATIONS.
- JURISDICTION.
- CONSTRUCTION, AND POST CONSTRUCTION CERTIFICATIONS THAT MUST BE FOLLOWED OF WORK BY BOTH THE CONTRACTOR AND OWNER.
- UNEXPECTED HEAVY RAINFALL.
- CONTAMINANTS DISPOSED OF PROPERLY. DETAIL
- 8. CONSTRUCTION ROUTES SHALL BE STABILIZED PER THE NYS STANDARDS FOR EROSION
- CURRENT CONSTRUCTION ACTIVITY AND SITE CONDITIONS.
 - RCP REINF REQD REV ROW SAN SECT SF SG SH SI SL SPEC SQ SS STA STL

SY

2. THE OWNER'S REPRESENTATIVE SHALL REVIEW THE LAYOUT OF ALL PAVEMENTS, UTILITIES, AND PLANTINGS IN THE FIELD BEFORE INSTALLATION. THE CONTRACTOR SHALL SCHEDULE ADVANCED NOTIFICATION TO THE OWNER'S REPRESENTATIVE TO FACILITATE

3. THE OWNER ONLY SHALL OPERATE EXISTING VALVES AND FIRE HYDRANTS, INCLUDING NEWLY INSTALLED VALVES AND FIRE HYDRANTS THAT HAVE BEEN PLACED INTO SERVICE. THE CONTRACTOR IS ADVISED THAT WATERTIGHT CONDITIONS MAY NOT EXIST WHEN

4. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY EXCAVATION WORK WITHIN 10 FEET OF UTILITY POLES. THE CONTRACTOR SHALL INCLUDE THE COST OF TEMPORARY POLE SUPPORT IN THE APPROPRIATE BID ITEM. WHERE UTILITY POLES ARE REQUIRED TO BE SUPPORTED DURING CONSTRUCTION, THE CONTRACTOR SHALL MAKE ALL NECESSARY 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND MAINTENANCE OF SURFACE WATER AND/OR GROUNDWATER ENCOUNTERED DURING THE COURSE OF

6. PRIOR TO START OF WORK, THE CONTRACTOR SHALL PROVIDE EXPLORATORY EXCAVATIONS AND COORDINATE ALL PIPING LAYOUTS WITH THE OWNER'S REPRESENTATIVE TO ELIMINATE ALL CONFLICTS WITH EXISTING UTILITIES. 7. THE USE OF EXPLOSIVES OF ANY DESCRIPTION ON THE SITE IS PROHIBITED. 8. CONSTRUCTION DEBRIS AND DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS AS DETERMINED BY THE OWNER'S REPRESENTATIVE AND SHALL NOT BE ALLOWED TO ACCUMULATE. EMPLOY APPROPRIATE MEASURES TO PREVENT LOOSE DEBRIS FROM LEAVING THE CONSTRUCTION AREA. 9. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE CAUSED BY CONSTRUCTION TO EXISTING UTILITIES AND FACILITIES WHICH ARE NOT INCLUDED AS PART OF THE INTENDED WORK. THE CONTRACTOR SHALL REPAIR, RESTORE AND/OR REPLACE ALL DAMAGE TO THE SATISFACTION OF UTILITY'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE

10. PERFORM WORK AND PROVIDE ALL MATERIALS NECESSARY TO DISCONNECT OR RELOCATE EXISTING UTILITIES. COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SHUTOFF AND RECONNECTION OF ACTIVE SERVICES. RECORD EXISTING UTILITY 11. ADJUST THE RIM ELEVATIONS OF EXISTING UTILITY STRUCTURES SCHEDULED TO REMAIN

12. THE CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICES AT ALL TIMES, EXCEPT DURING APPROVED AND SCHEDULED INTERRUPTIONS. THE CONTRACTOR SHALL SUBMIT A PROPOSED WORK SCHEDULE AND A DETAILED SANITARY SEWER BY-PASS PROCEDURE TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. THE CONTRACTOR SHALL RESTORE GRAVITY SANITARY SEWER SERVICE AT THE END OF EACH WORKDAY. SHOULD THIS NOT BE POSSIBLE, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY BY-PASS PUMPING OPERATIONS UNTIL NORMAL GRAVITY FLOWS CAN BE RE-ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER. 13. ALL STRUCTURES SHALL MEET THE AMERICAN ASSOCIATION OF STATE HIGHWAY & TRANSPORTATION OFFICIALS (AASHTO) H20 LOADING REQUIREMENTS. 14. ALL NEW UTILITY LATERALS SHALL BE INSTALLED WITH A MINIMUM 1/4" PER FOOT SLOPE UNLESS OTHERWISE DIRECTED ON THE DRAWINGS OR IN TECHNICAL SPECIFICATIONS. 15. ALL CATCH BASIN GRATES SHALL INCLUDE THE LETTERING, "NO DUMPING". 16. ALL EXISTING DRAINAGE FACILITIES SHALL BE MAINTAINED FREE OF DEBRIS AND FOREIGN

17. ALL PROPOSED WATER MAIN PIPING SHALL BE INSTALLED WITH A MINIMUM OF 5-FOOT OF COVER UNLESS OTHERWISE DIRECTED ON THE DRAWINGS OR IN TECHNICAL

DIRECTION (UPSTREAM OR DOWNSTREAM), FOR STORM AND SANITARY SYSTEMS BASED ON THE OWNER'S INFRASTRUCTURE REQUIREMENTS. 19. DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED. 20. THE CONTRACTOR IS RESPONSIBLE FOR HANDLING, CUTTING AND DISPOSAL OF ALL ASBESTOS CEMENT (AC) PIPE TO BE REMOVED OR CUT IN ACCORDANCE WITH ALL

EROSION & SEDIMENT CONTROL & POLLUTION PREVENTION NOTES

1. AVOID ANY DISTURBANCE OF EXISTING VEGETATION ON THE SITE EXCEPT THE VEGETATION SPECIFICALLY DESIGNATED TO BE REMOVED. 2. TAKE ALL PRECAUTIONS NECESSARY TO PREVENT EROSION AND CONTROL SEDIMENTATION AS REQUIRED BY THE AGENCIES OF GOVERNMENT HAVING

3. THIS PROJECT HAS OBTAINED COVERAGE UNDER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES, PERMIT NO. GP-0-20-001 (GENERAL PERMIT). THE GENERAL PERMIT AUTHORIZES STORMWATER DISCHARGES TO SURFACE WATERS OF THE STATE FROM CONSTRUCTION RELATED ACTIVITIES. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN ACCORDANCE WITH THIS PERMIT AND IS PART OF THE CONTRACT AND CONSTRUCTION REQUIREMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED SWPPP FOR THIS PROJECT, PRIOR TO DEVELOPING A BID PRICE FOR THE OWNER. THE SWPPP INCLUDES THE REQUIREMENTS FOR PRECONSTRUCTION ACTIVITIES, INSPECTIONS DURING

BY THE CONTRACTOR AND THE OWNER TO STAY IN COMPLIANCE WITH THIS PERMIT. THESE REQUIREMENTS ARE DESCRIBED IN THE SWPPP AND SHALL BE INCLUDED INTO THE CONTRACTOR'S BID PRICING FOR THIS PROJECT, AS WELL AS THE CONDITIONS 4. TOP DRESS, SEED, AND MULCH OR SOD ALL LAWN AREAS DISTURBED BY THE

CONSTRUCTION AS SOON AS THE FINISHED GRADING OPERATION IS COMPLETED. 5. MAINTAIN AN ADEQUATE SUPPLY OF EROSION AND SEDIMENT CONTROL MATERIALS AT THE CONSTRUCTION SITE AT ALL TIMES TO BE USED FOR URGENT SITUATIONS, SUCH AS 6. MAINTENANCE AND REPAIR OF ALL EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES,

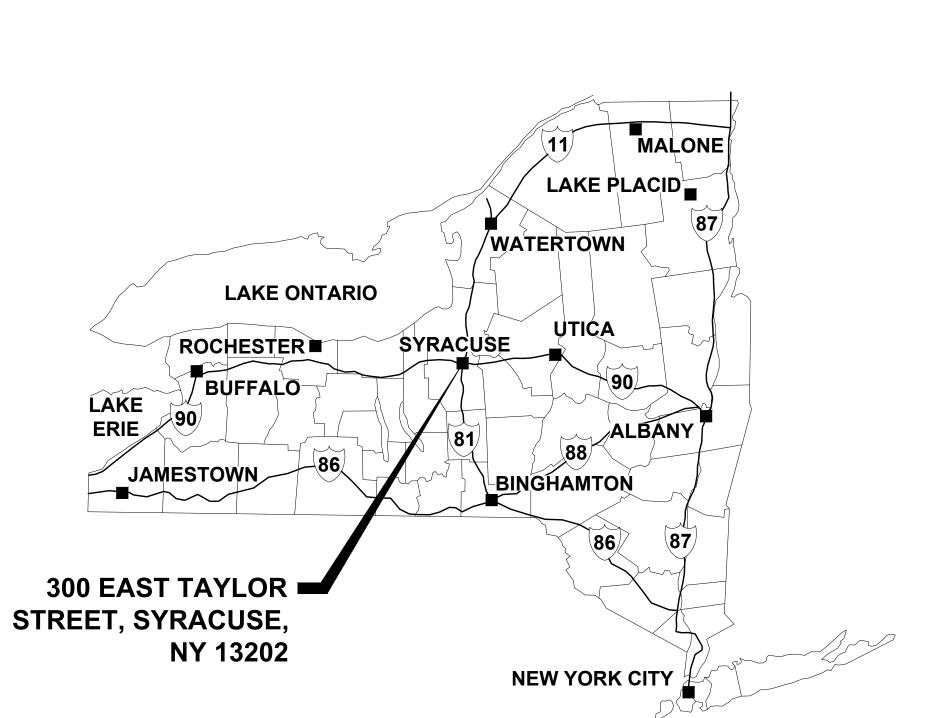
HYDRAULIC SYSTEM AND FUEL TANK DRAIN DOWN, DEGREASING OPERATIONS AND OTHER ACTIVITIES THAT MAY RESULT IN THE ACCIDENTAL RELEASE OF CONTAMINANTS MUST BE CONDUCTED OFF-SITE. ACCIDENTAL SPILLS MUST BE CLEANED UP IMMEDIATELY AND

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING SOIL AND EXCESS EXCAVATED EARTH STOCKPILES AT A STABLE LOCATION. STOCKPILES SHALL BE STABILIZED PER THE

AND SEDIMENT CONTROL, AS NECESSARY BASED ON SITE CONDITIONS. 9. THE CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT, DESIGN, APPROVAL, AND OPERATION OF THE CONCRETE WASHOUTS. THE CONCRETE WASHOUTS SHALL BE INSTALLED A MINIMUM OF 50' FROM STORM DRAINAGE OR SURFACE WATER. CONCRETE WASTE MATERIAL SHALL NOT BE ALLOWED TO ESCAPE FROM THE CONCRETE WASHOUT. 10. SOLID WASTE SHALL BE STORED IN COVERED DUMPSTERS OR OTHER APPROPRIATE CONTAINERS. WASTE IS TO BE DISPOSED OF REGULARLY AND PROPERLY IN ACCORDANCE WITH LOCAL, STATE, AND/OR FEDERAL REGULATIONS. 11. THE EROSION AND SEDIMENT CONTROLS ARE SHOWN FOR A CONDITION WHEN ALL WORK IS OCCURRING SIMULTANEOUSLY. ACTUAL INSTALLATIONS SHALL BE ADJUSTED BASED ON

PLANTING AREA POINT OF CURVATURE PROPERTY LINE POINT OF TANGENT/ PERCOLATION TEST LOCATION POLYVINYL CHLORIDE	T TB TC TOS TS TW TYP T&G	TANGENT TEST BORING TOP OF CURB TOP OF SLOPE TOP OF STAIR TOP OF WALL TYPICAL TONGUE AND GROOVE
RADIUS REINFORCED CONCRETE PIPE REINFORCING REQUIRED	UD USGS	UNDERDRAIN UNITED STATES GEOLOGICAL SURVEY
REVISION RIGHT OF WAY RIGHT	VAR VCP VERT	VARIES/VARIABLE VITRIFIED CLAY PIPE VERTICAL
SOUTH SANITARY SECTION SQUARE FOOT SUB GRADE SHEET STORM INLET STREET LIGHT	W WE WL WV WWM W/ W/O	WEST WATER ELEVATION WALK LIGHT WATER VALVE WOVEN WIRE MESH WITH WITHOUT
SPECIFICATIONS/	YD	YARD DRAIN
SPECIFIED SQUARE STAINLESS STEEL STATION STEEL SQUARE YARD	€ ± ∠ <	CENTER LINE PLUS OR MINUS CHANGE IN VALUE LESS THAN GREATER THAN

PROJECT LOCATION



SYMBOL		
	CENTERLINE	
	ON LEGEND	
SYMBOL		
	REMOVE EXISTING BUILDING - SEE ARCHITECTURAL PLANS	
	REMOVE EXISTING CONCRETE PAVEMENT	
	REMOVE EXISTING ASPHALT PAVEMENT	
	REMOVE EXISTING HEDGE PLANT BED	
	REMOVE EXISTING CURB	
$\bigotimes \otimes$	REMOVE EXISTING TREE OR SHRUB	
\oslash	REMOVE EXISTING STRUCTURE/ITEM	
++++++++++++++++++++++++++++++++++++	REMOVE EXISTING UTILITY LINE	
·/////////////////////////////////////	REMOVE EXISTING CHAIN LINK FENCE	
~~~~~~	REMOVE EXISTING POST AND CHAIN FENCE	
	REMOVE EXISTING WOOD FENCE	
	TEMPORARY SITE ENCLOSURE FENCE	
MATERIAL	S LEGEND	
SYMBOL	ITEM	
	ASPHALT PAVEMENT	
CONTRACTION JOINT	CONCRETE PAVEMENT	
CONTRACTION JOINT JOINT	CONCRETE PAVEMENT - HEAVY DUTY	
	STONE MAINTENANCE STRIP	
	STONE MAINTENANCE STRIP PLAYGROUND PROTECTIVE SURFACING	
	PLAYGROUND PROTECTIVE	
	PLAYGROUND PROTECTIVE SURFACING	
	PLAYGROUND PROTECTIVE SURFACING STONE MULCH	
	PLAYGROUND PROTECTIVE SURFACING STONE MULCH BIORETENTION AREA	
	PLAYGROUND PROTECTIVE SURFACING STONE MULCH BIORETENTION AREA CURB	
	PLAYGROUND PROTECTIVE         SURFACING         STONE MULCH         BIORETENTION AREA         CURB         FENCE - DECORATIVE METAL	
	PLAYGROUND PROTECTIVE         SURFACING         STONE MULCH         BIORETENTION AREA         CURB         FENCE - DECORATIVE METAL         TRAFFIC SIGN	
	PLAYGROUND PROTECTIVE         SURFACING         STONE MULCH         BIORETENTION AREA         CURB         FENCE - DECORATIVE METAL         TRAFFIC SIGN         BICYCLE RACK	
	PLAYGROUND PROTECTIVE         SURFACING         STONE MULCH         BIORETENTION AREA         CURB         FENCE - DECORATIVE METAL         TRAFFIC SIGN         BICYCLE RACK         BENCH	
	PLAYGROUND PROTECTIVE         SURFACING         STONE MULCH         BIORETENTION AREA         CURB         FENCE - DECORATIVE METAL         TRAFFIC SIGN         BICYCLE RACK         BENCH         TRASH RECEPTACLE	

PA = PLANTING AREA

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FACILITY ENTRANCE SIGN

EROSION CONTROL LEGEND			
SYMBOL			
VP VP VP VP	- VEGETATION PROTECTION		
	STABILIZED CONSTRUCTION ENTRANCE		
	INLET PROTECTION		
CWA	CONCRETE WASHOUT AREA		
GRADING LEGEND			
SYMBOL			
•(123.45)	SPOT ELEVATION - FINISHED		
(497)	- CONTOUR - FINISHED		
(490)	- CONTOUR - FINISHED - INDEX		
	LEGEND		
SYMBOL			
	- STORM DRAINAGE		
SAN SAN	- SANITARY		
	- WATER		
UGE UGE UGE	ELECTRIC - UNDERGROUND     UTILITY - LIMITS OF WORK AT		
	BUILDING		
UGD UGD	- DATA - UNDERGROUND		
	STORM CATCH BASIN		
Ø	STORM MANHOLE - WITH GRATE		
	SITE LIGHT		
PLANTIN			
SYMBOL			
	- SPADE CUT EDGE		
+	DECIDOUS TREE		
⊕ ⊙	DECIDUOUS SHRUB		
	PERENNIAL/GROUND COVER		

EROSION CONTROL LEGEND			
SYMBOL	ITEM		
VP VP VP	VEGETATION PROTECTION		
	STABILIZED CONSTRUCTION ENTRANCE		
	INLET PROTECTION		
CWA	CONCRETE WASHOUT AREA		
GRADING LEGEND			
SYMBOL	ITEM		
• (123.45)	SPOT ELEVATION - FINISHED		
(497)	CONTOUR - FINISHED		
(490)	CONTOUR - FINISHED - INDEX		
UTILITY	LEGEND		
SYMBOL	ITEM		
DDD	STORM DRAINAGE		
SAN SAN	SANITARY		
www	WATER		
	ELECTRIC - UNDERGROUND		
2			
	BUILDING DATA - UNDERGROUND		
	STORM CATCH BASIN		
Ø	STORM MANHOLE - WITH GRATE		
	SITE LIGHT		
PLANTIN	G LEGEND		
SYMBOL	ITEM		
	SPADE CUT EDGE		
(+)	DECIDOUS TREE		
<b>⊕</b> ⊙	DECIDUOUS SHRUB		
	PERENNIAL/GROUND COVER		

EROSION CONTROL LEGEND			
SYMBOL	ITEM		
VP VP VP VP VP	VEGETATION PROTECTION		
	STABILIZED CONSTRUCTION ENTRANCE		
	INLET PROTECTION		
CWA	CONCRETE WASHOUT AREA		
GRADIN	IG LEGEND		
SYMBOL	ITEM		
• (123.45)	SPOT ELEVATION - FINISHED		
(497)	- CONTOUR - FINISHED		
(490)	CONTOUR - FINISHED - INDEX		
	Y LEGEND		
SYMBOL			
D D D D			
SAN SAN	- SANITARY		
W W W	- WATER		
UGE UGE UGE	ELECTRIC - UNDERGROUND     UTILITY - LIMITS OF WORK AT		
2	BUILDING		
UGD UGD	- DATA - UNDERGROUND		
	STORM CATCH BASIN		
0	STORM MANHOLE - WITH GRATE		
	SITE LIGHT		
ΡΙ ΔΝΙΤΙΝ			
SYMBOL			
··-··	- SPADE CUT EDGE		
+	DECIDOUS TREE		
⊕ ⊙	DECIDUOUS SHRUB		
	PERENNIAL/GROUND COVER		

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LAWN (SOD)

Page 19 of 40 

# SS $\overline{}$ $\mathbf{M}$ Ŷ ≻z Δ Ω KING + KING PROJ. NO.: **24-11-8390**



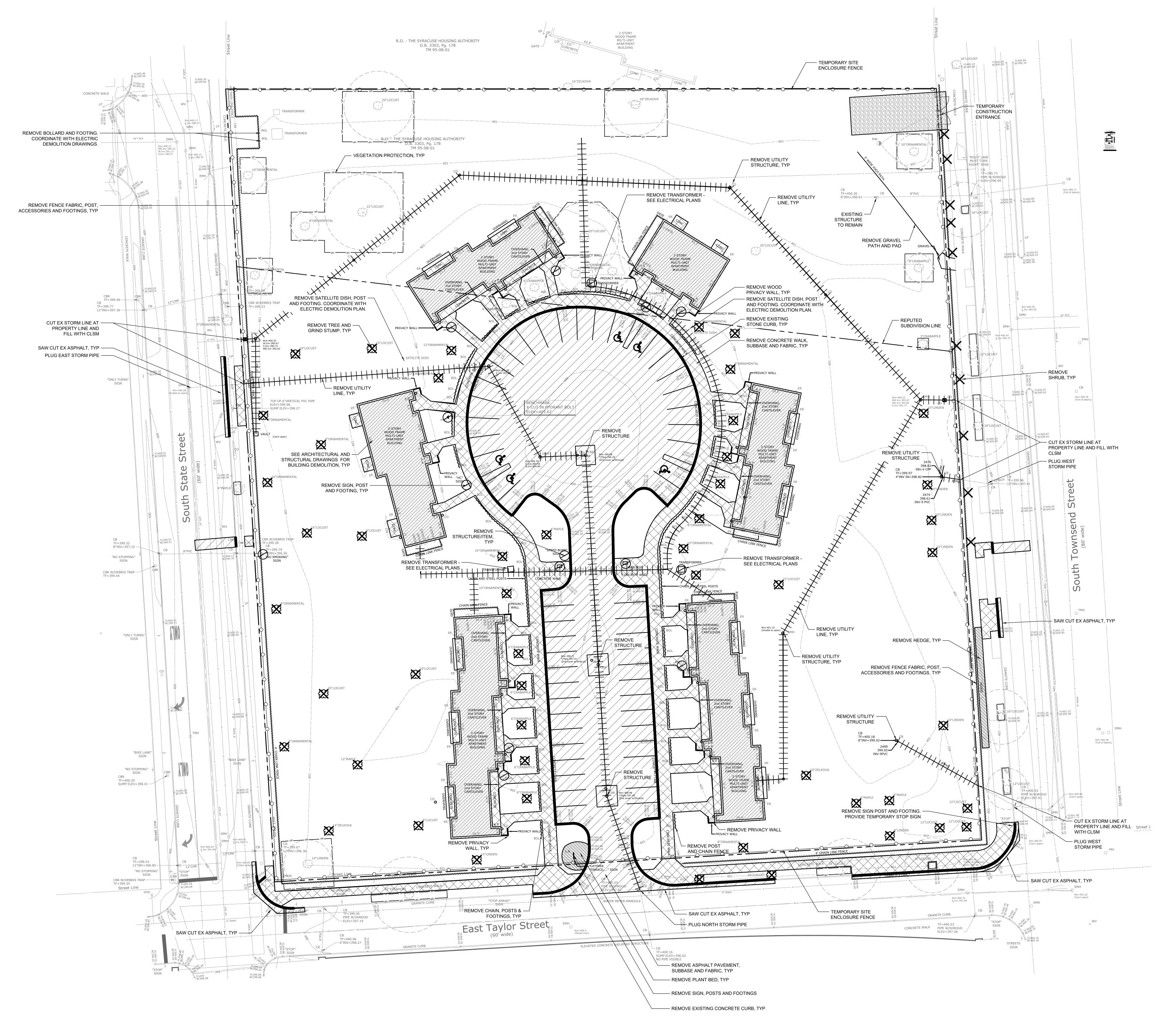
NOT FOR CONSTRUCTION DIGITAL REPRODUCTIONS OF THESE RAWINGS SHALL NOT BE POSTED TO WEB SITES WITHOUT THE DIRECT WRITTEN PERMISSION OF THE ARCHITECT. T IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DOCUMENT IN ANY WAY ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH THE DESCRIPTION OF THE ALTERATION AND SIGNATURE AND DATE. COPYRIGHT ©. 1 12/20/24 ZBA SUBMISSION ARK DATE DESCRIPTION

DRAWING DATE: 12/20/2024 DRAWN BY: AML/EG/SJM SCALE: AS SHOWN

DRAWING TITLE: GENERAL

INFORMATION

**C0.1** 



DATA, AND TELEPHONE UNITS

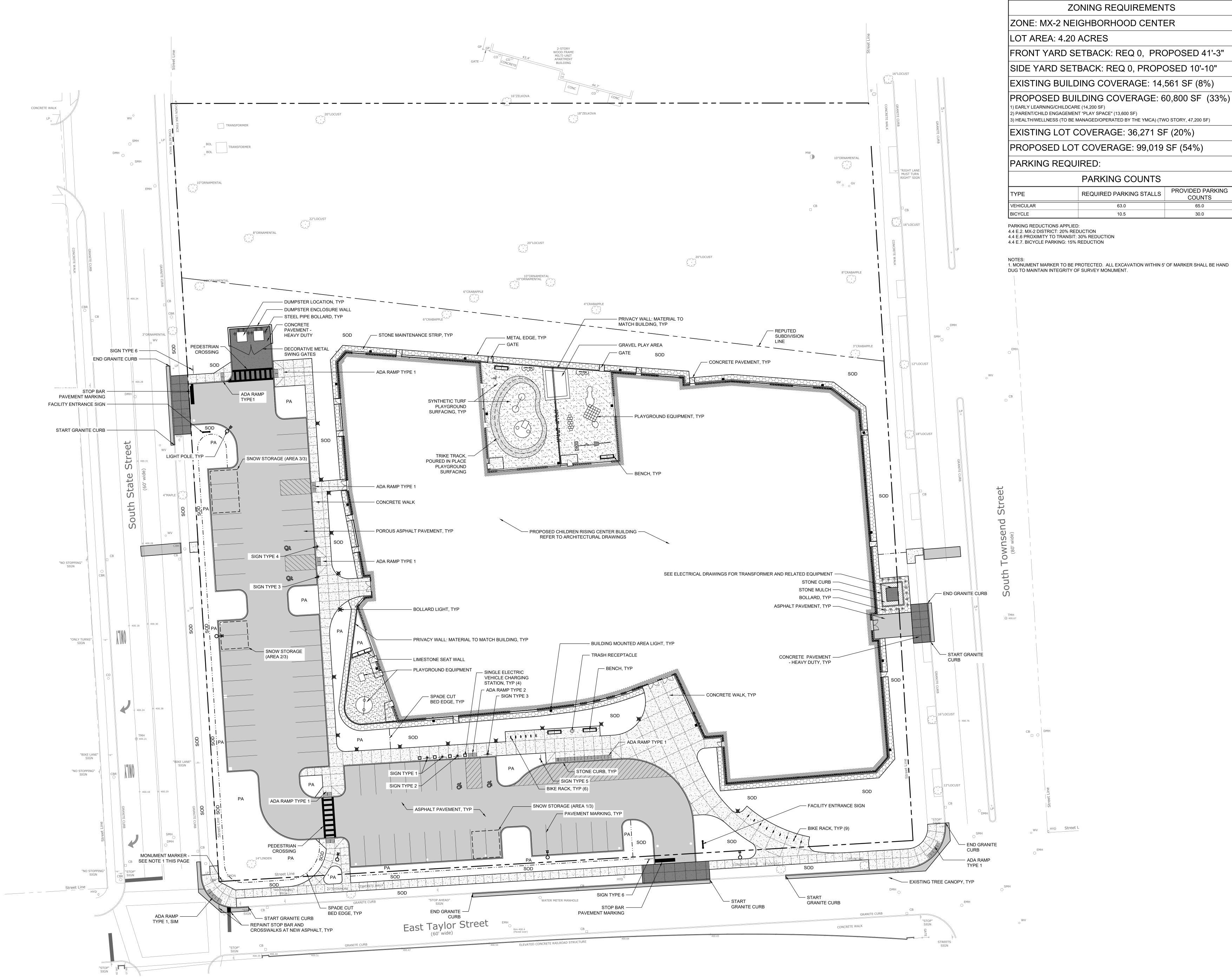


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GRAPHIC SCALE (IN FEET)

# DEMOLITION PLAN NOTES:

SEE UTILTY DEMOLITION PLAN FOR REMOVAL OF UTILITIES
 SEE ELECTRICAL PLANS FOR REMOVAL OF ELECTRICAL,



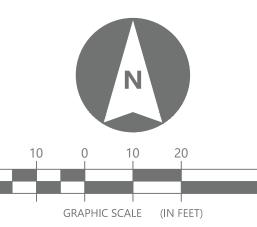
MENTS				
ENTER				
PRC	DPOSED 41'-3"			
ROP	OSED 10'-10"			
E: 14,	561 SF (8%)			
GE: 60,800 SF (33%)				
MCA) (TW	/O STORY, 47,200 SF)			
71 SF (20%)				
9,019 SF (54%)				
NTS				
TALLS	PROVIDED PARKING COUNTS			
	65.0			
	30.0			

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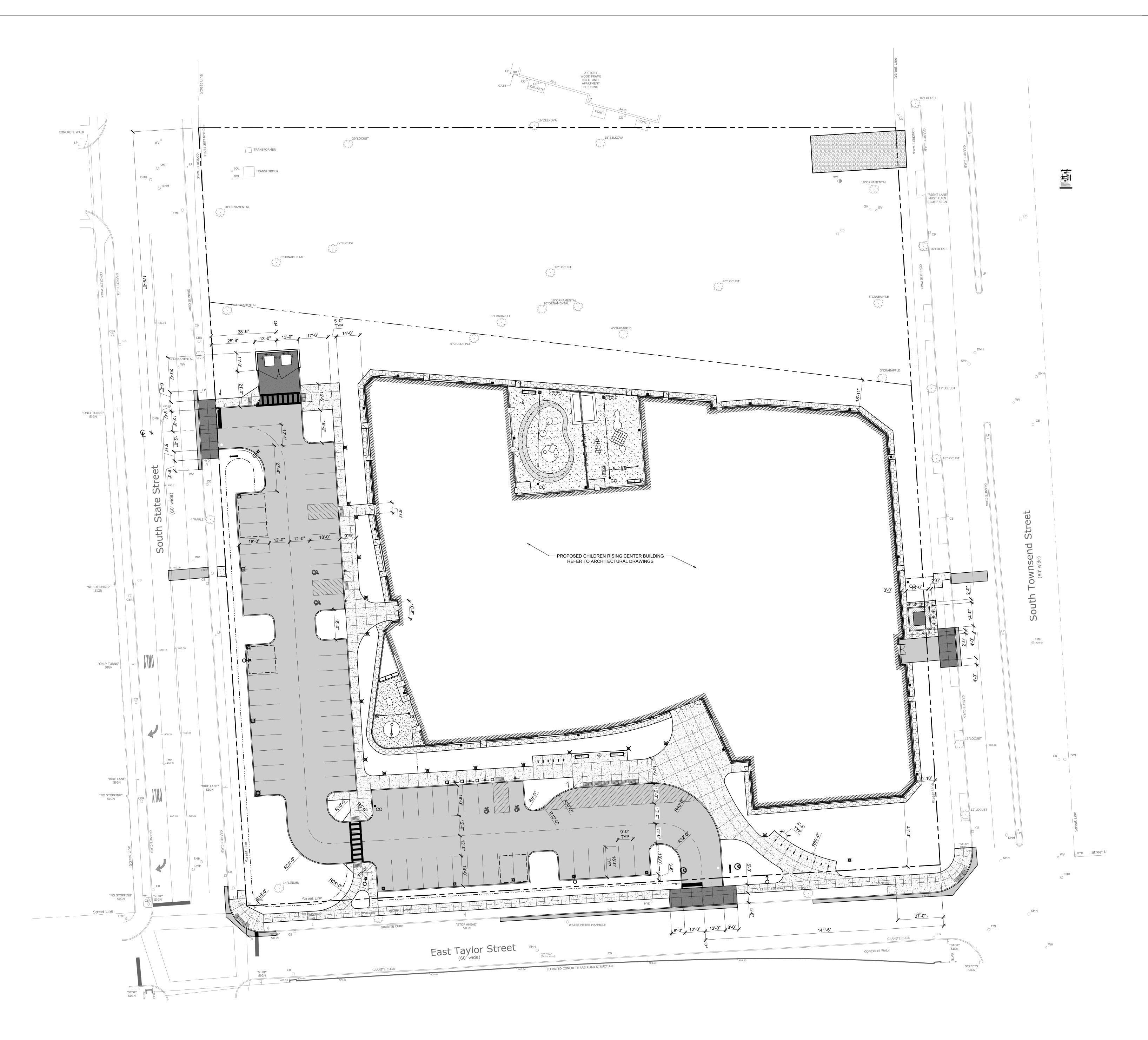
 $\bigcirc$ 

 $\bigcirc$ 

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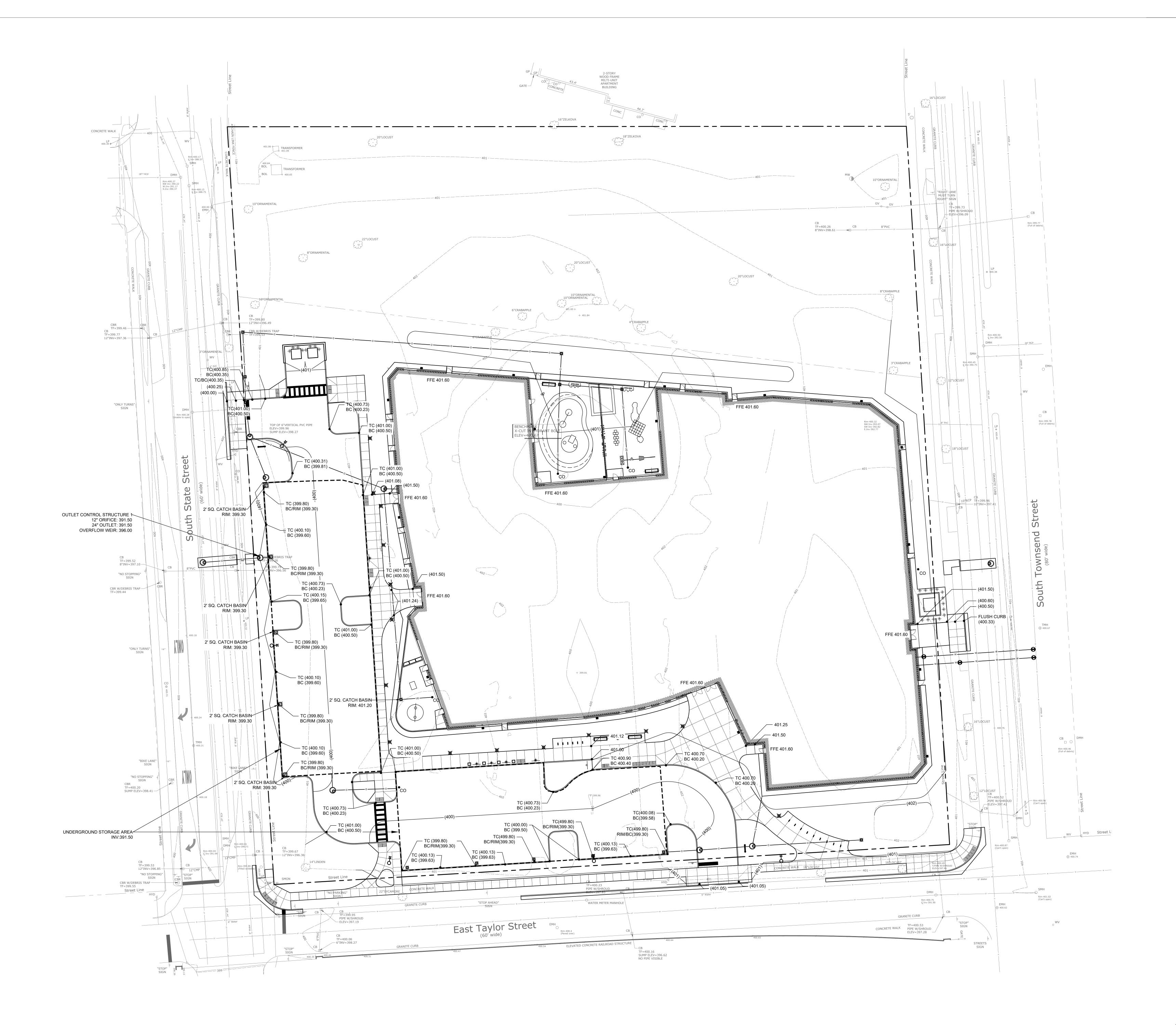




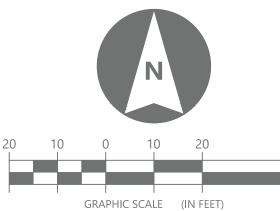


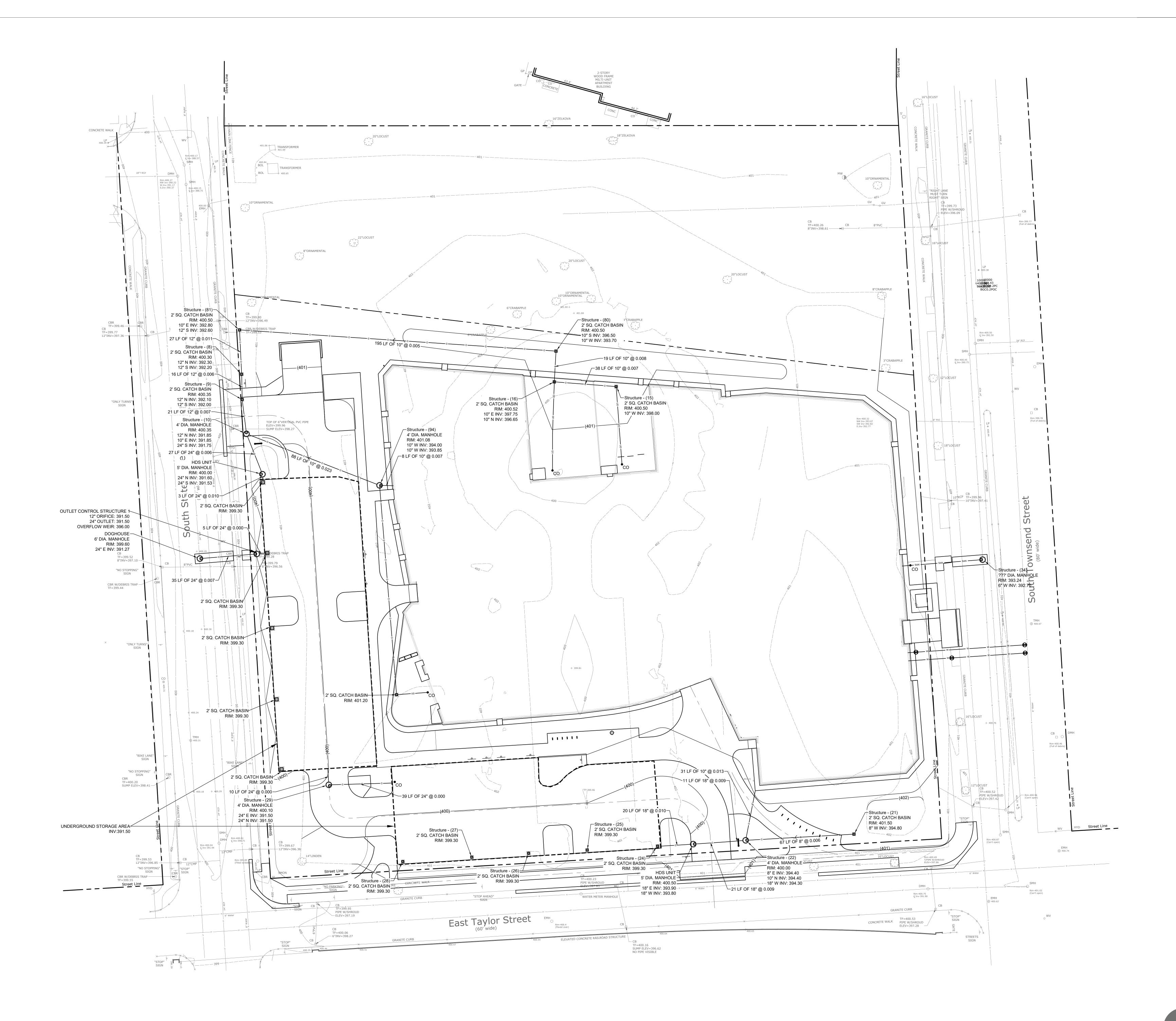
20 10 0 10 20 GRAPHIC SCALE (IN FEET)





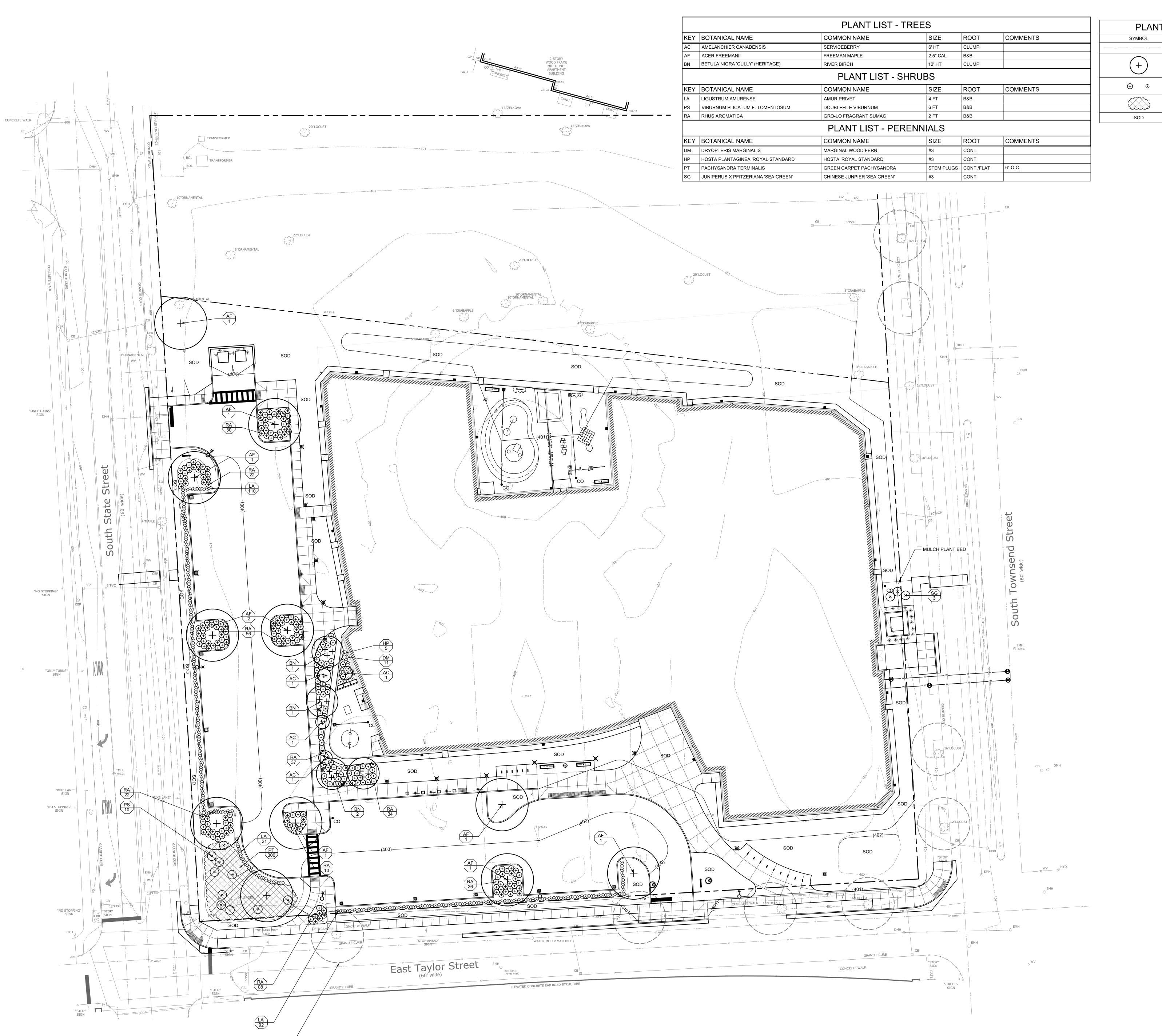








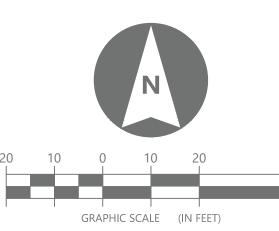
0 10 GRAPHIC SCALE (IN FEET)

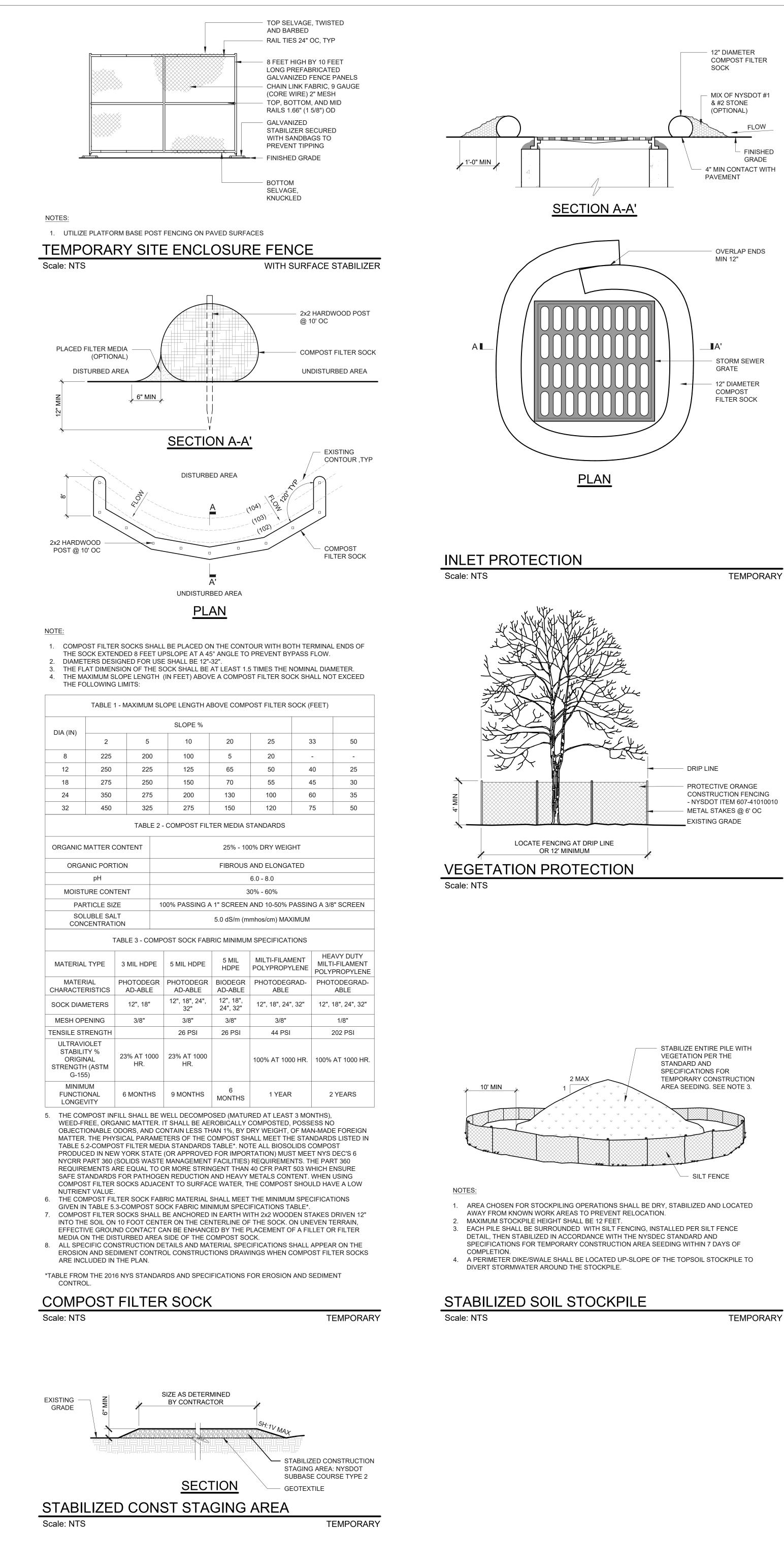


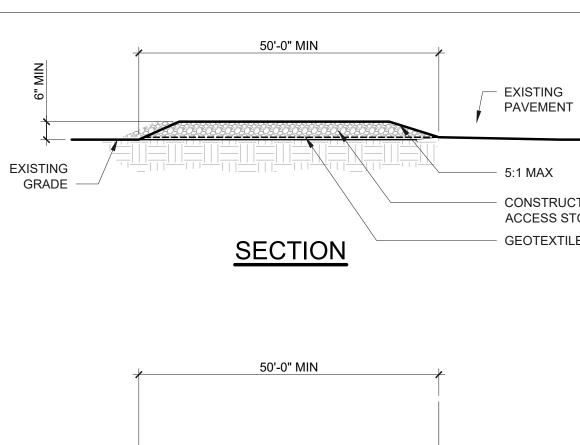
EXISTING TREE CANOPY —/ APPROXIMATION, TYP

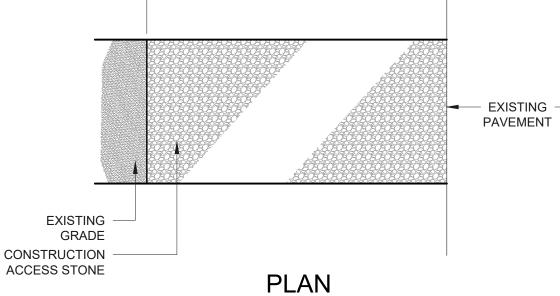
TING LEGEND				
	ITEM			
_ ·	SPADE CUT EDGE			
	DECIDOUS TREE			
	DECIDUOUS SHRUB			
	PERENNIAL/GROUND COVER			
	LAWN (SOD)			









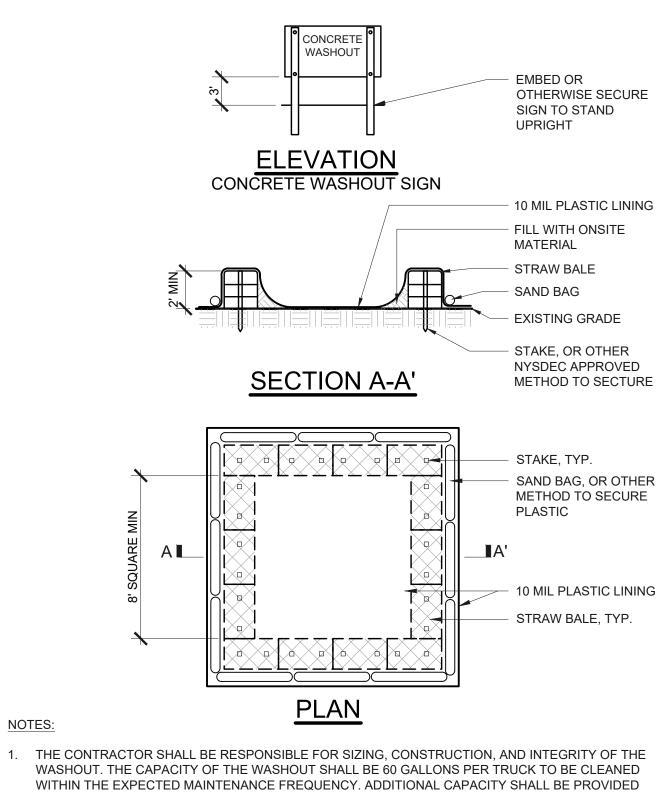


# NOTES:

1. CONSTRUCTION ACCESS STONE SIZE - USE A 50% TO 50% MIX OF NYSDOT #4 AND #5 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. 2. GEOTEXTILE: 2.A. MIRAFI 500X OR APPROVED EQUAL.

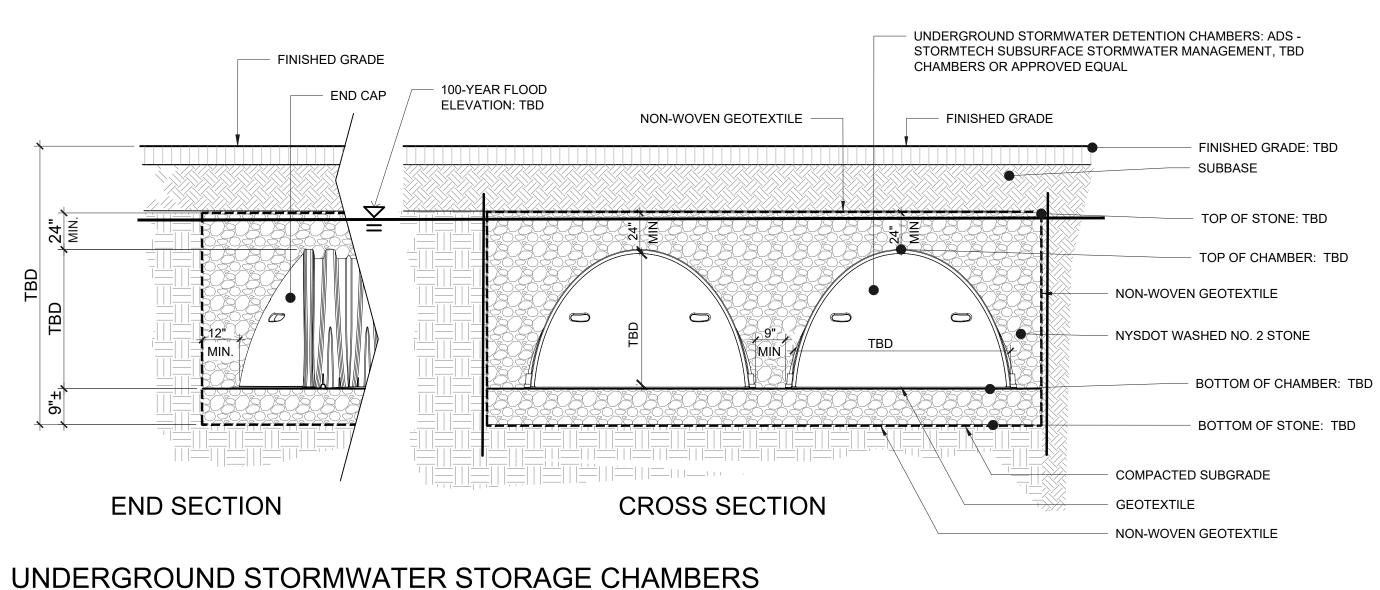
- 2.B. SHALL BE PLACED UNDER THE ENTIRE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACING OF STONE. 3. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED ACROSS THE STABILIZED CONSTRUCTION
- ACCESS. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE USED. 4. MAINTENANCE - THE CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC
- RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. 5. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ACCESS ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO A NYSDEC APPROVED SEDIMENT TRAPPING DEVICE.

# 6. TRAINED CONTRACTOR SHALL PROVIDE DAILY INSPECTIONS. STABILIZED CONSTRUCTION ACCESS Scale: NTS



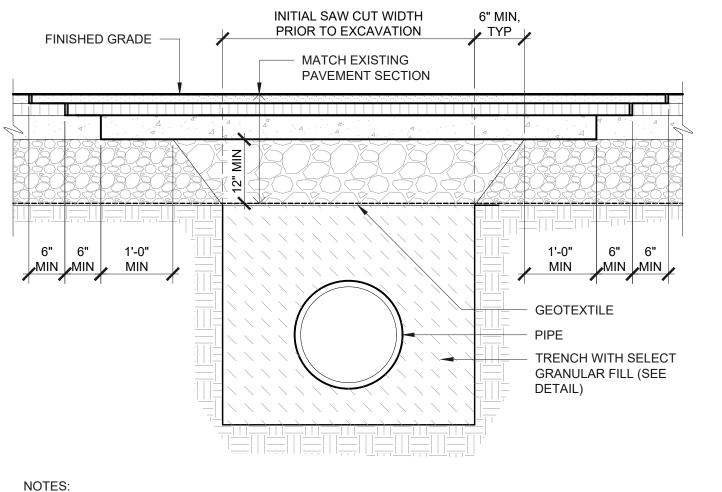
- WITHIN THE EXPECTED MAINTENANCE FREQUENCY. ADDITIONAL CAPACITY SHALL BE PROVIDED TO ACCOMMODATE RAINFALL.
- 2. OTHER METHODS OF CONCRETE WASHOUT CONTAINMENT MAY BE UTILIZED IF APPROVED BY THE OWNER'S REPRESENTATIVE. 3. LOCATE WASHOUT AREA AT LEAST 100' FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES.
- 4. THE PLASTIC LINING SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AND SHALL BE REPLACED AT EVERY CLEANING.
- 5. DO NOT ALLOW RUNOFF TO ENTER THIS AREA. 6. THE CONCRETE WASHOUT SIGN SHALL BE PLACED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

CONCRETE WASHOUT AREA Scale: NTS



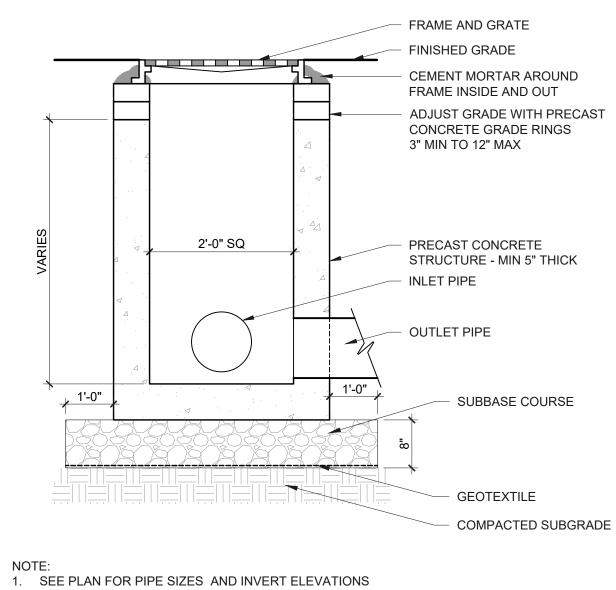
Scale: NTS

# SAW CUT SHALL BE MADE PRIOR TO PAVING AFTER BACKFILL OF TRENCH TO BOTTOM OF NEW PAVEMENT. 2. ALL SEAMS BETWEEN EXISTING AND NEW ASPHALT SURFACES SHALL BE SEALED WITH ASPHALT FILLER 3. BOTTOM OF ASPHALT OR CONCRETE COURSE SHALL MATCH THE BOTTOM OF OR BE SET BELOW BOTTOM OF EXISTING PAVEMENT BOTTOM COURSE. TRENCH RESTORATION TEMPORARY Scale: NTS IN ASPHALT PAVEMENT



1. EXISTING PAVEMENT SHALL BE SAW CUT TO OBTAIN A STRAIGHT AND NEAT EDGE FOR PAVING.

# STORM - 2' X 2' CATCH BASIN TEMPORARY Scale: NTS OTHERWISE SECURE



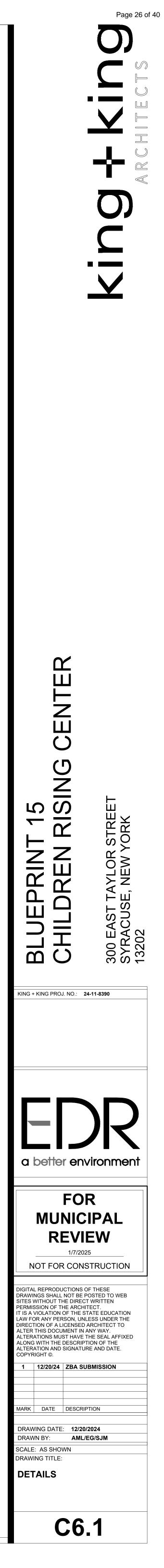
# STORM - UNDERDRAIN Scale: NTS

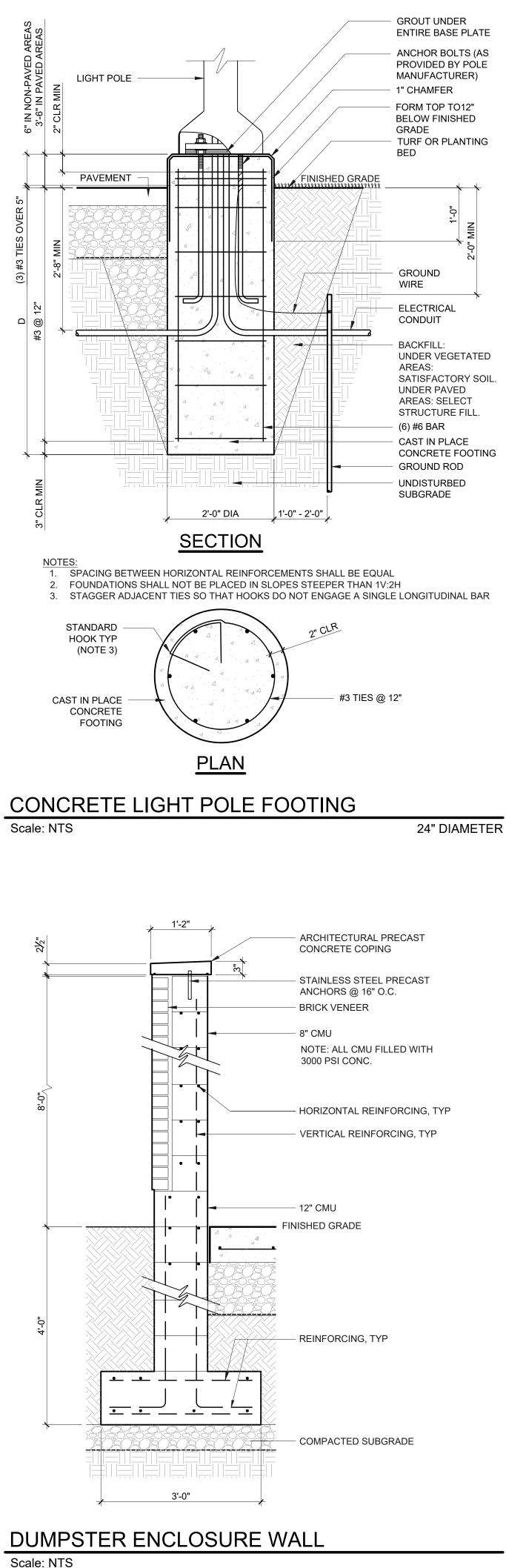
CONSTRUCTION ACCESS STONE GEOTEXTILE

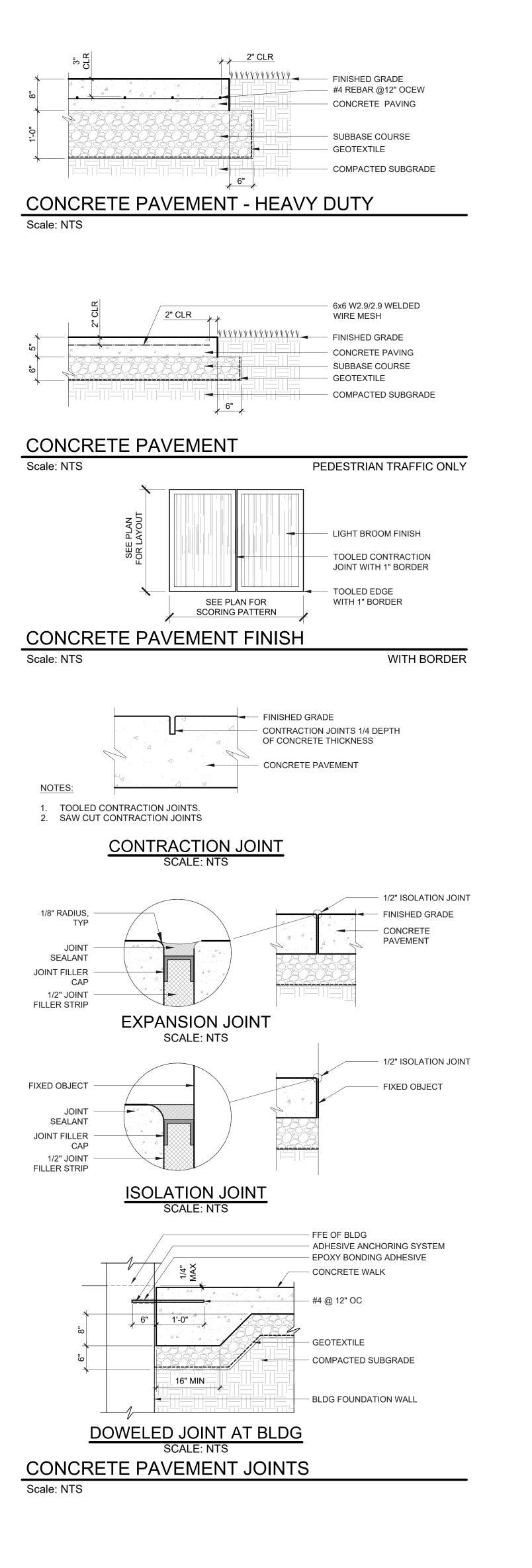
# SUBGRADE 12"

FILTER FABRIC ALL AROUND OVERLAP 6" AT TOP CAP AND WRAP END OF PIPE FILTER MATERIAL 4" UNDERDRAIN PIPE HOLES DOWN, PITCH PARALLEL TO FINISHED GRADE UNLESS OTHERWISE INDICATED. INSTALL WHERE SHOWN ON PLAN

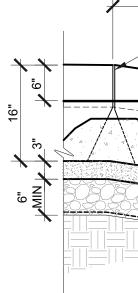
IN PAVEMENT

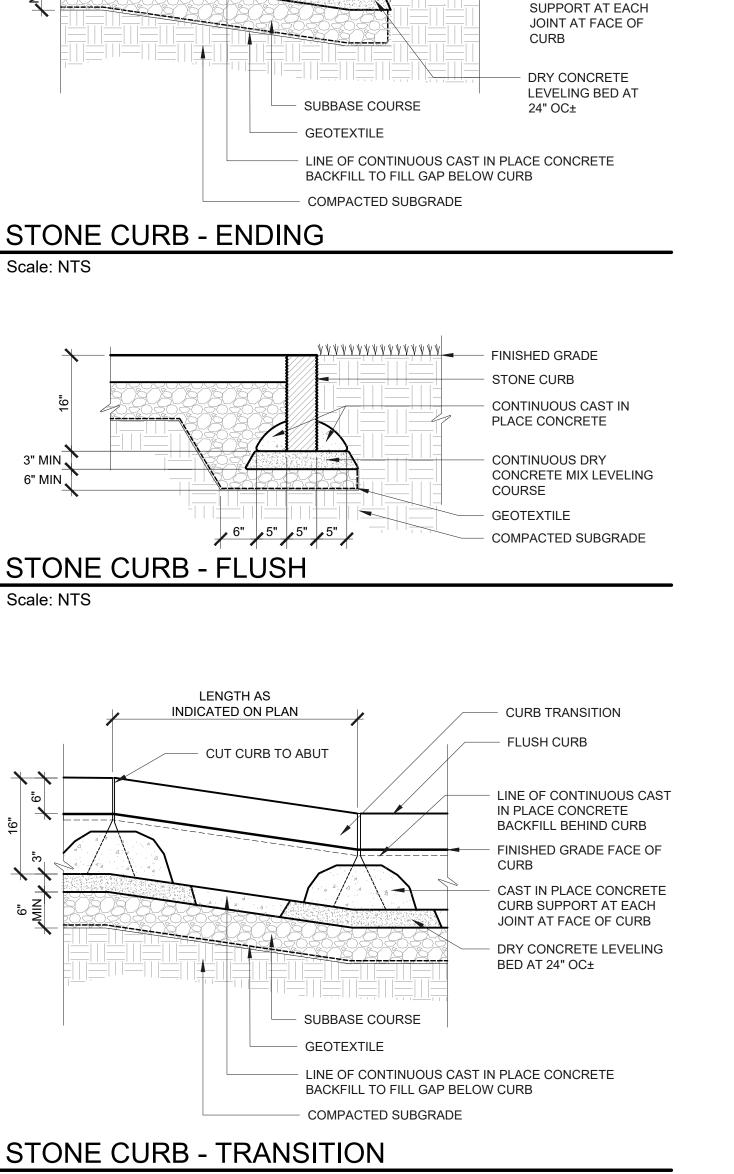


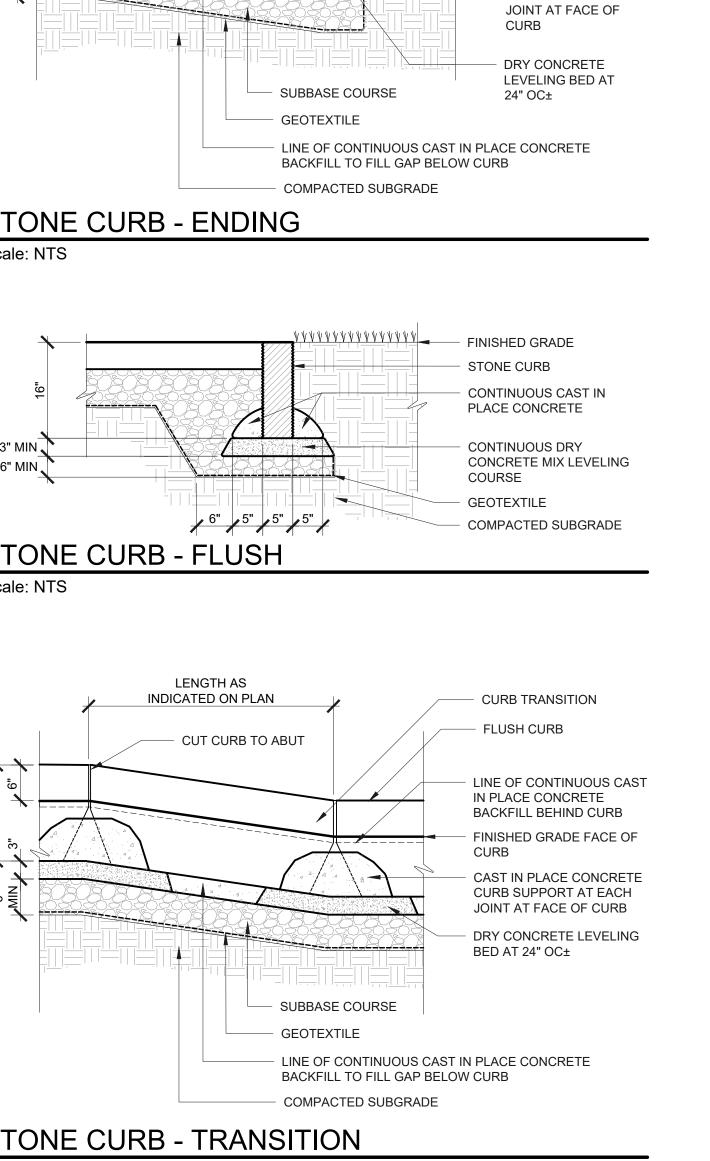


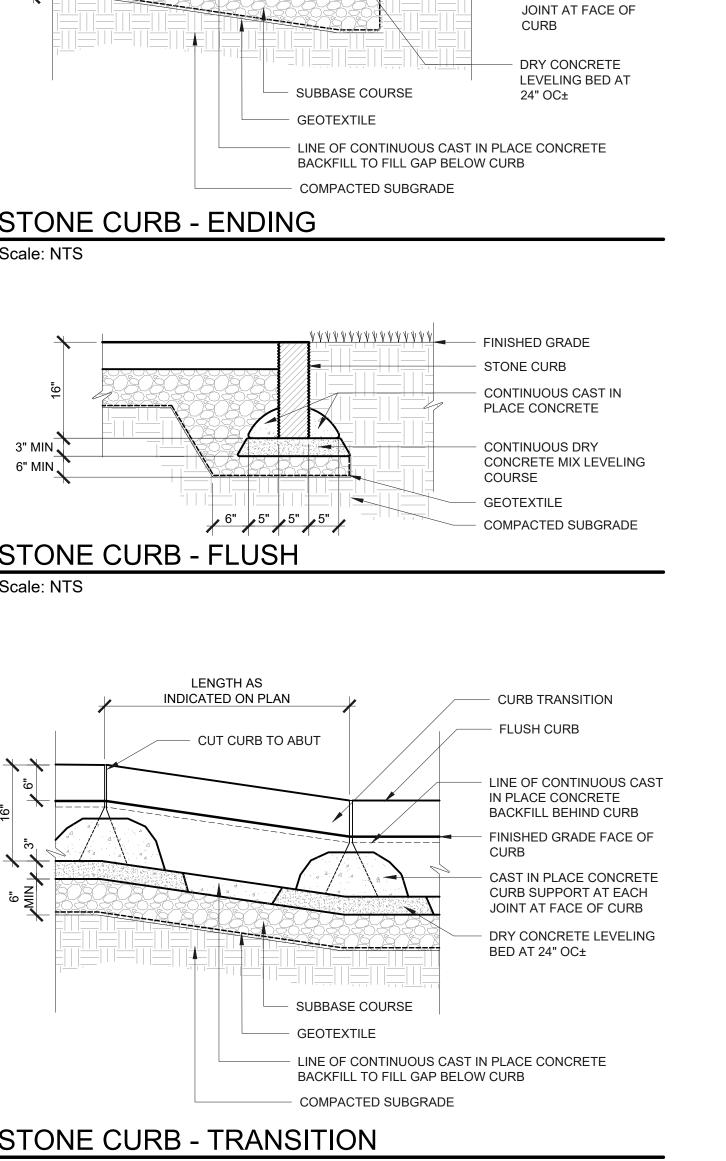


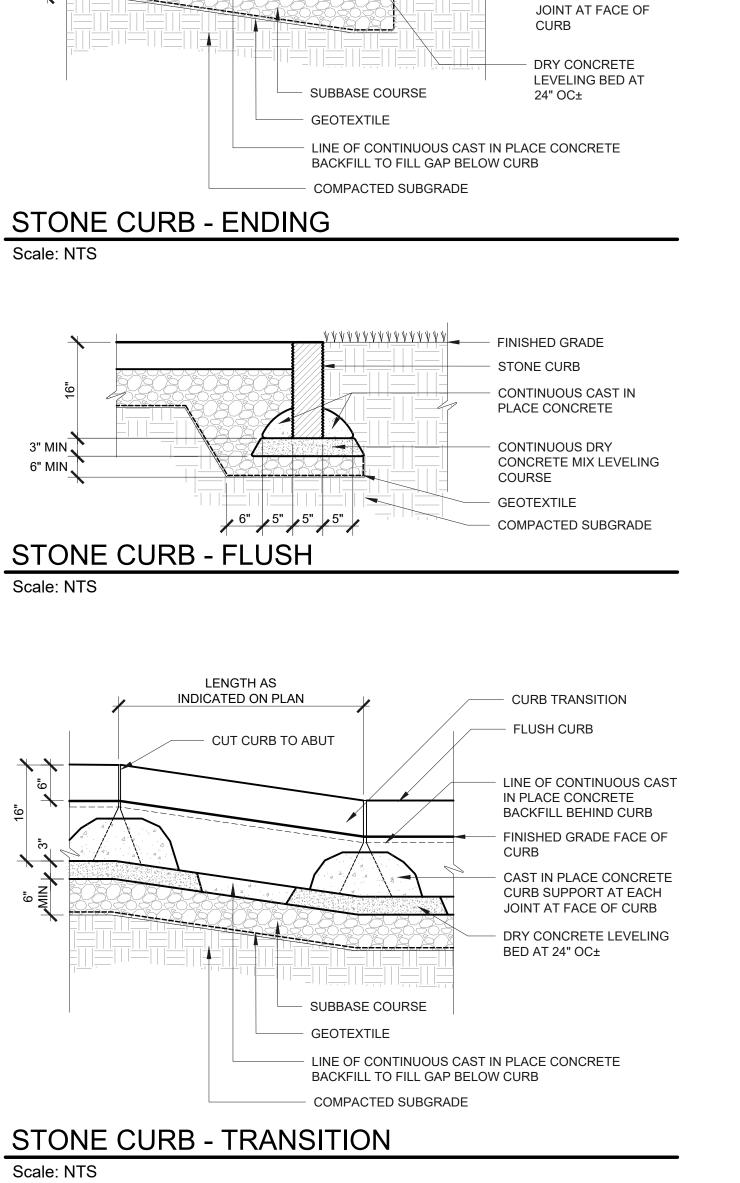


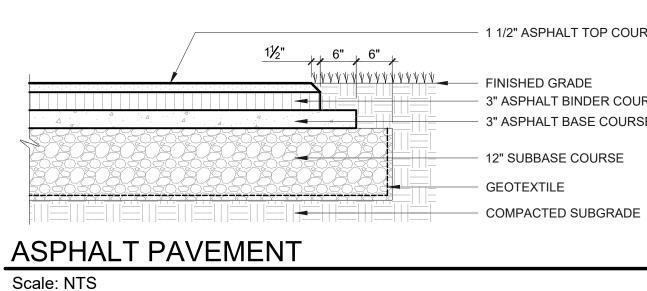












- EX ASPHALT PAVEMENT

SECTION TO REMAIN

ASPHALT PAVEMENT JOINT

Scale: NTS

SAW CUT EDGE

TACK COAT

— FINISHED GRADE 3" ASPHALT BINDER COURSE - 3" ASPHALT BASE COURSE

GEOTEXTILE

FINISHED GRADE

ASPHALT PAVEMENT

PAVEMENT DETAIL)

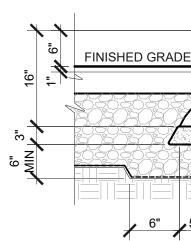
OF EX SUBBASE

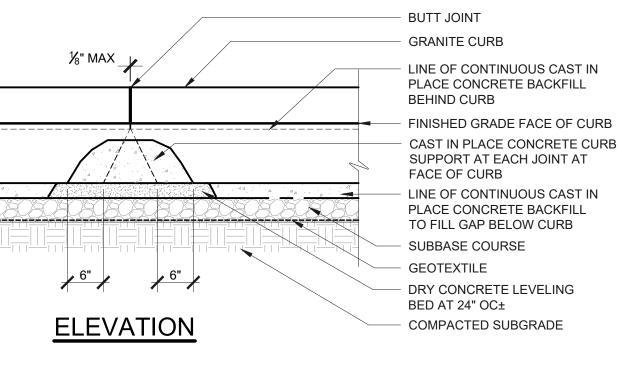
SECTION (SEE ASPHALT

SUBBASE COURSE TO DEPTH

FULL DEPTH

- 1 1/2" ASPHALT TOP COURSE



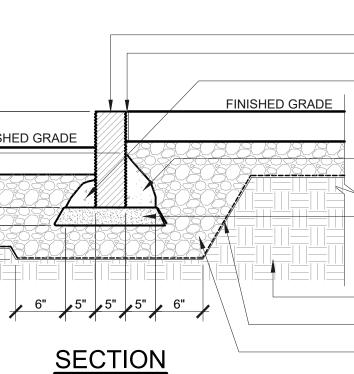


LENGTH AS

INDICATED ON PLAN

— CURB ENDING

- CUT CURB TO ABUT



CAST IN PLACE CONCRETE CURB SUPPORT AT EACH JOINT AT FACE OF CURB CONTINUOUS CAST IN PLACE CONCRETE CURB SUPPORT DRY CONCRETE LEVELING BED AT 24" OC± - COMPACTED SUBGRADE

STONE CURB

GEOTEXTILE

SUBBASE COURSE

FINISHED GRADE

LINE OF CONTINUOUS CAST IN PLACE

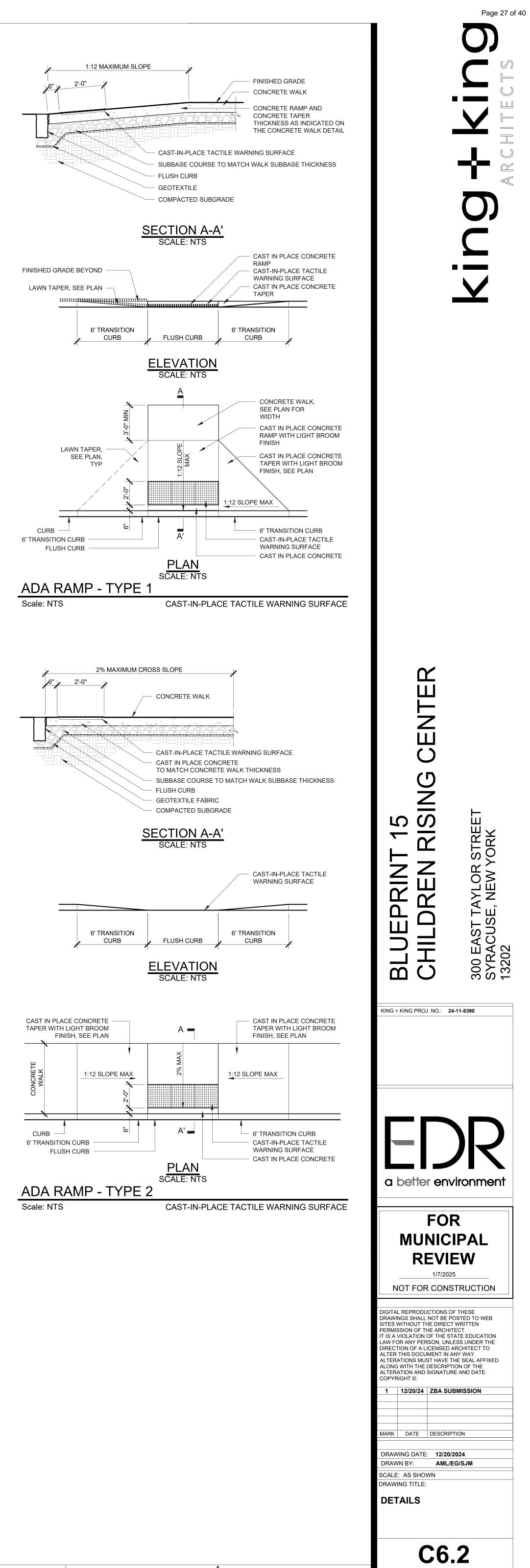
CONCRETE BACKFILL

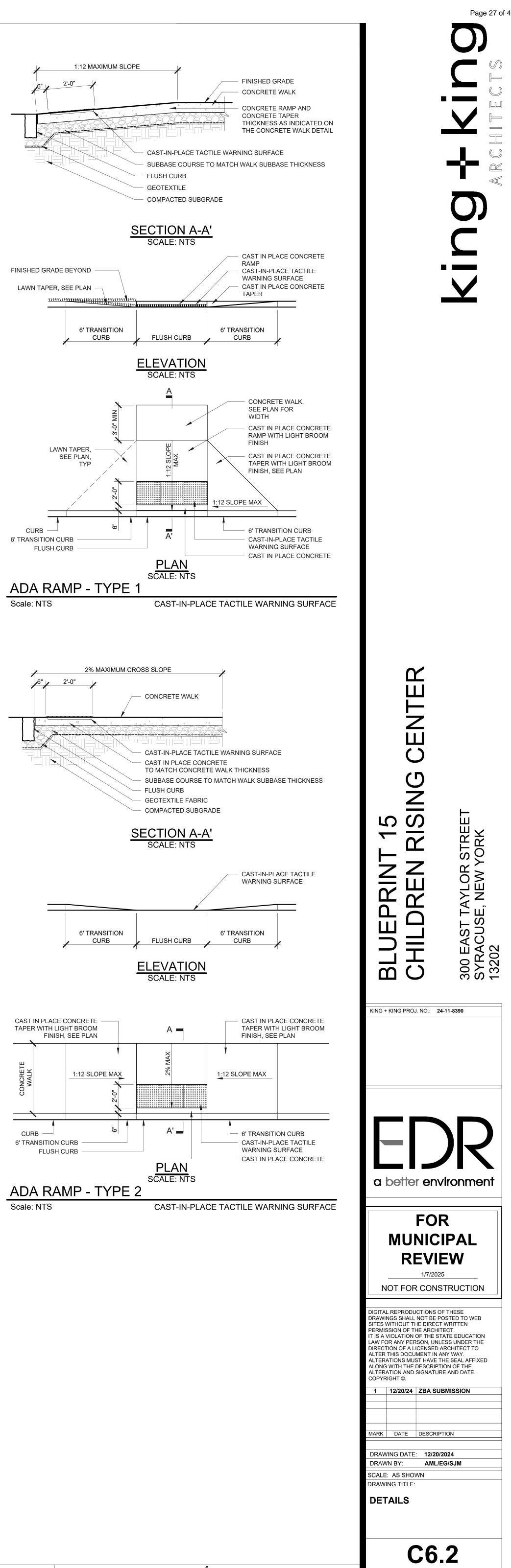
FACE OF CURB

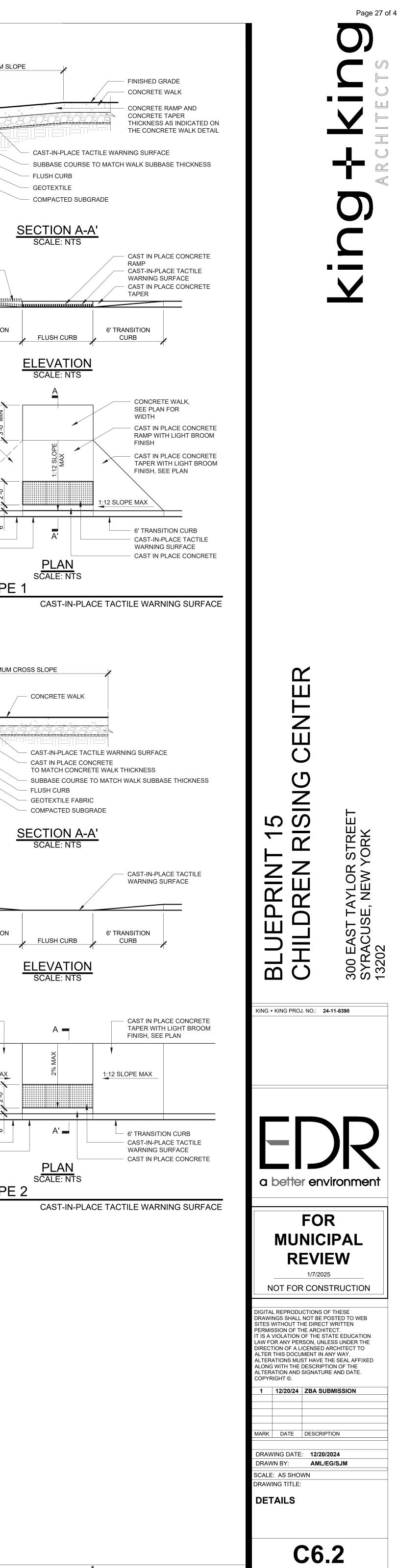
**BEHIND CURB** 

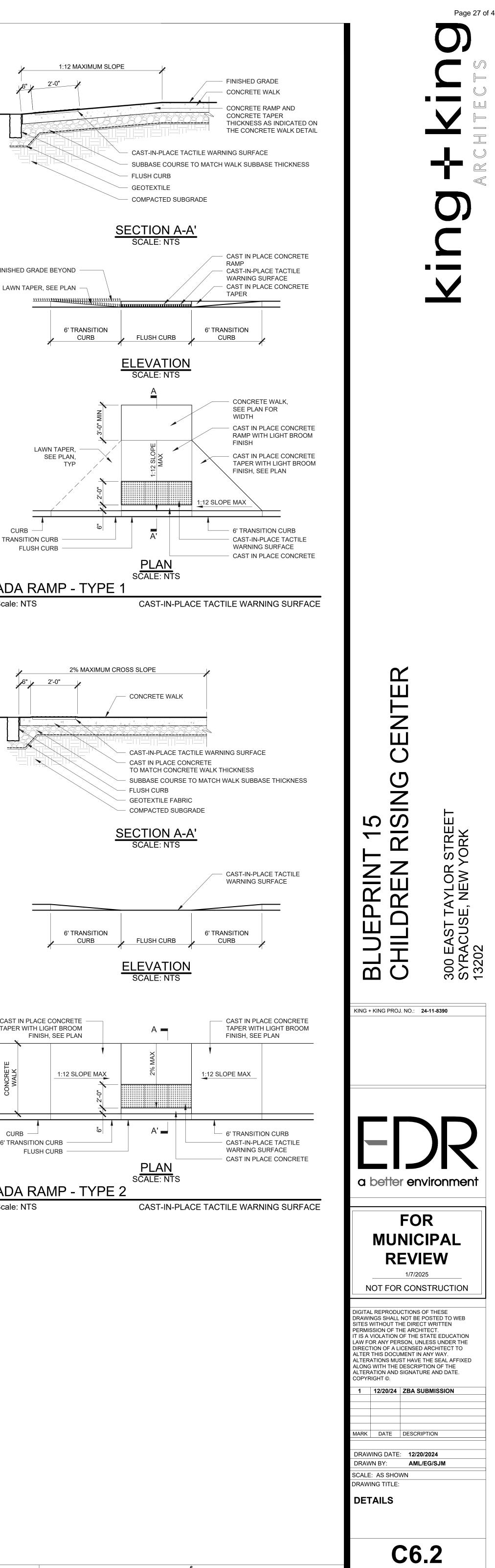
CAST IN PLACE CONCRETE CURB

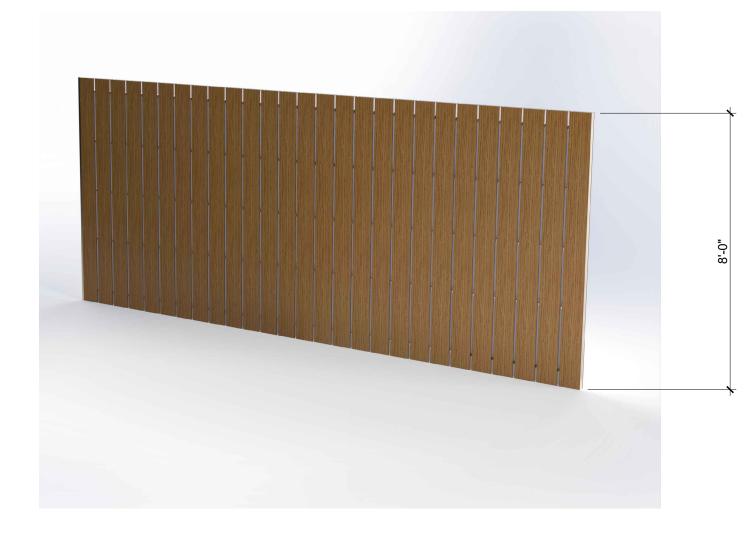
EXPANSION JOINT



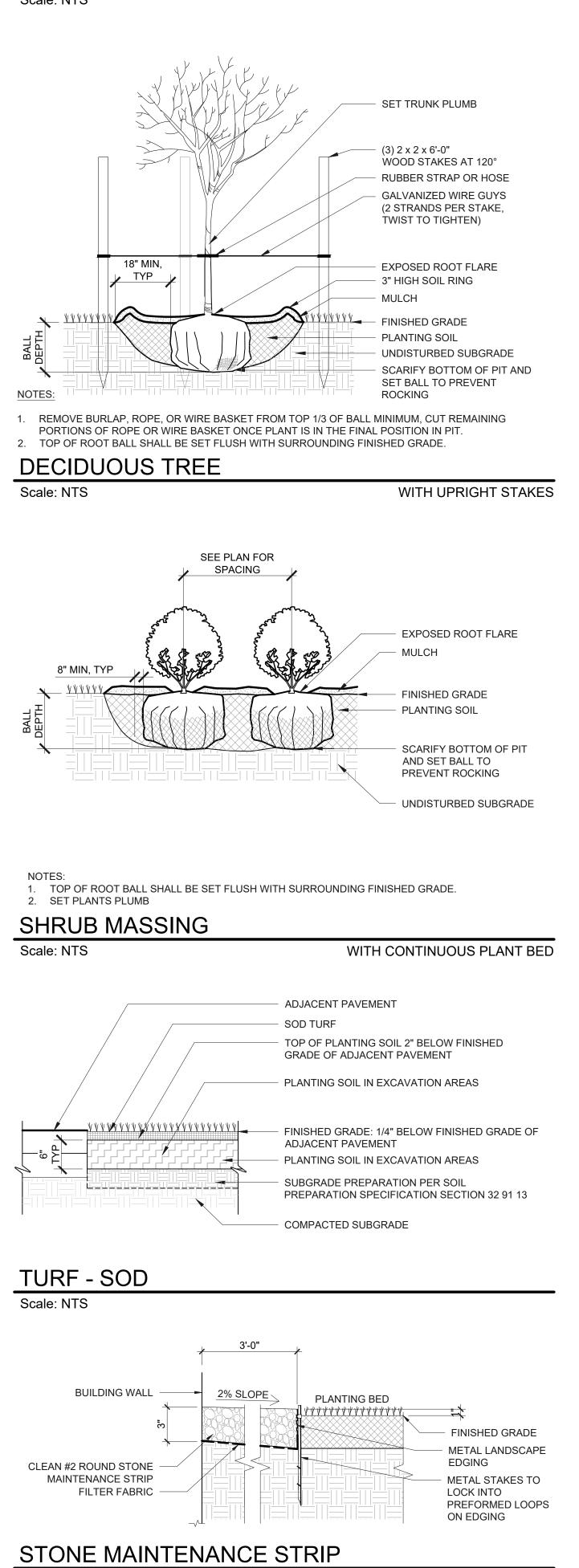




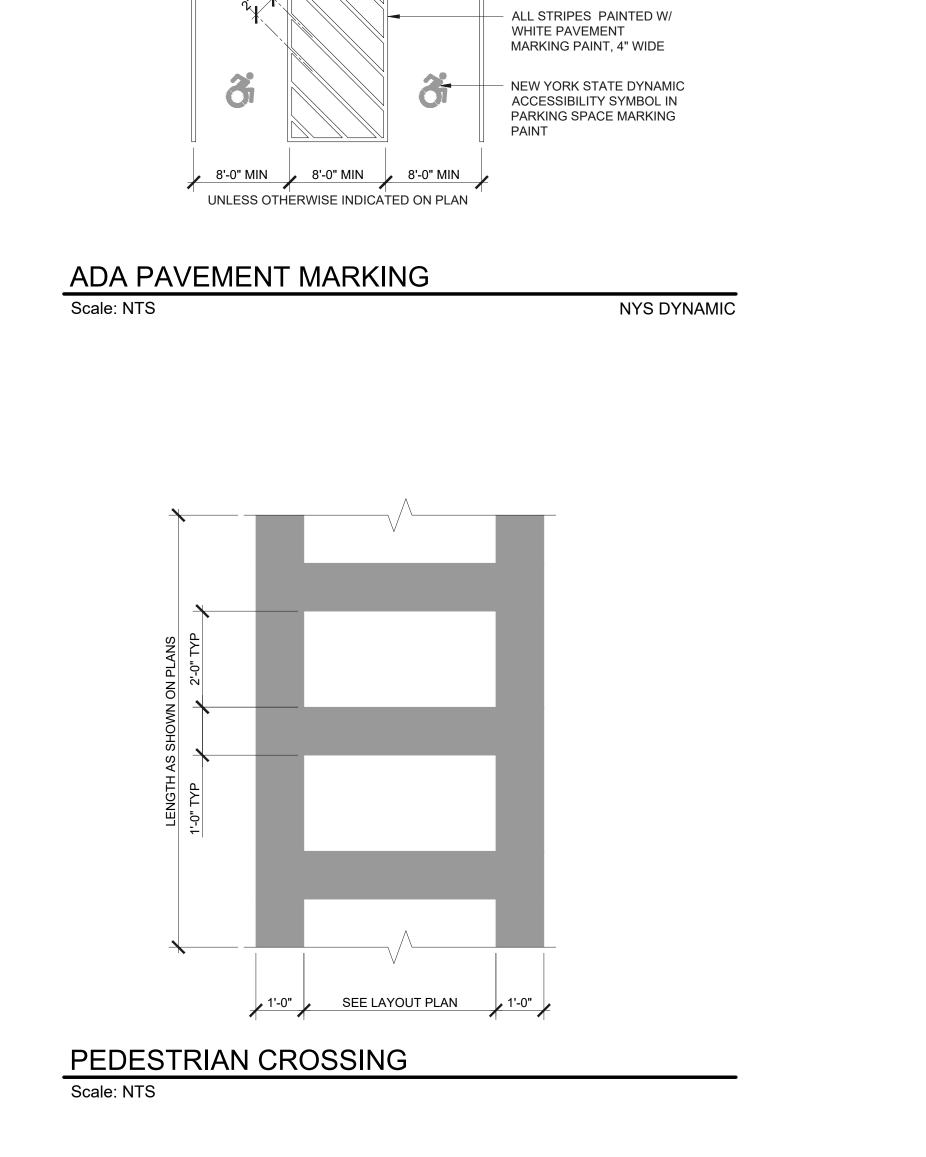




# ARCHITECTURAL CLADDING FENCE Scale: NTS



Scale: NTS





SPA

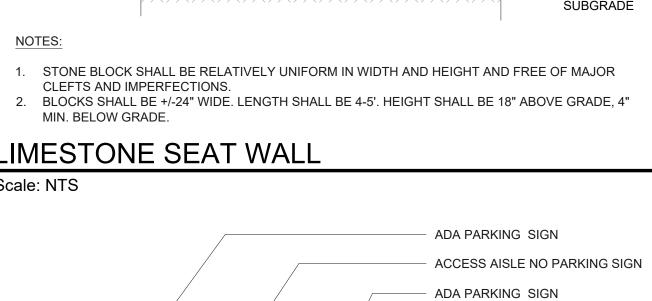
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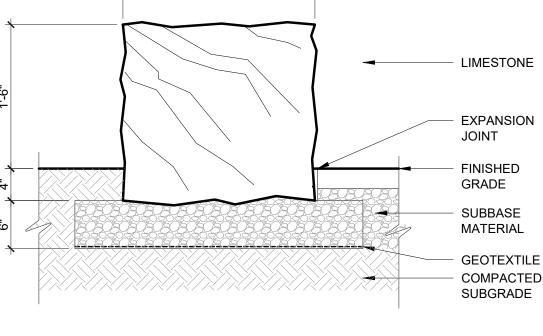
AISI AISI

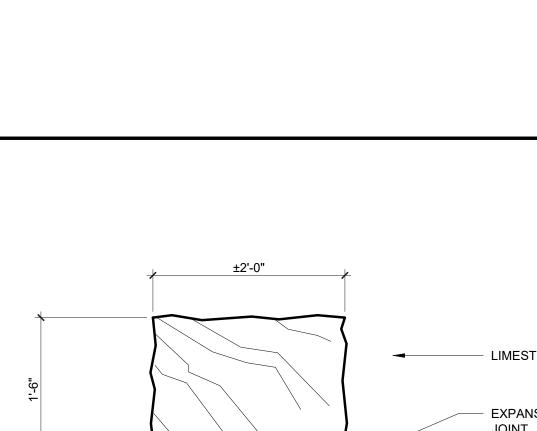
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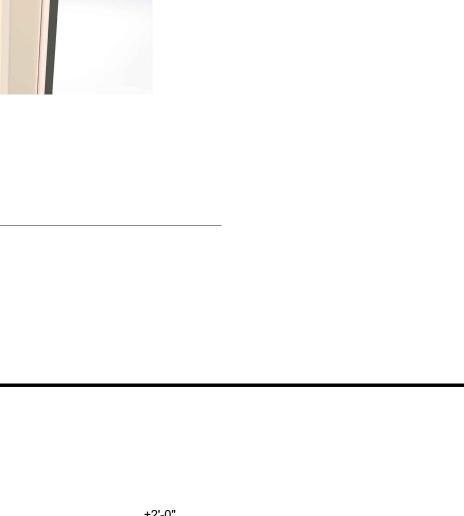
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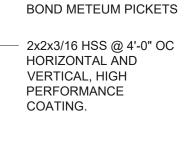
NOTES:

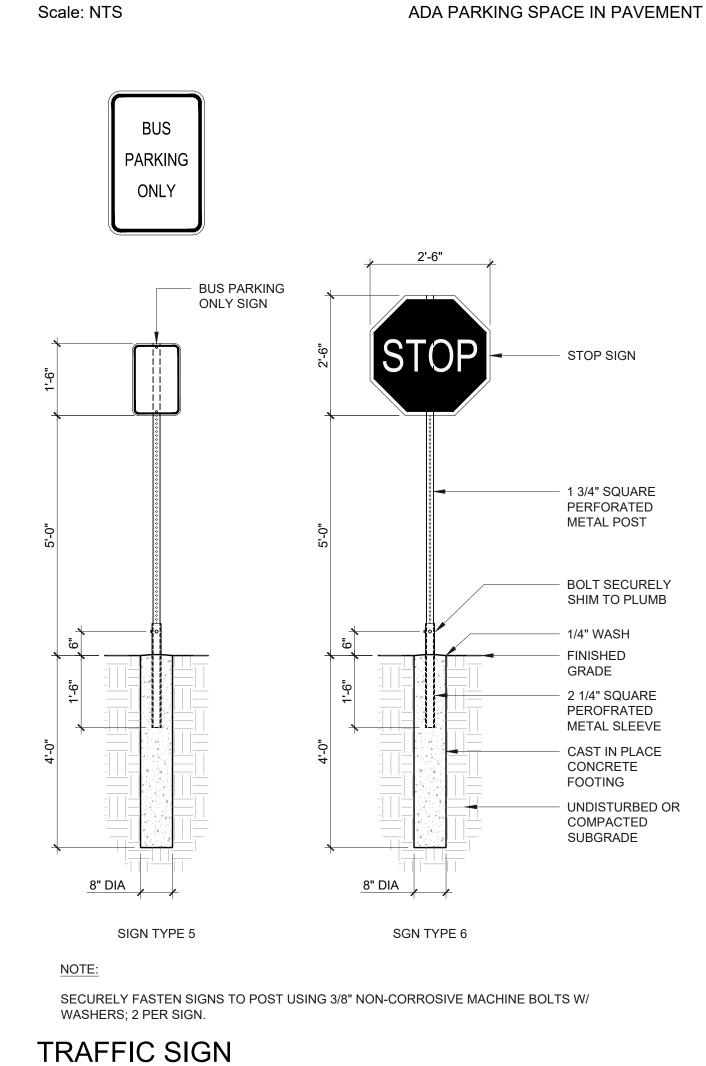


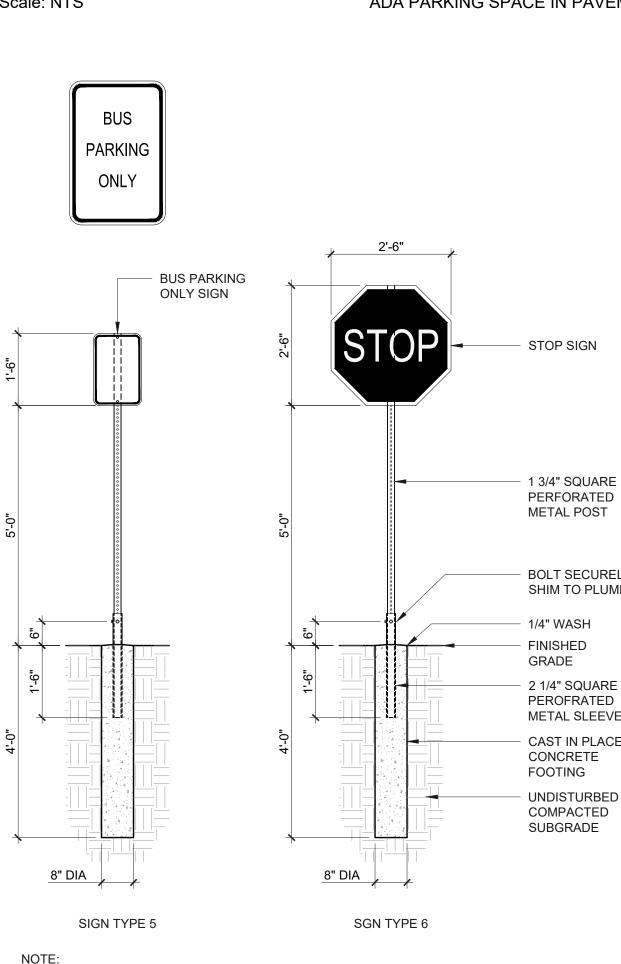


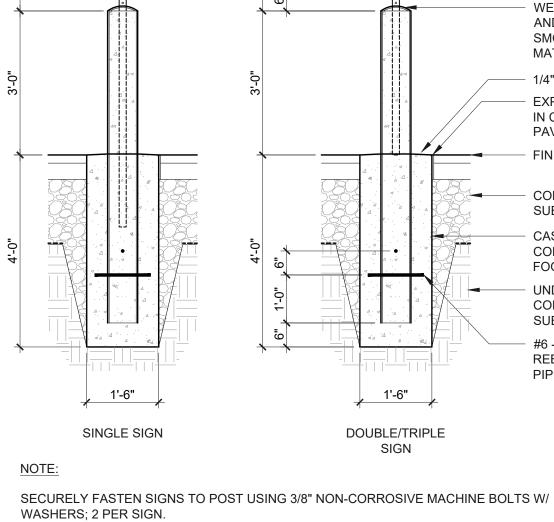




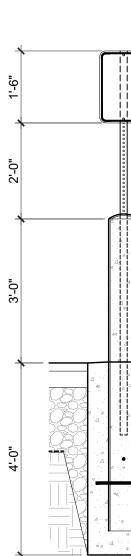


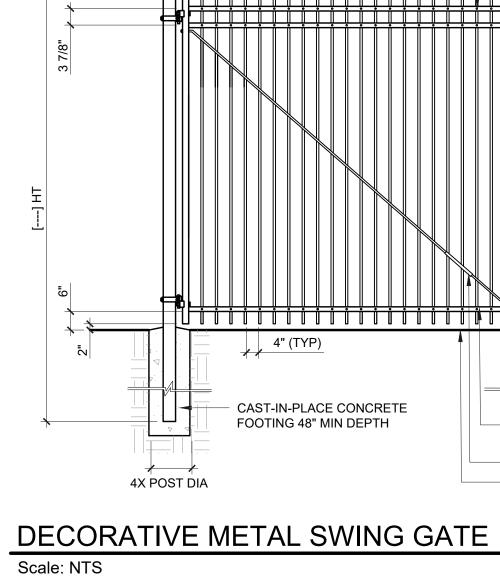






TRAFFIC SIGN





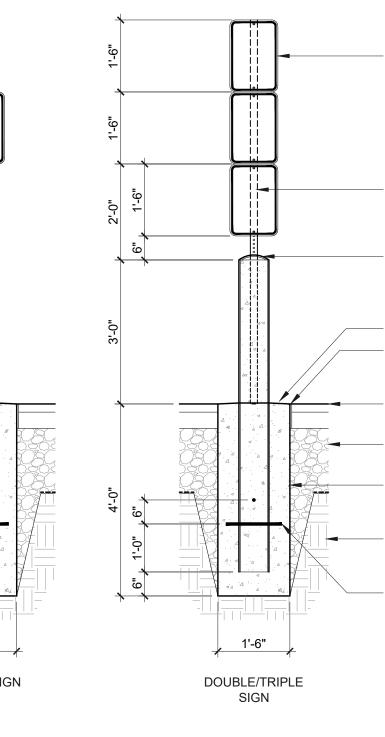
2 1/4" (TYP)

CAST-IN-PLACE CONCRETE FOOTING 48" MIN DEPTH

4" (TYP)

TRESPA SPECTRUM

Scale: NTS



# SIGN, TYP. SEE PLAN

BAR FOOTING

- TURNBUCKLE

- MOW STRIP

TUBE

U-CHANNEL RAIL WITH 1 1/2" SQUARE

[---] L

AA,

# PERFORATED METAL POST WELD DOME CAP

MATCH POST 1/4" WASH

# 1 3/4" SQUARE

AND GRIND EDGES SMOOTH, PAINT TO

# EXPANSION JOINT IN CONCRETE PAVEMENT — FINISHED GRADE SUBBASE

- CAST IN PLACE CONCRETE FOOTING UNDISTURBED OR

COMPACTED SUBGRADE #6 - 14" LONG

REBAR THROUGH PIPE EACH WAY

IN LAWN

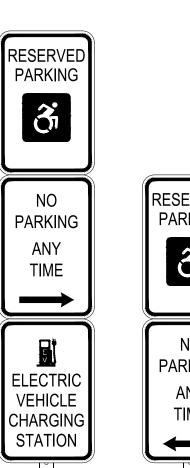
# E V ELECTRI VEHICLE PARKINO ONLY WHILE CHARGING

Scale: NTS

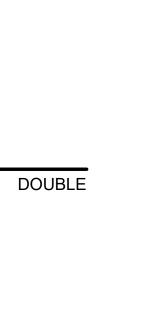
PARKING ANY TIME  $\rightarrow$ **F** ELECTRIC VEHICLE CHARGIN STATION SIGN TYPE 2

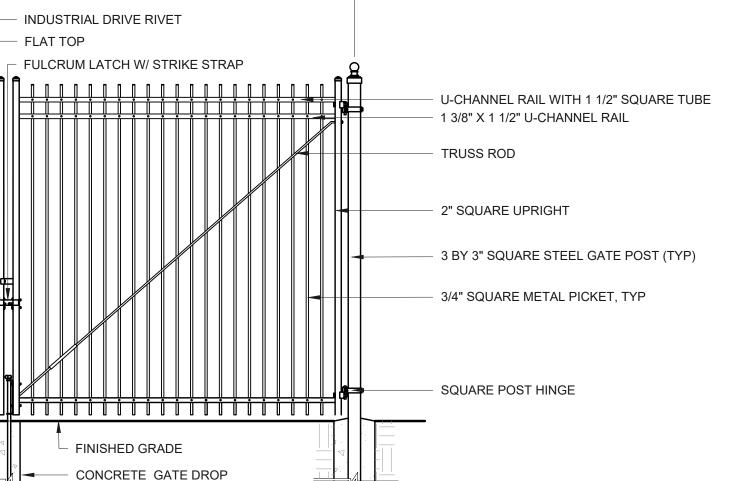
SIGN TYPE 1 **TRAFFIC SIGN TYPES** 

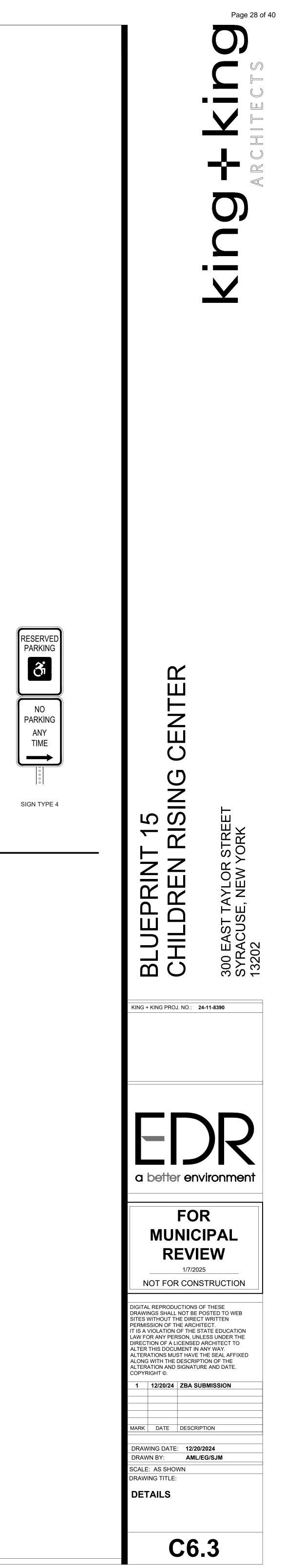
NO SIGN TYPE 3



RESERVED PARKING 3 NO PARKING ANY TIME -----







Spill Light	• • • • • • • •	• • • • • • • • • •	• • • • • • • • • •
0.0 0.0 0.1 0.1 0.1 0.1 0.2 0.2 0.2 0.2 0.2 0.2 0.2 0.1 0.1 0.1			
0.0 0.0 0.1 0.2 0.2 0.2 0.3 0.4 0.6 0.6 0.5 0.5 0.4 0.4 0.3 0.2			
0.0 0.0 0.2 0.4 0.4 0.4 0.4 0.4 0.7 1.0 1.4 1.5 1.6 1.5 1.3 1.3 1.2			
0.0 0.0 0.2 0.6 0.6 0.6 0.6 0.9 1.6 2.0 1.9 2.4 24 1.7 1.3 1.4			
0.0 0.0 0.3 1.0 0.9 0.8 0.8 0.8 0.9 1.8 2.1	1.9 1.2 0.6 0.2 0.2 0.4	0.9 1.7 2.4 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1.1 1.2 1.3 1.3 1.2 1.0 0.8 0.5 0.2 0.1 0.0 0.0
0.0 0.0 <u>0.3 1.3 1.1</u> 1.0 1.0 0.8 1.0 V2LQ-SI3LO	1.0 0.7 0.4 0.2 0.1	1.1 1.7	1.0 1.2 1.9 2.6 VLA 6 III 0.8 0.3 0.1 0.0 0.0
0.0 0.1 0.2 1.4 1.0 0.9 0.9 0.8 1.0 2.0 3.0	1.8 1.0 0.5 0.2 0.8		0.0 1.4 1.2 0.3 0.1 0.0 0.0
0.1 0.1 0.2 1.4 0.9 0.8 0.9 0.9 1.0 3.7 2.3 BLBLA-TILI	WCATSLIV 1.1 0.5 0.3 0.9 MH: 12	• 1.4 $2.7$ MH: 12	1.8 1.3 0.4 0.1 0.0 0.0
0.1 0.2 - H.S.L. 0.8 0.8 1.0 1.0 1.0 8.4 MM: 3.5 MH: 33	<b>2.2 1.2 0.6 1.2 1.3</b>	1.8 2.2	MH: 12 0.1 0.0 0.0
0.1 0.1 0.2 1.5 0.8 0.8 1.0 0.9 1.1 1.9 1.3	1.5 1.0 0.8 2.0 2.2 SL4		2.7 1.6 0.6 0.1 0.0 0.0
0.0 0.1 0.1 <u>1.3 1.0</u> 0.9 0.9 0.9 <u>1.0</u> 2.3 1.5 BLABLA-TIMI	0.5 0.5 2.0 2.6 WL	A-SLIV 12 ^{2.0}	1.5 1.4 0.7 0.1 0.0 0.0
0.0 0.1 0.1 <u>1.1 1.2</u> 1.1 1.0 0.9 1.0 4.8 <u>12.5</u> 3.5			1.0 1.2 0.9 0.1 0.0 0.0
$0.0$ $0.1$ $0.9$ $1.2$ $1.0$ $1.0$ $0.9$ $0.9$ $2.6_{VLA}^{2} \le 113.5_{L3}$			1.1 1.2 0.9 0.2 0.1 0.0
0.0 0.1 0.7 1.0 0.9 0.8 0.8 0.9 3.3 BL2 7			1.7 0.9 0.2 0.1 0.0
•0.0 •0.1 •0.6 •0.9 •0.9 •0.8 •0.8 •0.9 3.1 <del>MH: 3.5</del> 2.9 2.7			MLA-SLIP SL2.3 1.1 0.2 0.1 0.0 MH: 12
0.0 0.1 0.6 0.9 0.9 0.8 0.8 0.9 1.7 2.2 2.2			2.0 1.1 0.2 0.1 0.0
0.0 0.1 0.8 1.1 0.9 0.9 0.9 1.0 1.7 <b>BL98LA2T8II</b>			
0.0 0.0 0.1 1 1 1.3 1.1 1.1 1.0 1.0 1.5 WZ/& SLB/0 1.7 MH: 12 ^{SL4}			
0.0 0.1 0.1 1.1 1.1 1.0 1.0 0.9 0.9 1.4 1.9 2.9 2.1			0.5 0.3 0.1 0.0
0.1 0.1 0.1 1.2 1.0 0.8 1.0 0.9 0.9 1.3 45 825 11			0.7 0.8 0.3 0.1 0.0
0.1 0.1 0.2 1,2-B-0/9T-0.8 1.0 1.0 0.9 1.2 6.8 2.3 1.5			1.3 1.2 0.4 0.1 0.0
0.1 0.1 0.2 1.1 1.0 0.8 1.0 1.0 0.9 1.0 1.4 1.8 2.2			2.3_3 1.5 0.5 0.1 0.0 WLA-SLIII
0.1 0.1 0.2 0.8 1.2 0.9 1.0 0.9 0.9 0.9 3 ₆₄ 1.8 2.5 11 BLABLABLABLABLABLABLABLABLABLABLABLABLAB			
0.1 0.1 0.6 1.5 1.2 1.1 1.0 0.9 0.9 6.0 1.7 2.5 3.3			2.0 1.7 0.7 0.1 0.0
0.0 0.1 0.1 0.5 1.4 1.2 1.1 1.1 1.0 0.9 1.3 1.2 2.0 2.1			1.4 1.5 1.0 0.1 0.1
0.0 0.1 0.1 0.4 1.1 1.1 1.0 0.9 0.9 0.9 1.3 1.0 1.6 1.5	WLA-SLII	BLBLA-TIII 2.0 1.5 1.1 1.7 MH5:08.51.8-SLTV BLBLA-TIII	
0.0 0.1 0.1 0.3 0.8 0.9 0.8 0.8 0.8 0.9 0.8 0.8 0.9 3.4 HT: 3.5 1.5 2.0 2.5 3.2 BLASLA-TIII	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	2 BLBLA-TIII 1 BLBLA-TIII 3.5 MH: 12 ^{SL4} 3.5 MH: 12 ^{SL4} 1.7 1.8 1.7 2.9 28	
0.0 0.1 0.1 0.3 0.6 0.7 0.8 0.8 0.8 0.8 2.2 1.1 1.4 6.0 MH: 9.52.5 MH: 3.5	13.9 3.5 2.7 10.2 1.9 1.8 2.4 1.5		WLA ₃ SLIII MH.24 1.1 0.2 0.1
0.0 0.0 0.1 0.2 0.4 0.6 0.7 0.7 0.7 0.8 1.0 2.7 3.1 1.4 1.6 1.4 1.3			WLA-SLIV 0.0 1.8 1.1 0.2 0.1
0.0 0.0 0.1 0.2 0.4 0.5 0.7 0.7 0.7 0.8 0.9 0.9 0.9 0.9 0.9 0.9 0.9 0.9 0.9	0.8 0.8 0.8 0.8 0.8 0.8 0.8 0.8 0.8	0.8 0.9 0.9 0.9 1.0 1.2 1.2 1.2 1.1 BLA-TIII M	A-SLIV 1.9 1.2 0.8 0.5 0sB4 0.1 0.6 1.3 1.0 0.2 0.1 1: 12
0.0 0.0 0.1 0.2 0.3 0.5 0.7 0.9 0.8 0.8 0.9 0.9 0.9 1.0 1.0 0.8 0.7	0.7 0.8 0.9 0.9 0.9 0.9 1.0 0.9	0.9 1.0 1.0 0.9 0.9 1.1 1.1 1.4 7.8 MB: 3.5 3.4	2.8 2.3 2.0 2.0 1.9 1.6 1.2 0.6 0.8 0.7 0.2 0.0
0.0 0.0 0.1 0.2 0.3 0.5 0 7 1.0 0.9 0.9 1.0 0.9 0.9 1.0 1.0 0.8 0.8			
0.0 0.0 0.1 0.2 0.3 0.5 0.8 1.0 1.0 0.8 0.8 0.8 0.8 1.0 1.1 1.0 0.8	0.8 0.8 1.0 1.1 0.9 0.8 0.8 0.8 0.8 0.8	1.0 1.2 1.1 1.1 1.0 1.1 1.2 1.2 1.3 1.3 1.2 PYLON SL1	1.4 1.6 1.6 1.2 0.8 0.5 0.3 0.2 0.2 0.1 0.1 0.0
0.0 0.0 0.1 0.1 0.3 0.6 0.9 1.2 1.2 1.0 0.9 1.1 1.3 1.3 1.0 0.8 LB-IVFT-HS	0.8 0.9 1.2 1.3 1.1 1.0 1.0 1.0 1.0 1.0 1.0 1.0 1.0 1.0	-HS-3 1.4 1.2 1.0 1.0 1.2 1.4 1.4 1.4 LB114 MH: 5	T-1.5 1.6 1.4 0.9 0.6 0.3 0.2 0.1 0.1 0.0 0.0 0.0 0.0
0.0 0.0 0.1 0.2 0.4 0.6 0.9 0.9 1.0 1.0 0.9 0.7 0.5 0.4 0.4 0.4			
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0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0
Luminaire Schedule         Symbol       Qty       Label       Arrangement       Lum Lumens       Arrgmt Lum Lumens	Lum Watts Arrgmt Watts Total W		Description MH
$\begin{array}{ c c c c c c } \hline \hline$	10.9     10.9     163.5       121     121     605	0.950 0.950 1.000 0.903 B0-U0-G1	BRT6-A2-730-U-T3-XX-BK 3.5

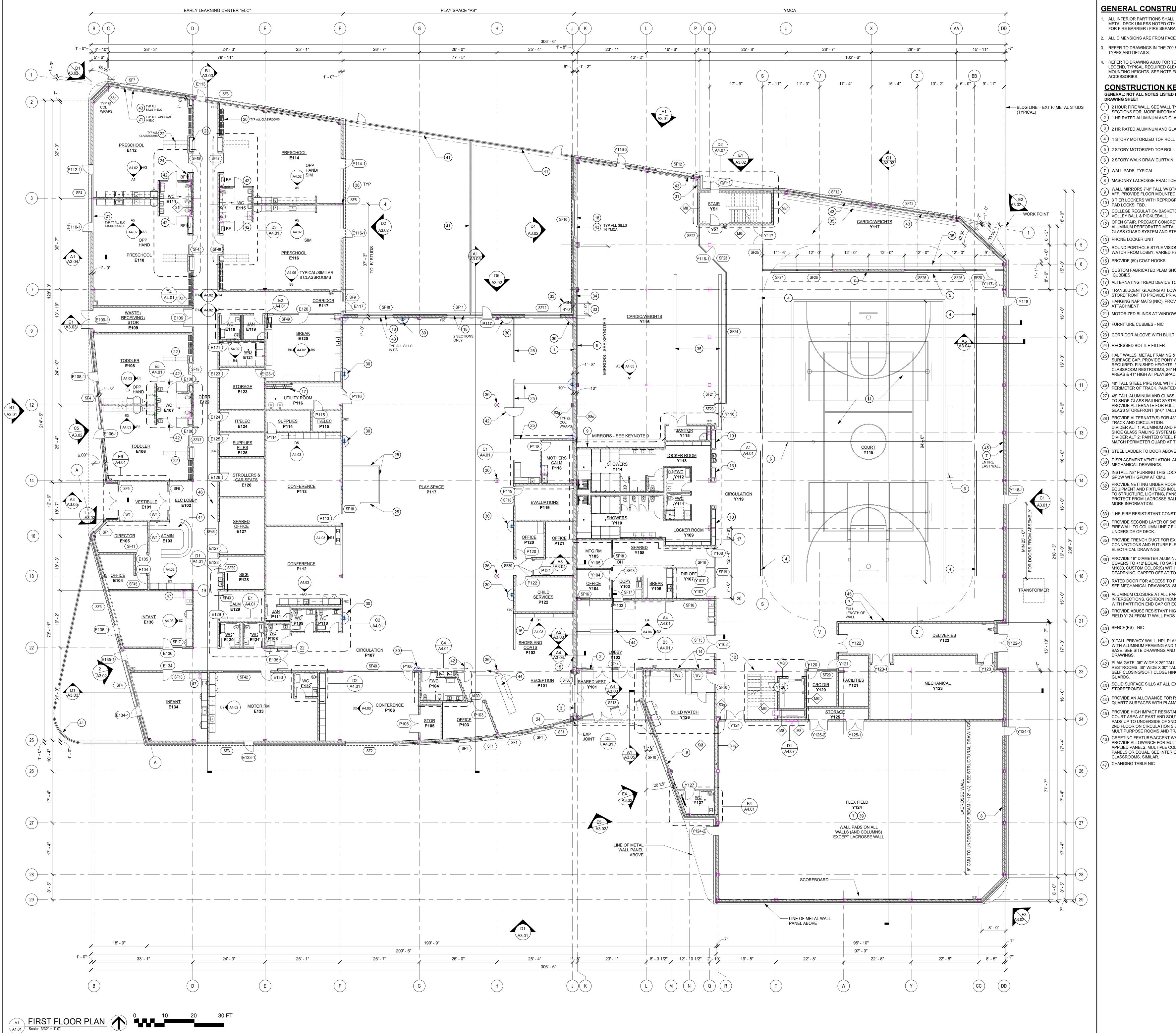
Luminaire	Schedule	2									
Symbol	Qty	Label	Arrangement	Lum Lum	Lum Lumens		Lum Lumens		Lumens	Lum Watts	Arrgmt Wa
	15	BLA-TIII	Single	979		979		10.9	10.9		
	5	LB-IVFT-HS	Single	11394		11394		121	121		
Ð	2	WLA-SLII	Single	2795	2795			19.7	19.7		
-E	12	WLA-SLIII	Single	2748	2748		2748			19.7	19.7
Ð	7	WLA-SLIV	Single	2731		2731		19.7	19.7		
Calculation	n Summa	ry									
Label			CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
Entire_Site		Illuminance	Fc	0.84	13.9	0.0	N.A.	N.A.			
South Parking Lot		Illuminance	Fc	0.99	3.1	0.5	1.98	6.20			
Spill Light			Illuminance	Fc	0.05	0.8	0.0	N.A.	N.A.		
West Parking Lot Illuminance		Fc	0.98	3.3	0.2	4.90	16.50				
<u>.</u>			· · · ·					· · ·			

LIGHTING COVERAGE MAP

Scale: NTS

Lum Lumens	Arrgmt Lum Lumens	Lum Watts	Arrgmt Watts	Total Watts	LLD	LDD	BF	LLF	BUG Rating	Description	MH
979	979	10.9	10.9	163.5	0.950	0.950	1.000	0.903	B0-U0-G1	BRT6-A2-730-U-T3-XX-BK	3.5
11394	11394	121	121	605	0.950	0.950	1.000	0.903	B1-U0-G3	GALN-SA3B-735-U-T4FT-HSS	33
2795	2795	19.7	19.7	39.4	0.950	0.950	1.000	0.903	B1-U0-G1	GWS-SA1A-740-U-SL2-W	12
2748	2748	19.7	19.7	236.4	0.950	0.950	1.000	0.903	B1-U0-G1	GWS-SA1A-735-U-SL3-W	12
2731	2731	19.7	19.7	137.9	0.950	0.950	1.000	0.903	B0-U0-G1	GWS-SA1A-740-U-SL4-W	12





(22) FURNITURE CUBBIES - NIC (24) RECESSED BOTTLE FILLER TRACK AND CIRCULATION. MECHANICAL DRAWINGS. ^ク GPDW WITH GPDW AT CMU. MORE INFORMATION.

> PROVIDE SECOND LAYER OF 5/8" GWB FROM END OF ³⁴ FIREWALL TO COLUMN LINE 7 FULL HEIGHT TO UNDERSIDE OF DECK. 35) PROVIDE TRENCH DUCT FOR EXERCISE EQUIPMENT CONNECTIONS AND FUTURE FLEXIBILITY, SEE ELECTRICAL DRAWINGS. PROVIDE 18" DIAMETER ALUMINUM ROUND COLUMN  $^{\circ}$  COVERS TO +12' EQUAL TO SAF BUILDING PRODUCTS M1000, CUSTOM COLOR(S) WITH OPTIONAL SOUND DEADENING. CAPPED OFF AT TOP. 7) RATED DOOR FOR ACCESS TO FILTER DUCT HOUSING. SEE MECHANICAL DRAWINGS. SEE DOOR SCHEDULE. 38) ALUMINUM CLOSURE AT ALL PARTITION TO STOREFRONT INTERSECTIONS. GORDON INDUSTRIES MULLION MATE WITH PARTITION END CAP OR EQUAL. PROVIDE ABUSE RESISTANT HIGH IMPACT GWB IN FLEX FIELD Y124 FROM T/ WALL PADS FULL HEIGHT TYPICAL. (40) BENCH(ES) - NIC (41) 9' TALL PRIVACY WALL. HPL PLANKS TO MATCH BUILDING WITH ALUMINUM FRAMING AND 18" TALL CONCRETE BASE. SEE SITE DRAWINGS AND STRUCTURAL DRAWINGS. PLAM GATE. 36" WIDE X 25" TALL @ ELC CLASSROOM RESTROOMS, 36" WIDE X 30" TALL @ PLAY SPACE WITH SELF CLOSING/SOFT CLOSE HINGES. PROVIDE PINCH GUARDS. (43) SOLID SURFACE SILLS AT ALL EXTERIOR ALUMINUM STOREFRONTS.  $\widehat{A4}$  PROVIDE AN ALLOWANCE FOR RECEPTION DESKS. QUARTZ SURFACES WITH PLAM/WOOD FACE PANELS. ) PROVIDE HIGH IMPACT RESISTANT GWB IN BASKETBALL ジ COURT AREA AT EAST AND SOUTH WALLS FROM T/ WALL PADS UP TO UNDERSIDE OF 2ND FLOOR DECK AND ON 2ND FLOOR ON CIRCULATION SIDE OF WALL BETWEEN MULTIPURPOSE ROOMS AND TRACK AREA. GREETING FEATURE/ACCENT WALL AT ELC ENTRY.

PROVIDE ALLOWANCE FOR MULTIPLE ANIMAL THEMED APPLIED PANELS. MULTIPLE COLORS, ROUTED TRESPA PANELS OR EQUAL. SEE INTERIOR ELEVATIONS OF CLASSROOMS. SIMILAR. (47) CHANGING TABLE NIC

# **GENERAL CONSTRUCTION NOTES**

ALL INTERIOR PARTITIONS SHALL BE S6a TO UNDERSIDE OF METAL DECK UNLESS NOTED OTHERWISE. SEE CODE PLAN FOR FIRE BARRIER / FIRE SEPARATION LOCATIONS. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD REFER TO DRAWINGS IN THE 700 SERIES FOR CASEWORK

REFER TO DRAWING A0.00 FOR TOILET ROOM ACCESSORY LEGEND, TYPICAL REQUIRED CLEARANCES AND REQUIRED MOUNTING HEIGHTS. SEE NOTE FOR REQUIRED

# **CONSTRUCTION KEYED NOTES GENERAL: NOT ALL NOTES LISTED BELOW APPLY TO THIS**

1) 2 HOUR FIRE WALL. SEE WALL TYPES AND WALL SECTIONS FOR MORE INFORMATION. (2) 1 HR RATED ALUMINUM AND GLASS ASSEMBLY. (3) 2 HR RATED ALUMINUM AND GLASS ASSEMBLY.

(4) 1 STORY MOTORIZED TOP ROLL DIVIDER CURTAIN (5) 2 STORY MOTORIZED TOP ROLL DIVIDER CURTAIN

(8) MASONRY LACROSSE PRACTICE WALL. SEE STRUCTURAL. 🔿 WALL MIRRORS 7'-0" TALL W/ BTM OF MIRROR MOUNTED 6' 9 AFF. PROVIDE FLOOR MOUNTED ALUMINUM RAIL GUARD, TY 3 TIER LOCKERS WITH REPROGRAMMABLE DIGITAL OR PIN

COLLEGE REGULATION BASKETBALL COURT W/ LINES FOR リ VOLLEY BALL & PICKLEBALL. OPEN STAIR. PRECAST CONCRETE TREADS WITH DECORATIV ジ ALUMINUM PERFORATED METAL RISERS WITH STEEL AND GLASS GUARD SYSTEM AND STEEL HANDRAILS.

ROUND PORTHOLE STYLE VISION PANELS INTO CHILD WATCH FROM LOBBY. VARIED HEIGHTS .

(16) CUSTOM FABRICATED PLAM SHOE AND PERSONAL ITEM 7) ALTERNATING TREAD DEVICE TO ROOF HATCH

TRANSLUCENT GLAZING AT LOWER SECTIONS OF STOREFRONT TO PROVIDE PRIVACY BETWEEN TENANTS. HANGING NAP MATS (NIC). PROVIDE BLOCKING FOR WALL

(21) MOTORIZED BLINDS AT WINDOWS. TYPICAL. (23) CORRIDOR ALCOVE WITH BUILT IN SEAT/BENCH

25) HALF WALLS, METAL FRAMING & GPDW W/ SOLID SURFACE CAP. PROVIDE PONY WALL SUPPORTS AS

REQUIRED. FINISHED HEIGHTS: 31" HIGH @ ELC CLASSROOM RESTROOMS, 36" HIGH @ PLAYSPACE PLAY AREAS & 41" HIGH AT PLAYSPACE CONFERENCE. 48" TALL STEEL PIPE RAIL WITH STEEL MESH GUARD AT

ン PERIMETER OF TRACK. PAINTED. TYPICAL. 27) 48" TALL ALUMINUM AND GLASS RAILING SYSTEM EQUAL TO SHOE GLASS RAILING SYSTEM BY VIVA RAILINGS. PROVIDE ALTERNATE FOR FULL HEIGHT ALUMINUM AND GLASS STOREFRONT (9'-6" TALL) WITH LAMINATED GLASS. 8) PROVIDE ALTERNATE(S) FOR 48" TALL DIVIDER BETWEEN DIVIDER ALT 1: ALUMINUM AND PANEL SYSTEM EQUAL TO: SHOE GLASS RAILING SYSTEM BY VIVA RAILINGS. DIVIDER ALT 2: PAINTED STEEL PIPE AND MESH TO

MATCH PERIMETER GUARD AT TRACK. (29) STEEL LADDER TO DOOR ABOVE FOR ROOF ACCESS DISPLACEMENT VENTILATION AIR DIFFUSERS. SEE

INSTALL 7/8" FURRING THIS LOCATION ONLY TO FLUSH

PROVIDE NETTING UNDER ROOF/CEILING MOUNTED ⁷ EQUIPMENT AND FIXTURES INCLUDING BUT NOT LIMITED TO STRUCTURE, LIGHTING, FANS, SPRINKLERS ETC TO PROTECT FROM LACROSSE BALL IMPACT. SEE RCP FOR

(33) 1 HR FIRE RESISTISTANT CONSTRUCTION



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KING + KING PROJ. NO.: **24-11-8390** 

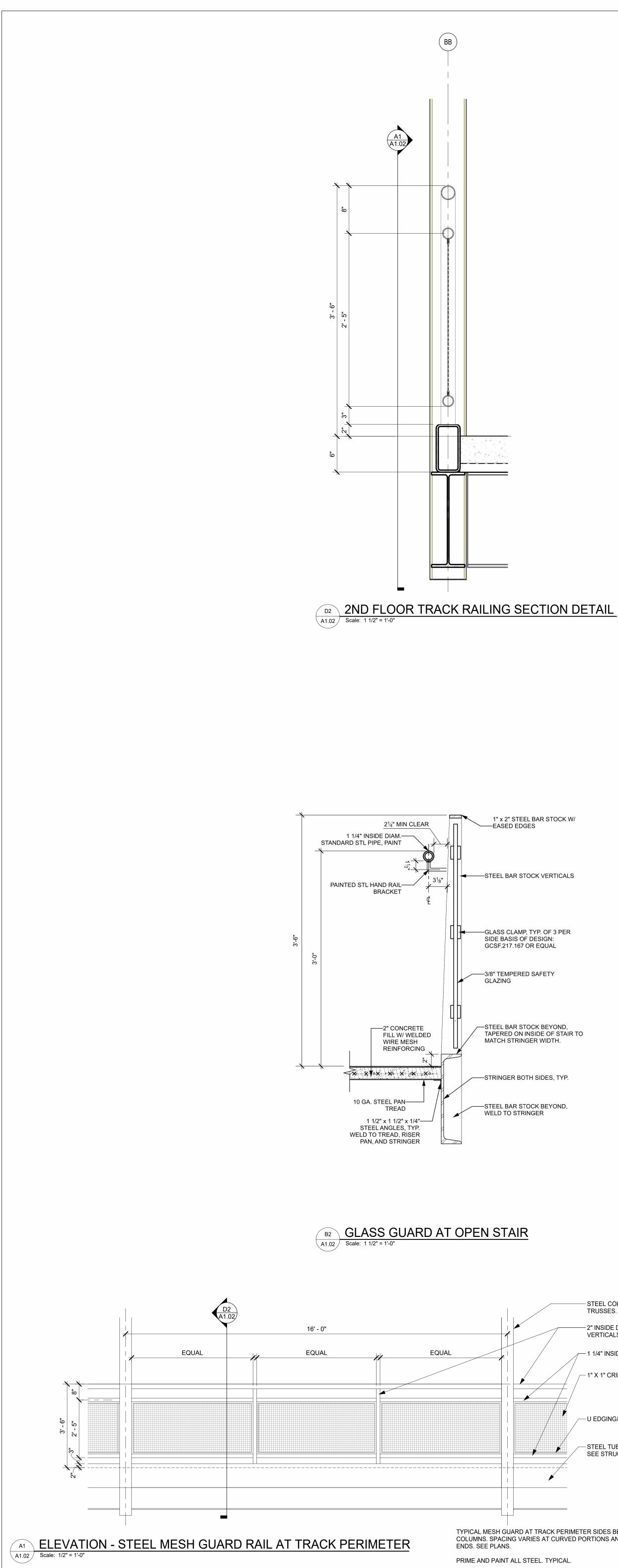
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____ _____ MARK DATE DESCRIPTION ZBA SUBMISSION

DRAWING DATE: 01/08/25 DRAWN BY: Author SCALE: As indicated DRAWING TITLE:

**OVERALL FIRST FLOOR** PLAN

A1.01



TYPICAL MESH GUARD AT TRACK PERIMETER SIDES BETWEEN COLUMNS. SPACING VARIES AT CURVED PORTIONS AND AT

TRUSSES. SEE STRUCTURAL. SH

- STEEL COLUMNS SUSPENDED FROM

- STEEL TUBE AT PERIMETER SEE STRUCTURAL

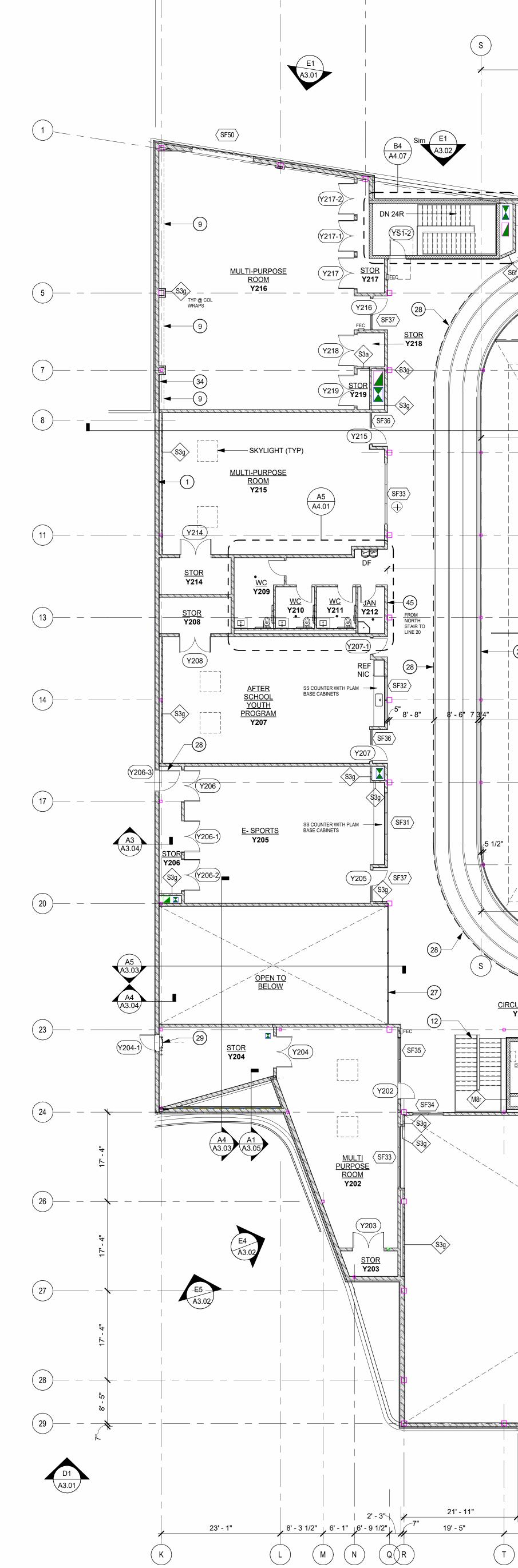
1	— 2" INSIDE DIAMETER TOP RAIL AND VERTICALS
Λ	— 1 1/4" INSIDE DIAMETER RAILS
_/ /	
$\equiv$	
/	U EDGING/FRAMING

-STEEL BAR STOCK BEYOND, TAPERED ON INSIDE OF STAIR TO MATCH STRINGER WIDTH.

-GLASS CLAMP, TYP. OF 3 PER





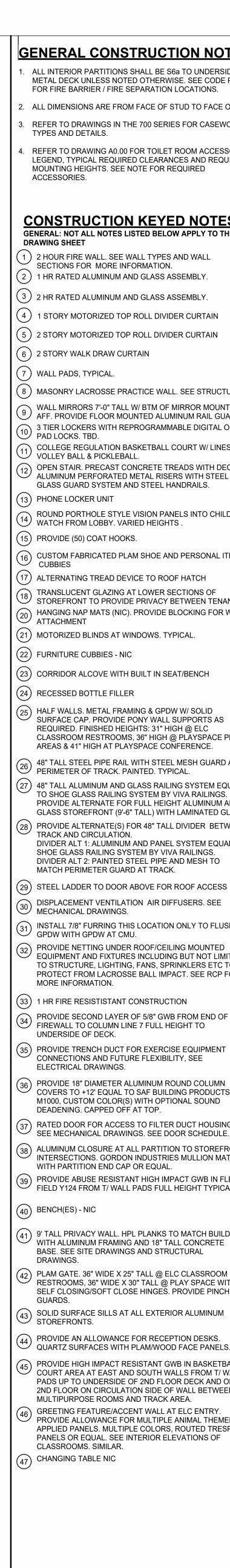


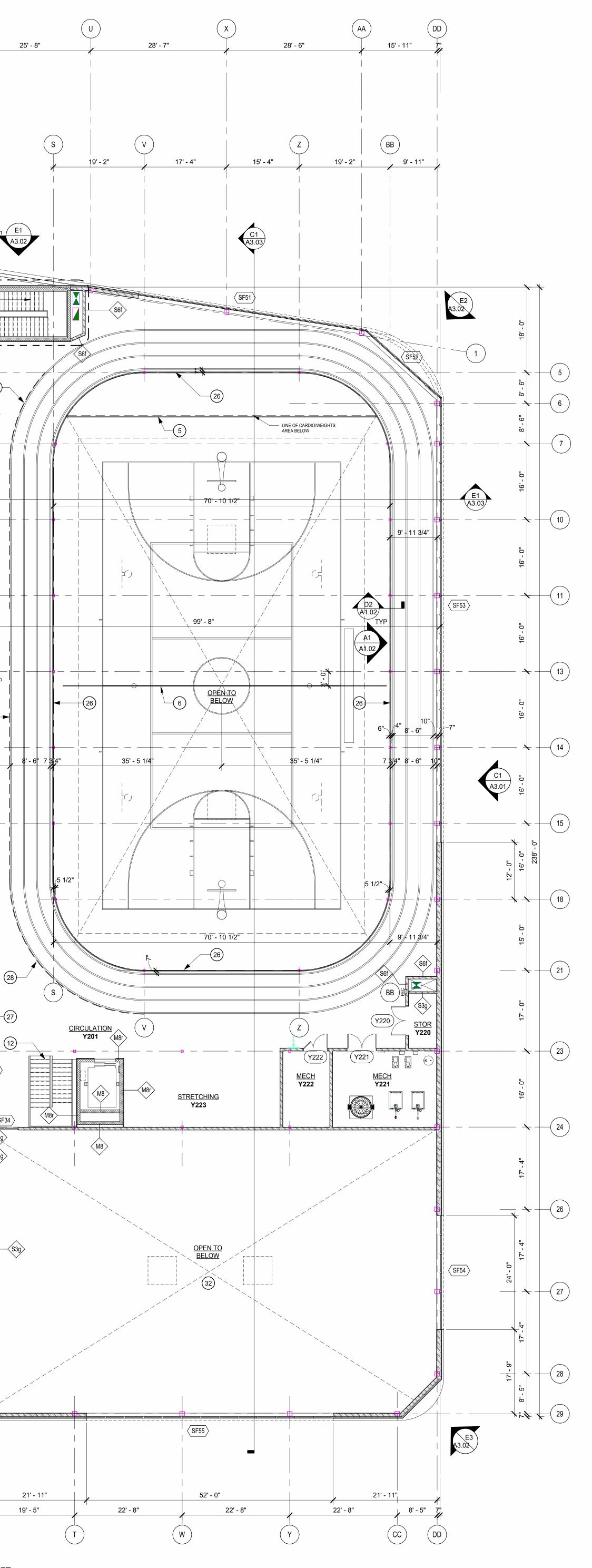
 A3
 SECOND FLOOR PLAN
 0
 10
 20
 30 FT

 A1.02
 Scale: 3/32" = 1'-0"
 Scale: 3/32" = 1'-0"
 Image: 10 minimum control of the scale 
(K) 1' - 2"____

23' - 1"

21' - 2"





# **GENERAL CONSTRUCTION NOTES** . ALL INTERIOR PARTITIONS SHALL BE S6a TO UNDERSIDE OF METAL DECK UNLESS NOTED OTHERWISE. SEE CODE PLAN FOR FIRE BARRIER / FIRE SEPARATION LOCATIONS. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD REFER TO DRAWINGS IN THE 700 SERIES FOR CASEWORK REFER TO DRAWING A0.00 FOR TOILET ROOM ACCESSORY LEGEND, TYPICAL REQUIRED CLEARANCES AND REQUIRED MOUNTING HEIGHTS. SEE NOTE FOR REQUIRED **CONSTRUCTION KEYED NOTES** GENERAL: NOT ALL NOTES LISTED BELOW APPLY TO THIS 1) 2 HOUR FIRE WALL. SEE WALL TYPES AND WALL SECTIONS FOR MORE INFORMATION. (2) 1 HR RATED ALUMINUM AND GLASS ASSEMBLY.

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(23) CORRIDOR ALCOVE WITH BUILT IN SEAT/BENCH

REQUIRED. FINISHED HEIGHTS: 31" HIGH @ ELC CLASSROOM RESTROOMS, 36" HIGH @ PLAYSPACE PLAY AREAS & 41" HIGH AT PLAYSPACE CONFERENCE. 26) 48" TALL STEEL PIPE RAIL WITH STEEL MESH GUARD AT

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DISPLACEMENT VENTILATION AIR DIFFUSERS. SEE (1) INSTALL 7/8" FURRING THIS LOCATION ONLY TO FLUSH

PROVIDE NETTING UNDER ROOF/CEILING MOUNTED ✓ EQUIPMENT AND FIXTURES INCLUDING BUT NOT LIMITED TO STRUCTURE, LIGHTING, FANS, SPRINKLERS ETC TO PROTECT FROM LACROSSE BALL IMPACT. SEE RCP FOR

(33) 1 HR FIRE RESISTISTANT CONSTRUCTION PROVIDE SECOND LAYER OF 5/8" GWB FROM END OF ⁴ FIREWALL TO COLUMN LINE 7 FULL HEIGHT TO

35) PROVIDE TRENCH DUCT FOR EXERCISE EQUIPMENT CONNECTIONS AND FUTURE FLEXIBILITY, SEE

36) PROVIDE 18" DIAMETER ALUMINUM ROUND COLUMN COVERS TO +12' EQUAL TO SAF BUILDING PRODUCTS M1000, CUSTOM COLOR(S) WITH OPTIONAL SOUND

 $\overrightarrow{37}$  RATED DOOR FOR ACCESS TO FILTER DUCT HOUSING. SEE MECHANICAL DRAWINGS. SEE DOOR SCHEDULE. (38) ALUMINUM CLOSURE AT ALL PARTITION TO STOREFRONT INTERSECTIONS. GORDON INDUSTRIES MULLION MATE WITH PARTITION END CAP OR EQUAL. 39) PROVIDE ABUSE RESISTANT HIGH IMPACT GWB IN FLEX FIELD Y124 FROM T/ WALL PADS FULL HEIGHT TYPICAL.

(41) 9' TALL PRIVACY WALL. HPL PLANKS TO MATCH BUILDING WITH ALUMINUM FRAMING AND 18" TALL CONCRETE BASE. SEE SITE DRAWINGS AND STRUCTURAL

42) PLAM GATE. 36" WIDE X 25" TALL @ ELC CLASSROOM F RESTROOMS, 36" WIDE X 30" TALL @ PLAY SPACE WITH SELF CLOSING/SOFT CLOSE HINGES. PROVIDE PINCH

(44) PROVIDE AN ALLOWANCE FOR RECEPTION DESKS.  ${\cal V}$  QUARTZ SURFACES WITH PLAM/WOOD FACE PANELS.

 $\widehat{45}$  PROVIDE HIGH IMPACT RESISTANT GWB IN BASKETBALL COURT AREA AT EAST AND SOUTH WALLS FROM T/ WALL PADS UP TO UNDERSIDE OF 2ND FLOOR DECK AND ON 2ND FLOOR ON CIRCULATION SIDE OF WALL BETWEEN MULTIPURPOSE ROOMS AND TRACK AREA. (16) GREETING FEATURE/ACCENT WALL AT ELC ENTRY.

PROVIDE ALLOWANCE FOR MULTIPLE ANIMAL THEMED APPLIED PANELS. MULTIPLE COLORS, ROUTED TRESPA PANELS OR EQUAL. SEE INTERIOR ELEVATIONS OF

Page 31 of 40



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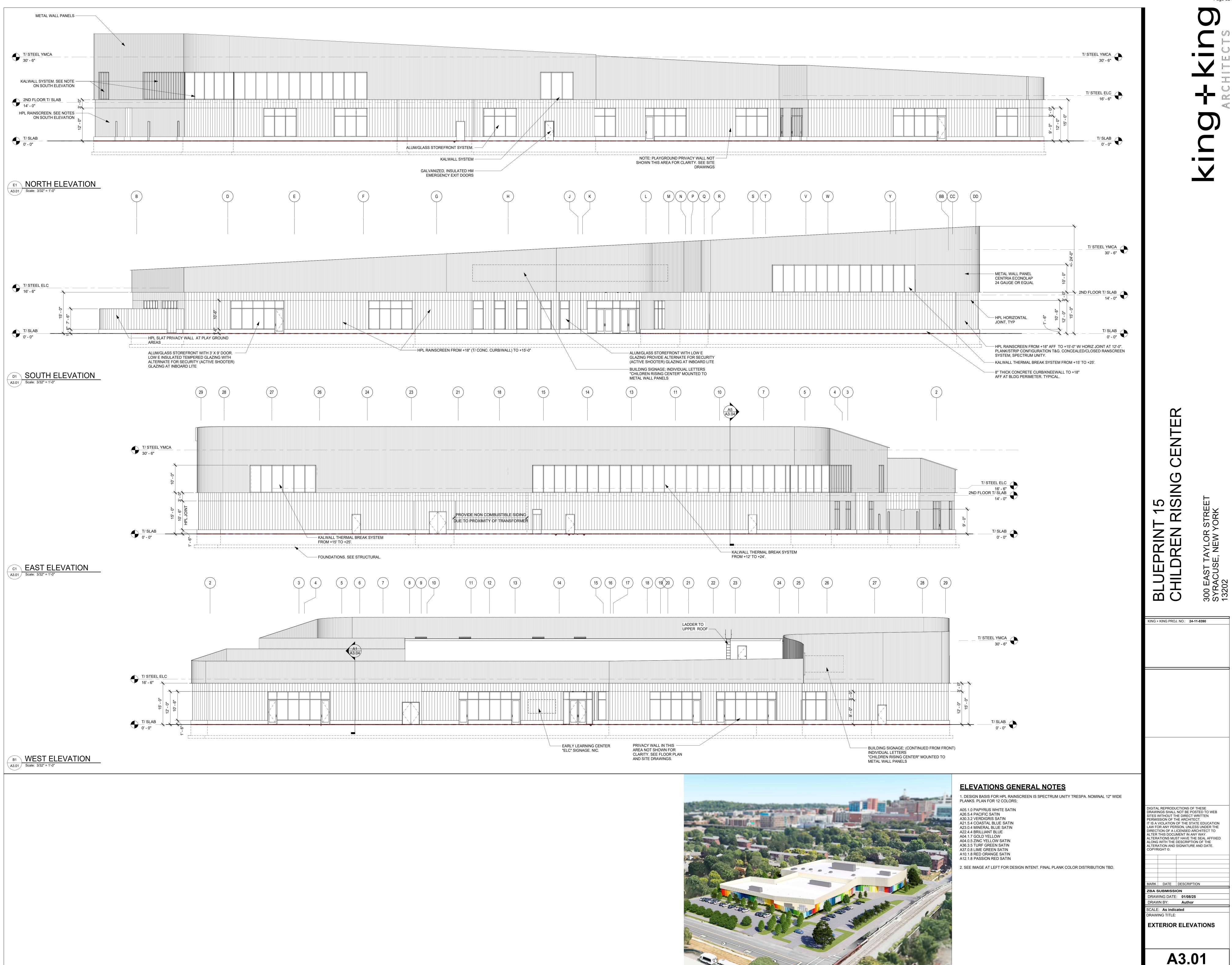
MARK DATE DESCRIPTION ZBA SUBMISSION DRAWING DATE: 01/08/25

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OVERALL SECOND FLOOR PLAN

A1.02



A3.01

# Short Environmental Assessment Form Part 1 - Project Information

### **Instructions for Completing**

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

### Part 1 – Project and Sponsor Information

Name of Action or Project:

BluePrint 15, Children Rising Center

Project Location (describe, and attach a location map):

East Taylor Street between South State Street and South Townsend Street (911 Address: 311 East Taylor Street)

Brief Description of Proposed Action:

Development of a 75,000 SF Community Commercial Building to include the following components.

1) Early Learning/Childcare (14,200 SF)

2) Parent/Child Engagement "Play Space" (13,600 SF)

3) Health/Wellness (to be managed/operated by the YMCA) (two story, 47,200 SF)

The site is intended to serve the walkable community. It will be developed to accommodate pedestrian and vehicular circulation, providing parking for 66 vehicles along with an unload zone at the main entry to the Playscape and Wellness Center along Taylor Street. A second entrance on South State Street will serve the secured early learning center. Landscaping will be provided to soften the architecture and screen parking from the street. Three exterior play spaces will be developed adjacent the building. New gas, water, storm and sanitary services will be brought to the building.

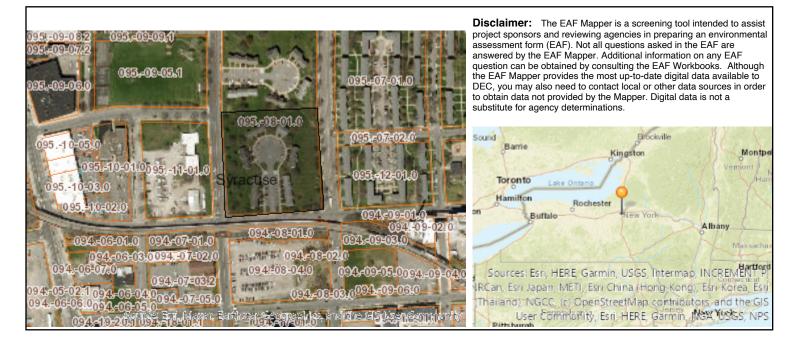
Name of Applicant or Sponsor:	Telephone: 315-289-438	4		
Madonna Millerschin	E-Mail: mmillerschin@ki	ngarch.c	om	
Address:				
358 West Jefferson Street				
City/PO:	State:	Zip C	ode:	
Syracuse	NY	13202		
1. Does the proposed action only involve the legislative adoption of a plan, loca administrative rule, or regulation?	l law, ordinance,		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.				
2. Does the proposed action require a permit, approval or funding from any other			NO	YES
If Yes, list agency(s) name and permit or approval: City of Syracuse Zoning (Site Plan	ו Review)			~

				1.1
3.	a. Total acreage of the site of the proposed	action?	A 2 acres	
	b. Total acreage to be physically disturbed	3	<u>34</u> acres	
	c. Total acreage (project site and any conti	guous properties) owned		
	or controlled by the applicant or proje	ct sponsor?	<u>11.2</u> acres	
4.	Check all land uses that occur on, are adjoin	ning or near the proposed act	ion:	
5.	✓ Urban	Industrial 🗹 Com	mercial 🔲 Residential (suburban)	
	Forest Agriculture	Aquatic Other	r(Specify):	
	✓ Parkland			

# Page 34 of 40

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?		~	
b. Consistent with the adopted comprehensive plan?		<b>~</b>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	1	NO	YES
	J		~
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES
If Yes, identify:		~	
		NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			
b. Are public transportation services available at or near the site of the proposed action?			
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES
If the proposed action will exceed requirements, describe design features and technologies:			
			<b>~</b>
10. Will the proposed action connect to an existing public/private water supply?		NO	YES
If No, describe method for providing potable water:			
11. Will the proposed action connect to existing wastewater utilities?		NO	YES
If No, describe method for providing wastewater treatment:			
			~
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district	rt	NO	YES
which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the		~	
State Register of Historic Places?			
h Takka majaataita an ama matian a Cit Isaatai in an dia anti a taka taka taka taka taka taka taka		~	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			
		~	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
Shoreline Forest Agricultural/grasslands Early mid-successional		
Wetland 🗹 Urban 🗌 Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or	NO	YES
Federal government as threatened or endangered?	~	
16. Is the project site located in the 100-year flood plan?	NO	YES
	✓	
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,		<b>~</b>
a. Will storm water discharges flow to adjacent properties?	~	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:		✓
Discharge will connect to existing stormwater conveyance system located in South State Street after on-site storage.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water	NO	YES
or other liquids (e.g., retention pond, waste lagoon, dam)?		
If Yes, explain the purpose and size of the impoundment:	~	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste	NO	YES
management facility?         If Yes, describe:		
	~	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or	NO	YES
completed) for hazardous waste?	NO	1 65
If Yes, describe:		
Pioneer Homes - Petroleum Bulk Storage - Closed		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BE MY KNOWLEDGE	ST OF	
Applicant/sponsor/name: Madonna Millerschin Date: 12/23/2024		
Signature		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

Date: 1/16

Project:

V-24-25 1/16/2025

# Short Environmental Assessment Form Part 2 - Impact Assessment

# Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

		No, or small impact may occur	Moderate to large impact may occur
1.	Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	•	
2.	Will the proposed action result in a change in the use or intensity of use of land?	<b>~</b>	
3.	Will the proposed action impair the character or quality of the existing community?	✓	
4.	Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	~	
5.	Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	~	
6.	Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	~	
7.	Will the proposed action impact existing: a. public / private water supplies?	~	
	b. public / private wastewater treatment utilities?	<b>~</b>	
8.	Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	~	
9.	Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	~	
10.	Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	~	
11.	Will the proposed action create a hazard to environmental resources or human health?	<ul> <li>✓</li> </ul>	

Agen	cy Use Only [If applicable] Page 38 of 40
Project:	V-24-25
Date:	1/16/2025

# Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the info that the proposed action may result in one or more pote environmental impact statement is required.	rmation and analysis above, and any supporting documentation, entially large or significant adverse impacts and an		
Check this box if you have determined, based on the info that the proposed action will not result in any significant	rmation and analysis above, and any supporting documentation, adverse environmental impacts.		
City of Syracuse Board of Zoning Appeals 1/16/2025			
Name of Lead Agency	Date		
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer		
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)		

300 South State St, Suite 700 Syracuse, NY 13202



# OFFICE OF ZONING ADMINISTRATION Ben Walsh, Mayor

To: Syr Housing Authority

From: Haohui Pan, Zoning Planner

Date: 1/10/2025 4:43:16 PM

Re: Variance (Use) V-24-25 927 State St S to Townsend St S, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syrgov.net if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Board of Zoning Appeals	Pending	12/30/2024		
Zoning Planner	Pending	12/30/2024		Pending on BZA 1/16/2025
Eng. Mapping - Zoning	Conditionally Approved	01/02/2025	Ray Wills	***CONDITIONALLY APPROVED WITH REVISIONS REQUIRED****
				The proposed sidewalk installation with the radius at the NE corner of State and Taylor will directly impact the City ROW marker that is buried on that corner. Please revise to the sidewalk design to avoid damaging this marker. Please position this sidewalk so it does not cross the streetline. In addition, any work inside of the mandatory 5' buffer zone around this and all City ROW markers is to be done EXCLUSIVELY by hand. Machine excavation will undermine the integrity of the marker. This and all City ROW markers are protected by law and not to be disturbed under any circumstance. These comments will be reflected in the variance and project site review for this project. This revision is a requirement of conditional approval.
DPW - Transportation Planner	Conditionally Approved	01/07/2025	Neil Milcarek- Burke	As discussed in pre-development meeting, development is part of a larger series of projects that will invest in creating a mixed-used neighborhood that prioritizes walking and active transportation. The site design requires adjustment to better accommodate ped, bike, and transit.

- Curb-cut on Townsend street is not permitted.

- Transformer pad encroaching into the Townsend Street ROW is not permitted.

- Curb-cuts on Taylor and State show 8' transition curb in some areas, which is to be reduced to absolute minimums and turning diagrams supplied. NYSDOT Type-3 entrances.

- Nose-in parking stalls require conc. filled bollards centered in each stall adjacent to walkways, or walk widened to 8', to account for vehicle overhang/ encroachment in the pedestrian zone.

- East Taylor Street sidewalk is to be located 1' off the property line and be two flags wide for 10' width. The City recently made investments along State St and other projects will be improving Townsend St. This facility is expected to improve the urban streetscape and prioritize the needs and comfort those on foot, using transit, or other modes.

- Interior bike parking is required in a secure area with appropriate lock-to mechanisms and space that is accessible via automated entrances with no vertical thresholds.

- Exterior bike parking is to be well-lit and covered.

- Exit isles stop bars to be no less than 3' from edge of walk.

- Planting areas to be on private property and not encroach into the ROW.

Fire Prevention - Zoning	Conditionally Approved	01/06/2025	Matthew Craner	All work must comply with applicable sections of the NYS Uniform Code.
City Planning - Zoning	Internal Review Complete	01/07/2025	Owen Kerney	The accessory, onsite parking the applicant has proposed is a permitted use on the site, and within the MX-2 zoning district. The area in which the parking is proposed (between the building facade and the adjacent City right-of-way) is not consistent with the development standards of Article 4 of the zoning ordinance. The Board of Zoning Appeals is encouraged to consider the application and public testimony in support of and in opposition of the proposed variance. The applicant does provide a reasonable observation that the property has three adjacent street frontages, and the fourth frontage is a proposed linear park that will be used by children occupying the new building. Situating parking between the building and the street is not preferred (or consistent with zoning), but it is preferred over parking between a children's center and a community park. The Board is also encouraged to fully consider the internal pedestrian movements and controls on the site, the parking area lighting, the snow plowing/storage areas of the proposed parking (not in the City ROW), and the landscaping around the parking area. If the variance is approved, the parking lot should be a model for safe, well designed parking areas, albeit one that is inconsistent with local zoning regulations.