



**OFFICE OF ZONING ADMINISTRATION**

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Ben Walsh, Mayor

**PUBLIC NOTICE  
CITY OF SYRACUSE  
BOARD OF ZONING APPEALS**

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held on Thursday, January 16th, 2025, at 1:00 p.m. in the Common Council Chambers, City Hall, Syracuse, New York to consider in full, or in part, the following applications. *Please note this is not necessarily the order in which they will be heard.*

1. **Application V-24-25** is a Use Variance requesting to deviate from Article 4, Section 4.4F(4) of the Syracuse Zoning Ordinance by proposing 18 off-street parking spaces between the front building facade and adjacent street frontage for the proposed “Family Support Facility” use type (Children Rising Center). The property is located at 311 East Taylor Street. The property is owned by Syracuse House Authority and is within the Neighborhood Center (MX-2) Zone District.

The above proposals will be open for inspection 72-hours prior to the public hearing at the Office of Zoning Administration, or on-line at <https://www.syr.gov/Boards-and-Commissions/BZA/BZA-Meetings>. Persons wishing to comment on an application may do so in person or by attorney at the public hearing. Written comments may be filed at the public hearing, mailed, or emailed to the Office of Zoning Administration at 300 S State Street, Suite 700, Syracuse, NY 13202, or [Zoning@syr.gov](mailto:Zoning@syr.gov).

AGENDA  
BOARD OF ZONING APPEALS  
**Thursday, January 16th, 2025**  
1:00 P.M.  
CITY HALL COMMON COUNCIL CHAMBERS

- I. Call to Order
- II. Adoption of the minutes of the December 12, 2024 Board of Zoning Appeals Meeting
- III. Public Hearing

A. New Business

1) V-24-25

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**A Use Variance** to allow parking between the front building façade of a future Children Rising Center and adjacent street frontage.  
311 East Taylor Street  
William J. Simmons, Syracuse Housing Authority Owner/Applicant  
MX-2 Zone District

- IV. Adjourn

Minutes  
City of Syracuse  
Board of Zoning Appeals  
Thursday, December 12th, 2024  
1:00 p.m.  
Common Council Chamber

I. Meeting called to order at 1:00 p.m.

Members Present

Mr. Michael Cheslik	Yes
Ms. Honora Spillane	Yes
Ms. Karen Gillette	Yes
Mr. Otis. Jennings	Yes
Mr. Timothy Rudd	Yes
Mr. Liam Kirst	No

Staff Present

Mr. Jake Dishaw	No
Ms. Meira Hertzberg	Yes
Mr. Cristian Toellner	Yes
Mr. Zhitong Wu	Yes
Mr. Nate Pan	No
Ms. Amber Dillon	No

II. Approval of Minutes

A motion to approve November 21st, 2024, meeting minutes was made by Mr. Cheslik and seconded by Mr. Jennings. The motion carried unanimously.

III. Public Hearings

A. New Business

1) V-24-23

**A Use Variance to permit business identification signs to face a private driveway on commercial property**

2921 Erie Boulevard.

E Donald DeStefano of Boss Properties LLC, Owner

Adam Richardson, Applicant

CM Zone District

Adam Richardson, the applicant for the project, presented the application. They explained The need of signage for their new business, and that since the tenant space is located at the rear of the property, ReZone does not permit signage which does not have street frontage.

Mr. Cheslik asked the applicant if the signage would be illuminated. The applicant replied that both signs would be illuminated, and explained the placement for both signs, one which will be on the rear of the property, and the other would face the private driveway on the side of the property. Mr. Cheslik also asked if the sign on back of the property would be visible from Interstate 690. The applicant replied it would be visible during the winter.

Mr. Rudd asked what businesses are currently on the property. The applicant replied their tenant space was vacant beforehand, and the tenant space in the front of the building is occupied by Visionworks.

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Ms. Spillane asked staff if there are future tenants in the building, would they have to come in separately for a use variance to add signage to that section of the building. Staff replied that would not have to each ask for a separate variance.

Mr. Rudd asked about the allowed illumination for the signs. Staff replied the signs would have to follow the allowed amount of illumination allowed in ReZone. The illumination would not be able to spill over onto adjacent properties.

Mr. Cheslik asked if the signage on the multi-tenant sign is the signage being proposed for this variance. The applicant replied that the current on-site signage is a temporary banner they used for their grand opening.

Ms. Spillane opened public comment. No one spoke in favor or in opposition to the application. Ms. Spillane closed public comment.

Asst. Corporation Counsel Hertzberg assisted the BZA in its SEQR review and determination of the proposed Unlisted action for V-24-23. Mr. Rudd moved to make a negative SEQR declaration. Ms. Gillette seconded the motion. The motion passed unanimously.

Mr. Rudd moved to approve Use Variance V-24-23 with additional staff and general conditions. Mr. Jennings seconded the motion. Mr. Rudd explained that it would be difficult to operate a marijuana store without a sign and would not be able to receive a reasonable return on the property. The building is perpendicular to the street frontage, and the applicant's business is in the rear tenant space of the building, which proves the unique circumstances, and neighborhood character would not be altered due to similar signage created by adjacent commercial property business owners. The orientation of the property and the building the tenant currently occupies created the hardship of not being allowed signage due to the tenant's space not having any street frontage. Ms. Spillane added the applicant gave financial evidence and documentation of recent sales, further proving the applicant could not receive a reasonable return without signage. The motion to approve Use Variance V-24-23 was unanimously passed.

2) **V-24-24**

**A Use Variance to allow the establishment of the "Off-premise sign" land use type not permitted in the MX-3 Zone District.**

200 S West St. & W Fayette St. Stephen Case, Owner

Lily Dougherty, Applicant

MX-3 Zone District

The attorney of the owner of the property presented the application. They explained that the small lot size is largely unbuildable, and went through the use variance criteria, explaining the benefits of an off-premise sign on the property which is in the MX-3 Zone District. The property is currently unfit for most land uses permitted in the Zone District.

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Ms. Spillane asked if the “off-premise sign” would be the primary use for generating revenue. The applicant replied that the billboard would be the only land use on the property.

Mr. Rudd asked if there would be additional landscaping to improve the site. The applicant replied that the landscaping plans in their submittals are planned to be completed to improve the general attractiveness of the property.

Ms. Spillane asked staff if the proposed site plan conforms to ReZone guidelines and if the proposed billboard would have to conform to the signage guidelines in ReZone, such as the allowed illumination of the sign. Zoning Director Cristian Toellner replied the landscaping plan conforms to Article 4.5 of ReZone and that the billboard would also have to conform to ReZone Standards.

Ms. Spillane opened public comment. No one spoke in favor or in opposition to the application. Ms. Spillane closed public comment.

Asst. Corporation Counsel Hertzberg assisted the BZA in its SEQR review and determination of the proposed Unlisted action for V-24-24. Ms. Gillette moved to make a negative SEQR declaration. Mr. Jennings seconded the motion. The motion passed unanimously.

Mr. Cheslik moved to approve Use Variance V-24-24 with additional staff and general conditions. Mr. Jennings seconded the motion. Mr. Cheslik went through the criteria the applicant needs to prove for a use variance. Mr. Cheslik explained that the inability to receive a reasonable return on the property was proved through the applicant’s submittals of previous financial data. The unique circumstances are due to the small shape and lot size of the parcel. The hardship is not self-created due to the small size of the parcel and the limited land uses that could be created on the property. The neighborhood character would not be altered because the area is largely commercial development, and an additional billboard would not be a detrimental addition. Mr. Jennings reiterated that the applicants would not be able to make a reasonable return due to the size and location of the parcel. The motion to approve Use Variance V-24-24 was unanimously passed.

IV. Adjourn

A motion to adjourn was made by Mr. Gillette and seconded by Mr. Jennings. The motion carried unanimously. Meeting called to adjourn at 1:35 p.m.

## **General Conditions for Variance Approval**

1. All construction, improvements and additions relating to this proposal, including those activities required in order to comply with the conditions of this approval, shall be completed by the applicant or its agents within twelve (12) months of the date of approval of this resolution by the City of Syracuse or this approval will be considered null and void; administrative extensions to this requirement for up to one year may be obtained from the Zoning Administrator at any time within the first twelve (12) months, after which, any and all extensions require approval from the Board of Zoning Appeals.
2. This approval does not relieve the applicant from compliance with any other regulatory or licensing provisions applicable thereto by the properly constituted Federal, State, County or City authorities.



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b>V-24-25</b>	<b>Staff Report – January 16th, 2025</b>				
<b>Application Type:</b>	Use Variance				
<b>Project Address:</b>	311 East Taylor Street (Tax ID: To be determinate by the Onondaga County)				
<b>Summary of Proposed Action:</b>	The applicant is requesting a Use Variance to seek relief from ReZone, Art. 4, Sec. 4.4F(4)c, which prohibits parking areas from being located between the front building façade and adjacent street frontage. If granted, the use variance would allow 16 vehicle parking spaces within the front setback on E Taylor Street. The proposed parking area is proposed to be between the front building façade of the future Children Rising Center and East Taylor Street.				
<b>Owner/Applicant</b>	William J. Simmons, Syracuse Housing Authority Owner/Applicant				
<b>Zoning Violations</b>	The proposed project is seeking a Use Variance to violate the following Zoning Ordinance:				
	<ol style="list-style-type: none"> <li>For all other uses in all residential and MX districts, off-street parking areas shall not be located between the front building façade and the adjacent street frontage including garages and garage door.</li> </ol>				
	<table border="1"> <thead> <tr> <th>Prohibited in Zoning Code</th> <th>Proposed by Applicant</th> </tr> </thead> <tbody> <tr> <td>Parking area between the front building façade and adjacent street frontage.</td> <td>Install 16 parking spaces between the front building façade and adjacent street frontage.</td> </tr> </tbody> </table>	Prohibited in Zoning Code	Proposed by Applicant	Parking area between the front building façade and adjacent street frontage.	Install 16 parking spaces between the front building façade and adjacent street frontage.
Prohibited in Zoning Code	Proposed by Applicant				
Parking area between the front building façade and adjacent street frontage.	Install 16 parking spaces between the front building façade and adjacent street frontage.				
<b>Existing Zone District:</b>	Neighborhood Center (MX-2) Zone District				
<b>Surrounding Zone Districts:</b>	The neighboring properties to the north and east are within the MX-2 Zone District. The neighboring properties to the south are within the Light Industry and Employment (LI) Zone District and the neighboring properties to the west are located within the Mixed-Use Transition (MX-3) Zone District.				
<b>Companion Application(s)</b>	<b>MaSPR-24-44:</b> Major Site Plan review to build a 75,000 SF building governed by the “Family Support Facility” use type.				
<b>Scope of Work:</b>	There is no scope of work associated with this Use Variance.				
<b>Staff Analysis:</b>	<b>Factors:</b>				
	<ul style="list-style-type: none"> <li>The subject property, located at 311 E Taylor Street, is bounded by S State Street, S Townsend Street, and E Taylor Street. To the south of E Taylor Street, an elevated railroad line physically walls of the neighborhoods to the south and only allows passage through an underpass. There is a plan for a linear trail to the north of the site, which creates a unique scenario where the property is connected to multiple modes of transit on all sides.</li> <li>According to ReZone, Art. 2, Sec. 2.17C(8), a primary street frontage shall be identified when a lot has more than two frontages. This Office of Zoning Administration identifies the East Taylor Street frontage as the primary street frontage, because the main entrance of the proposed facility faces E Taylor Street.</li> <li>The other parking area is permitted within the side setback along South State Street, which is considered non-primary frontage. On a non-primary frontage, a parking area is allowed between a building and the public right-of-way, provided it includes landscaping and buffering, pursuant Rezone, Art. 2, Sec. 2.17C(8). The proposed landscaping plan show appropriate buffering along S State St.</li> </ul>				

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- The applicant minimizes sound and light pollution from vehicles along S State Street by including 4-ft high rivet hedges, 45-ft high Freeman maple trees, and 6-ft high double file viburnum hedges.
- The Children Rising Center has 75,000 SF gross floor area, containing three major components:
  - (1) Early Learning & Child Care (14,200 SF) for children aged 6 weeks to 5 years.
  - (2) Parent & Child Engagement/Entertainment Space (13,600 SF) for children aged 6 weeks to 8 years.
  - (3) Health & Wellness Center (47,200 SF) for children aged 8 years to adults.

The site is in a densely populated area of townhouse-style apartments managed by the Syracuse Housing Authority on the eastern edge of Downtown Syracuse. Nearby parcels include other apartment complexes, a fire station, the Oncenter and its parking garage, as well as an Upstate Medical University Residence Hall. The surrounding “Pioneer Homes” neighborhood is planned to be demolished and rebuilt in phases according to the East Adams Transformation plan. Pedestrian experience, walkability, multi-modal transit options, and safety are some of the main priorities of the plan.
- The existing land use type on the property is Multi-units dwelling with six (6) two-story townhouse apartments. There are 55 parking spaces installed between the apartments. The apartments and parking will be demolished entirely prior to the construction of the Children Rising Center. The new site layout, with two entrances and separate parking areas on the south and west sides, is designed to minimize traffic flow compared to the existing layout, which accommodates 55 vehicles through a single entrance. The proposed site circulation is necessary to increase safety of parents dropping off minors and prevent congestion on along E Taylor and S State Street.

### Staff Analysis of Applicant’s Use Variance Criteria

#### 1. Reasonable Return Analysis:

The applicant has provided substantial evidence demonstrating that the Children Rising Center cannot achieve a reasonable return without the proposed Variance.

- Financial Loss: If the CRC reduced the building by 15,000 SF to conform to the parking area location requirement, then the CRC would not be able to recoup the cost of construction.
- Loss in Services: The financial losses would directly affect the center’s ability to provide its planned services. The reduction in square footage would necessitate the elimination of at least two early learning/childcare classrooms, which are vital for serving children aged 6 weeks to 5 years. Furthermore, youth programming would be significantly reduced, limiting the center's ability to serve older children and teenagers.
- Loss in Employment: The financial strain would force the CRC to eliminate eight employee positions. This reduction in staff would further compromise the center’s operational efficiency and ability to deliver quality programs.

The applicant’s evidence clearly demonstrates the inability to achieve a reasonable return without the requested use variance. If the use variance was denied the pro forma for the CRC may prevent the facility from being built.



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## 2. Unique Circumstances Analysis:

The unique circumstances identified by the applicant primarily focus on the existing site constraints.

- **Natural Site Features:** According to the submitted property survey, 311 E Taylor Street has three street frontages: E Taylor Street (south), South State Street (west), and S Townsend Street (east). This unique site condition presents a significant challenge for designing the parking area in compliance with zoning requirements, which prohibit parking between the front building façade and the adjacent street frontage. Any other site layout or configuration would reduce the building footprint and impede the ability to offer the full range of planned services.
- **Existing Traffic Condition:** South State Street and S Townsend Street are major north, south traffic corridors connecting the southern part of Syracuse to downtown, each featuring four vehicle lanes for passenger cars, public buses, and delivery trucks. In contrast, E Taylor Street is 60 feet wide, has two lanes and experiences lower traffic volumes, which by situating the parking lot entrance on this road would allow north and southbound traffic to continue to flow. There is no other feasible option for the applicant to install a vehicle entrance that would not further impede north and south bound traffic on the major corridors. Placing 25 parking spaces (16 in the front setback and 9 behind the front building façade) and a vehicle entrance on the E Taylor St. helps mitigate potential traffic impacts while accommodating the center's parking needs.
- **Compatibility to Future Development:** The applicant proposes a linear park in the rear yard to serve children using the facility. Situating parking in the rear yard would conflict with the intent of providing a safe outdoor play area. Although parking between the building and the street is inconsistent with zoning requirements, it is a more compatible solution that preserves the rear yard for safe, child-friendly outdoor activities. It also promotes connectivity to the future neighborhoods and the facility.

The applicant demonstrates that the unique circumstance is not self-created and in order to mesh with future plans for the neighborhood, to promote connectivity and safety, the use variance request is appropriate.

## 3. Neighborhood Character Analysis:

The applicant has provided adequate evidence demonstrating that granting the variance will not alter the essential character of the neighborhood.

- **Surrounding Neighborhood Characters:** The majority of neighboring properties around the subject parcel are located within Mixed-Use Zone districts (MX-2, MX-3, MX-5). These Zone Districts are designed to foster interaction between higher-density residential uses and nonresidential uses that provide goods and services. The proposed parking area for the Children Rising Center is compatible with the neighborhood's character, as accessory off-street parking for primary uses is permitted within these Mixed-Use Zone districts. Furthermore, the parcel directly south of the project site is part of a railroad corridor situated within a Light Industrial (LI) Zone district. The railroad tracks elevated approximately 20

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feet above the ground, serve as a physical barrier, effectively separating the proposed front setback parking area from properties on the southside properties. This natural barrier ensures that the parking area does not visually or functionally disrupt the neighborhood's character.

- **Landscape Buffer:** According to the submitted site plan, all parking areas fronting E Taylor Street will be buffered with continuous evergreen vegetation. This landscaping will soften and screen headlights and parked vehicles from pedestrian view, thereby maintaining the aesthetic quality of the streetscape. The presence of these buffers also ensures that vehicles cannot illegally access E Taylor Street through the front setback, as all onsite vehicles must use the designated legal entrance. This design consideration further prevents any potential hazards or damage to the sidewalk along E Taylor Street, reinforcing the safety and integrity of the neighborhood environment.

#### 4. Self-Created Hardship Analysis:

The applicant has adequately demonstrated that their request for a use variance is not the result of a self-created hardship.

- **Property Boundaries:** The subject property was originally part of a larger parcel (301-11 E Taylor Street) with four street frontages spanning multiple city blocks. The applicant has not created a self-created hardship because the strategic resubdivision of 301-11 E Taylor Street into three parcels (including a future neighborhood park), aligns with the future East Adams Transformation and I-81 Community Grid plans.
- **Zoning Restrictions:** The current zoning regulations limit parking between the front building façade and adjacent street frontages to enhance safety and improve the streetscape. While these restrictions are generally practical for parcels with one or two street frontages, they pose significant challenges for properties which have more than two frontages. These regulations unexpectedly create difficulties for developments that require substantial parking provisions, necessitating adjustments that may reduce the scale of construction to comply with Zoning requirements.
- **Community Demand:** The proposed scale of the Children Rising Center is not arbitrary. The 75,000 SF facility is the result of thorough planning by architects and engineers, based on extensive demand research and community engagement conducted by various local organizations and government agencies. According to the Children Rising Center's website, The center's location is intended to serve over 3,000 dwellings in Syracuse's southside, westside, and downtown areas, justifying its size and scope to meet the substantial needs of the surrounding community.

The above analysis of property collectively supports the conclusion that the hardship is not self-created. Instead, it arises from preexisting physical constraints, regulatory limitations, and the necessity to address community needs effectively.

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	<p><b>Recommended conditions if approved:</b></p> <ol style="list-style-type: none"> <li>1. This Use Variance shall adhere to the general use variance conditions.</li> <li>2. The landscaping buffer along East Taylor Street and South Townsend Street shall be continuously maintained and vegetation replaced when necessary.</li> </ol>
<b>Zoning Procedural History:</b>	New created parcel, no Zoning History is available.
<b>Summary of Zoning History:</b>	<p>In March 2024, the City Planning Commission approved the resubdivision application R-23-70 to split one lot (301-11 Taylor Street E&amp; State St S.) into three new lots (New lot1: 901 South State Street; New lot 2: 915 South State Street; New lot 3: 927 South State Street). In May, the applicant successfully filed the approved map at the Onondaga County Clerk to finalize the proposed resubdivision. There are 12 existing apartment buildings remaining on the new lot 3 aka 927 S State Street.</p> <p>In October 2024, City Planning Commission approved the Resubdivision R-24-56 split one lot (927 South State Street) into 2 new lots. new “Lot 3” shall be known as 929 South State Street, and new “ Lot 4” shall be known as <b>311 East Taylor Street</b>. The approved map is in the process of being filed at the Onondaga County Clerk's office</p>
<b>Code Enforcement History:</b>	New created parcel, no Code Enforcement is available yet.
<b>Summary of Changes:</b>	This is not a continued application.
<b>Property Characteristics:</b>	<p><b>Existing property characteristics:</b></p> <p>The subject lot for the Children Rising Center is known as 311 East Taylor St. It will be an irregularly shaped parcel with 186,393.5 FT (4.28 Acres). The property will have three primary street frontages with 438.45 feet of east frontage on South Townsend Street., 462.52 feet of west frontage on South State Street., and the south frontage on the East Taylor Street property line borders 412.41 FT. The northern property line borders 413.83 feet in width.</p>
<b>SEQR Determination:</b>	Pursuant to 6 NYCRR §617.2(al), the proposal is an Unlisted Action.
<b>Onondaga County Planning Board Referral:</b>	Pursuant to GML §239-l, m and n, the proposal does not meet the review criteria of Onondaga County Planning Board.

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**Application Submittals:** The application submitted the following in support of the proposed project:

- Use Variance application
- Short Environmental Assessment Form Part 1
- Demolition and Erosion & Sediment and Control Plan : BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C0.3), 300 East Taylor Street Syracuse, New York 13202 EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1"=20'
- Materials Plan: BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C1.1), 300 East Taylor Street Syracuse, New York 13202; EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1"=20'
- Layout Plan : BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C1.2), 300 East Taylor Street Syracuse, New York 13202; EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1"=20'
- Grading Plan : BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C2.1), 300 East Taylor Street Syracuse, New York 13202; EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1"=20'
- Planting Plan: BLUEPRINT 15 CHILDREN RISING CENTER (Sheet C4.1), 300 East Taylor Street Syracuse, New York 13202; EDR Architecture, King + King Architects; Date 12/20/2024; Scale: 1"=20'
- Exterior Elevations: BLUEPRINT 15 CHILDREN RISING CENTER (Sheet A3.01), 300 East Taylor Street Syracuse, New York 13202 ; + King Architects; Date 12/20/2024; Scale: 1"=20'

**Attachments:**

Use Variance Application

Short Environmental Assessment Form Part 2 & Part 3

Photographs of Site

IPS Comments from City Departments

Proposed and Existing Site and Floor Plans

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**Context Maps:**

**Figure 1: Zone District of Subject Property**



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

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Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.  
Image Source: ConnectExplorer™, Eagle View Technology Corporation



Office of Zoning Administration  
 One Park Place, 300 S State St,  
 Suite 700  
 Syracuse, NY 13202  
 Phone: (315) 448-8640  
 Email: zoning@syrgov.net

**Summary of Variance Procedure** (cont.)

**What is a variance and when is a variance needed for my project?** If your project is not expressly allowed under the current zoning ordinance you may seek a variance from the City of Syracuse Board of Zoning Appeals. A zoning variance is an exception to a zoning ordinance that may be granted by the Board of Zoning Appeals on a case-by-case basis. Depending on the nature of the proposed project an applicant will be required to apply for either a use or an Area Variance. The evidence burden for the approval of a variance is on the applicant. Therefore the applicant should provide any evidence that may support their claim. Evidence may include financial records and estimates and detailed explanations, supported by evidence, of the nature of the project and its potential effect on the community.

A **Use Variance** is required to permit a use of land that is otherwise prohibited by the local zoning ordinance. Here, the applicant must seek permission from the Board of Zoning appeals to use the property in a manner that is not permitted in their zoning district.

*Use Variance Approval Criteria*

In making its determination the Board of Zoning Appeals must find that the applicant meets all of the criteria to demonstrate an unnecessary hardship on the property. A Use Variance cannot be granted without a showing by the applicant that applicable requirements of this Ordinance have caused unnecessary hardship. In order to prove unnecessary hardship, the applicant meet the requirements of New York General City Law, which requires the applicant to demonstrate that, for each and every allowed use under the zone district in which the property is located: (if the use variance is granted)

- The applicant must prove that the property is unable to achieve a reasonable return for any use allowed in that zone district;
- The applicant must prove that unique circumstances apply to the property for which the variance is requested;
- The applicant must prove that the hardship is not self-created; and
- The applicant must prove that the essential character of the neighborhood will not be altered.

Generally, the necessity for a Use Variance is more difficult to prove than the necessity for an Area Variance because all the above criteria must be proven in order to permit the Board to approve an application.

An **Area Variance** is required for a use of land in a manner that is allowable under the local zoning ordinance, but which is not allowed by the dimensional or physical requirements of the applicable zoning regulations. One seeks an area variance to seek relief from hardship created by the strict application of the zoning code.

*Area Variance Approval Criteria*

In making its determination, the Board of Zoning Appeals will take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, and welfare of the neighborhood or community by such grant. In making such determination the board shall also consider:

- whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the Area Variance;
- whether the benefit sought by the applicant can be achieved by some method feasible for the applicant to pursue, other than an Area Variance;
- whether the requested Area Variance is substantial;
- whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
- Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Zoning Appeals and shall not necessarily preclude the granting of the Area Variance.

The board of appeals, in the granting of Area Variances, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.

Variance Application



For Office Use Only	
Zoning District:	MX-2
Application Number:	V-24 -25
Date:	

Office of Zoning Administration  
 One Park Place, 300 S State St,  
 Suite 700  
 Syracuse, NY 13202  
 Phone: (315) 448-8640  
 Email: zoning@syr.gov.net

**Variance Application**

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

**General Project Information**

Business/project name: Blueprint 15 - Children Rising Center	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 311 East Taylor Street	
Lot numbers: 095-.08-01.0	Block number:
Lot size (sq. ft.) 185,957	
Current use of property: Residential	Proposed: Commercial
Current number of dwelling units (if applicable): 25	Proposed: 0
Current hours of operation (if applicable): NA	Proposed: 18
Current onsite parking (if applicable): 56	Proposed: 62
Zoning (base and any overlay) of property: MX -2 Neighborhood Center	
Companion zoning applications (if applicable, list any related zoning applications): Site Plan Review Application	
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes	
Variance requested (check one and cite the section of the Zoning Ordinance that a variance is requested): <input checked="" type="checkbox"/> Use variance <input type="checkbox"/> Area variance	
Nature and extent of variance requested (attach additional pages if necessary): A variance is requested to allow the use of parking (16 parking spaces) in front of the main entry of the building along East Taylor Street.	





Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

**Owner/Owner's Agent Certification**

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

**Print owner's name:** William J. Simmons

Signature: *William J. Simmons*

Date: 12/23/24

Mailing address: 516 Burt Street, Syracuse, NY 13202

**Print authorized agent's name:** William J. Simmons

Date: 12/23/24

Signature: *William J. Simmons*

Mailing address: 516 Burt Street, Syracuse, NY 13202

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. **If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney.** Faxed or photocopied signatures will not be accepted.

## Use Variance Test

*A Use Variance is permission to establish a land use that is not allowed by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that this has caused an unnecessary hardship using all of the four tests below (see [https://www.dos.ny.gov/lg/publications/Zoning\\_Board\\_of\\_Appeals.pdf](https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf) for more information).*

*Briefly describe below how each of the required Use Variance tests is met and attach all supporting materials.*

### 1. Reasonable Return

Describe how the property is unable to achieve a reasonable return for any use allowed in that zoning district (actual "dollars and cents" proof must be submitted).

The Children Rising Center (CRC) would need to be reduced by approximately 15,000 sf if the variance is not granted. Such a size reduction would result in significant adverse implications on both operating revenue and programming. CRC would experience a loss of \$150,000 in annual rental income and roughly \$1,050,000 over our 7-year New Markets Tax Credit (NMTC) compliance period, which results in losing \$5.5 million in NMTC equity to construct the Children Rising Center. This loss of square footage would result in the elimination of at least two early learning/childcare classrooms, a large reduction to the parent/child resource center, significantly reduced youth programming, and the elimination of eight employee positions. In short, a reduction of this magnitude would render the Children Rising Center project infeasible.

### 2. Unique Circumstances

Describe that unique circumstances apply to the property for which the variance is requested.

The property has street frontage on three sides, with an elevated railroad to the south of the site, plans for a linear park to the north of the site, and site circulation prioritizing safety for the people visiting the facility; when these factors are combined it creates a unique circumstance specific to the site. The elevated railroad to the south of the site, and the linear park to the north of the park, puts a constraint on where the building entrance can be since State and Townsend Street are not ideal for a primary vehicle entrance. Moreover, the Zoning Office determined the primary frontage to be along E Taylor Street since the building entrance faces E Taylor Street. Furthermore, if parking was kept 'behind' the building to the north of the site, then this site configuration would disconnect the building to the future linear park and future neighborhoods. Therefore, in order to design the building to align with future plans for a linear park, to enhance the safety of the children attending the facility, to use open space and parks to connect the neighborhoods of the East Adams Transformation project to the CRC, this use variance is necessary to overcome the unique site circumstances.

### 3. Neighborhood Character

Describe the variance, if granted, the essential character of the neighborhood will not be altered.

Parking is aligned with existing transit-based character of the railroad tracks along East Taylor Street and the Syracuse Housing Authority's Garage along South State Street. This alignment will allow the building to be connected to the future neighborhood and park development to the north and east. The perimeter of the parking will be buffered with evergreen vegetation to soften and screen headlights and parking from view. The variance request to allow parking in the front setback along E Taylor Street will not alter the essential character of the neighborhood since this the Child Rising Center is included in the entire East Adams Transformation Project and as such, is establishing the future neighborhood character.

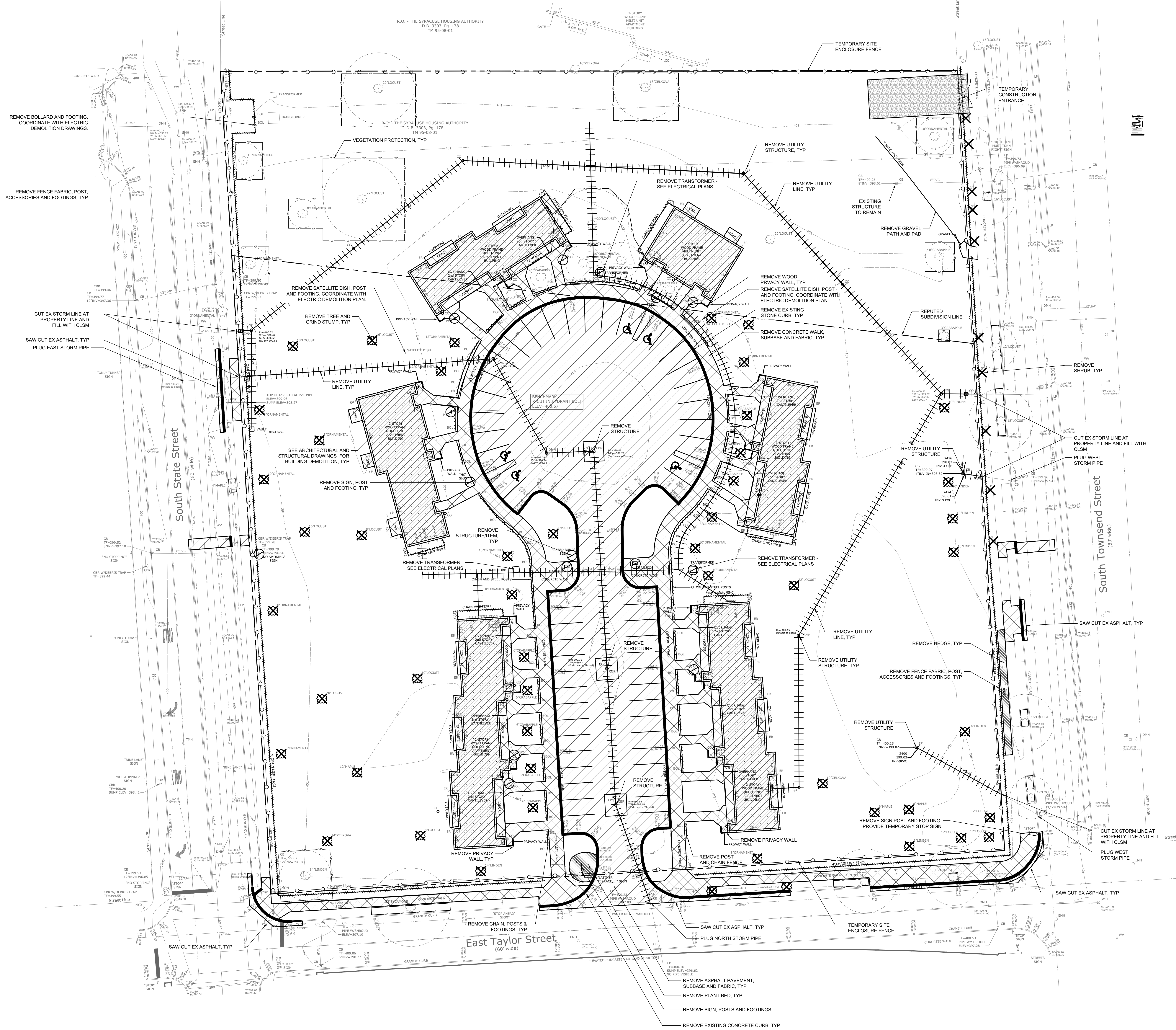
### 4. Self-Created Hardship

Describe how the hardship is not self-created.

The lot has street frontage on three sides. Putting parking 'behind' the building would only further isolate it from its adjacent neighbors. Safety is paramount to the user, having drop-off and parking at the main entrance ensures guardians can observe minors make their way into/and from the building safely. The public engagement meetings and discussions of the East Adams Transformation project occurred prior to the adoption of the Syracuse Zoning Ordinance as adopted on July 1, 2023.



DEMOLITION PLAN NOTES:  
1. SEE UTILITY DEMOLITION PLAN FOR REMOVAL OF UTILITIES  
2. SEE ELECTRICAL PLANS FOR REMOVAL OF ELECTRICAL, DATA, AND TELEPHONE UNITS



BLUEPRINT 15  
CHILDREN RISING CENTER

300 EAST TAYLOR STREET  
SYRACUSE, NEW YORK  
13202

KING + KING PROJ. NO.: 24-11-0390



FOR  
MUNICIPAL  
REVIEW  
1/7/2025  
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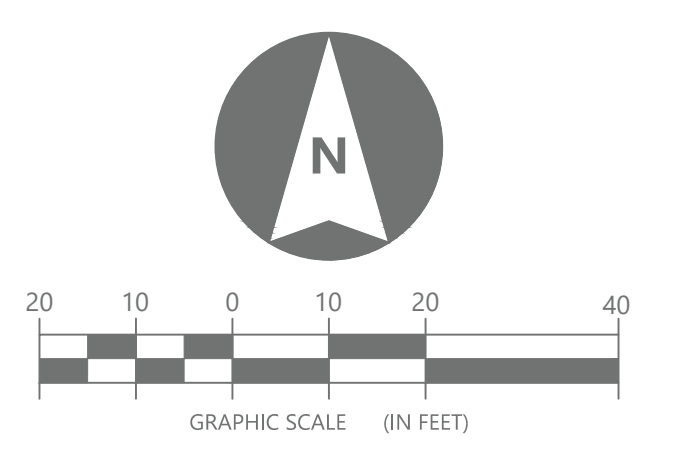
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MARK	DATE	DESCRIPTION
1	12/20/24	ZBA SUBMISSION

DRAWING DATE: 12/20/2024  
DRAWN BY: AM/LEG/JUM  
SCALE: AS SHOWN  
DRAWING TITLE:

DEMOLITION AND  
EROSION & SEDIMENT  
AND CONTROL PLAN

C0.3



BLUEPRINT 15 CHILDREN RISING CENTER

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SCALE: AS SHOWN  
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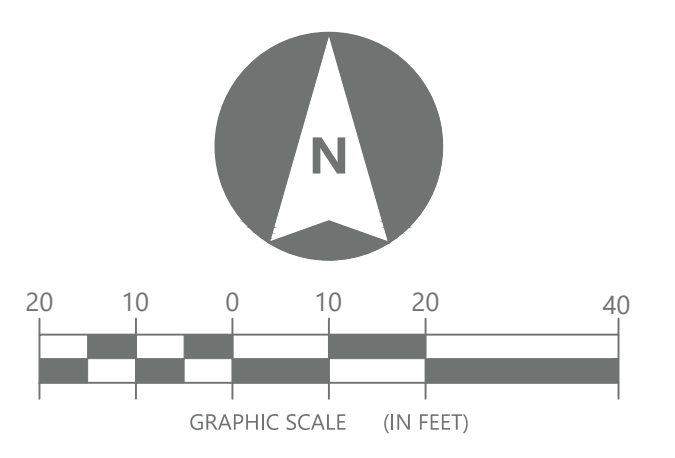
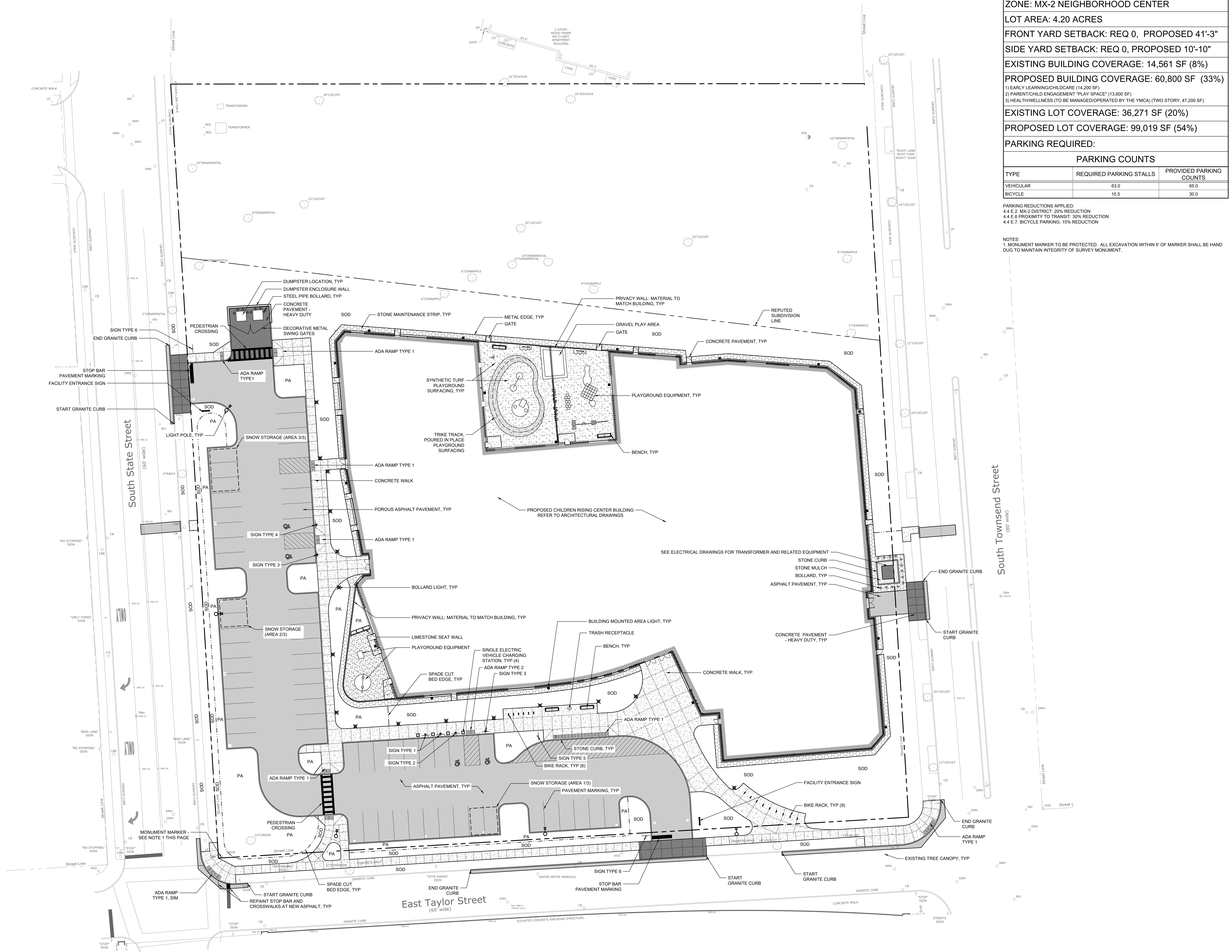
MATERIALS PLAN

C1.1

ZONING REQUIREMENTS		
ZONE: MX-2 NEIGHBORHOOD CENTER		
LOT AREA: 4.20 ACRES		
FRONT YARD SETBACK: REQ 0, PROPOSED 41'-3"		
SIDE YARD SETBACK: REQ 0, PROPOSED 10'-10"		
EXISTING BUILDING COVERAGE: 14,561 SF (8%)		
PROPOSED BUILDING COVERAGE: 60,800 SF (33%)		
1) EARLY LEARNING/CHILD CARE (14,200 SF)		
2) PARENT/CHILD ENGAGEMENT "PLAY SPACE" (13,600 SF)		
3) HEALTH/ WELLNESS (TO BE MANAGED/OPERATED BY THE YMCA) (TWO STORY, 47,200 SF)		
EXISTING LOT COVERAGE: 36,271 SF (20%)		
PROPOSED LOT COVERAGE: 99,019 SF (54%)		
PARKING REQUIRED:		
PARKING COUNTS		
TYPE	REQUIRED PARKING STALLS	PROVIDED PARKING COUNTS
VEHICULAR	63.0	65.0
BICYCLE	10.5	30.0

PARKING REDUCTIONS APPLIED:  
4.4 E.2. MX-2 DISTRICT: 20% REDUCTION  
4.4 E.6 PROXIMITY TO TRANSIT: 30% REDUCTION  
4.4 E.7 BICYCLE PARKING: 15% REDUCTION

NOTES:  
1. MONUMENT MARKER TO BE PROTECTED. ALL EXCAVATION WITHIN 5' OF MARKER SHALL BE HAND DUG TO MAINTAIN INTEGRITY OF SURVEY MONUMENT.





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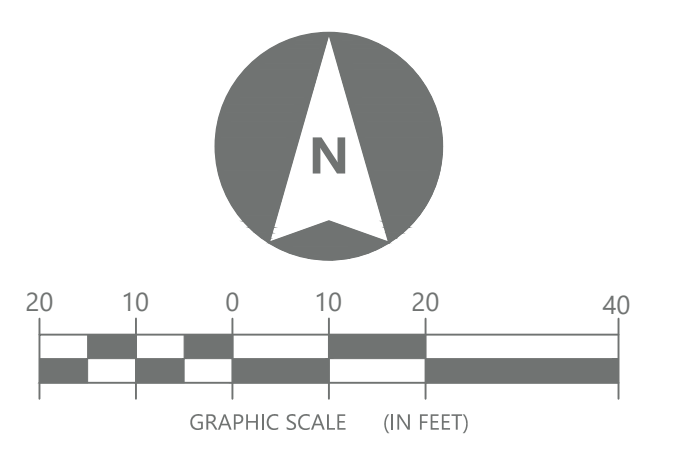
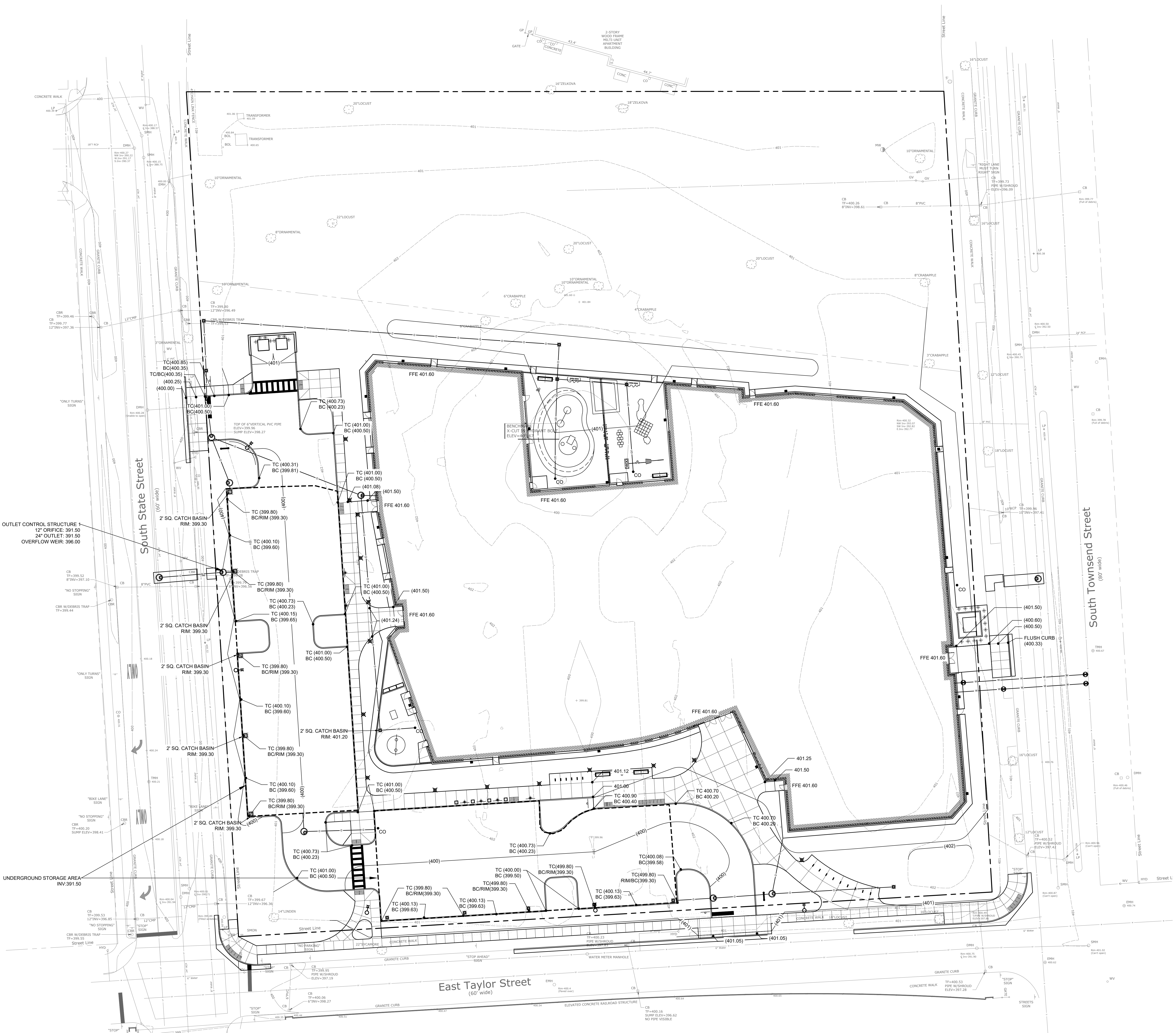
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1	12/20/24	ZBA SUBMISSION
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MARK	DATE	DESCRIPTION

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DRAWN BY: AM/LEG/JM  
SCALE: AS SHOWN  
DRAWING TITLE: GRADING PLAN

C2.1







PLANT LIST - TREES					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
AC	AMELANCHIER CANADENSIS	SERVICEBERRY	6' HT	CLUMP	
AF	ACER FREEMANII	FREEMAN MAPLE	2.5" CAL	B&B	
BN	BETULA NIGRA 'CULLY' (HERITAGE)	RIVER BIRCH	12' HT	CLUMP	

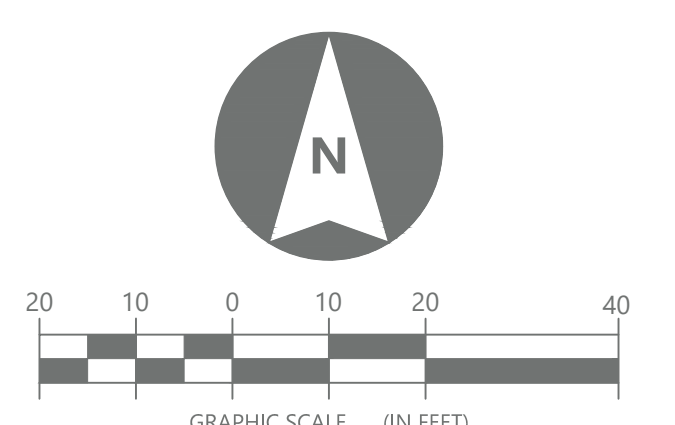
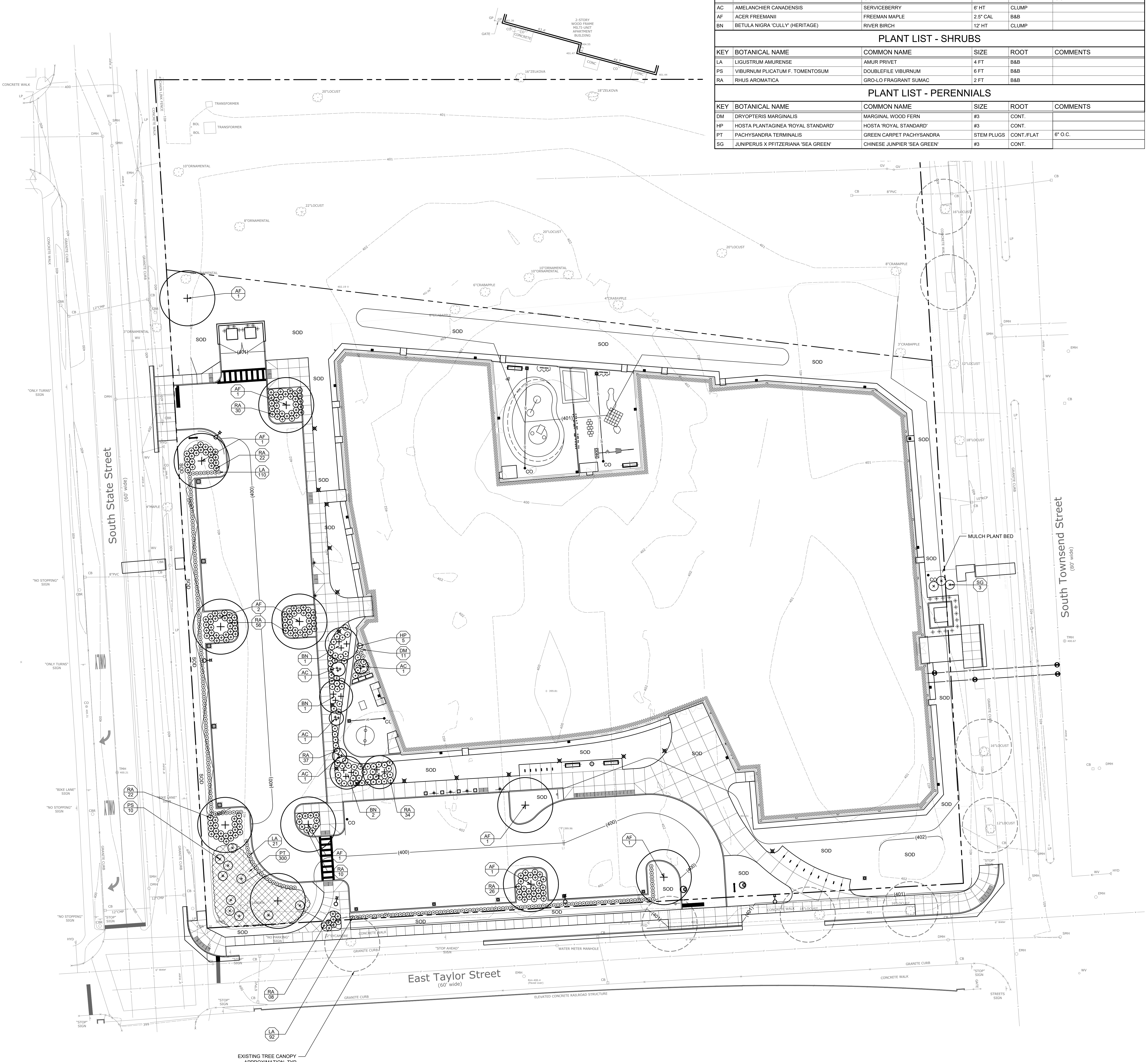
  

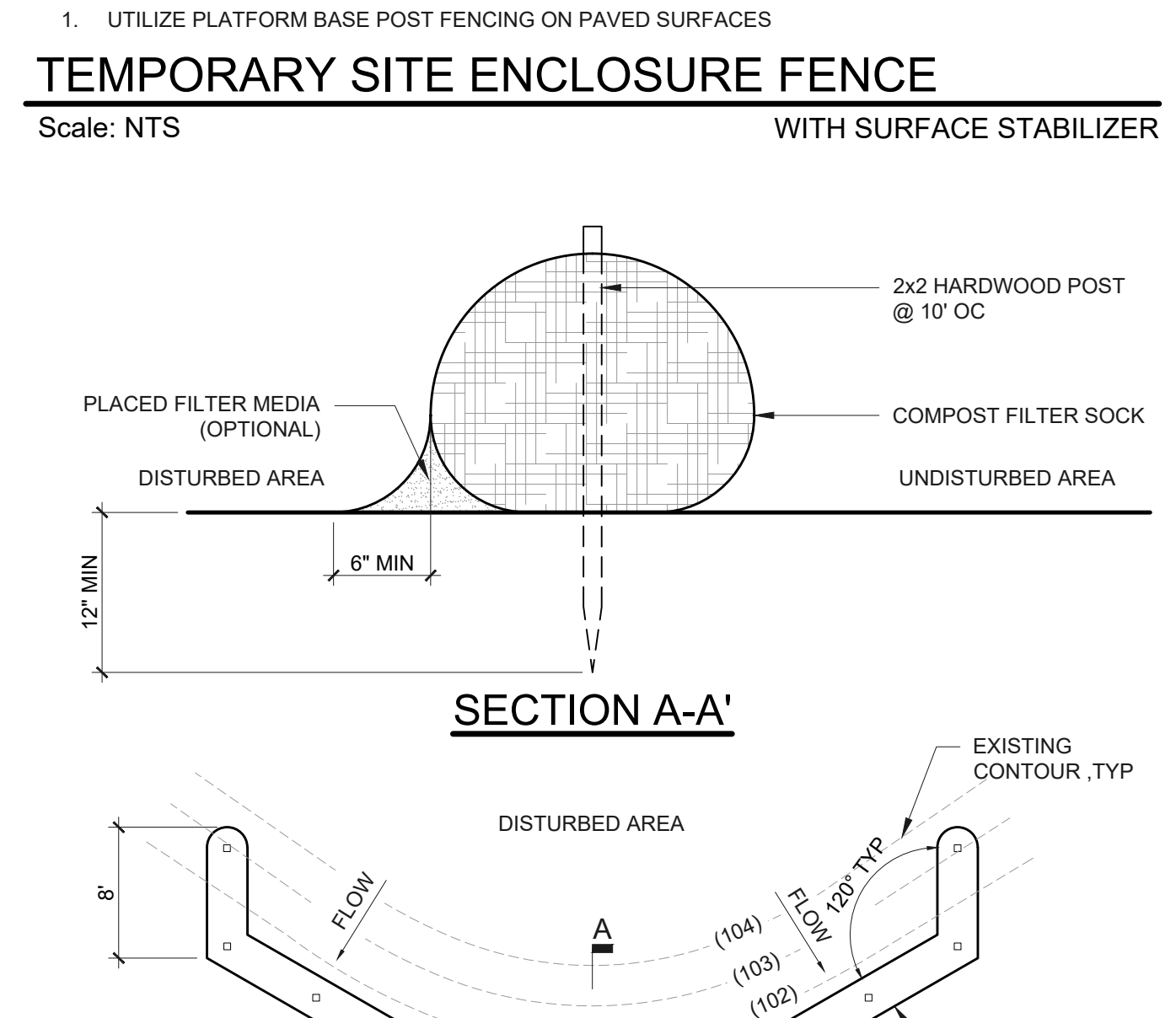
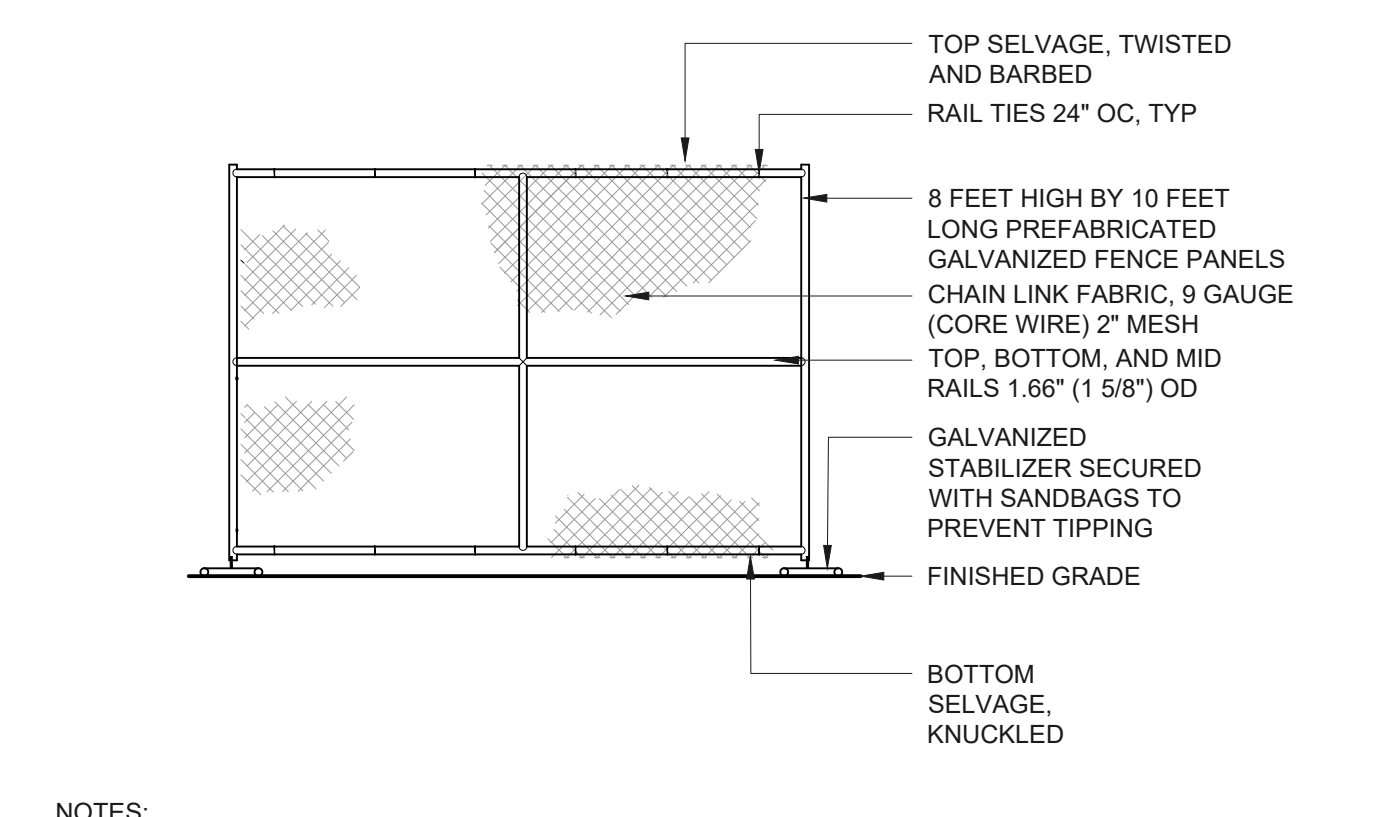
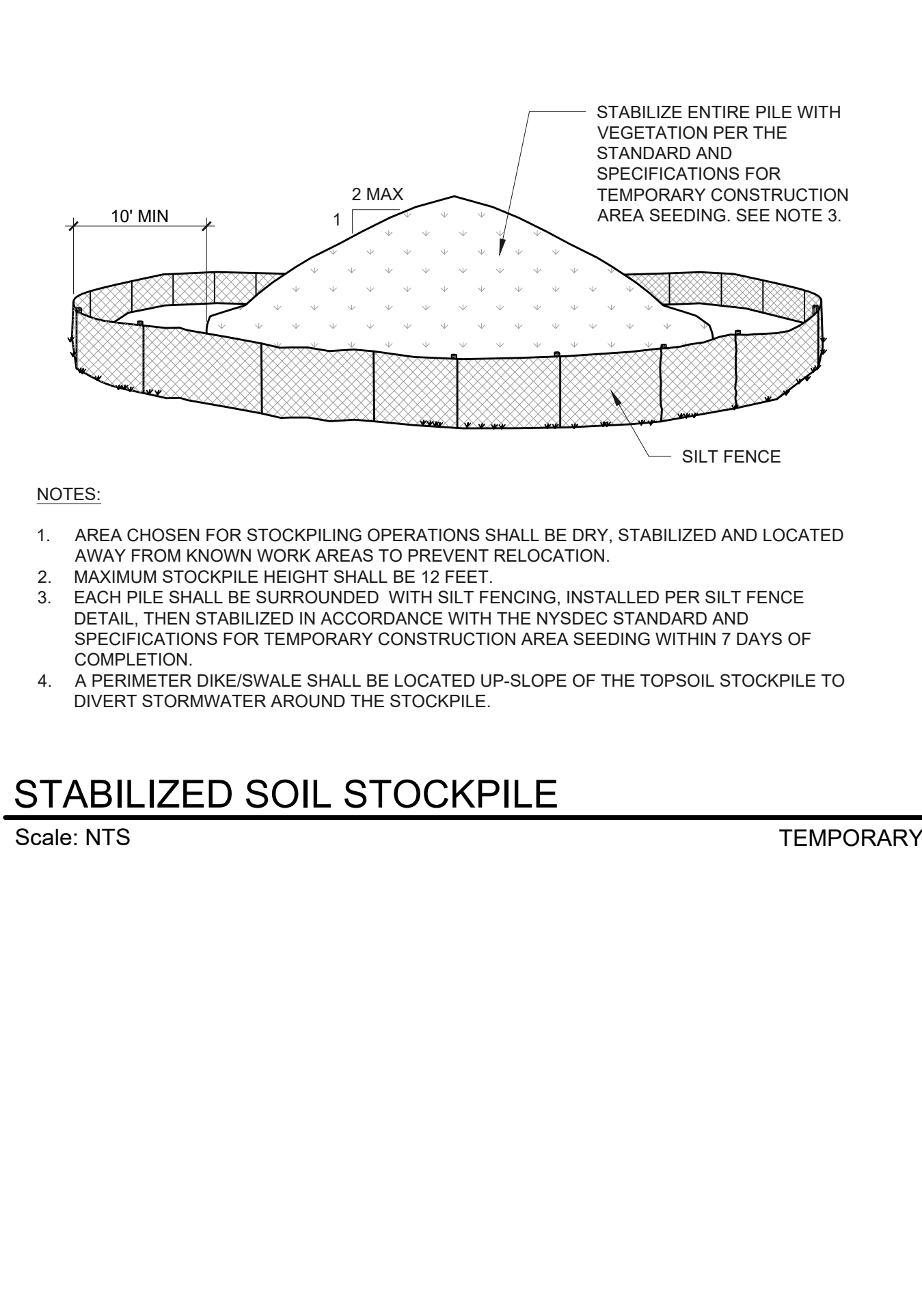
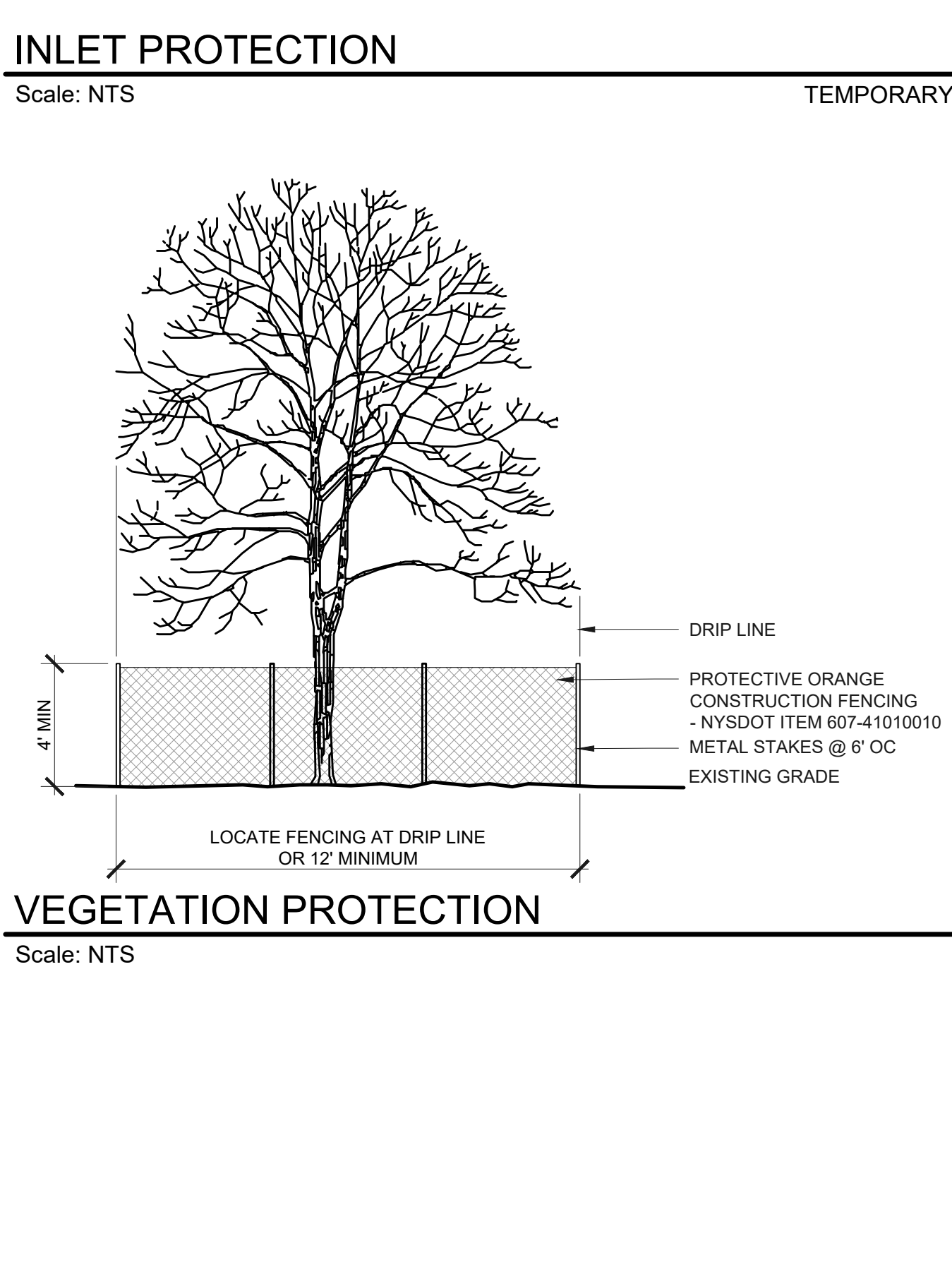
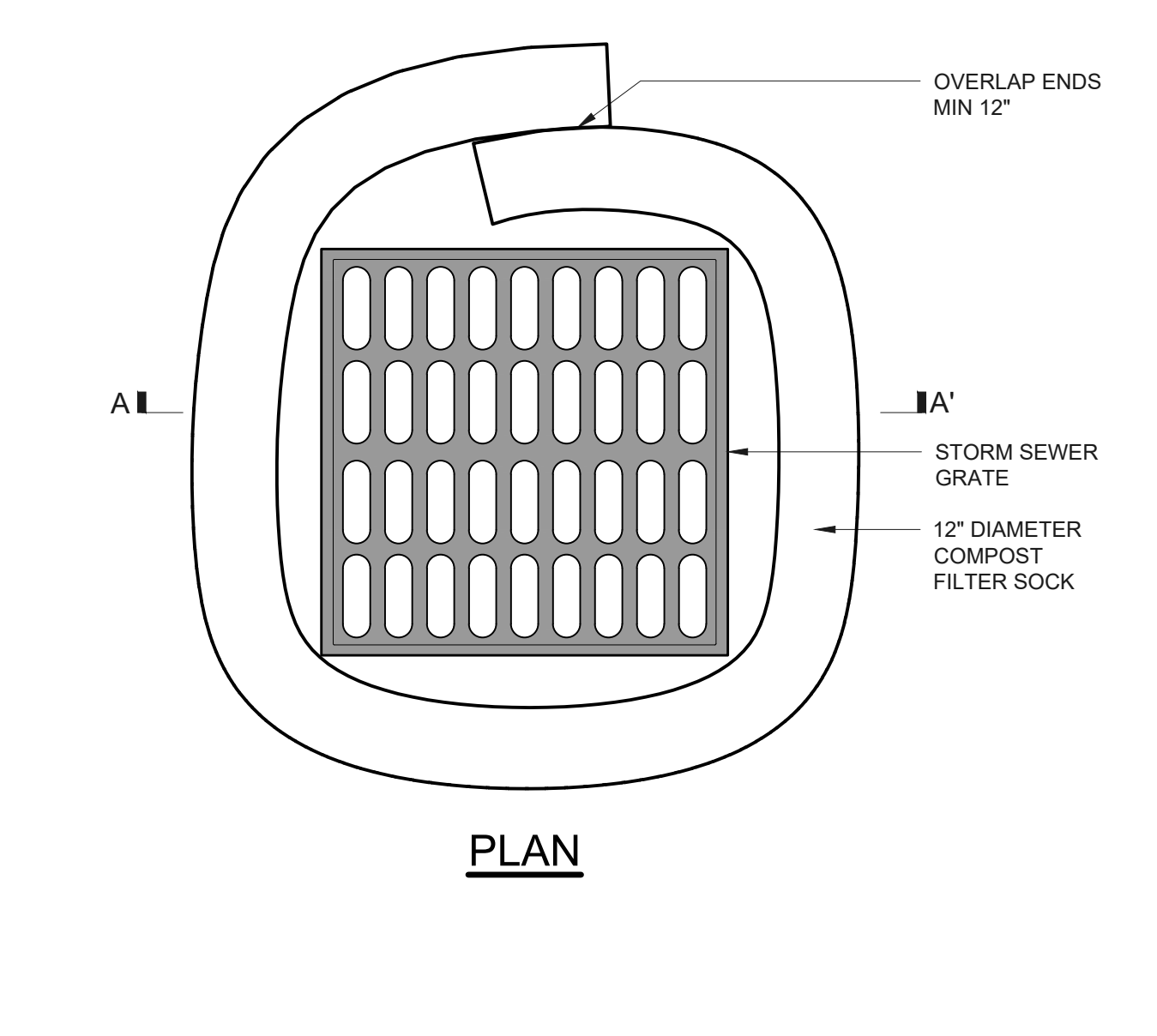
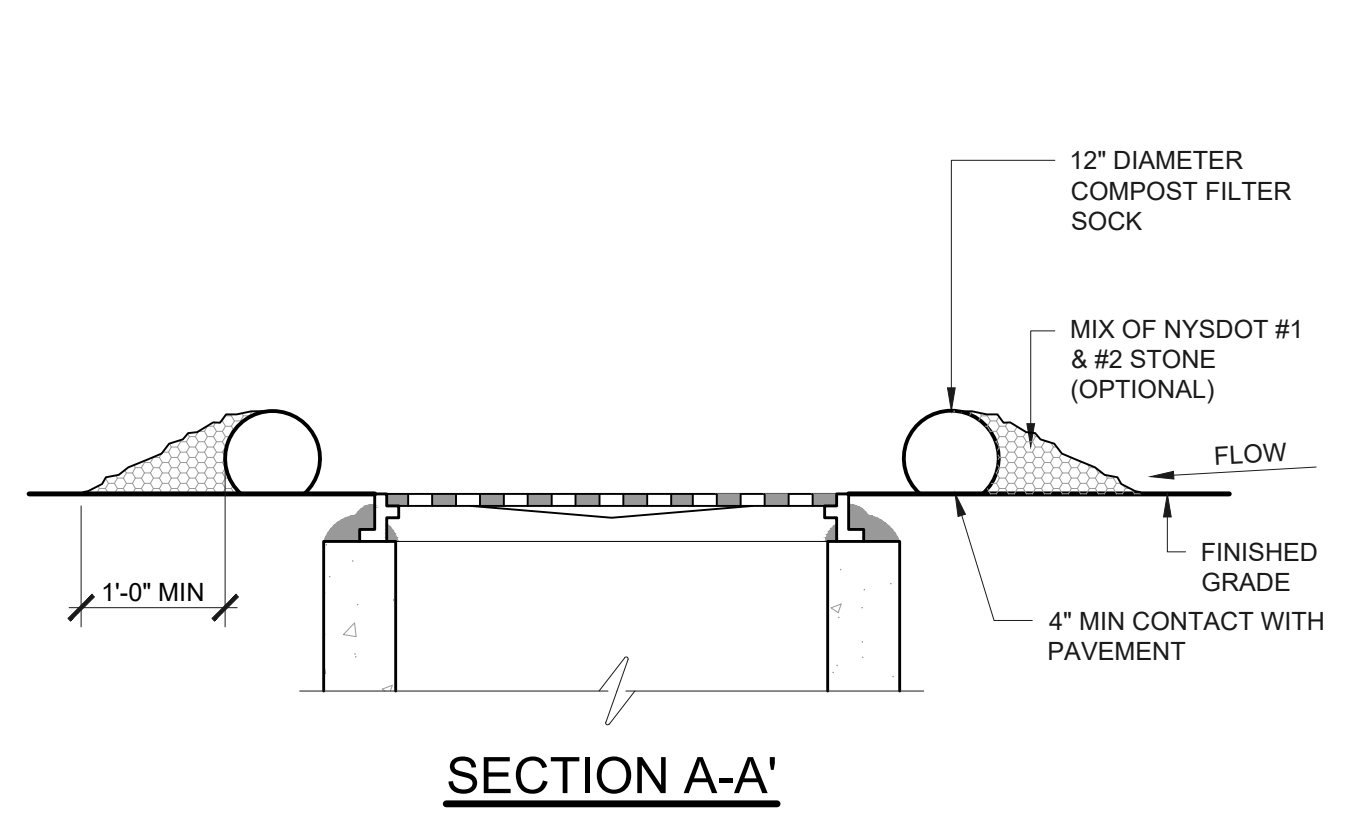
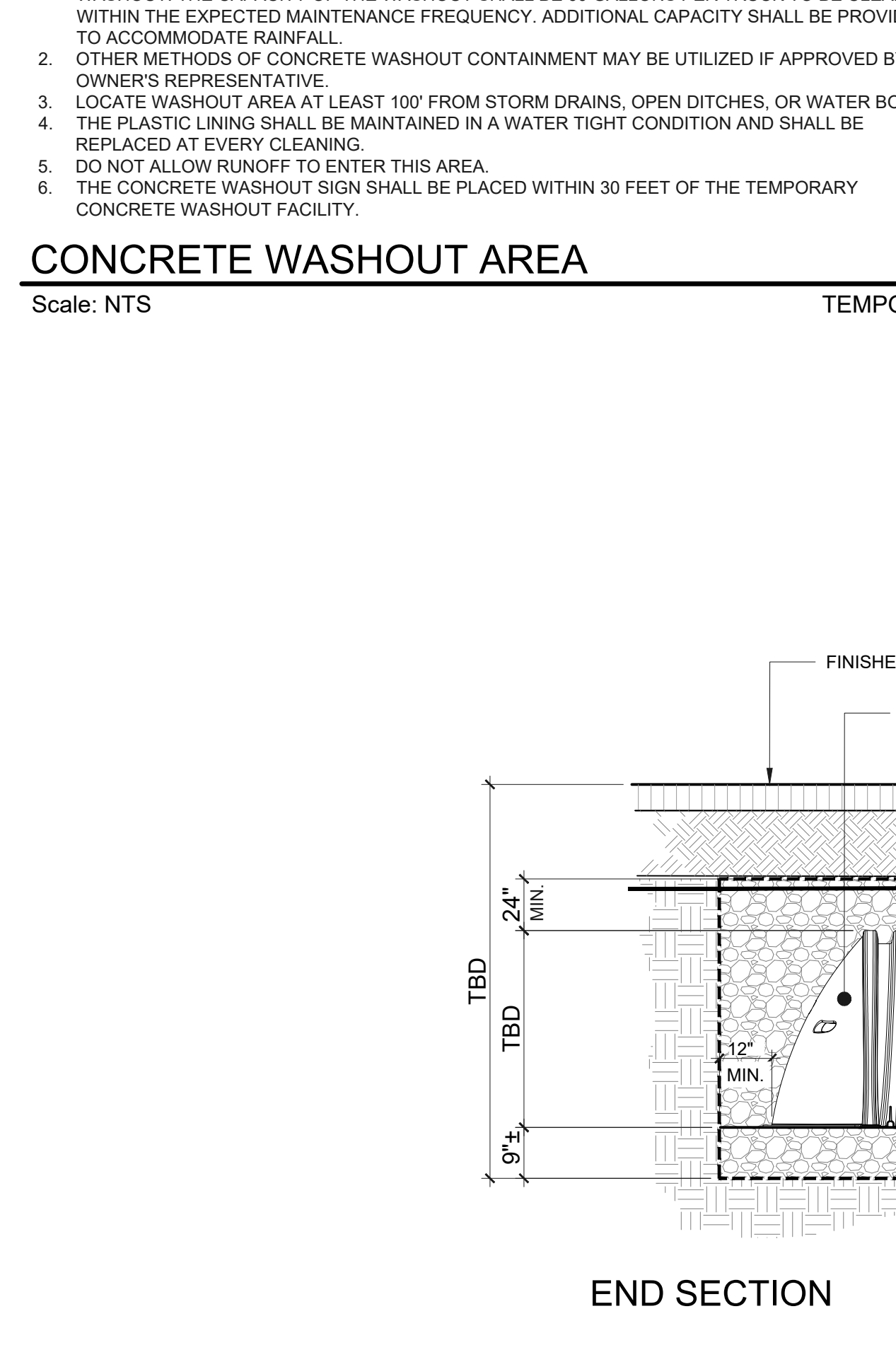
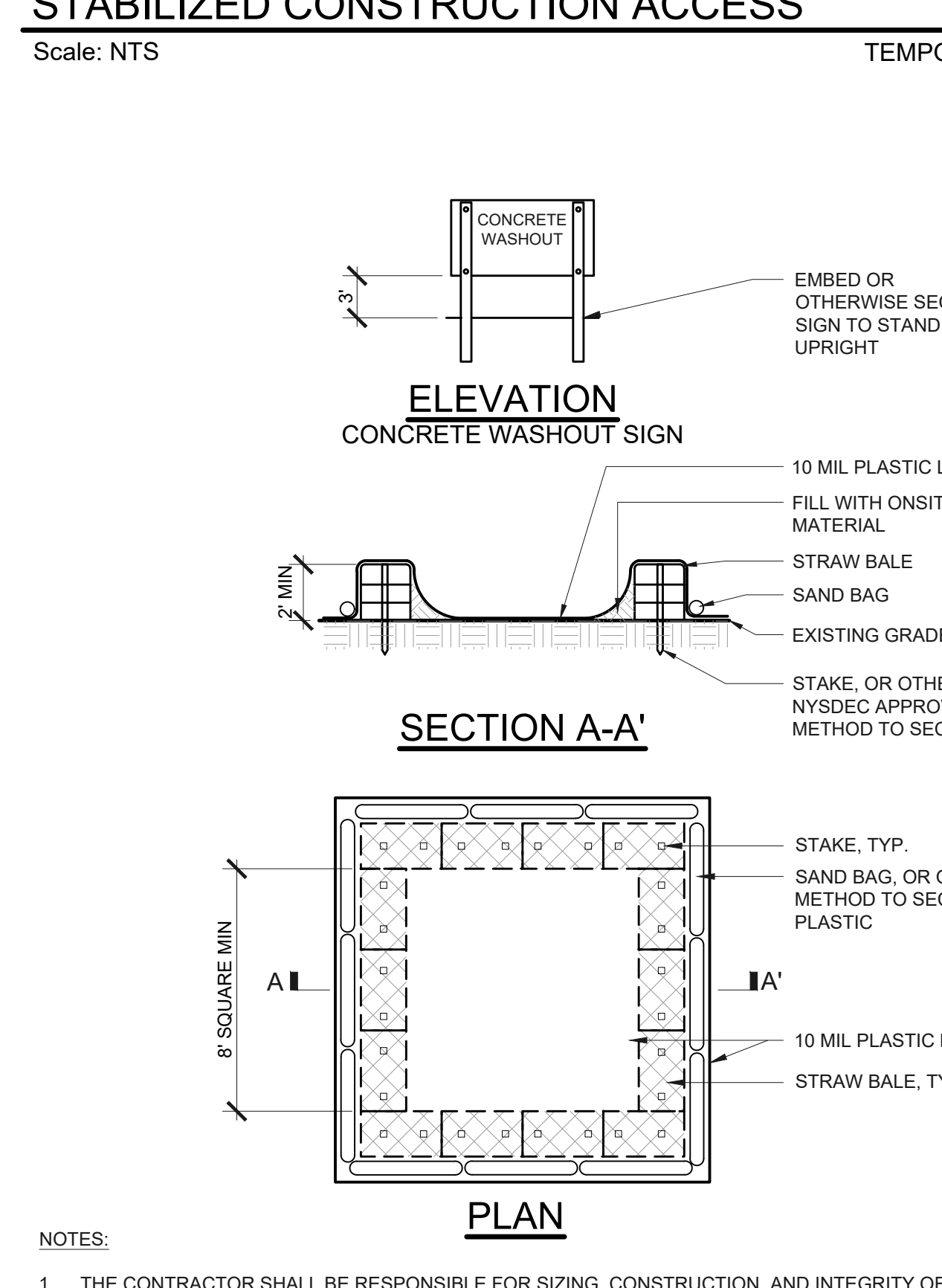
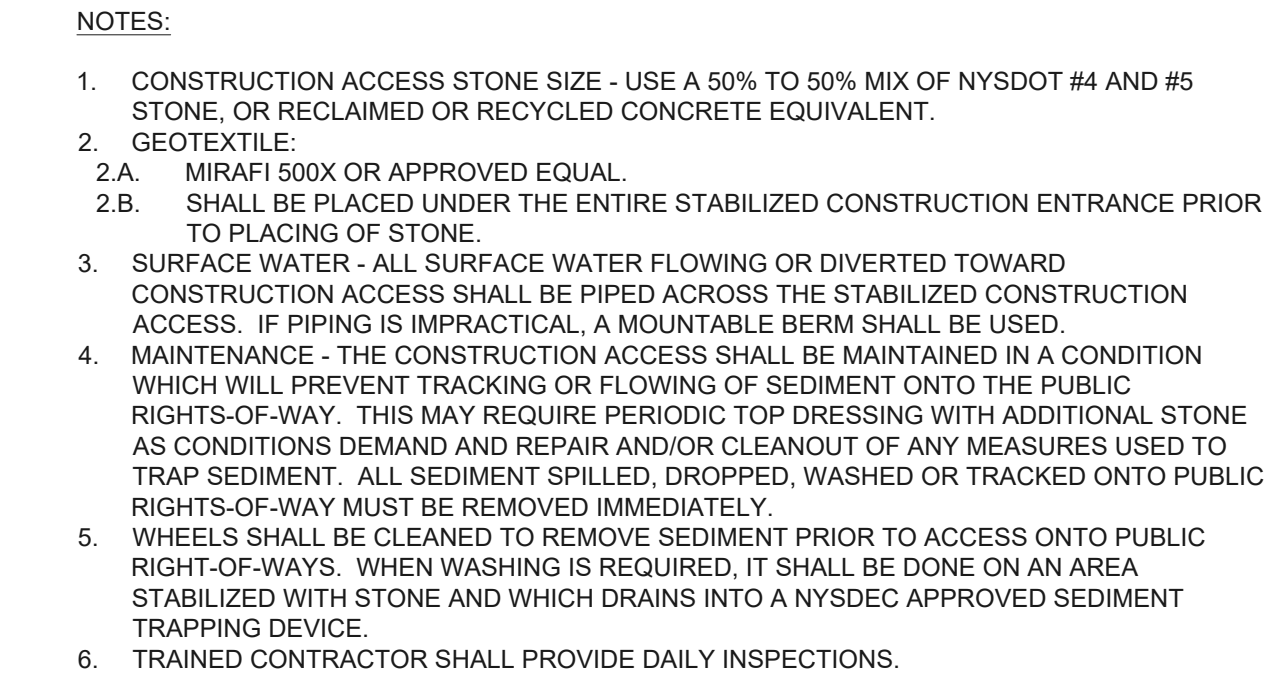
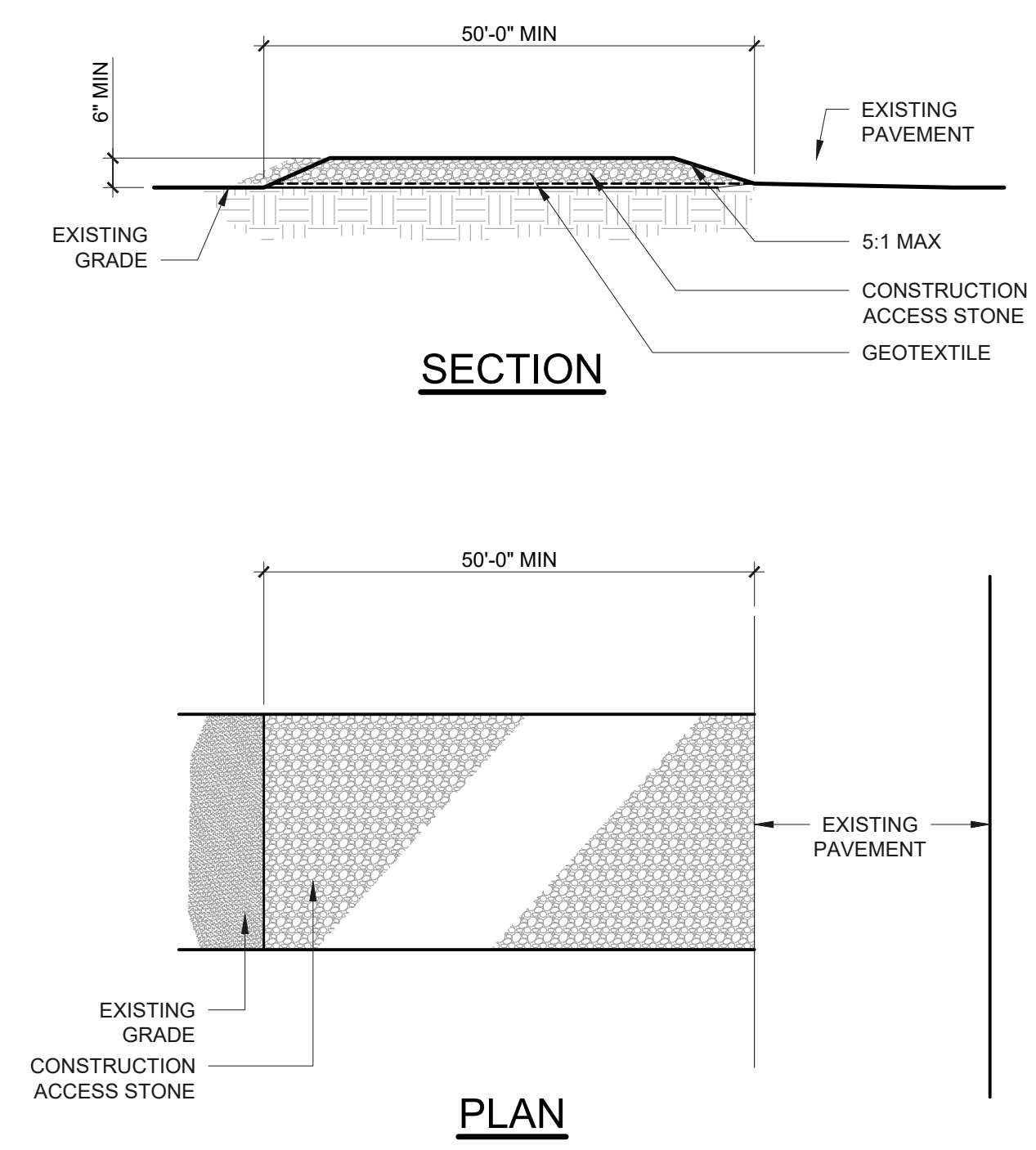
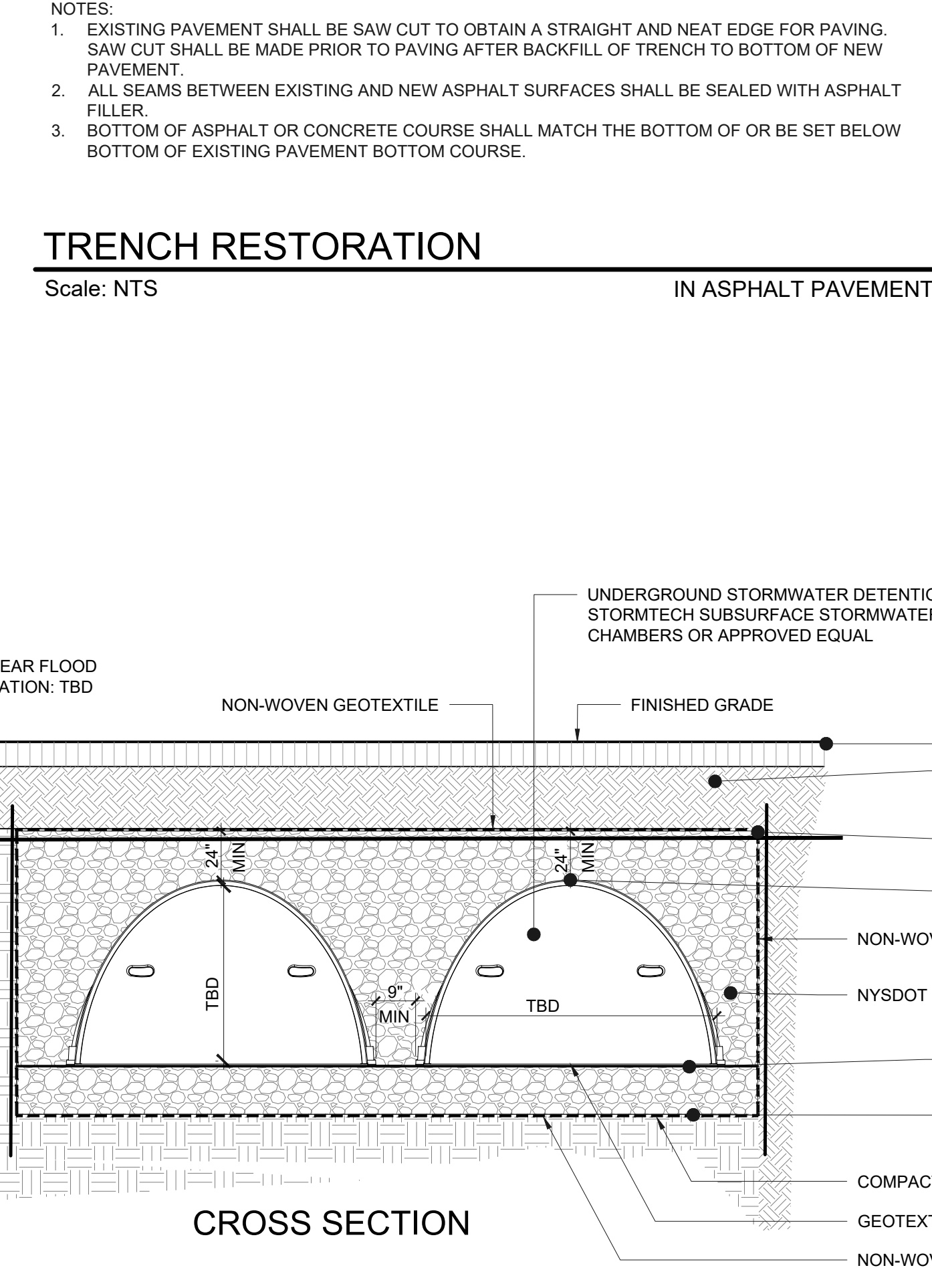
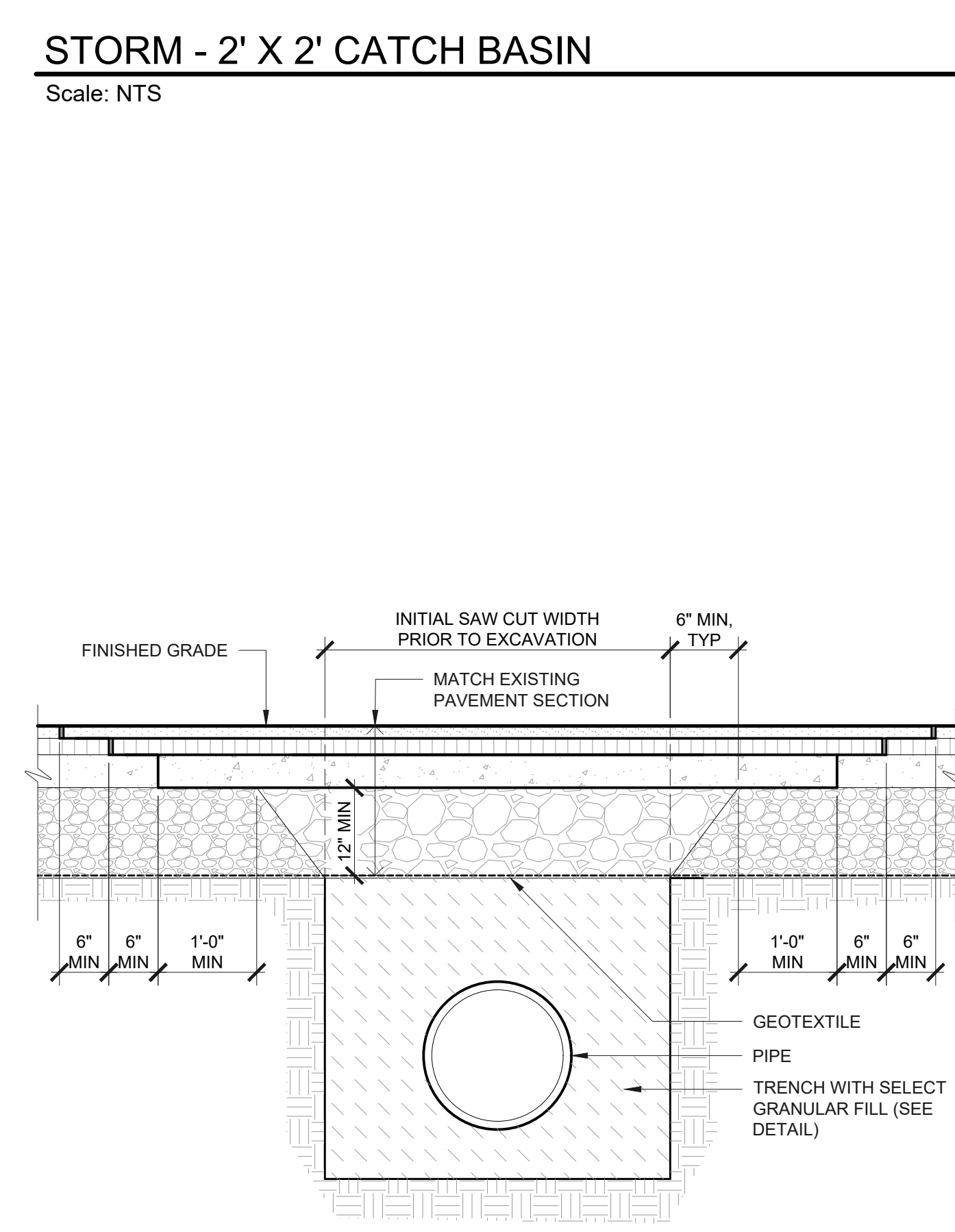
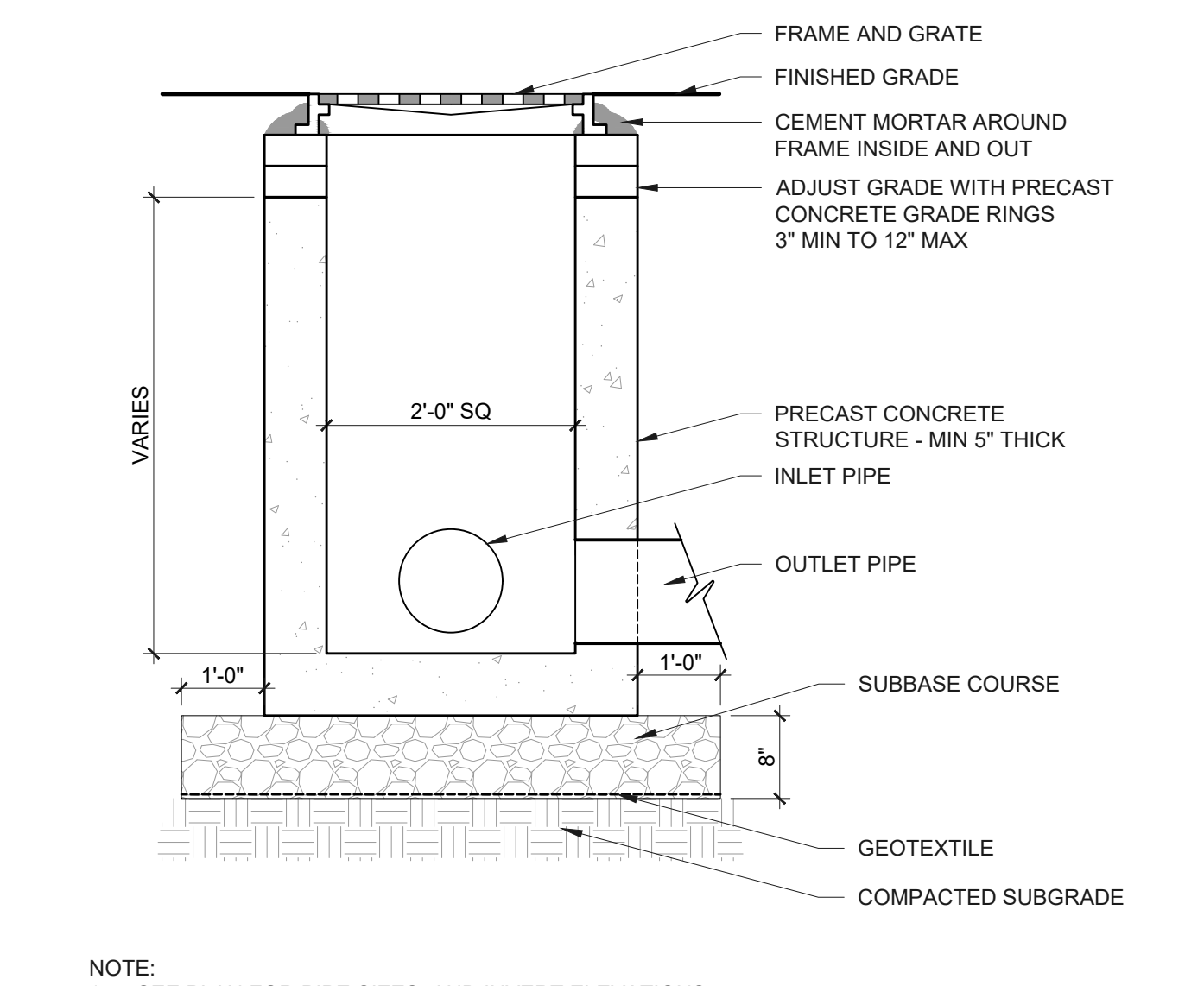
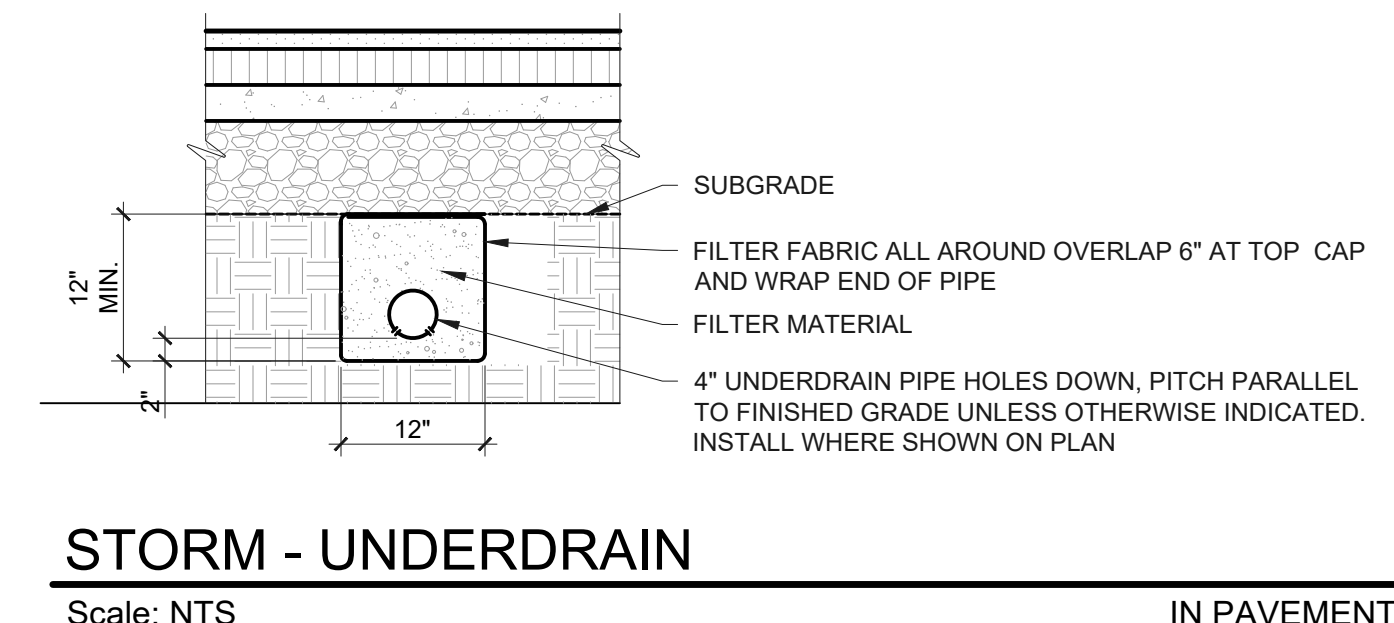
PLANT LIST - SHRUBS					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
LA	LIGUSTRUM AMURENSE	AMUR PRIVET	4 FT	B&B	
PS	VIBURNUM PLICATUM F. TOMENTOSUM	DOUBLEFILE VIBURNUM	6 FT	B&B	
RA	RHUS AROMATICA	GRO-LO FRAGRANT SUMAC	2 FT	B&B	

PLANT LIST - PERENNIALS					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
DM	DRYOPTERIS MARGINALIS	MARGINAL WOOD FERN	#3	CONT.	
HP	HOSTA PLANTAGINEA 'ROYAL STANDARD'	HOSTA 'ROYAL STANDARD'	#3	CONT.	
PT	PACHYSANDRA TERMINALIS	GREEN CARPET PACHYSANDRA	STEM PLUGS	CONT.FLAT	6" O.C.
SG	JUNIPERUS X PFITZERIANA 'SEA GREEN'	CHINESE JUNIPER 'SEA GREEN'	#3	CONT.	

PLANTING LEGEND	
SYMBOL	ITEM
---	SPADE CUT EDGE
+	DECIDUOUS TREE
⊕ ⊕	DECIDUOUS SHRUB
⊗	PERENNIAL/GROUND COVER
SOD	LAWN (SOD)





**TABLE 1 - MAXIMUM SLOPE LENGTH ABOVE COMPOST FILTER SOCK (FEET)**

DIA (IN)	SLOPE %							
	2	5	10	20	25	33	50	
8	225	200	100	5	20	-	-	
12	250	225	125	65	50	40	25	
18	275	250	150	70	55	45	30	
24	350	275	200	130	100	60	35	
32	450	325	275	150	120	75	50	

**TABLE 2 - COMPOST FILTER MEDIA STANDARDS**

ORGANIC MATTER CONTENT	25% - 100% DRY WEIGHT
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	6.0 - 8.0
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	100% PASSING A 1" SCREEN AND 10-50% PASSING A 3/8" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dSm (mmhos/cm) MAXIMUM

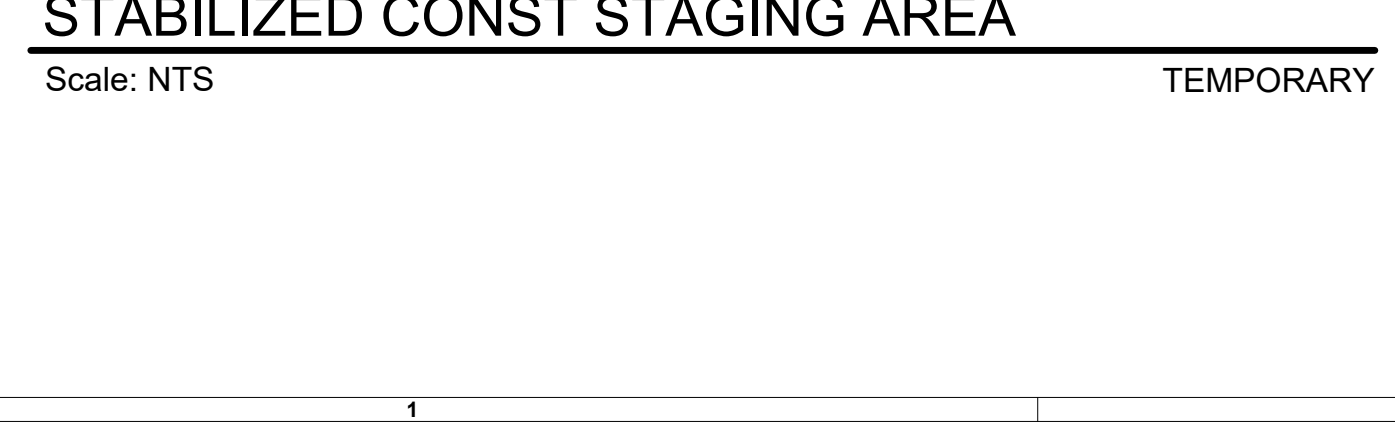
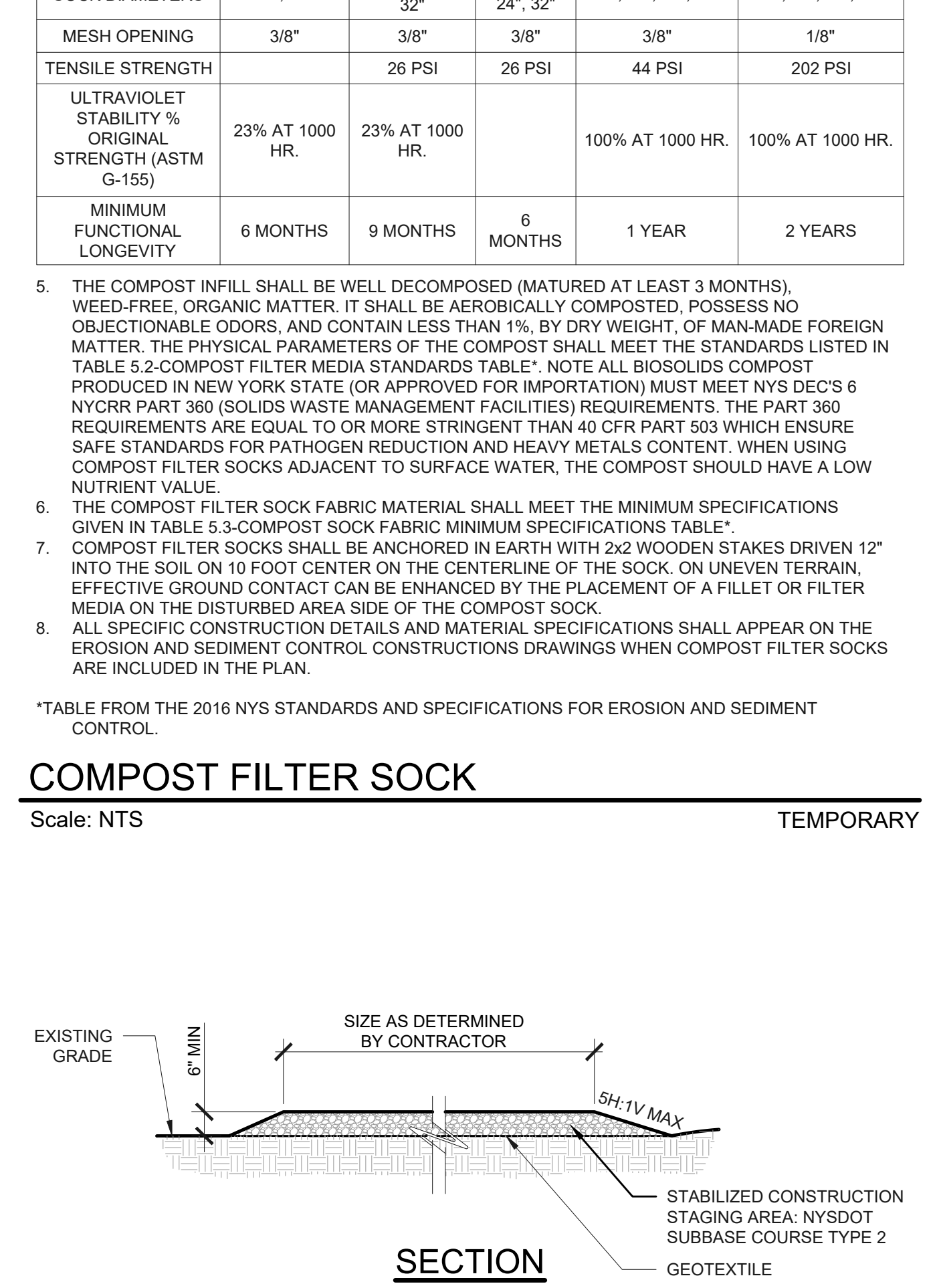
**TABLE 3 - COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS**

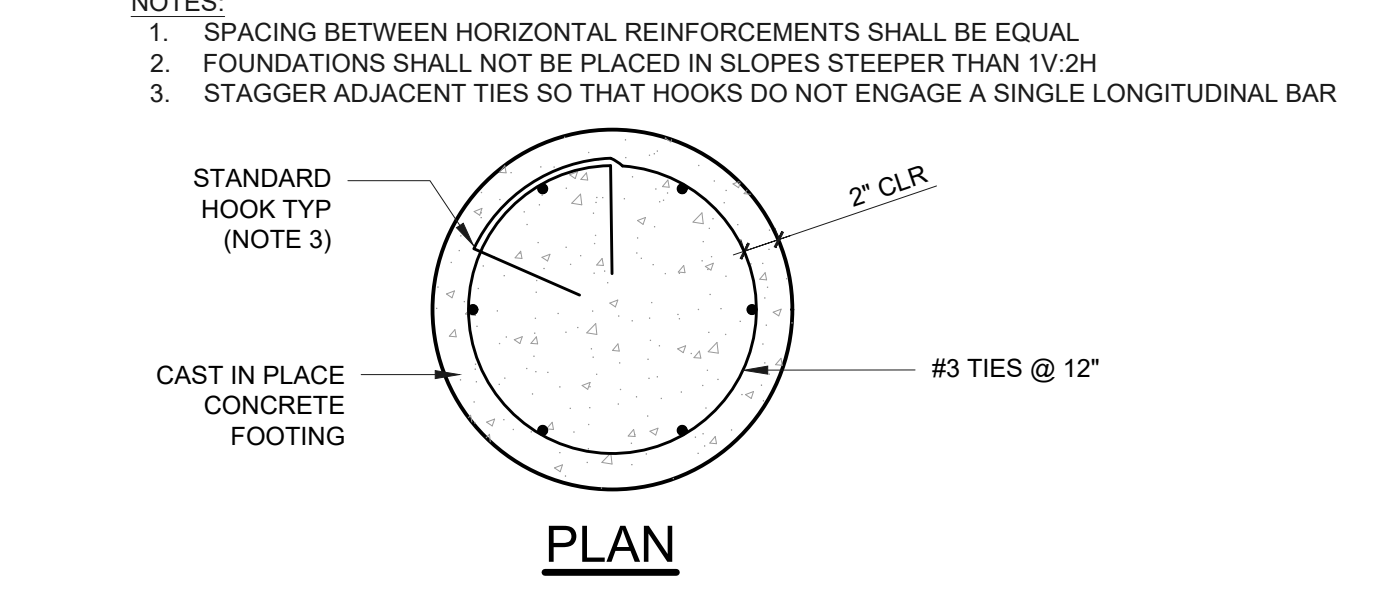
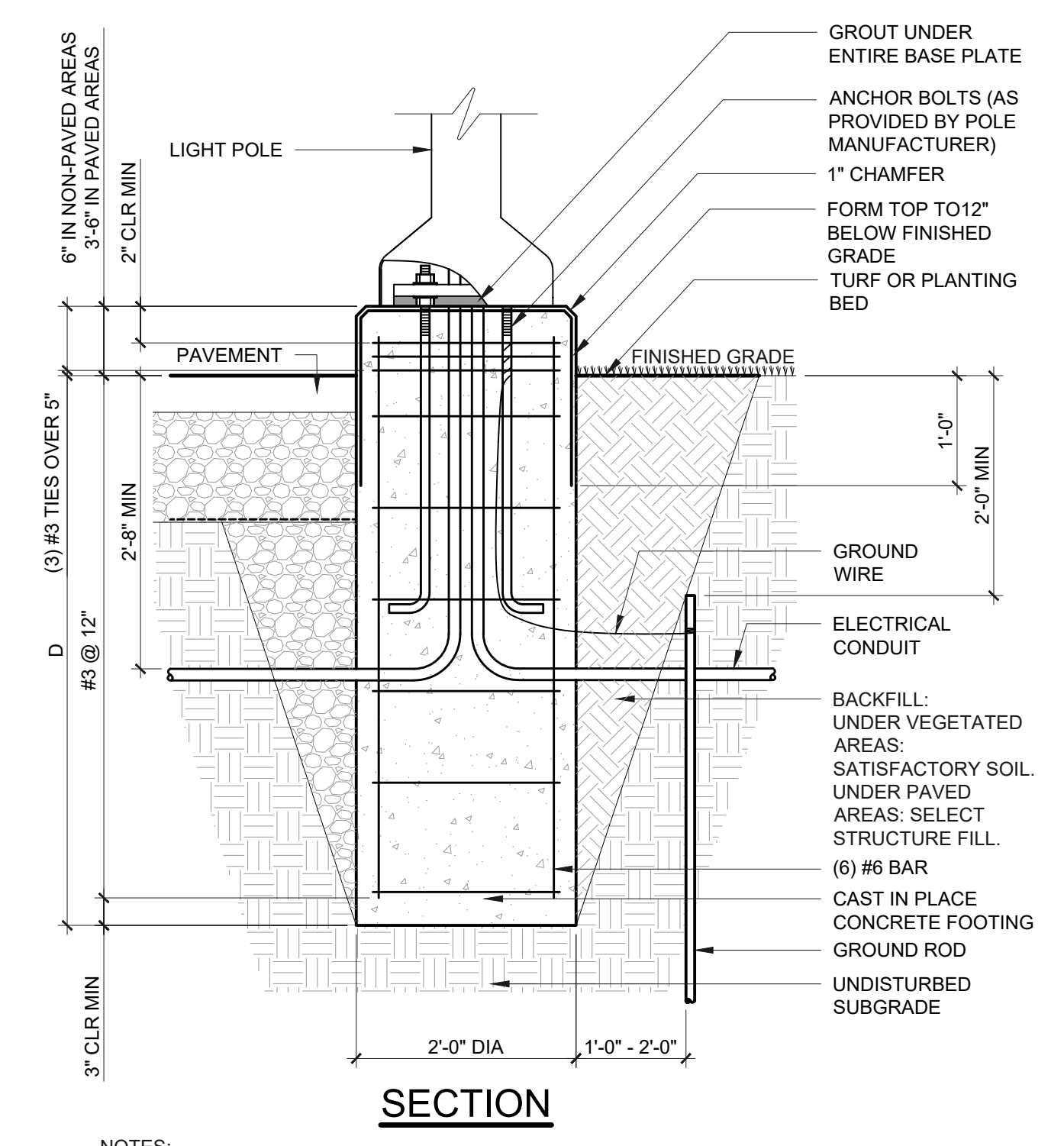
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE
MATERIAL CHARACTERISTICS	PHOTODEGRADABLE	PHOTODEGRADABLE	PHOTODEGRADABLE	PHOTODEGRADABLE	PHOTODEGRADABLE
SOCK DIAMETERS	12", 18"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH	26 PSI	26 PSI	44 PSI	202 PSI	
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR	23% AT 1000 HR	100% AT 1000 HR	100% AT 1000 HR	
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

**NOTE:**

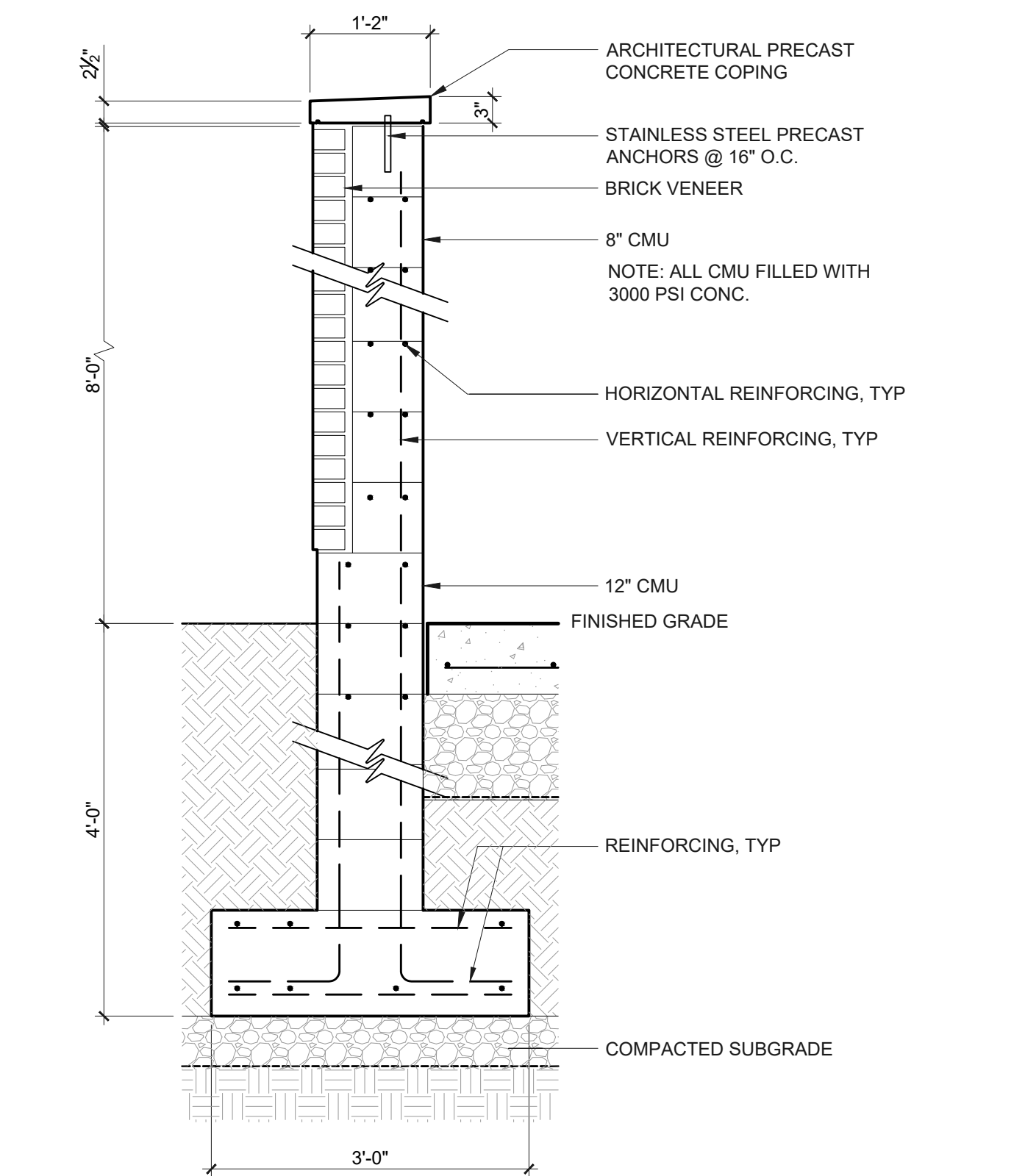
- THE COMPOST INFILL SHALL BE WELL DECOMPOSED (MATURED AT LEAST 3 MONTHS), WEED-FREE, ORGANIC MATTER. IT SHALL BE AEROBICALLY COMPOSTED, POSSESS NO OBJECTIONABLE ODORS, AND CONTAIN LESS THAN 1% BY DRY WEIGHT, OF MAN-MADE FOREIGN MATTER. THE PHYSICAL PARAMETERS OF THE COMPOST SHALL MEET THE STANDARDS LISTED IN TABLE 2-COMPOST FILTER MEDIA STANDARDS TABLE. NOTE ALL BIOLOGICAL PRODUCTS PRODUCED IN NEW YORK STATE (OR APPROVED FOR IMPORTATION) MUST MEET NYS DEC'S 6 NYORR PART 300 (SOLIDS WASTE MANAGEMENT FACILITIES) REQUIREMENTS. THE PART 300 REQUIREMENTS ARE EQUAL TO OR MORE STRINGENT THAN 40 CFR PART 503 WHICH ENSURE SAFE STANDARDS FOR PATHOGEN REDUCTION AND HEAVY METALS CONTENT. WHEN USING COMPOST FILTER SOCKS ADJACENT TO SURFACE WATER, THE COMPOST SHOULD HAVE A LOW NUTRIENT VALUE.
- THE COMPOST FILTER SOCK FABRIC MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS GIVEN IN TABLE 3-COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS TABLE.
- COMPOST FILTER SOCKS SHALL BE ANCHORED IN EARTH WITH 2x2 WOODEN STAKES DRIVEN 12" INTO THE SOIL ON 10 FOOT CENTER ON THE CENTERLINE OF THE SOCK. ON UNEVEN TERRAIN, EFFECTIVE GROUND CONTACT CAN BE ENHANCED BY THE PLACEMENT OF A FILLET OR FILTER MEDIA ON THE DISTURBED AREA SIDE OF THE COMPOST SOCK.
- ALL SPECIFIC CONSTRUCTION DETAILS AND MATERIAL SPECIFICATIONS SHALL APPEAR ON THE EROSION AND SEDIMENT CONTROL CONSTRUCTIONS DRAWINGS WHEN COMPOST FILTER SOCKS ARE INCLUDED IN THE PLAN.

\*TABLE FROM THE 2016 NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

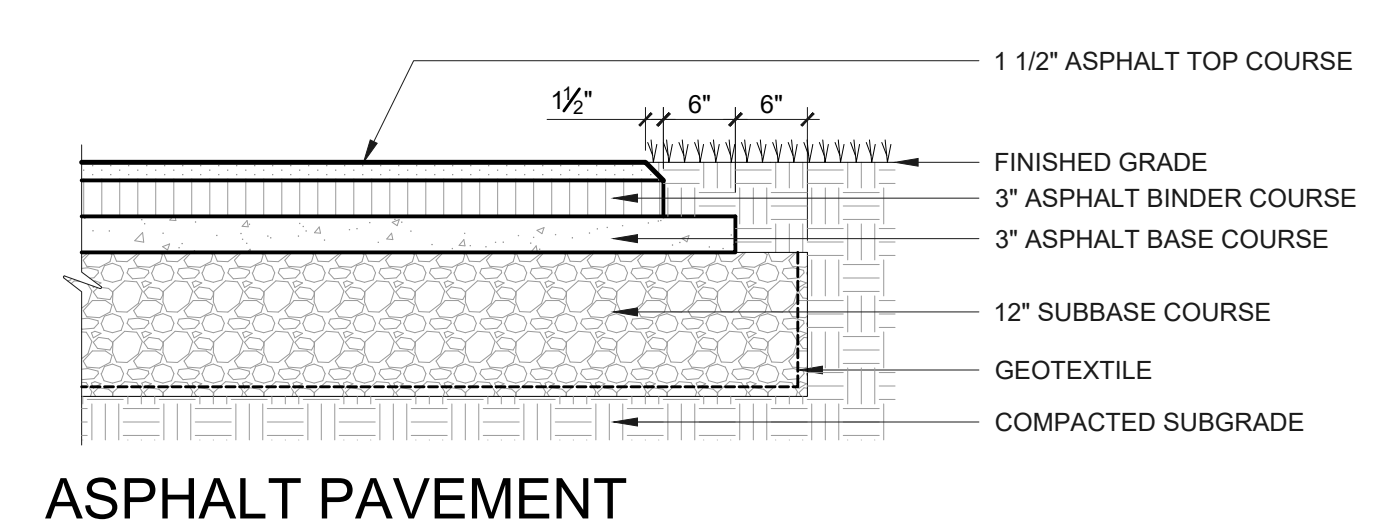




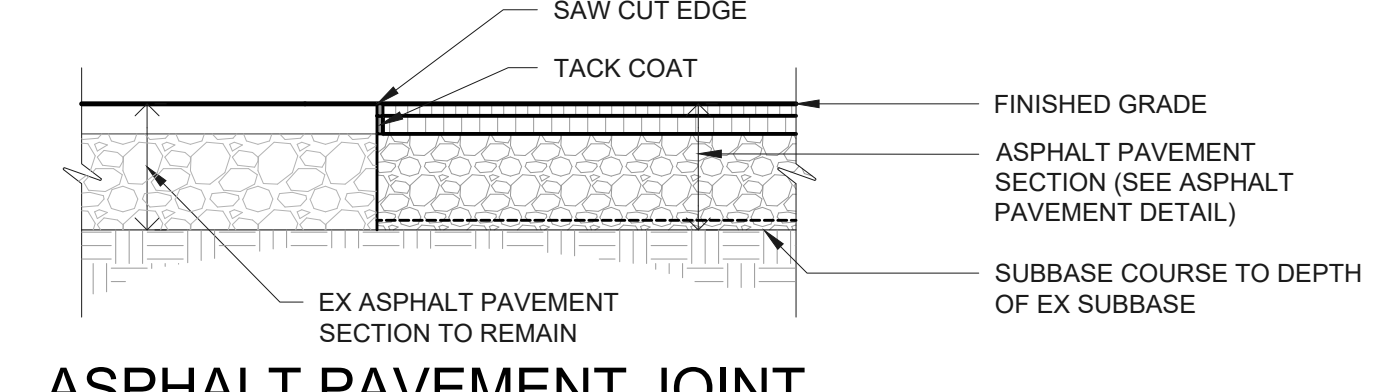
**CONCRETE LIGHT POLE FOOTING**  
Scale: NTS 24" DIAMETER



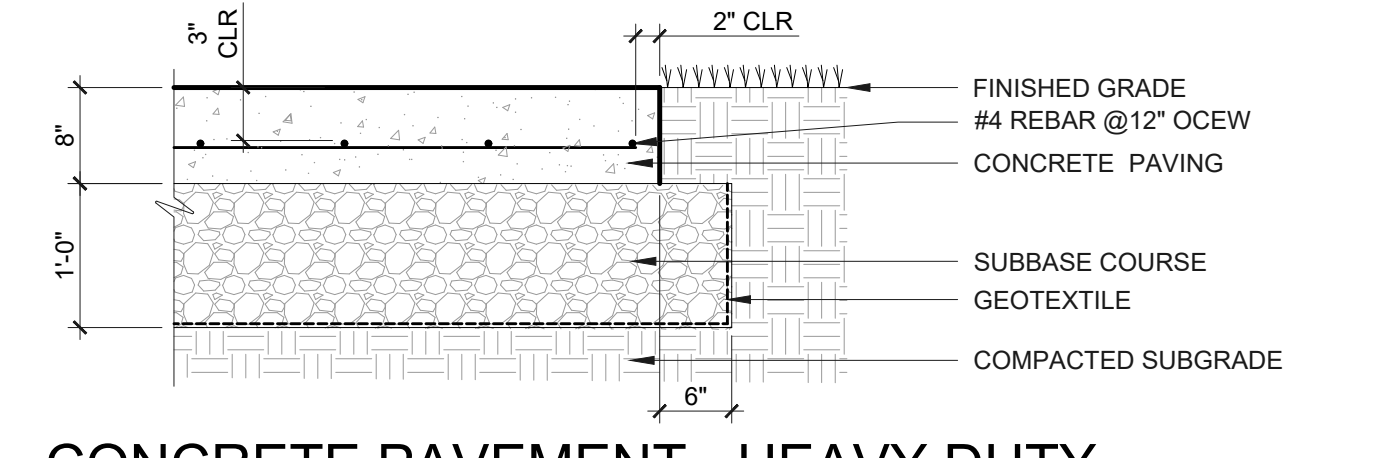
**DUMPSTER ENCLOSURE WALL**  
Scale: NTS



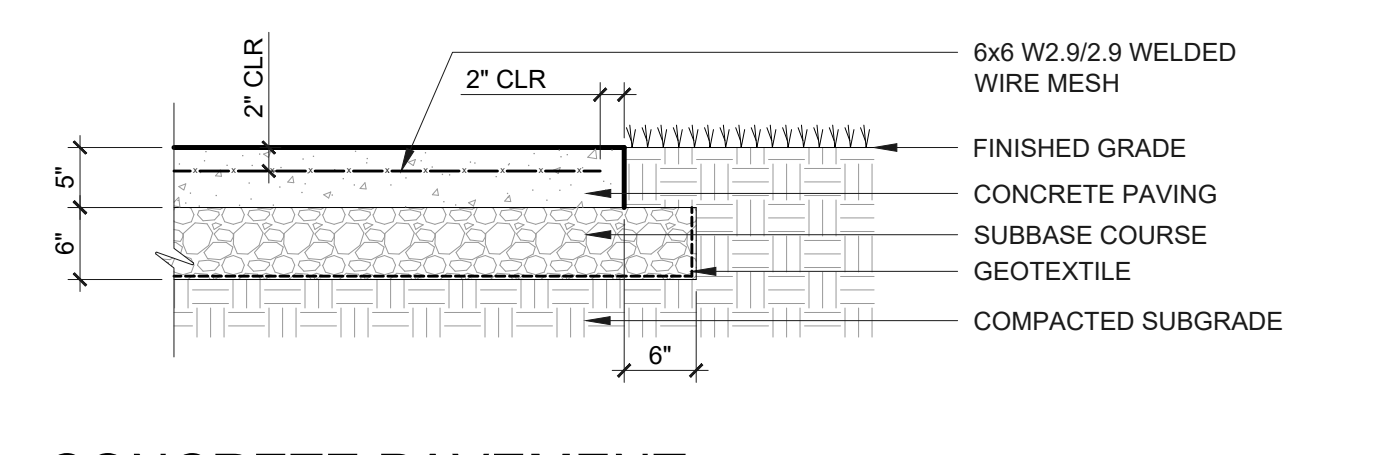
**ASPHALT PAVEMENT**  
Scale: NTS



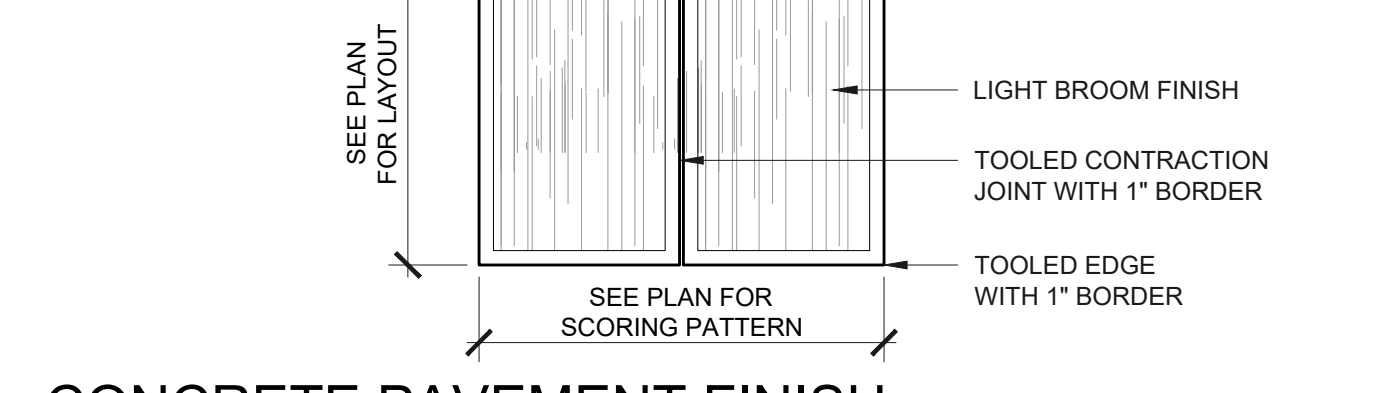
**ASPHALT PAVEMENT JOINT**  
Scale: NTS FULL DEPTH



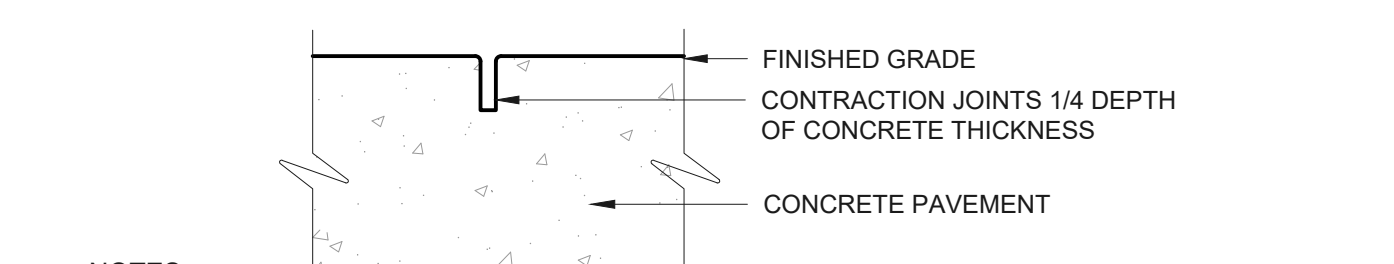
**CONCRETE PAVEMENT - HEAVY DUTY**  
Scale: NTS



**CONCRETE PAVEMENT**  
Scale: NTS PEDESTRIAN TRAFFIC ONLY



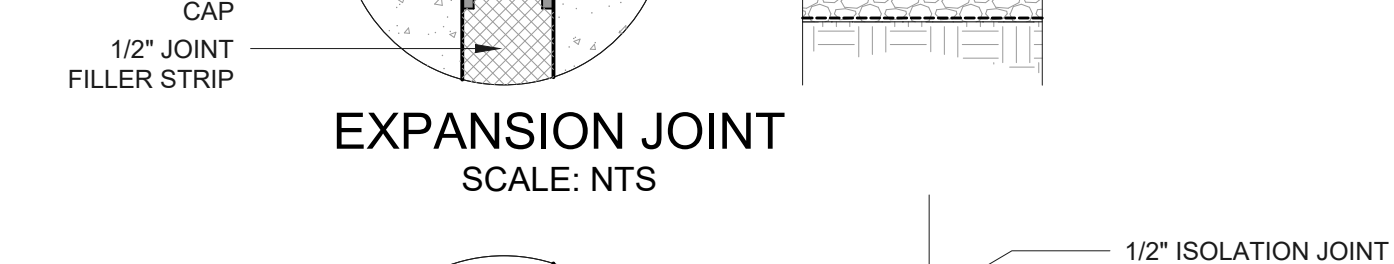
**CONCRETE PAVEMENT FINISH**  
Scale: NTS WITH BORDER



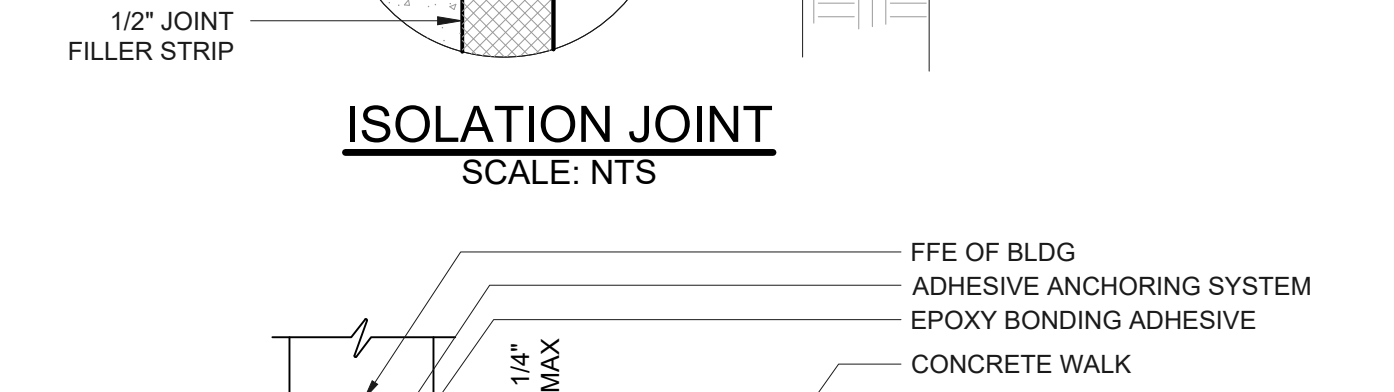
**CONTRACTION JOINT**  
Scale: NTS



**EXPANSION JOINT**  
Scale: NTS

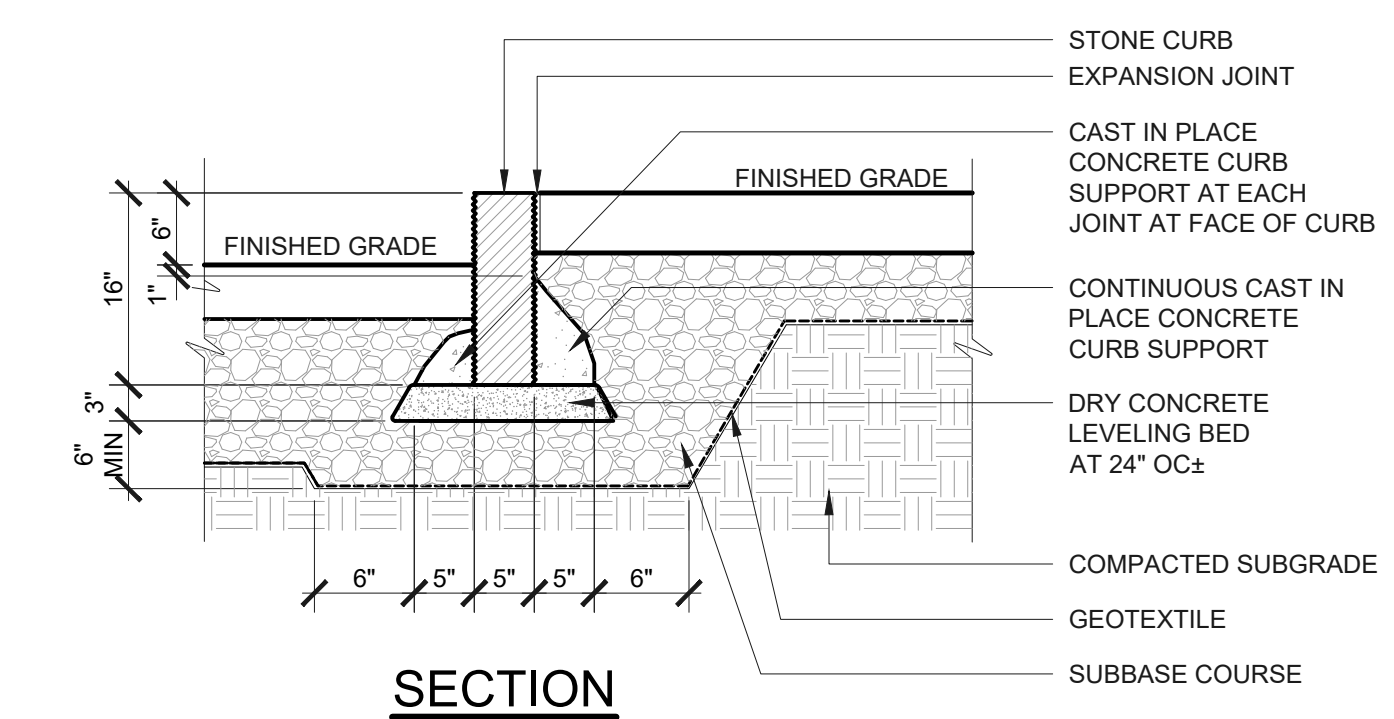


**ISOLATION JOINT**  
Scale: NTS

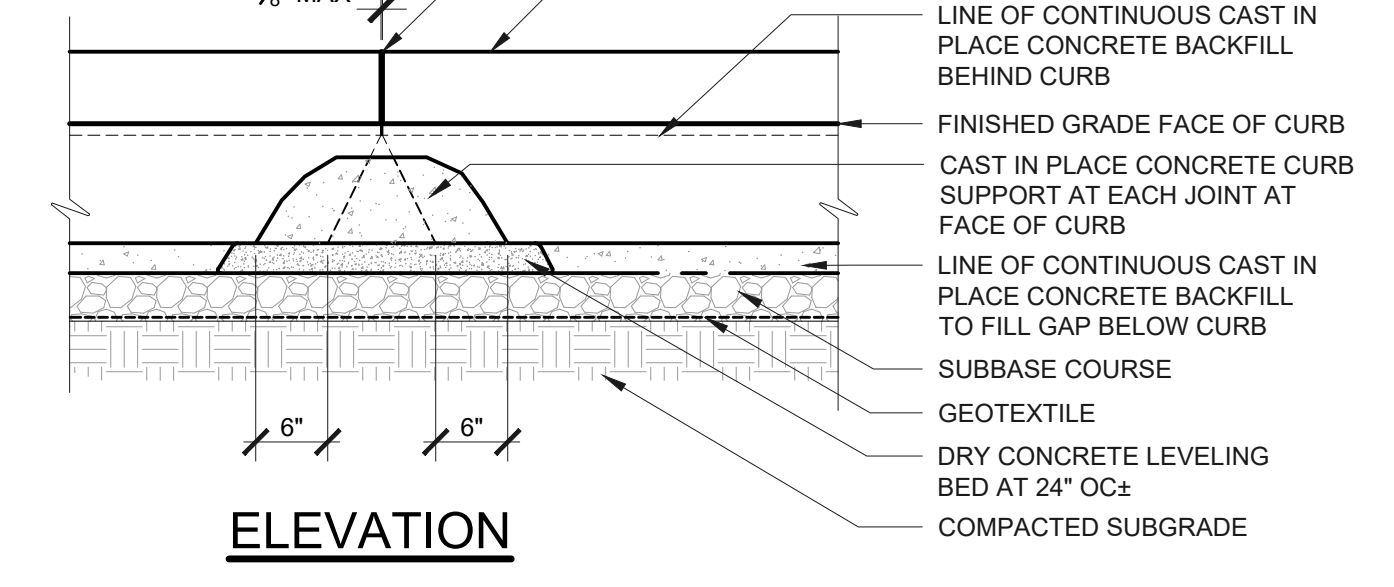


**DOWELED JOINT AT BLDG**  
Scale: NTS

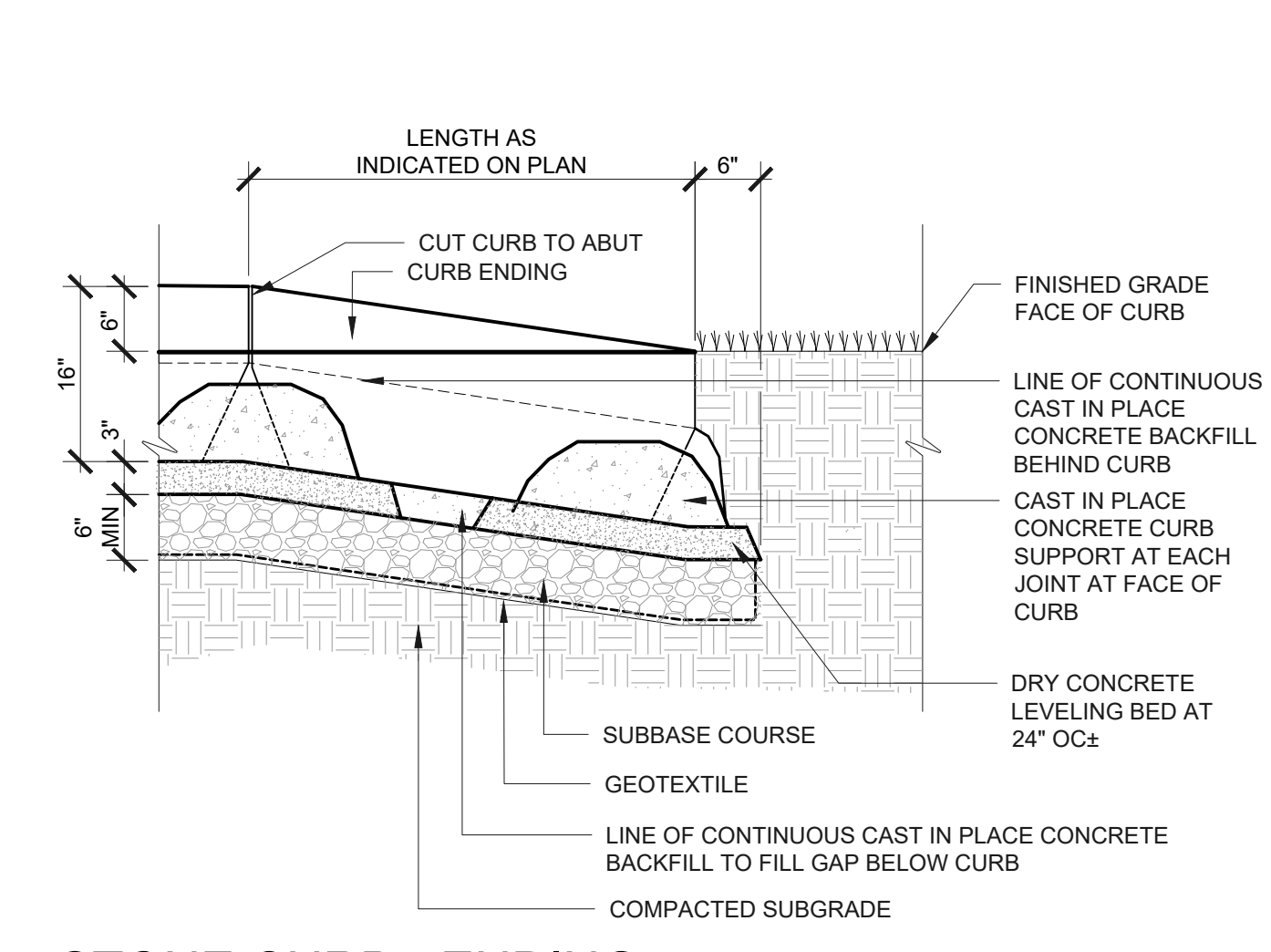
**CONCRETE PAVEMENT JOINTS**  
Scale: NTS



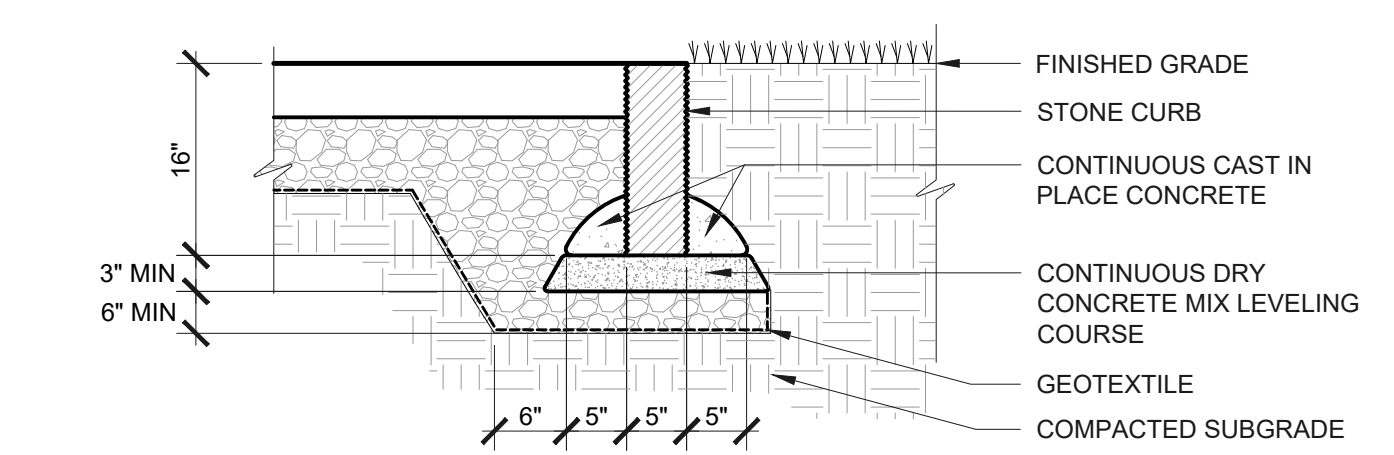
**STONE CURB**  
Scale: NTS



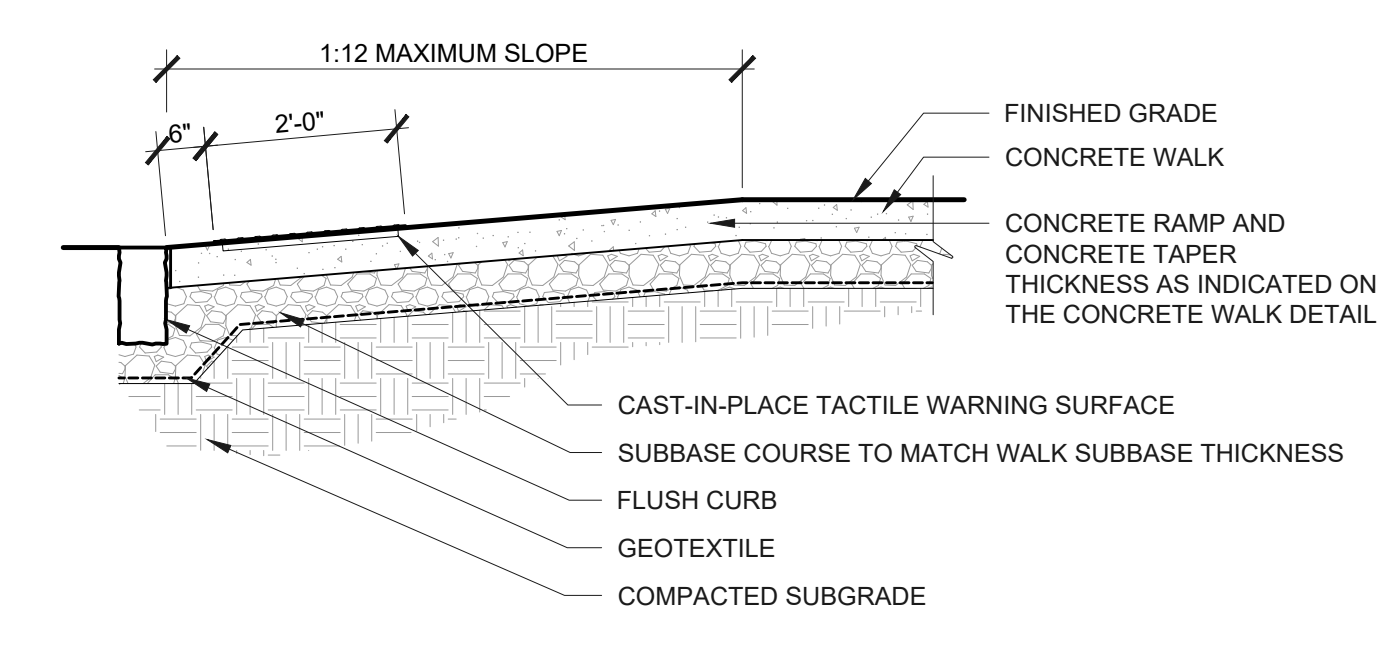
**STONE CURB - ENDING**  
Scale: NTS



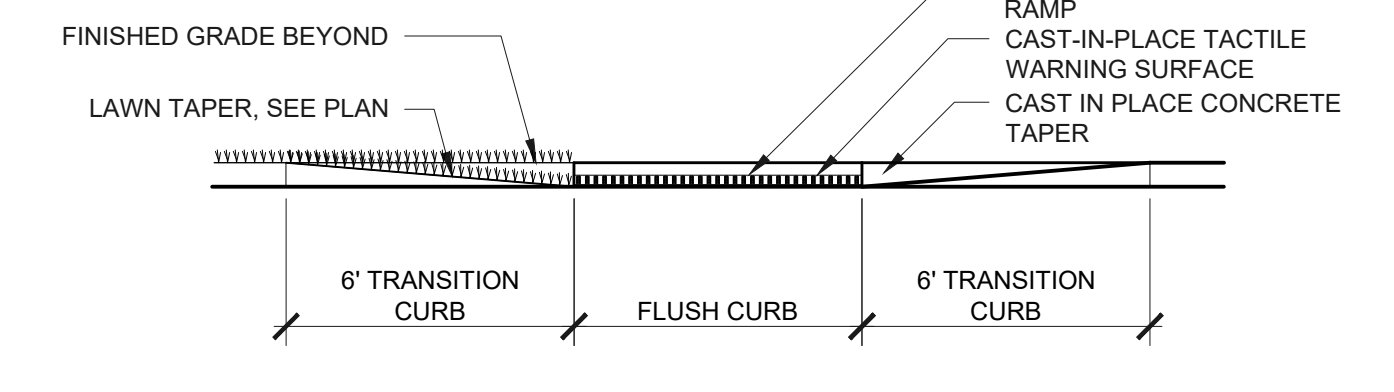
**STONE CURB - FLUSH**  
Scale: NTS



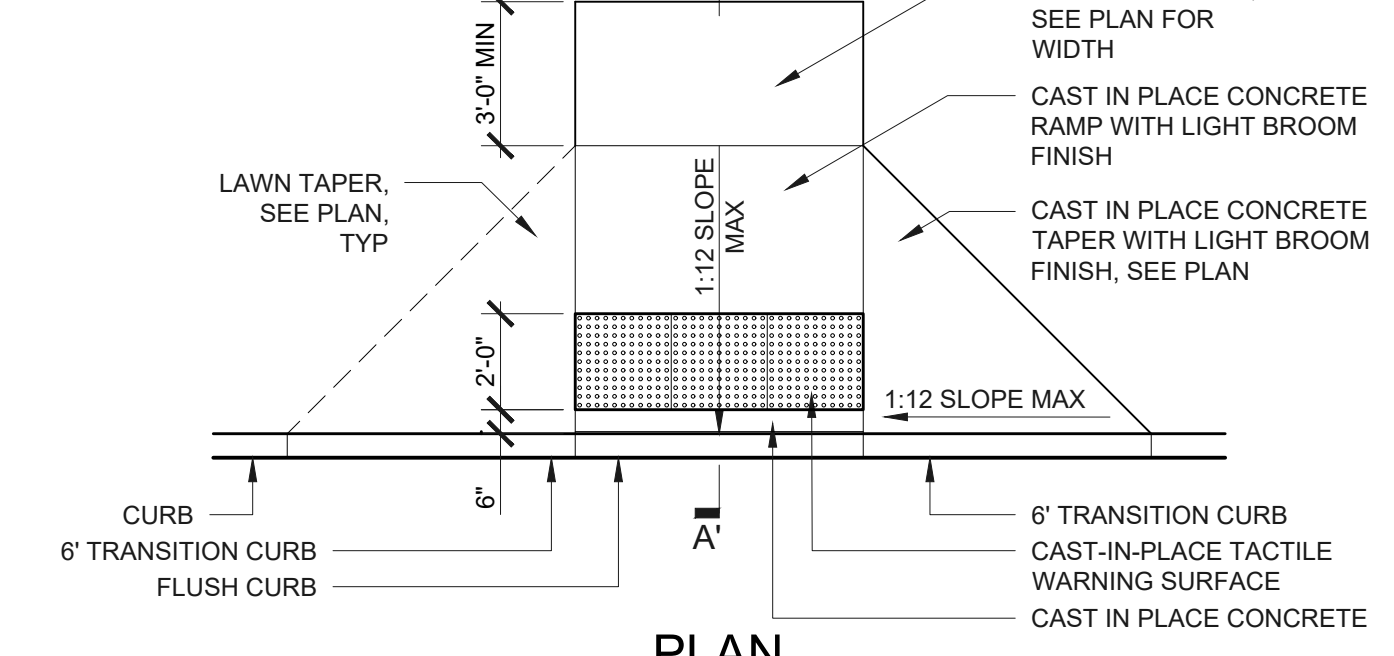
**STONE CURB - TRANSITION**  
Scale: NTS



**SECTION A-A'**  
Scale: NTS



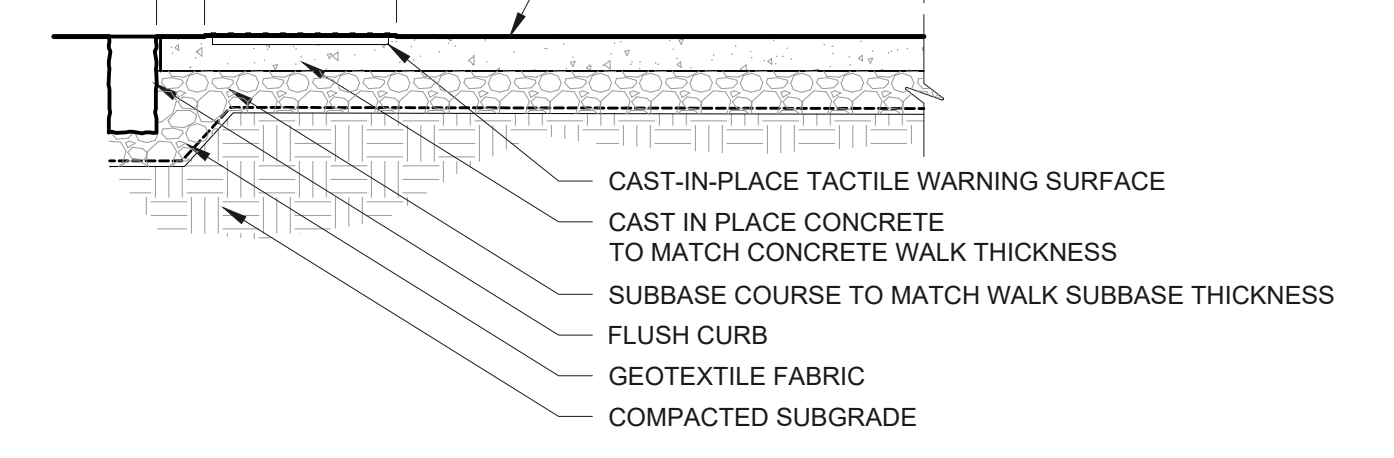
**ELEVATION**  
Scale: NTS



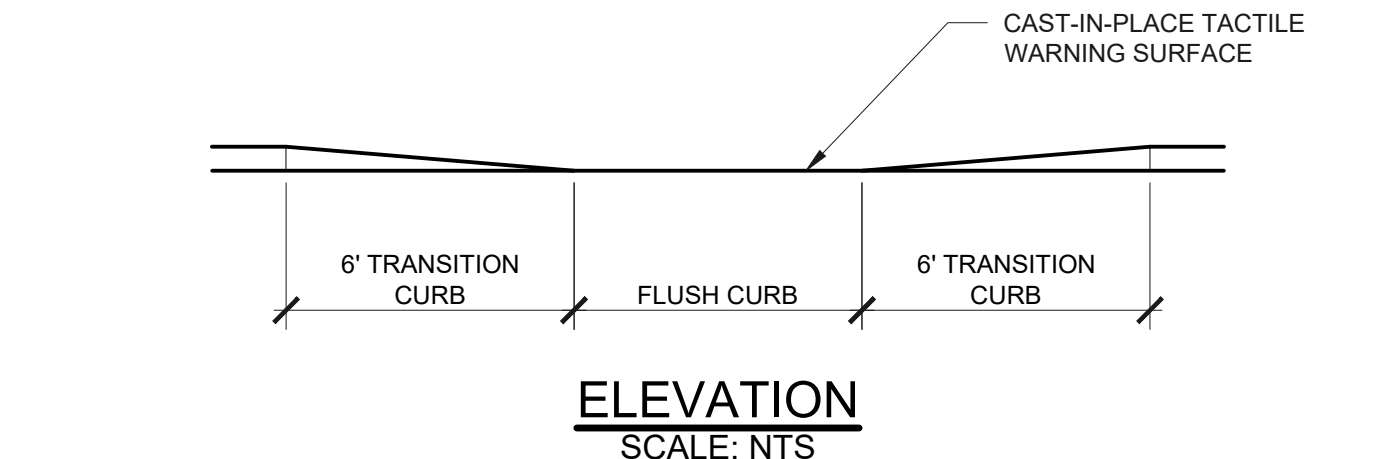
**ADA RAMP - TYPE 1**  
Scale: NTS



**SECTION A-A'**  
Scale: NTS



**ELEVATION**  
Scale: NTS



**ADA RAMP - TYPE 2**  
Scale: NTS

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a better environment

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1/7/2025  
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MARK	DATE	DESCRIPTION
1	12/20/24	ZBA SUBMISSION

DRAWING DATE: 12/20/2024  
DRAWN BY: AM/LEG/JM  
SCALE: AS SHOWN  
DRAWING TITLE: DETAILS

C6.2





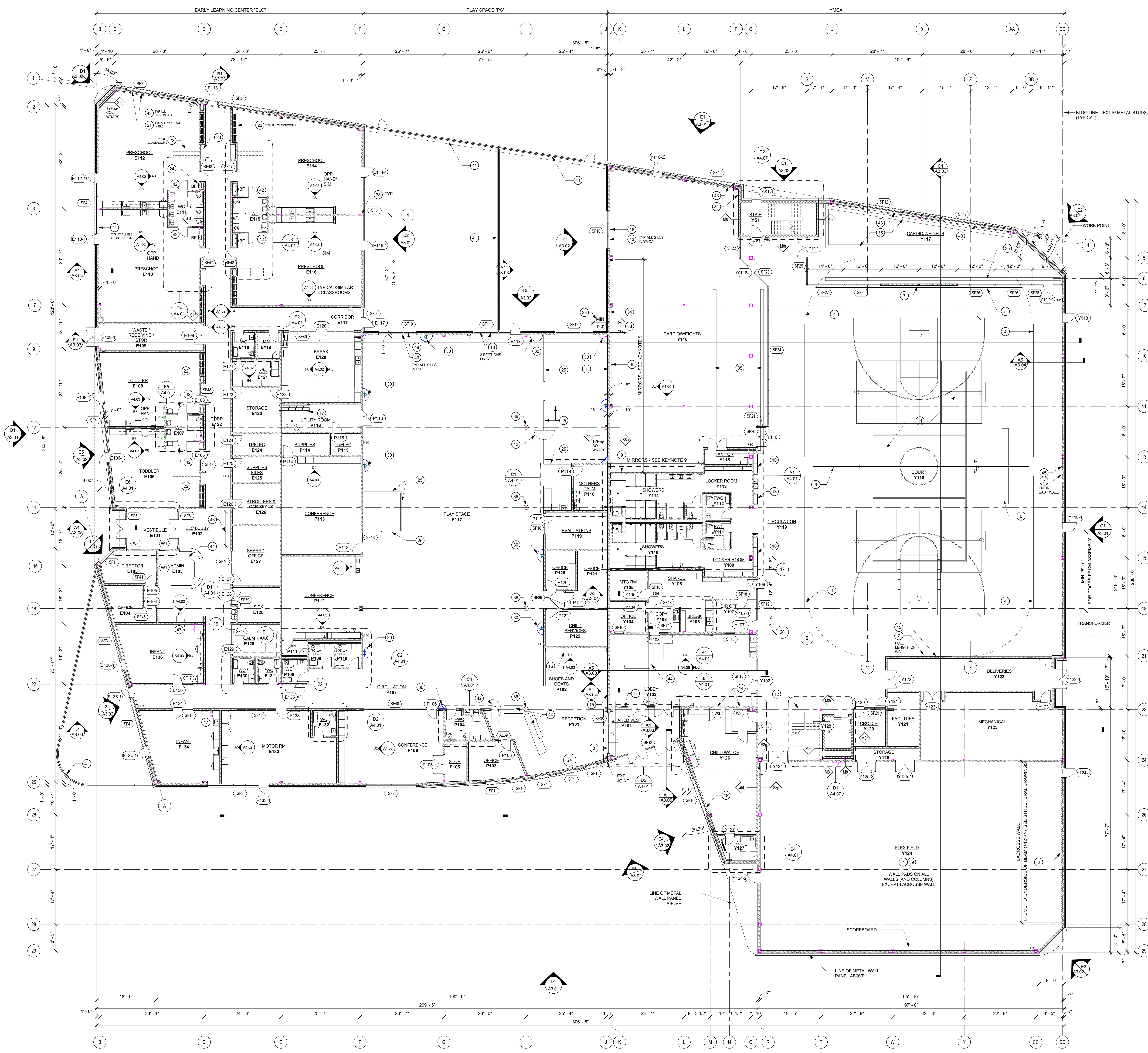
GENERAL CONSTRUCTION NOTES

1. ALL INTERIOR PARTITIONS SHALL BE S&S TO UNDERSIDE OF METAL DECK UNLESS NOTED OTHERWISE. SEE CODE PLAN FOR FIRE BARRIER / FIRE SEPARATION LOCATIONS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
3. REFER TO DRAWINGS IN THE 700 SERIES FOR CASEWORK TYPES AND DETAILS.
4. REFER TO DRAWING A0.00 FOR TOILET ROOM ACCESSORY LEGEND, TYPICAL REQUIRED CLEARANCES AND REQUIRED MOUNTING HEIGHTS. SEE NOTE FOR REQUIRED ACCESSORIES.

CONSTRUCTION KEYED NOTES

GENERAL: NOT ALL NOTES LISTED BELOW APPLY TO THIS DRAWING SHEET

- 1 2 HOUR FIRE WALL. SEE WALL TYPES AND WALL SECTIONS FOR MORE INFORMATION.
- 1 HR RATED ALUMINUM AND GLASS ASSEMBLY.
- 2 HR RATED ALUMINUM AND GLASS ASSEMBLY.
- 1 STORY MOTORIZED TOP ROLL DIVIDER CURTAIN
- 2 STORY MOTORIZED TOP ROLL DIVIDER CURTAIN
- 2 STORY WALK DRAW CURTAIN
- WALL PADS, TYPICAL.
- MASONRY LACROSSE PRACTICE WALL. SEE STRUCTURAL.
- WALL MIRRORS 7'-0" TALL W/ BTM OF MIRROR MOUNTED 6" AFF. PROVIDE FLOOR MOUNTED ALUMINUM RAIL GUARD, TYP. 3" TIER LOCKERS WITH REPROGRAMMABLE DIGITAL OR PIN PAD LOCKS. TBD.
- COLLEGE REGULATION BASKETBALL COURT W/ LINES FOR VOLLEY BALL & PICKLEBALL.
- OPEN STAIR. PRECAST CONCRETE TREADS WITH DECORATIVE ALUMINUM PERFORATED METAL RISERS WITH STEEL AND GLASS GUARD SYSTEM AND STEEL HANDRAILS.
- PHONE LOCKER UNIT
- ROUND PORTHOLE STYLE VISION PANELS INTO CHILD WATCH FROM LOBBY. VARIOUS HEIGHTS.
- PROVIDE (50) COAT HOOKS.
- CUSTOM FABRICATED PLAM SHOE AND PERSONAL ITEM CUBBIES
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- TRANSLUCENT GLAZING AT LOWER SECTIONS OF STOREFRONT TO PROVIDE PRIVACY BETWEEN TENANTS.
- HANGING NAP MATS (NIC). PROVIDE BLOCKING FOR WALL ATTACHMENT
- MOTORIZED BLINDS AT WINDOWS TYPICAL.
- FURNITURE CUBBIES - NIC
- CORRIDOR ALCOVE WITH BUILT IN SEAT/BENCH
- RECESSED BOTTLE FILLER
- HALF WALLS. METAL FRAMING & GPDW W/ SOLID SURFACE CAP. PROVIDE PONY WALL SUPPORTS AS REQUIRED. FINISHED HEIGHTS: 3'1" HIGH @ ELC CLASSROOM RESTROOMS, 36" HIGH @ PLAYSPACE PLAY AREAS & 4'1" HIGH AT PLAYSPACE CONFERENCE.
- 48" TALL STEEL PIPE RAIL WITH STEEL MESH GUARD AT PERIMETER OF TRACK. PAINTED. TYPICAL.
- 48" TALL ALUMINUM AND GLASS RAILING SYSTEM EQUAL TO SHOE CLASS RAILING SYSTEM BY VIVA RAILINGS. PROVIDE ALTERNATE FOR FULL HEIGHT ALUMINUM AND GLASS STOREFRONT (8'-0" TALL) WITH LAMINATED GLASS.
- PROVIDE ALTERNATE(S) FOR 48" TALL DIVIDER BETWEEN TRACK AND CIRCULATION. DIVIDER ALT 1: ALUMINUM AND PANEL SYSTEM EQUAL TO SHOE CLASS RAILING SYSTEM BY VIVA RAILINGS. DIVIDER ALT 2: PAINTED STEEL PIPE AND MESH TO MATCH PERIMETER GUARD AT TRACK.
- STEEL LADDER TO DOOR ABOVE FOR ROOF ACCESS
- DISPLACEMENT VENTILATION AIR DIFFUSERS. SEE MECHANICAL DRAWINGS.
- INSTALL 7/8" FURRING THIS LOCATION ONLY TO FLUSH GPDW WITH GPDW AT CMU.
- PROVIDE NETTING UNDER ROOFCEILING MOUNTED EQUIPMENT AND FIXTURES INCLUDING BUT NOT LIMITED TO STRUCTURE, LIGHTING, FANS, SPRINKLERS ETC TO PROTECT FROM LACROSSE BALL IMPACT. SEE RCP FOR MORE INFORMATION.
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- PROVIDE SECOND LAYER OF 5/8" GWS FROM END OF FIREWALL TO COLUMN LINE 7' FULL HEIGHT TO UNDERSIDE OF DECK.
- PROVIDE TRENCH DUCT FOR EXERCISE EQUIPMENT CONNECTIONS AND FUTURE FLEXIBILITY. SEE ELECTRICAL DRAWINGS.
- PROVIDE 18" DIAMETER ALUMINUM ROUND COLUMN COVERS TO +12 EQUAL TO SAF BUILDING PRODUCTS M1000. CUSTOM COLORS WITH OPTIONAL SOUND DEADENING. CAPPED OFF AT TOP.
- RATED DOOR FOR ACCESS TO FILTER DUCT HOUSING. SEE MECHANICAL DRAWINGS. SEE DOOR SCHEDULE.
- ALUMINUM CLOSURE AT ALL PARTITION TO STOREFRONT INTERSECTIONS. GORDON INDUSTRIES MULLION WALL WITH PARTITION END CAP OR EQUAL.
- PROVIDE ABUSE RESISTANT HIGH IMPACT GWB IN FLEX FIELD Y124 FROM TI WALL PADS FULL HEIGHT TYPICAL.
- BENCHES - NIC
- 9" TALL PRIVACY WALL. HPL PLANS TO MATCH BUILDING WITH ALUMINUM FRAMING AND 18" TALL CONCRETE BASE. SEE SITE DRAWINGS AND STRUCTURAL DRAWINGS.
- PLAM GATE. 36" WIDE X 25" TALL @ ELC CLASSROOM RESTROOMS, 36" WIDE X 30" TALL @ PLAY SPACE WITH SLAM CLOSING/SOFT CLOSE HINGES. PROVIDE PINCH GUARDS.
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- CHANGING TABLE NIC



**FIRST FLOOR PLAN**  
 Scale: 1/8" = 1'-0"  
 0 10 20 30 FT

KING + KING PROJ. NO.: 24-11-8990		
MARK	DATE	DESCRIPTION
ZBA SUBMISSION		
DRAWING DATE:	01/09/25	
DRAWN BY:	Author	
SCALE:	As Indicated	
DRAWING TITLE:		
<b>OVERALL FIRST FLOOR PLAN</b>		

GENERAL CONSTRUCTION NOTES

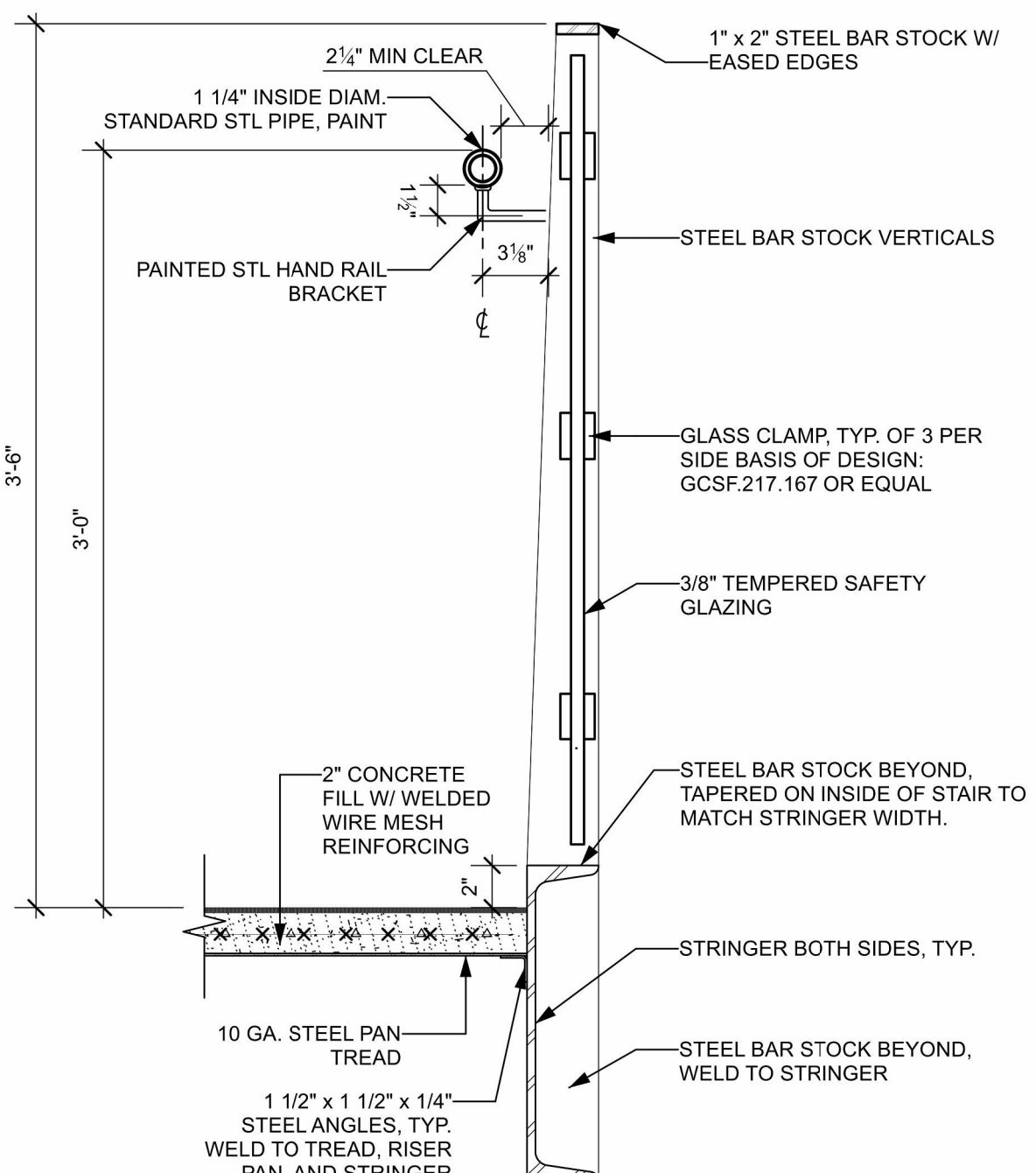
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  - 3 TIER LOCKERS WITH REPROGRAMMABLE DIGITAL OR PIN PAD LOCKS. TEO.
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  - PROVIDE 18" DIAMETER ALUMINUM ROUND COLUMN COVERS TO 1/2" EQUAL TO S&F BUILDING PRODUCTS M1000. CUSTOM COLOR(S) WITH OPTIONAL SOUND DEADENING. CAPPED OFF AT TOP.
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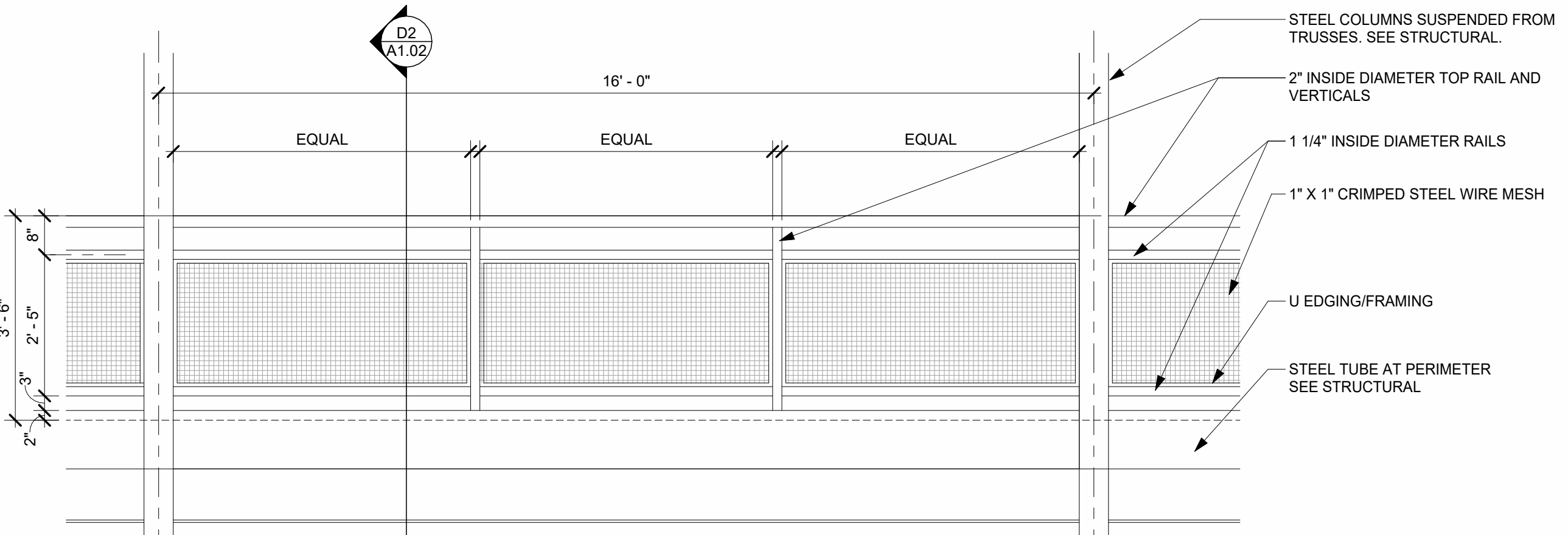
02 2ND FLOOR TRACK RAILING SECTION DETAIL

A1.02 Scale: 1/16" = 1'-0"



02 GLASS GUARD AT OPEN STAIR

A1.02 Scale: 1/16" = 1'-0"



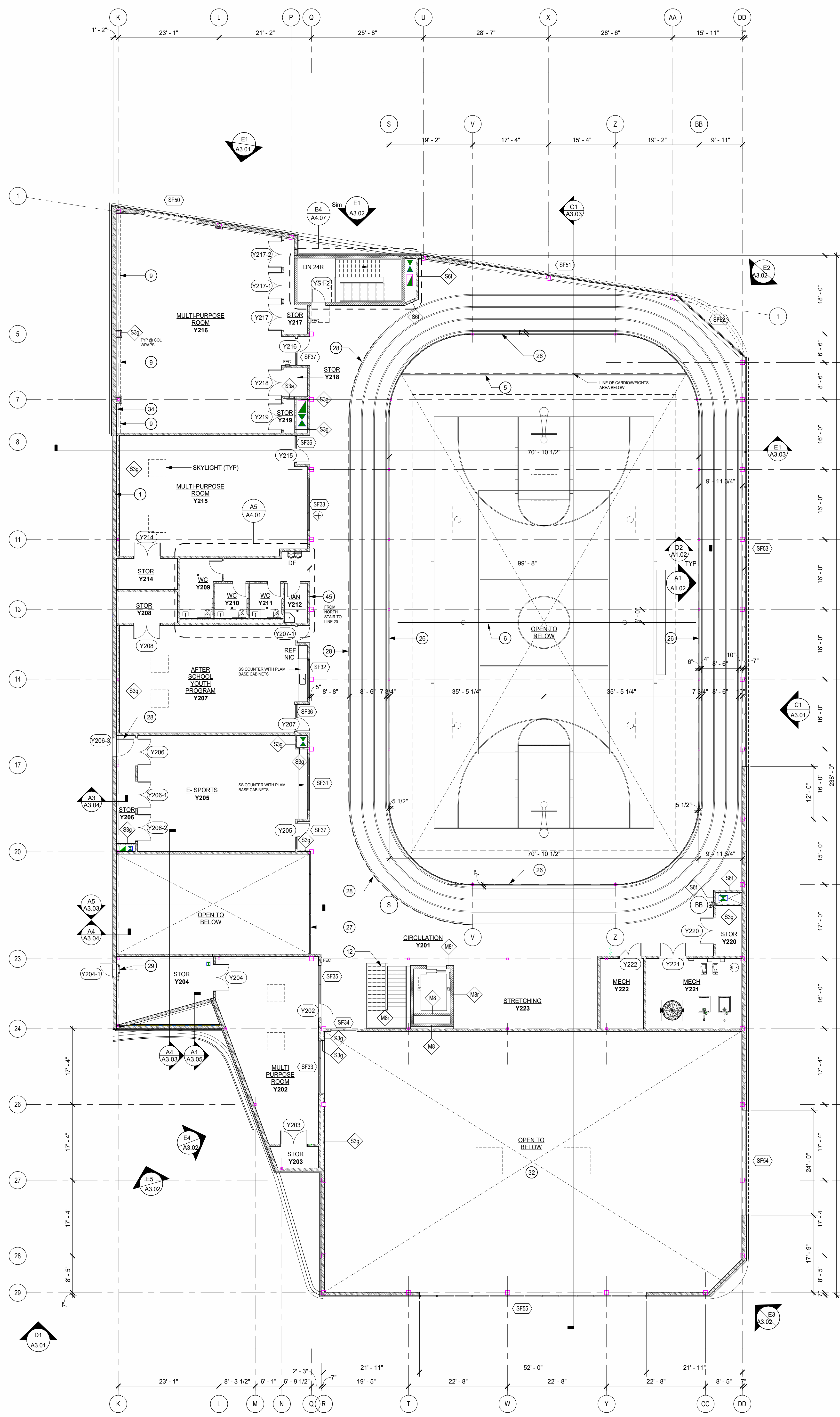
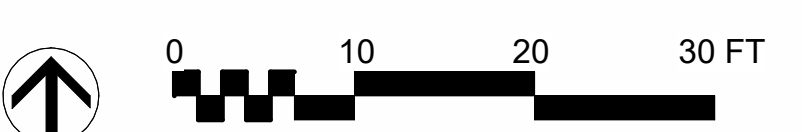
A1 ELEVATION - STEEL MESH GUARD RAIL AT TRACK PERIMETER

A1.02 Scale: 1/2" = 1'-0"

TYPICAL MESH GUARD AT TRACK PERIMETER SIDES BETWEEN COLUMNS. SPACING VARIES AT CURVED PORTIONS AND AT ENDS. SEE PLANS. PRIME AND PAINT ALL STEEL TYPICAL.

A3 SECOND FLOOR PLAN

A1.02 Scale: 3/32" = 1'-0"







## *Short Environmental Assessment Form*

### *Part 1 - Project Information*

#### Instructions for Completing

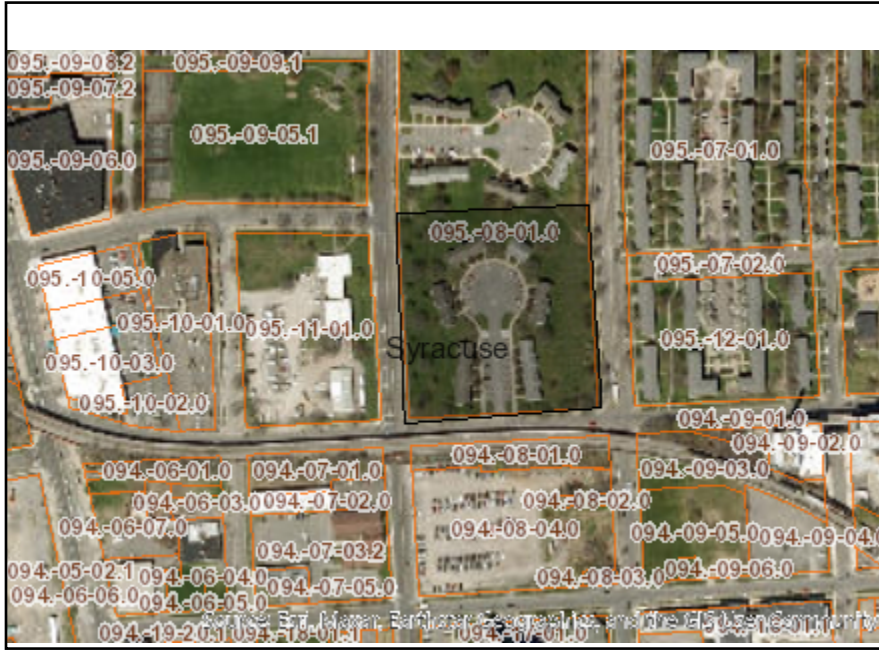
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b><u>Part 1 – Project and Sponsor Information</u></b>			
Name of Action or Project: BluePrint 15, Children Rising Center			
Project Location (describe, and attach a location map): East Taylor Street between South State Street and South Townsend Street (911 Address: 311 East Taylor Street)			
Brief Description of Proposed Action: Development of a 75,000 SF Community Commercial Building to include the following components. 1) Early Learning/Childcare (14,200 SF) 2) Parent/Child Engagement "Play Space" (13,600 SF) 3) Health/Wellness (to be managed/operated by the YMCA) (two story, 47,200 SF)  The site is intended to serve the walkable community. It will be developed to accommodate pedestrian and vehicular circulation, providing parking for 66 vehicles along with an unload zone at the main entry to the Playscape and Wellness Center along Taylor Street. A second entrance on South State Street will serve the secured early learning center. Landscaping will be provided to soften the architecture and screen parking from the street. Three exterior play spaces will be developed adjacent the building. New gas, water, storm and sanitary services will be brought to the building.			
Name of Applicant or Sponsor:  Madonna Millerschin		Telephone: 315-289-4384  E-Mail: mmillerschin@kingarch.com	
Address: 358 West Jefferson Street			
City/PO: Syracuse		State: NY	Zip Code: 13202
1. <u>Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?</u> If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. <u>Does the proposed action require a permit, approval or funding from any other government Agency?</u> If Yes, list agency(s) name and permit or approval: City of Syracuse Zoning (Site Plan Review)		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. <u>Total acreage of the site of the proposed action?</u>		_____ 4.2 acres	
b. <u>Total acreage to be physically disturbed?</u>		_____ 3.4 acres	
c. <u>Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?</u>		_____ 11.2 acres	
4. <u>Check all land uses that occur on, are adjoining or near the proposed action:</u>			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input checked="" type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. <u>A permitted use under the zoning regulations?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. <u>Consistent with the adopted comprehensive plan?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. <u>Is the proposed action consistent with the predominant character of the existing built or natural landscape?</u>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. <u>Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</u> If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. <u>Will the proposed action result in a substantial increase in traffic above present levels?</u> b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. <u>Does the proposed action meet or exceed the state energy code requirements?</u> If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. <u>Will the proposed action connect to an existing public/private water supply?</u> If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. <u>Will the proposed action connect to existing wastewater utilities?</u> If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. <u>Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</u> b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. <u>Identify the typical habitat types that occur on, or are likely to be found on the project site</u> Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. <u>Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</u>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. <u>Is the project site located in the 100-year flood plan?</u>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. <u>Will the proposed action create storm water discharge, either from point or non-point sources?</u> If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____ Discharge will connect to existing stormwater conveyance system located in South State Street after on-site storage. _____		
18. <u>Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?</u> If Yes, explain the purpose and size of the impoundment: _____ Stormwater will be stored on site in an underground storm chamber system prior to release to City infrastructure. _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. <u>Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</u> If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. <u>Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</u> If Yes, describe: _____ Pioneer Homes - Petroleum Bulk Storage - Closed	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p><b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor/name: <u>Madonna Millerschinn</u> Date: <u>12/23/2024</u></p> <p><u>Signature</u> <u><i>Madonna Millerschinn</i></u> Title: <u>Project Manager</u></p>		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

Project: V-24-25

Date: 1/16/2025

## *Short Environmental Assessment Form Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: V-24-25

Date: 1/16/2025

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

City of Syracuse Board of Zoning Appeals  
 \_\_\_\_\_  
 Name of Lead Agency

1/16/2025  
 \_\_\_\_\_  
 Date

\_\_\_\_\_  
 Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
 Title of Responsible Officer

\_\_\_\_\_  
 Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
 Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**

Jake Dishaw  
Zoning Administrator



300 South State St, Suite 700  
Syracuse, NY 13202

OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Syr Housing Authority  
From: Haohui Pan, Zoning Planner  
Date: 1/10/2025 4:43:16 PM  
Re: Variance (Use) V-24-25  
927 State St S to Townsend St S, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Board of Zoning Appeals	Pending	12/30/2024		
Zoning Planner	Pending	12/30/2024		Pending on BZA 1/16/2025
Eng. Mapping - Zoning	Conditionally Approved	01/02/2025	Ray Wills	<p>***CONDITIONALLY APPROVED WITH REVISIONS REQUIRED****</p> <p>The proposed sidewalk installation with the radius at the NE corner of State and Taylor will directly impact the City ROW marker that is buried on that corner. Please revise to the sidewalk design to avoid damaging this marker. Please position this sidewalk so it does not cross the streetline. In addition, any work inside of the mandatory 5' buffer zone around this and all City ROW markers is to be done EXCLUSIVELY by hand. Machine excavation will undermine the integrity of the marker. This and all City ROW markers are protected by law and not to be disturbed under any circumstance.</p> <p>These comments will be reflected in the variance and project site review for this project. This revision is a requirement of conditional approval.</p>
DPW - Transportation Planner	Conditionally Approved	01/07/2025	Neil Milcarek-Burke	<p>As discussed in pre-development meeting, development is part of a larger series of projects that will invest in creating a mixed-used neighborhood that prioritizes walking and active transportation.</p> <p>The site design requires adjustment to better accommodate ped, bike, and transit.</p>

- Curb-cut on Townsend street is not permitted.
- Transformer pad encroaching into the Townsend Street ROW is not permitted.
- Curb-cuts on Taylor and State show 8' transition curb in some areas, which is to be reduced to absolute minimums and turning diagrams supplied. NYSDOT Type-3 entrances.
- Nose-in parking stalls require conc. filled bollards centered in each stall adjacent to walkways, or walk widened to 8', to account for vehicle overhang/encroachment in the pedestrian zone.
- East Taylor Street sidewalk is to be located 1' off the property line and be two flags wide for 10' width. The City recently made investments along State St and other projects will be improving Townsend St. This facility is expected to improve the urban streetscape and prioritize the needs and comfort those on foot, using transit, or other modes.
- Interior bike parking is required in a secure area with appropriate lock-to mechanisms and space that is accessible via automated entrances with no vertical thresholds.
- Exterior bike parking is to be well-lit and covered.
- Exit isles stop bars to be no less than 3' from edge of walk.
- Planting areas to be on private property and not encroach into the ROW.

Fire Prevention - Zoning	Conditionally Approved	01/06/2025	Matthew Craner	All work must comply with applicable sections of the NYS Uniform Code.
City Planning - Zoning	Internal Review Complete	01/07/2025	Owen Kerney	<p>The accessory, onsite parking the applicant has proposed is a permitted use on the site, and within the MX-2 zoning district. The area in which the parking is proposed (between the building facade and the adjacent City right-of-way) is not consistent with the development standards of Article 4 of the zoning ordinance.</p> <p>The Board of Zoning Appeals is encouraged to consider the application and public testimony in support of and in opposition of the proposed variance.</p> <p>The applicant does provide a reasonable observation that the property has three adjacent street frontages, and the fourth frontage is a proposed linear park that will be used by children occupying the new building. Situating parking between the building and the street is not preferred (or consistent with zoning), but it is preferred over parking between a children's center and a community park.</p> <p>The Board is also encouraged to fully consider the internal pedestrian movements and controls on the site, the parking area lighting, the snow plowing/storage areas of the proposed parking (not in the City ROW), and the landscaping around the parking area. If the variance is approved, the parking lot should be a model for safe, well designed parking areas, albeit one that is inconsistent with local zoning regulations.</p>