



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>V-24-15</i></b>	<b><i>Staff Report – August 8, 2024</i></b>				
<b><i>Application Type:</i></b>	Use Variance				
<b><i>Summary of Proposed Action:</i></b>	The applicant is proposed to build a new shed (that encroaches into setbacks V-24-17) which will have plumbing to support the accessory workshop building, which is prohibited by Rezone, Art. 3, Sec. 3.4 C (5)				
<b><i>Project Address:</i></b>	515 Caleb Ave (Tax Map ID: 027.-20-18.0)				
<b><i>Owner/Applicant</i></b>	Cassia Ellis (Owner/Applicant)				
<b><i>Zoning Violations</i></b>	The proposed project seeks a Use variance from sections of Rezone: to violate the following:				
	<ol style="list-style-type: none"> <li>1. ReZone, Art. 3, Sec. 3.4 C (5), Accessory structures, except for accessory dwelling units, shall not be used for living or sleeping quarters and shall not contain plumbing capable of facilitating a bathroom or kitchen. Accessory structures, including garages, shall not be used for the storage of goods, vehicles, or maintenance tools related to another use off-site.</li> </ol>				
	<table border="1"> <thead> <tr> <th><b>Prohibited use in Zoning Code</b></th> <th><b>Proposed by Applicant</b></th> </tr> </thead> <tbody> <tr> <td>Plumbing in non-accessory dwelling structure.</td> <td>Plumbing for bathroom in the proposed workshop structure (non-accessory dwelling structure)</td> </tr> </tbody> </table>	<b>Prohibited use in Zoning Code</b>	<b>Proposed by Applicant</b>	Plumbing in non-accessory dwelling structure.	Plumbing for bathroom in the proposed workshop structure (non-accessory dwelling structure)
<b>Prohibited use in Zoning Code</b>	<b>Proposed by Applicant</b>				
Plumbing in non-accessory dwelling structure.	Plumbing for bathroom in the proposed workshop structure (non-accessory dwelling structure)				
<b><i>Existing Zone District:</i></b>	Single Unit Residential, R1 Zone District				
<b><i>Summary of Changes</i></b>	None				
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the north, south, east, and west are Single Unit Residential, R1 Zone District				
<b><i>Companion Application(s)</i></b>	V-24-17 (Area Variance), request for an accessory structure 2.3 feet side setback and 3.1 feet rear setback, which violate the required minimum side and rear setback of 4 feet.				
<b><i>Scope of Work:</i></b>	The applicant will entirely demolish an existing 14' x 16' shed in the backyard and construct a new 16' x24' accessory structure with plumbing.				

<b>Staff Analysis:</b>	<p><b><u>Factors:</u></b></p> <ul style="list-style-type: none"> <li>• The existing building is a two-dwelling unit, and the current land use is non-conforming in R1 Zone district.</li> <li>• Based on the proposed site plan, the total lot coverage (House + rear enclosure + front porch + new accessory structure) is 1,780.36 SF, covering 28.9% of the total lot size, which is within the allowable 30% structure coverage.</li> </ul> <p><b><u>Use Variance Criteria:</u></b></p> <ol style="list-style-type: none"> <li>1. The Reasonable Return Justification: no data is shown</li> <li>2. Unique Circumstances Justification: none</li> <li>3. Neighborhood Character Justification : the applicant has not demonstrated why no change to neighborhood character</li> <li>4. Self-Created Hardship Justification: the hardship of the proposal is self-created.</li> </ol> <p><b><u>If Granted, Conditions:</u></b></p> <ul style="list-style-type: none"> <li>• The applicant shall comply with the general conditions for approval on the variance application. (See the attached sheet “General Conditions for Variance Approval)</li> </ul>
<b>Zoning Procedural History:</b>	None.
<b>Summary of Zoning History:</b>	The existing building was built in 1930 as a single-dwelling unit structure. Based on the Assessment data, the house was converted into two dwelling unit around 2010.
<b>Code Enforcement History:</b>	See attached code enforcement history.
<b>Property Characteristics:</b>	The subject property is a rectangle-shaped lot with 44 feet of frontage along Caleb Avenue with a lot depth of 140.0 feet. The lot is 6,160 SF/ 0.14 Acres in size in R1 Zone District.
<b>SEQR Determination:</b>	Pursuant to 6 NYCRR §617.2(al), the proposal is an Unlisted Action.
<b>Onondaga County Planning Board Referral:</b>	Pursuant to GML §239-1, m and n, the proposal does not meet the criteria to be referred to the Onondaga County Planning Board for review.

**Applicant Submittals:** The application submitted the following in support of the proposed project:

- Area Variance Application
- Short Environmental Assessment Form Part 1
- Location Survey of Part of Lot No. 21 in Block 2033 of The Eastwood Height Tract, City Of Syracuse, County Of Onondaga, State Of New York, known as N0.515 Caleb Avenue; Licensed Land Surveyor: Glen A.Mihal; Scale: 1”= 20’; Dated 06/6/2015.
- Site Plan & Floor Plan, CONSTRUCTION DOCUMENTS FOR DEMOLITION OF AN EXISTING GARAGE AND CONSTRUCTION OF A NEW WORKSHOP/STORAGE STRUCTURE.515 Caleb Avenue Syracuse, New York 13206 (Sheet: C-1, G-1, D-1, S-1, S-2, S-3, A-1, A-2,A-3, A-4,A-5); New York State Registered Architect: Charles R. Pidutti, Architect PLLC; date: 10/5/2023
- Property images

**V-24-15**

**Attachments:**

Use Variance Application

Short Environmental Assessment Form Part 2 & 3

Code Enforcement History

IPS Comments from City Departments

**Context Maps:**

**Figure 1.** Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

Figure 2. Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>





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<b><i>V-24-17</i></b>	<b><i>Staff Report – August 8, 2024</i></b>						
<b><i>Application Type:</i></b>	Area Variance						
<b><i>Summary of Proposed Action:</i></b>	The applicant is requesting a Area Variance to allow a proposed accessory workshop building to be constructed 2.3 feet away from the rear property line and 3.1 feet away from the side property line to encroach into rear and side setbacks						
<b><i>Project Address:</i></b>	515 Caleb Ave (Tax Map ID: 027.-20-18.0)						
<b><i>Owner/Applicant</i></b>	Cassia Ellis (Owner/Applicant)						
<b><i>Zoning Violations</i></b>	<p>The proposed project seeks a Area variance from sections of Rezone: to violate the following:</p> <ol style="list-style-type: none"> <li>ReZone, Art. 2, Sec. 2.2B, the minimum side setback for accessory structures is 4 feet; the minimum rear setback for accessory structures is 4 feet</li> </ol> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">Minimum setback in Zoning Code</th> <th style="text-align: center;">Proposed by Applicant</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Side setback: 4 feet</td> <td style="text-align: center;">Side setback: 2.3 feet (1.7 feet encroachment)</td> </tr> <tr> <td style="text-align: center;">Rear setback: 4 feet</td> <td style="text-align: center;">Rear setback: 3.1 feet (0.9 feet encroachment)</td> </tr> </tbody> </table>	Minimum setback in Zoning Code	Proposed by Applicant	Side setback: 4 feet	Side setback: 2.3 feet (1.7 feet encroachment)	Rear setback: 4 feet	Rear setback: 3.1 feet (0.9 feet encroachment)
Minimum setback in Zoning Code	Proposed by Applicant						
Side setback: 4 feet	Side setback: 2.3 feet (1.7 feet encroachment)						
Rear setback: 4 feet	Rear setback: 3.1 feet (0.9 feet encroachment)						
<b><i>Existing Zone District:</i></b>	Single Unit Residential, R1 Zone District						
<b><i>Summary of Changes</i></b>	None						
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the north, south, east, and west are Single Unit Residential, R1 Zone District						
<b><i>Companion Application(s)</i></b>	V-24-15 (Use Variance), request to install a plumbing in a proposed accessory structure.						
<b><i>Scope of Work:</i></b>	The applicant will entirely demolish an existing 14' x 16' shed in the backyard and construct a new 16' x24' accessory structure with plumbing.						
<b><i>Staff Analysis:</i></b>	<p><b><u>Factors:</u></b></p> <ul style="list-style-type: none"> <li><b><u>There is no technical need to encroach the minimum setback; Not the minimum variance that could be requested.</u></b></li> <li>The existing building is a two-dwelling unit, and the current land use is non-conforming in R1 Zone district.</li> <li>Based on the proposed site plan, the total lot coverage (House + rear enclosure + front porch + new accessory structure) is 1,780.36 SF, covering 28.9% of the total lot size, which is within the allowable 30% structure coverage.</li> </ul> <p><b><u>If Granted, Conditions:</u></b></p> <ul style="list-style-type: none"> <li>The applicant shall comply with the general conditions for approval on the variance application. (See the attached sheet “General Conditions for Variance Approval)</li> </ul>						
<b><i>Zoning Procedural History:</i></b>	None.						
<b><i>Summary of Zoning History:</i></b>	The existing building was built in 1930 as a single-dwelling unit structure. Based on the Assessment data, the house was converted into two dwelling unit around 2010.						

**V-24-17**

<b><i>Code Enforcement History:</i></b>	See attached code enforcement history.
<b><i>Property Characteristics:</i></b>	The subject property is a rectangle-shaped lot with 44 feet of frontage along Caleb Avenue with a lot depth of 140.0 feet. The lot is 6,160 SF/ 0.14 Acres in size in R1 Zone District
<b><i>SEQR Determination:</i></b>	Pursuant to 6 NYCRR §617.5(17), the proposal is a Type II Action.
<b><i>Onondaga County Planning Board Referral:</i></b>	Pursuant to GML §239-l, m and n, the proposal does not meet the criteria to be referred to the Onondaga County Planning Board for review.

**Applicant Submittals:** The application submitted the following in support of the proposed project:

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Figure 2. Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

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# Variance Application



Office of Zoning Administration  
 One Park Place, 300 S State St,  
 Suite 700  
 Syracuse, NY 13202  
 Phone: (315) 448-8640  
 Email: zoning@syr.gov.net

## Summary of Variance Procedure

The variance procedure is summarized below. For complete details, see Sections 7.3 and 7.5.A of the Zoning Ordinance.

<b>1</b>	<b>Pre-Application Conference</b>	<i>Required</i>	
<b>2</b>	<b>Application Submittal and Processing</b>	<i>Submit to Office of Zoning Administration</i>	<b>Submittal and Internal Review</b>
<b>3</b>	<b>Staff Review and Action</b>	<i>Review by Office of Zoning Administration</i>	
<b>4</b>	<b>Scheduling and Notice of Public Hearings</b>	<i>Public hearing required for Board of Zoning Appeals</i>	<b>Hearings and Decision-Making</b>
<b>5</b>	<b>Review and Decision</b>	<i>Review and decision by Board of Zoning Appeals</i>	
<b>6</b>	<b>Post-Decision Actions and Limitations</b>	<i>Variance expires after one year (unless extension granted)</i>	

### 1. Pre-Application Conference

- Opportunity for the applicant to meet with Zoning staff to review applicable submittal requirements, identify applicable procedures, and identify any issues associated with the proposed development

### 2. Application Submittal and Processing

- Submit to Office of Zoning Administration along with applicable fees

### 3. Staff Review and Action

- Applications are not considered complete until all required submittals are received
- Includes evaluation of the application under the State Environmental Quality Review Act (SEQR)

### 4. Scheduling and Notice of Public Hearings

- Once an application is determined ready for a public hearing, it will be scheduled for the next available hearing date with the Board of Zoning Appeals
- Notice of hearing mailed to applicant (and representative, if any), approximately 10 days prior to hearing
- Unless otherwise notified, all public hearings are held at 1:00 p.m. in Common Council Chambers on the third floor of City Hall

### 5. Review and Decision

- Decision shall be based only on the record of the public hearing and reduced to writing
- Decision is not final until a written resolution is adopted by the Board of Zoning Appeals and filed with the secretary to the Board

### 6. Post-Decision Actions and Limitations

- Variance expires if the authorized use or construction has not obtained all necessary building permits within one year of approval or an extension is granted
- All conditions of the variance approval must be met within 18 months

## Variance Application



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Syracuse, NY 13202  
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### Summary of Variance Procedure (cont.)

**What is a variance and when is a variance needed for my project?** If your project is not expressly allowed under the current zoning ordinance you may seek a variance from the City of Syracuse Board of Zoning Appeals. A zoning variance is an exception to a zoning ordinance that may be granted by the Board of Zoning Appeals on a case-by-case basis. Depending on the nature of the proposed project an applicant will be required to apply for either a use or an Area Variance. The evidence burden for the approval of a variance is on the applicant. Therefore the applicant should provide any evidence that may support their claim. Evidence may include financial records and estimates and detailed explanations, supported by evidence, of the nature of the project and its potential effect on the community.

A **Use Variance** is required to permit a use of land that is otherwise prohibited by the local zoning ordinance. Here, the applicant must seek permission from the Board of Zoning Appeals to use the property in a manner that is not permitted in their zoning district.

#### *Use Variance Approval Criteria*

In making its determination the Board of Zoning Appeals must find that the applicant meets all of the criteria to demonstrate an unnecessary hardship on the property. A Use Variance cannot be granted without a showing by the applicant that applicable requirements of this Ordinance have caused unnecessary hardship. In order to prove unnecessary hardship, the applicant must meet the requirements of New York General City Law, which requires the applicant to demonstrate that, for each and every allowed use under the zone district in which the property is located: (if the use variance is granted)

- The applicant must prove that the property is unable to achieve a reasonable return for any use allowed in that zone district;
- The applicant must prove that unique circumstances apply to the property for which the variance is requested;
- The applicant must prove that the hardship is not self-created; and
- The applicant must prove that the essential character of the neighborhood will not be altered.

Generally, the necessity for a Use Variance is more difficult to prove than the necessity for an Area Variance because all the above criteria must be proven in order to permit the Board to approve an application.

An **Area Variance** is required for a use of land in a manner that is allowable under the local zoning ordinance, but which is not allowed by the dimensional or physical requirements of the applicable zoning regulations. One seeks an area variance to seek relief from hardship created by the strict application of the zoning code.

#### *Area Variance Approval Criteria*

In making its determination, the Board of Zoning Appeals will take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, and welfare of the neighborhood or community by such grant. In making such determination the board shall also consider:

- whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the Area Variance;
- whether the benefit sought by the applicant can be achieved by some method feasible for the applicant to pursue, other than an Area Variance;
- whether the requested Area Variance is substantial;
- whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
- Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Zoning Appeals and shall not necessarily preclude the granting of the Area Variance.

The board of appeals, in the granting of Area Variances, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.

## Variance Application



### For Office Use Only

Zoning District: \_\_\_\_\_  
Application Number: V- \_\_\_\_\_ - \_\_\_\_\_  
Date: \_\_\_\_\_

Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

### Variance Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

### General Project Information

Business/project name:		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records):		
Lot numbers:	Block number:	Lot size (sq. ft.)
Current use of property:	Proposed:	
Current number of dwelling units (if applicable):	Proposed:	
Current hours of operation (if applicable):	Proposed:	
Current onsite parking (if applicable):	Proposed:	
Zoning (base and any overlay) of property:		
Companion zoning applications (if applicable, list any related zoning applications):		
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input type="checkbox"/> Site changes		
Variance requested (check one and cite the section of the Zoning Ordinance that a variance is requested): <input type="checkbox"/> Use variance <input type="checkbox"/> Area variance		
Nature and extent of variance requested (attach additional pages if necessary):		

Variance Application



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**Owner/Owner's Agent Certification**

<i>By signing this application below, I, as the owner of the property under review give my endorsement of this application.</i>	
<b>Print owner's name:</b> Cassia Ellis	
Signature: <i>Cassia Ellis</i>	Date: 7/3/2024
Mailing address: 515 Caleb Ave, Syracuse, NY 13206	
<b>Print authorized agent's name:</b>	Date:
Signature:	
Mailing address:	
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. <b>If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney.</b> Faxed or photocopied signatures will not be accepted.	



## Variance Application



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One Park Place, 300 S State St,  
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### Use Variance Test

*A Use Variance is permission to establish a land use that is not allowed by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that this has caused an unnecessary hardship using all of the four tests below (see [https://www.dos.ny.gov/lg/publications/Zoning\\_Board\\_of\\_Appeals.pdf](https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf) for more information). Briefly describe below how each of the required Use Variance tests is met and attach all supporting materials.*

#### 1. Reasonable Return

Describe how the property is unable to achieve a reasonable return for any use allowed in that zoning district (actual "dollars and cents" proof must be submitted).

#### 2. Unique Circumstances

Describe that unique circumstances apply to the property for which the variance is requested.

#### 3. Neighborhood Character

Describe the variance, if granted, the essential character of the neighborhood will not be altered.

#### 4. Self-Created Hardship

Describe how the hardship is not self-created.

**1. Reasonable Return:**

*Describe how the property is unable to achieve a reasonable return for any use allowed in that Zoning district (actual “dollars and cents” proof must be submitted).*

When I purchased 515 Caleb Ave it was the worst house on the block and after 20 years of constant projects it is now time to tackle the garage. The structure is too small to park a car in. The woodchucks have caused significant damage to the concrete floor and there is a large hole in the back wall that I believe the previous owner intentionally put there so a smaller vehicle would fit. The garage as it currently stands does not have a beneficial use and it is only costing me money to hire trappers to relocate the woodchucks.

**2. Unique Circumstances**

*Describe that unique circumstances apply to the property for which the variance is requested.*

My home is a 2-family, so I do not have access to the second floor as it is rented out. The basement has had multiple sewer backups (which many homes around me have also had issues with) so I am unable to work on my art projects and furniture refinishing in either of those spaces. I am in need of a workshop area with extra storage for snowblower, lawnmower, flower pots and miscellaneous tools. Additionally, I am requesting a sink with a toilet as my plan is to have a personal spa which can be used more as a pool in the summer and hot tub in the winter. I also have family members with some mobility issues so having a sink and toilet would allow them to be able to enjoy our family gatherings.

**3. Neighborhood Character**

*Describe the variance, if granted, the essential character of the neighborhood will not be altered.*

If the use variance is granted, the essential character of the neighborhood will not be altered. Granting the variance will only allow me (and my tenant) to enjoy a beautiful backyard oasis, it will also beautify the neighborhood. Charles R. Pidutti, Architect PLLC has put together an extremely functional, aesthetically pleasing structure that would be incredibly useful.

**4. Self-Created Hardship**

*Describe how hardship is not self-created.*

The hardship that is driving this project is the age and condition of the current structure. It is simply not useful for a single thing. If left as is the structural deterioration will only continue.

## Variance Application



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### Area Variance Test

*An Area Variance is permission to build in a portion of the property that is otherwise restricted by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that the potential benefit of an Area Variance will outweigh any burden to community health, safety, and welfare through a five-part balancing test (see [https://www.dos.ny.gov/lg/publications/Zoning\\_Board\\_of\\_Appeals.pdf](https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf) for more information).*

*Briefly describe below how an Area Variance would affect the community using the following five tests and attach all supporting materials.*

#### 1. Neighborhood Character

Describe whether an undesirable change will be produced in the character of the neighborhood, or a detriment to nearby properties will be created by the granting of the area variance.

#### 2. Feasibility of Alternatives

Describe whether the benefit sought by the applicant can be achieved by some other method that will be feasible for the applicant to pursue, other than an area variance.

#### 3. Substantiality

Describe whether the requested area variance is substantial.

#### 4. Adverse Effect

Describe whether the proposed area variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

#### 5. Self-Created Difficulty

Describe whether an alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

**1. Neighborhood Character:**

*Describe whether an undesirable change will be produced in the character of the neighborhood, or a detriment to nearby properties will be created by the granting of the area variance:*

If the variance is granted, the essential character of the neighborhood will not be altered. Granting the variance will only allow me (and my tenant) to enjoy a beautiful backyard oasis, it will also beautify the neighborhood. Charles R. Pidutti, Architect PLLC has put together an extremely functional, aesthetically pleasing structure that would be incredibly useful. The current structure is not useful.

**2. Feasibility of Alternatives**

*Describe whether the benefit sought by the applicant can be achieved by some other method that will be feasible for the applicant to pursue, other than an area variance.*

The only other option would be for me to move. I do not have access to the second floor as it is rented out. The basement has had multiple sewer backups (which many homes around me have also had issues with) so I am unable to work on my art projects and furniture refinishing in either of those spaces. I am in need of a workshop area with extra storage for snowblower, lawnmower, flower pots and miscellaneous tools. Additionally, I am requesting a sink with a toilet as my plan is to have a personal spa which can be used more as a pool in the summer and hot tub in the winter. I also have family members with some mobility issues so having a sink and toilet would allow them to be able to enjoy our outdoor family gatherings.

**3. Substantiality**

*Describe whether the requested area variance is substantial.*

The requested area variance is not substantial. The proposed structure is only 160 sf larger than the one that is currently there.

**4. Adverse Effect**

*Describe whether the proposed area variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.*

The proposed area variance will not have an adverse effect, it would simply replace the current structure with one that's useful.

**5. Self-Created Difficulty**

*Describe whether an alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.*

The difficulty was not self-created. The structure that is currently there is old and not of any use.



# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor/name: <u>Cassia Ellis</u> Date: <u>7-3-2024</u> Signature: <u>Cassia Ellis</u> Title: _____		

July 1, 2024  
210 Chestnut Hill Drive  
Liverpool, NY 13088

To Whom It May Concern:

Please accept my letter of support for the proposed construction plan for the property located at 515 Caleb Ave. My rental property is located directly to the right side of this structure (472/474 Hillsdale Avenue). I do not have any reservations to Cassia being able to rebuild where the current garage/shed exists. My feeling is that it will be a very nice and attractive addition to the neighborhood.

Sincerely,

A handwritten signature in black ink that reads "Thomas Rabbia". The signature is written in a cursive style with a large, stylized initial 'T'.

Thomas Rabbia  
Property Owner – 472/474 Hillsdale Avenue  
315-559-0091



July 1, 2024

This letter is to inform you that I am in favor of building the proposed new structure at 515 Caleb St. My name is Rick Kharas and my address is 464 Hillsdale Ave. This new structure, like the older, existing one, backs up to the property line in my back yard. It is okay w/me to build the new structure as the plans dictate.

Sincerely,

Rick Kharas



July 1, 2024

Office of Zoning Administration  
One Park Place  
300 S. State Street  
Suite 700  
Syracuse, NY 13202

RE: 515 Caleb Ave – New Construction

To Whom it May Concern:

I reside directly next door to Cassia Ellis at 511 Caleb Ave. I have viewed the construction plans for the new workshop/storage structure and am writing this letter to indicate my support. I think it would be an excellent addition to the neighborhood.

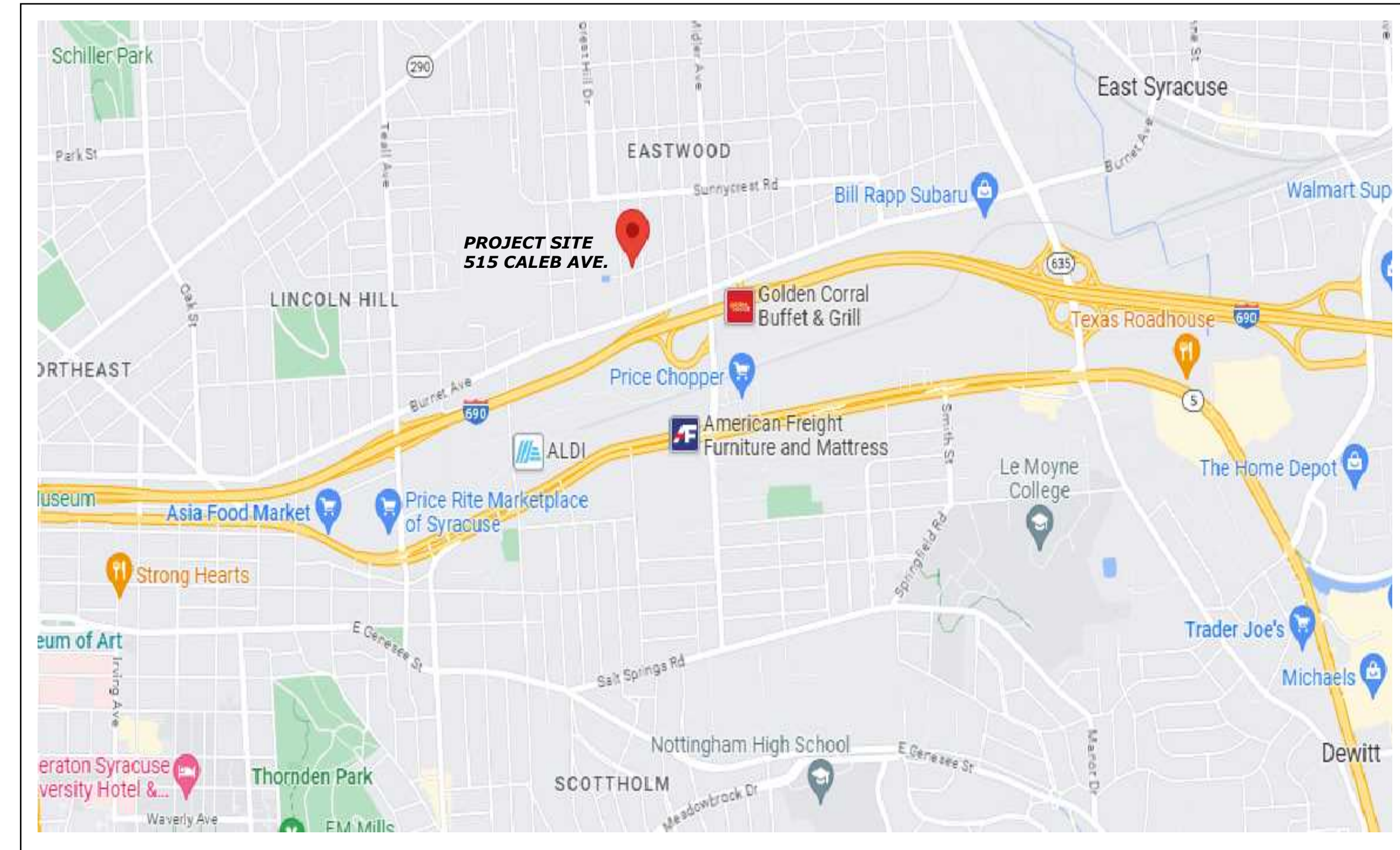
Cassia takes pride in her home and property and it is well taken care of.

Sincerely,

A handwritten signature in cursive script that reads "Deborah Baldwin". The signature is written in black ink and is positioned above the typed name.

Deborah Baldwin  
511 Caleb Ave  
Syracuse, NY





**LOCATION PLAN**

**PROJECT DESCRIPTION**

The drawings describe the demolition of a 14' x 16' (224 sf) garage and construction of a new one-story Workshop/Storage structure 16' x 24' (384 sf). The new Office/Storage structure is to be in the same location as the existing garage. Since the new structure encroaches on the current rear and side setbacks and do not meet the required separation distance from the property line, the design of these walls need to meet the fire code requirements per the 2020 Building Code of NY State. The new structure is to meet the 2020 Residential Building Code of NY State as well as the minimum requirements for energy efficient buildings as prescribed in the 2020 Energy Conservation Code of NY

**DRAWING LIST**

- C-1 Cover Sheet
- G-1 General Information
- D-1 Existing Conditions and Demolition
- S-1 Structural
- S-2 Framing Views
- S-3 Roof Framing
- A-1 Floor Plan
- A-2 Elevations
- A-3 Elevations
- A-4 Building Section
- A-5 Air Sealing Details

**2020 Energy Conservation Code of NY State**  
 Prescriptive Component Compliance w/ Table R402.1.2  
 Climate Zone 5 - Onondaga County

	Fenestration U-Factor	Roof Ceiling R-Value	Wood Frame Wall R-Value	Slab R-Value
Required	0.30	49	20 or 13+5	10

# CONSTRUCTION DOCUMENTS FOR DEMOLITION OF AN EXISTING GARAGE AND CONSTRUCTION OF A NEW WORKSHOP/STORAGE STRUCTURE



PERSPECTIVE VIEW



TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS FOR THIS PROJECT ARE IN COMPLIANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE LAWS AND REGULATIONS, ALL AS CURRENTLY AMENDED.  
 NO ALTERATIONS ARE PERMITTED HEREON EXCEPT AS PAROVIED UNDER SECTION 7209, SUBSECTION 2 OF THE NEW YOURK EDUCATION LAW.

**Charles R. Pidutti,**  
 Architect PLLC  
 3670 Sweet Road  
 Jamesville, NY 13078  
 cpidutti@twcny.rr.com  
 Tel. 315/569-6154



PROJECT NO.  
100623

CONTACT  
CASSIE ELLIS  
315-243-4679

Project Name:  
**GARAGE DEMOLITION AND NEW  
 WORKSHOP/STORAGE STRUCTURE**

Project Address:  
**515 CALEB AVENUE  
 SYRACUSE, NEW YORK 13206**

Rev.	Date	Remark
	10-21-23	

Document Date:  
OCTOBER 25, 2023

**COVER SHEET**

Document Phase:  
Construction Documents

**C-1**



**CODE COMPLIANCE:**

**2020 BUILDING CODE OF NY STATE**

CHAPTER 3 - OCCUPANCY CLASS AND USE

**Section 312 Utility Miscellaneous Group U**

Buildings and structures of an accessory character and miscellaneous structures  
Workshop and Storage

CHAPTER 6 - TYPES OF CONSTRUCTION

**Section 601 Table 601 Fire-Resistance Rating Requirements for Building Elements (Hours) - Type VB - 0 fire rating**

**Section 602 Table 602 Fire-Resistance Rating Requirements for Exterior Walls Based on Fire Separation Distance**  
Occupancy U, X<5-Feet: Fire Rating to be 1 hour

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

**Section 704.10 Exterior Structural Members**

Load bearing structural members located within the exterior walls or on the outside of a building or structure shall be provided with the highest fire-resistance rating in accordance with Table 601 for the type of building element based on the type of construction of the building and Table 602 for exterior walls based on the fire separation distance.

**Section - 705.5 Fire-Resistance Ratings**

Exterior walls shall be fire-resistance rated in accordance with Tables 601 and 602. The required fire-resistance rating of exterior walls with a fire separation distance of greater than 10-feet shall be rated for exposure to fire from the inside. The required fire-resistance rating of exterior walls with a fire separation distance of less than or equal to 10-feet shall be rated for exposure to fire from both sides.

**2020 RESIDENTIAL BUILDING CODE OF NY STATE**

**Section R- 303 Light, Ventilation and Heating**

All habitable rooms - aggregate glazing area of not less than 8 percent and minimal openable area to the outdoors of 4 percent. Exception where mechanical ventilation is provided is installed.

**Section R-304 Minimum Room Areas**

At least one habitable room with not less than 120 sf gross floor area. Other habitable rooms with at least 70 sf. Exception: kitchens. Habitable rooms not less than 7-feet in any horizontal dimension.

**2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NY STATE**

2. ENERGY EFFICIENCY

**Section R-10 1.5 Compliance**

Residential buildings shall meet the provisions of IECC Residential Provisions.

**Section R-301.1 General**

Climate zones from Figure R-301 or Table R-301.1 shall be used in determining the applicable requirements From Table R-301.1 Onondaga County, New York: Climate Zone 5A

**Section R-401.3 Certificate**

A permanent certificate shall be complete and posed on a wall inside the building and shall list the predominant R-values and insulation installed in the ceilings/roof, walls, foundation, and ducts outside conditioned spaces; U-factors of fenestration and the solar heat gain coefficient (SHGC), and the results of any duct system and building envelope air leakage testing. The certificate shall list type of efficiencies of heating, cooling, and service water heating equipment.

**Section R-402 General**

The building thermal envelope shall meet the requirements of R-402.1.1 through R-402.1.5: Climate Zone 5A - Onondaga County, NY.

- Fenestration U-Factor: 0.30 w/ low e-coating
- SHGC: NR
- Ceiling R-Value: 49
- Wood Frame Wall R-Value: 20 or 13+5 (cavity insulation + continuous insulation)
- Floor R-Value: 30 (R-19 minimum)
- Basement Wall R-Value: 15/19 (R-15 continuous inside or exterior or R-19 cavity)

**Section R-402.4 Air Leakage (Mandatory)**

The building or dwelling shall be tested and verified as having an air leakage rate not exceeding three (3) air changes per hour in climate zones 3-8. Testing shall be conducted in accordance with ASTM E779 or ASTM E1827 and reported to a pressure of 0.2 inch m.g. (50 pascals). Testing shall be conducted by a third party and a written report of the results of the test shall be signed by the party conducting the test and provided to the Code Official. Testing shall occur after rough-in and after installation of penetrations of the building envelope, including all penetrations for utilities, plumbing, electrical, ventilation, and combustion appliances.

Fenestration air leakage: Windows, and sliding glass doors shall have an air leakage infiltration rate of no more than 0.3 cfm per square foot, and swinging doors no more than 0.5 cfm per square foot when tested according to NFRC 400 or AAMA/WDMA/CSA 101/I.S.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer.

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PROJECT NO.  
100623

CONTACT  
CASSIE ELLIS  
315-243-4679

Project Name:  
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Project Address:  
**515 CALEB AVENUE  
SYRACUSE, NEW YORK 13206**

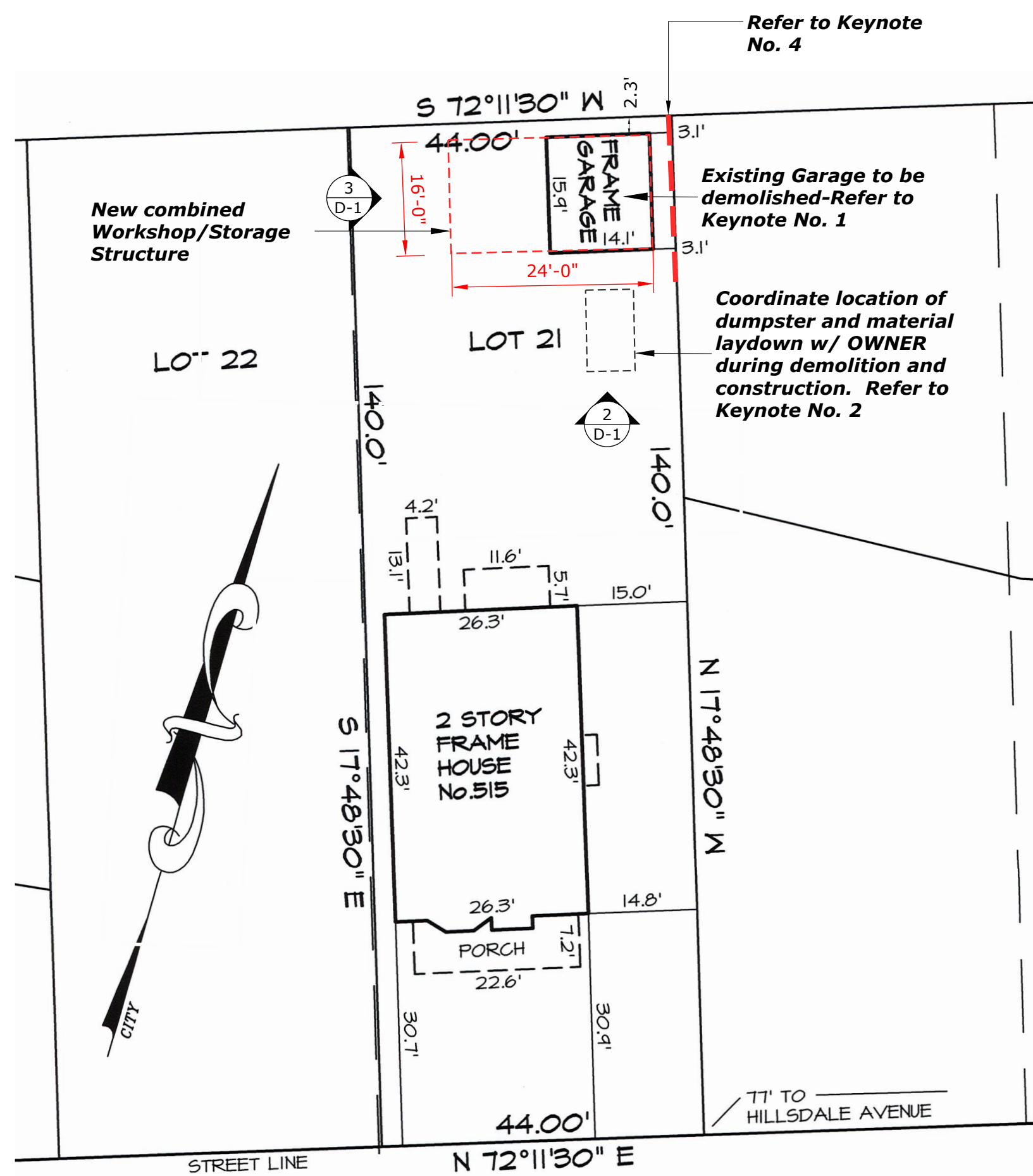
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Document Date:  
OCTOBER 25, 2023

**GENERAL  
INFORMATION**

Document Phase:  
Construction Documents





1 SITE PLAN  
D-1 NO SCALE

Lot Size:	6,160 SF
House:	1,112.50 SF
Rear Enclosures:	121.14 SF
Front Porch:	162.72 SF
New Garage:	384.00 SF
Total House and Garage: 1,780.36.63 SF	
Lot Coverage: 1,780.36/6,160 = 28.90%	

**City of Syracuse Zoning Ordinance (March 2023)**

Article 2: Zoning Districts  
Section 2.2 R-1 Single-Unit Residential

4. Table 2.2 R-1 Single-Unit District Dimensional Standards:
  - b. Side Yard: The minimum side yard shall be four (4) feet
  - c. Rear Yard: The minimum rear yard shall be twenty (20) feet or 15% of the lot depth, whichever is greater.

Accessory Structures shall not exceed 16-feet in height.  
Impervious Coverage Maximum: Structural 30%



2 NORTH ELEVATION  
D-1 NO SCALE



3 EAST ELEVATION  
D-1 NO SCALE

**Key Notes**

1. Demolish garage in its entirety, including concrete floor slab and existing foundation. Coordinate removal and relocation of stored materials and equipment in Garage w/ Owner prior to demolition.
2. Schedule and limit on-site storage of materials as needed for short-term work. Do not store materials on-site that can not be protected from theft, including, but not limited to doors, windows. All materials stored on site are to be stored off the ground and securely covered.
3. Coordinate limits of excavation, removal of grass and plantings w/ Owner.
4. Coordinate removal of wooden fence w/ Owner. Provide temporary plastic barrier and safety fence along property line.

**Demolition Notes**

1. Contractor shall be responsible for verifying the locations of utilities, protecting all existing utilities and repairing any damage during construction. The Contractor shall be responsible for all site coordination with utility companies and public agencies and for obtaining all required permits and paying all required fees. Contractor shall call 'DIG SAFE' no less than 72 hours prior to any excavation.
2. Take all necessary precautions during demolition to protect adjoining property owners from construction debris, air-born dust and contaminants.
3. Any materials considered to contain lead paint are to be tested by the Contractor and removed by a Contractor licensed by New York State/Onondaga County for their remediation.
4. All areas disturbed by the Contractor's operations outside the project limits shall be restored to the original condition by the Contractor.
5. The Contractor shall take all necessary precautions to protect his employees, as well as public users and adjacent property owners from injury during the entire demolition and construction period including, but not limited to, the erection of temporary structures, protective barriers, coverings, or fences as needed.
6. Information contained here is a result of limited field verification. Contractor shall field verify all existing conditions including the locations of structural, mechanical, electrical, etc. prior to proceeding with the demolition work.
7. Coordinate extent of demolition with the dimensions of new construction.

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315-243-4679

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Project Address:  
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SYRACUSE, NEW YORK 13206**

Rev.	Date	Remark

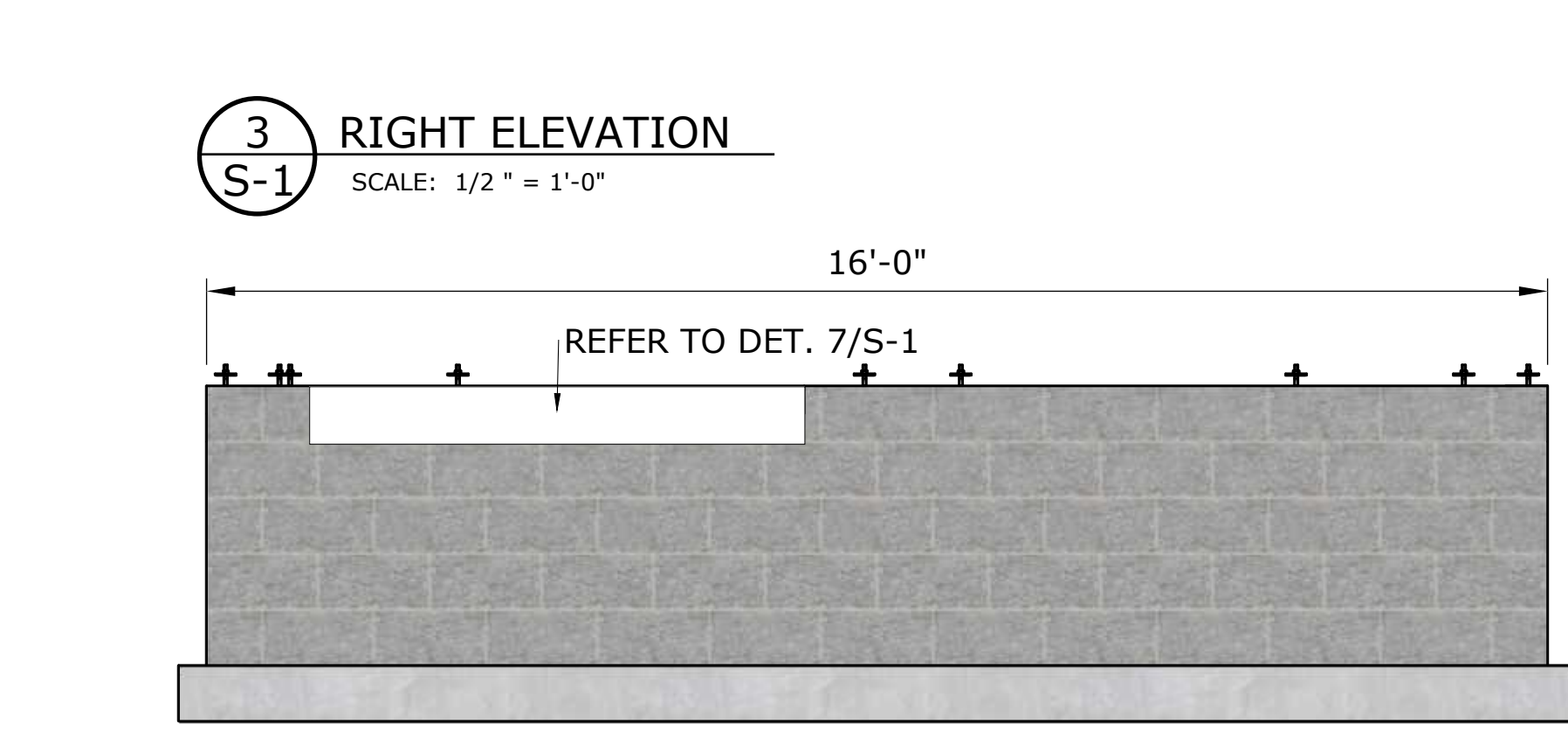
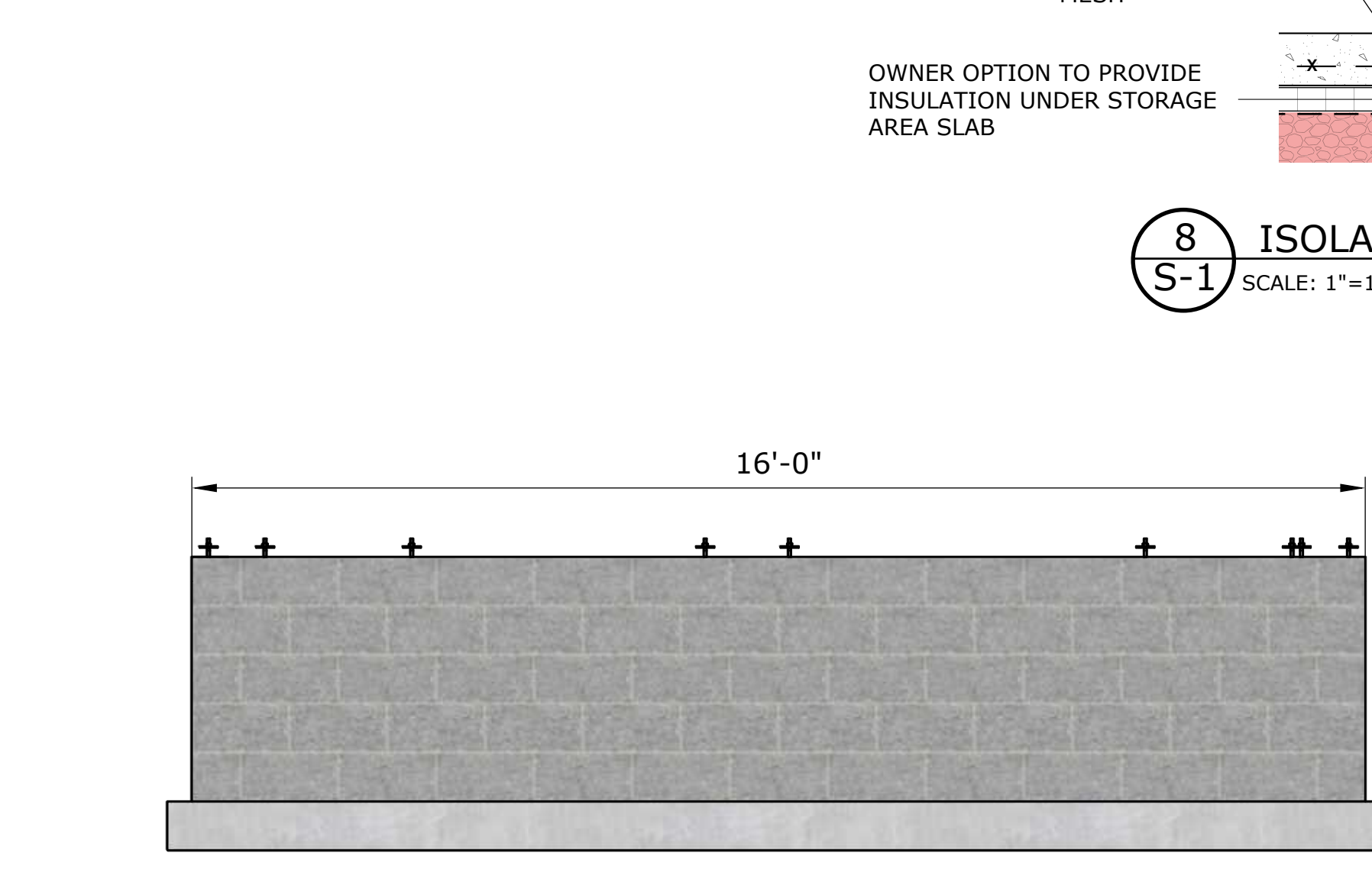
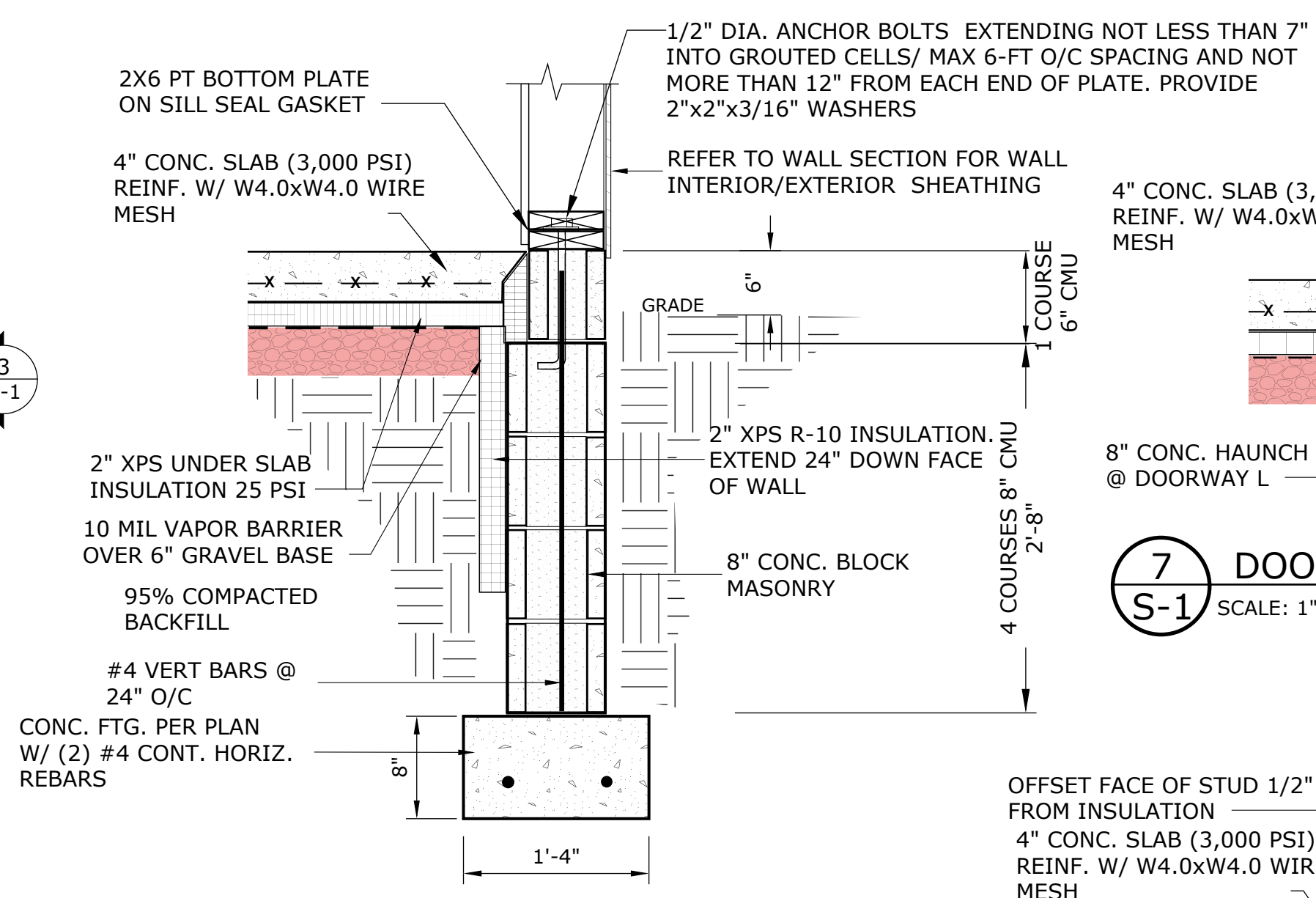
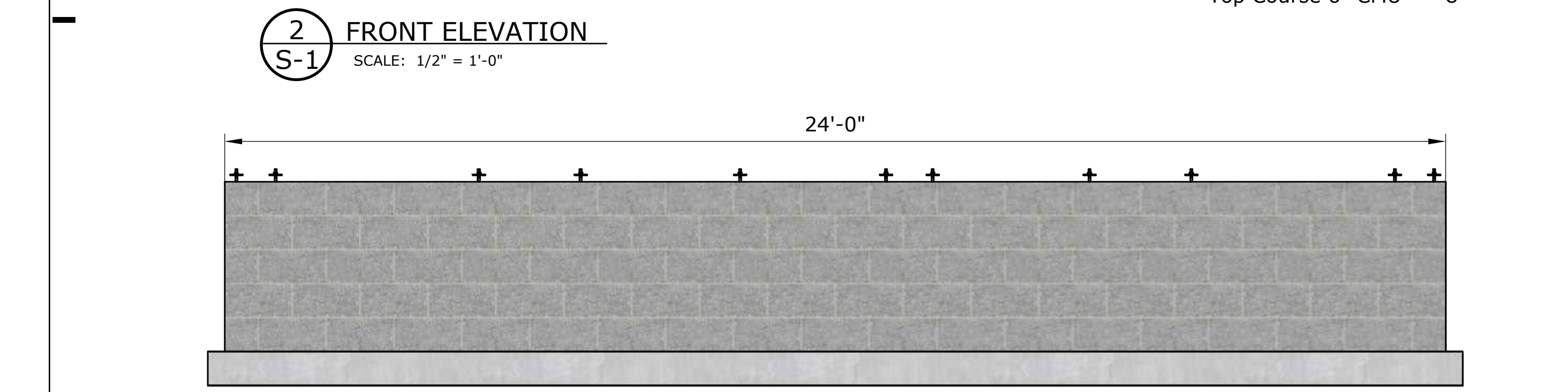
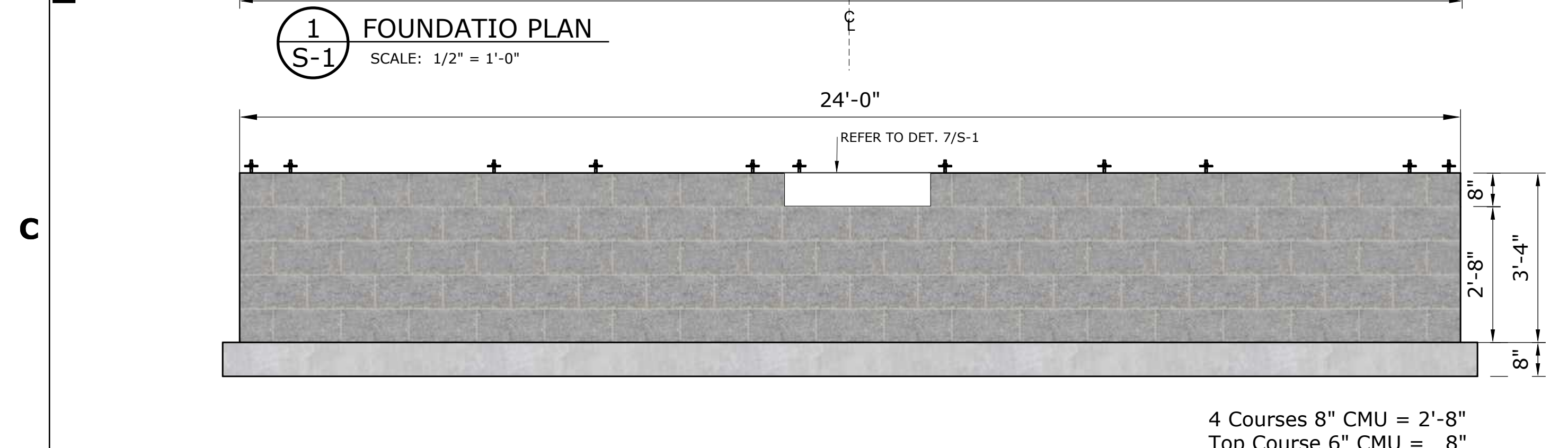
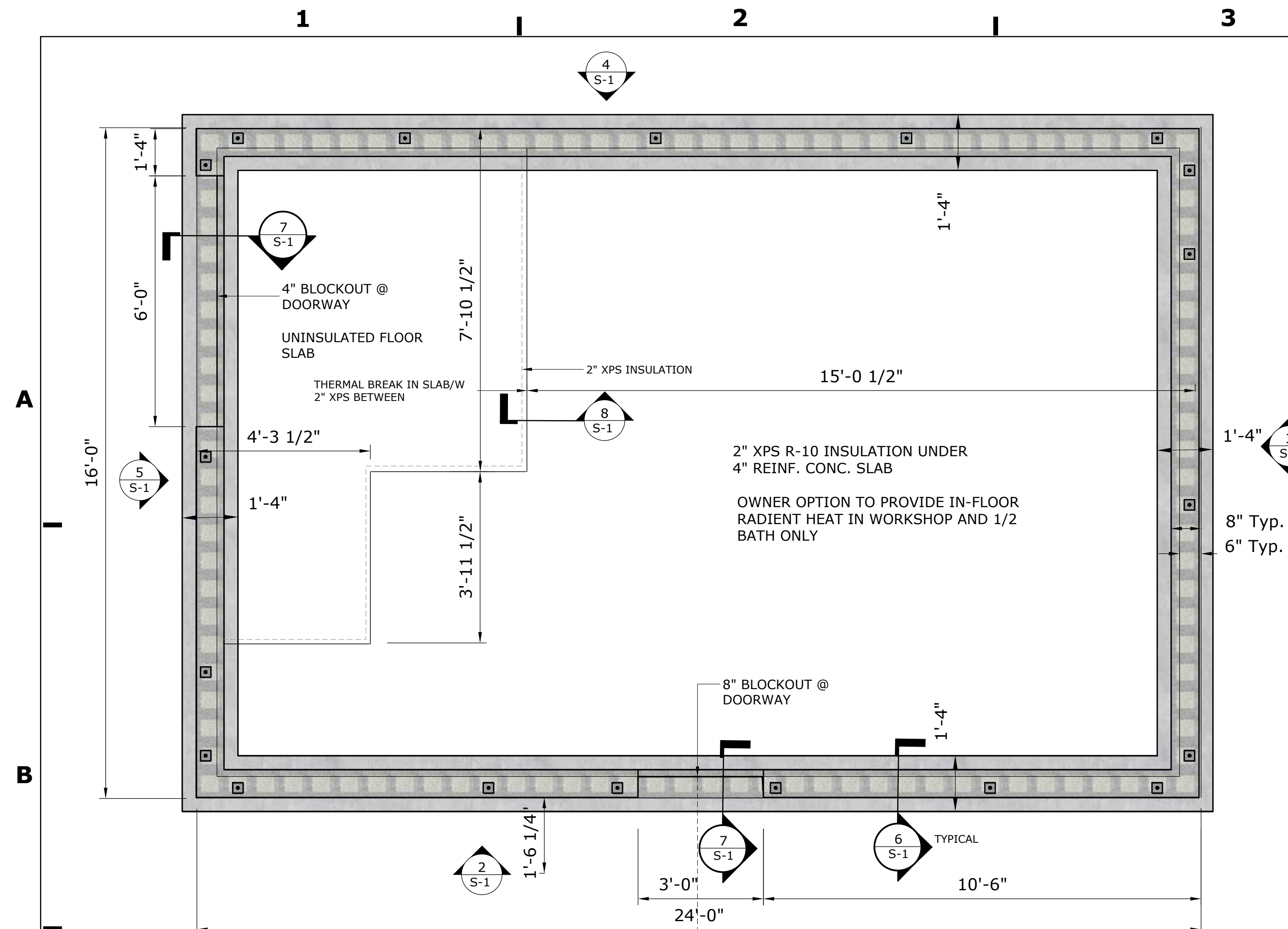
Document Date:  
OCTOBER 25, 2023

**EXISTING CONDITIONS  
AND DEMOLITION**

Document Phase:  
Construction Documents

**D-1**





**DESIGN CRITERIA**  
Frost Line Depth 48"  
Occupancy Classification Residential  
Soil Bearing Capacity 1,500 psf

**7 DOORWAY BLOCKOUT**  
SCALE: 1" = 1'-0"

**8 ISOLATION DETAIL**  
SCALE: 1" = 1'-0"

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Rev.	Date	Remark

Document Date:  
OCTOBER 25, 2023

**FOUNDATION PLAN  
AND DETAILS**

Document Phase:  
Construction Documents

**S-1**



1

2

3

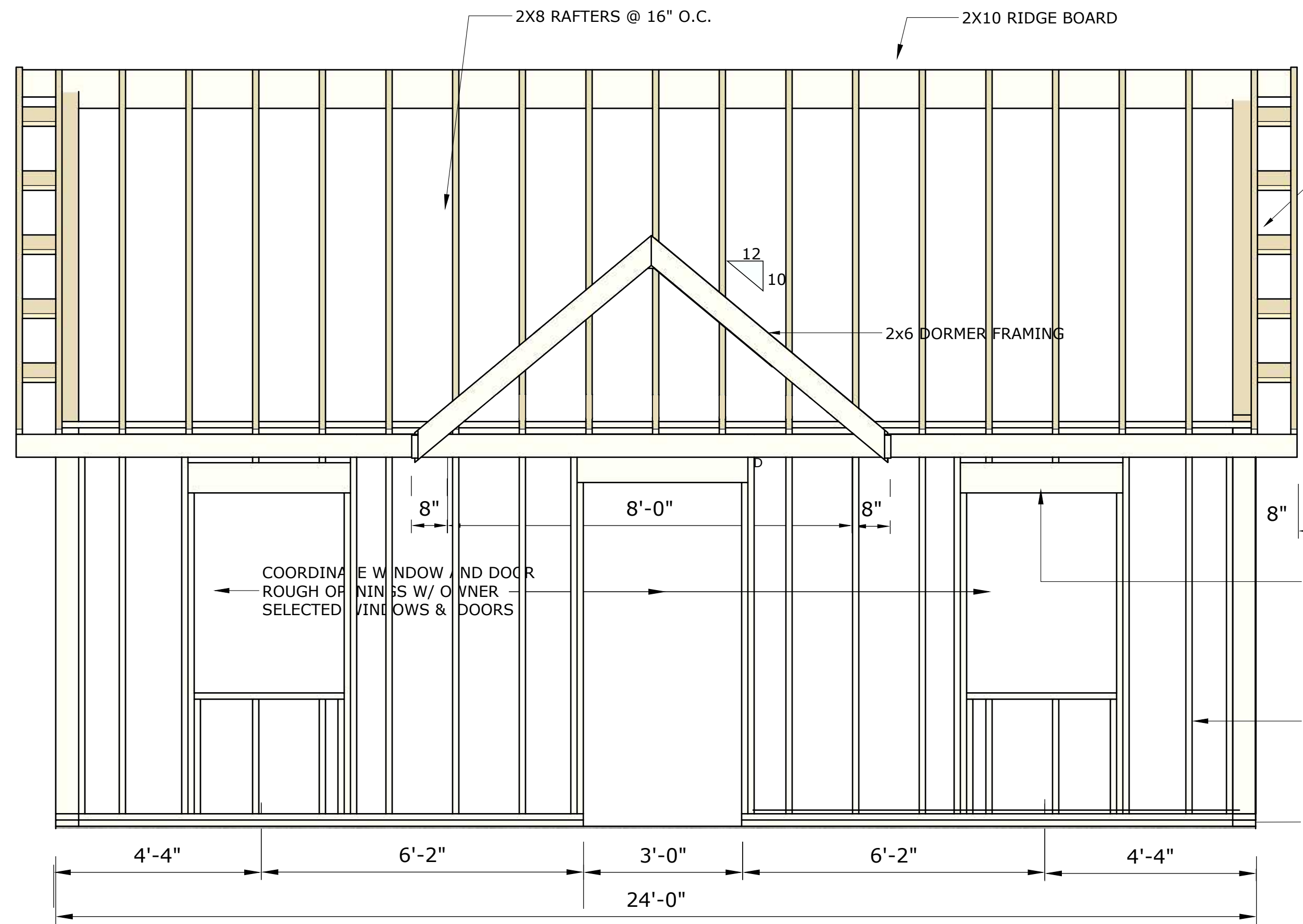
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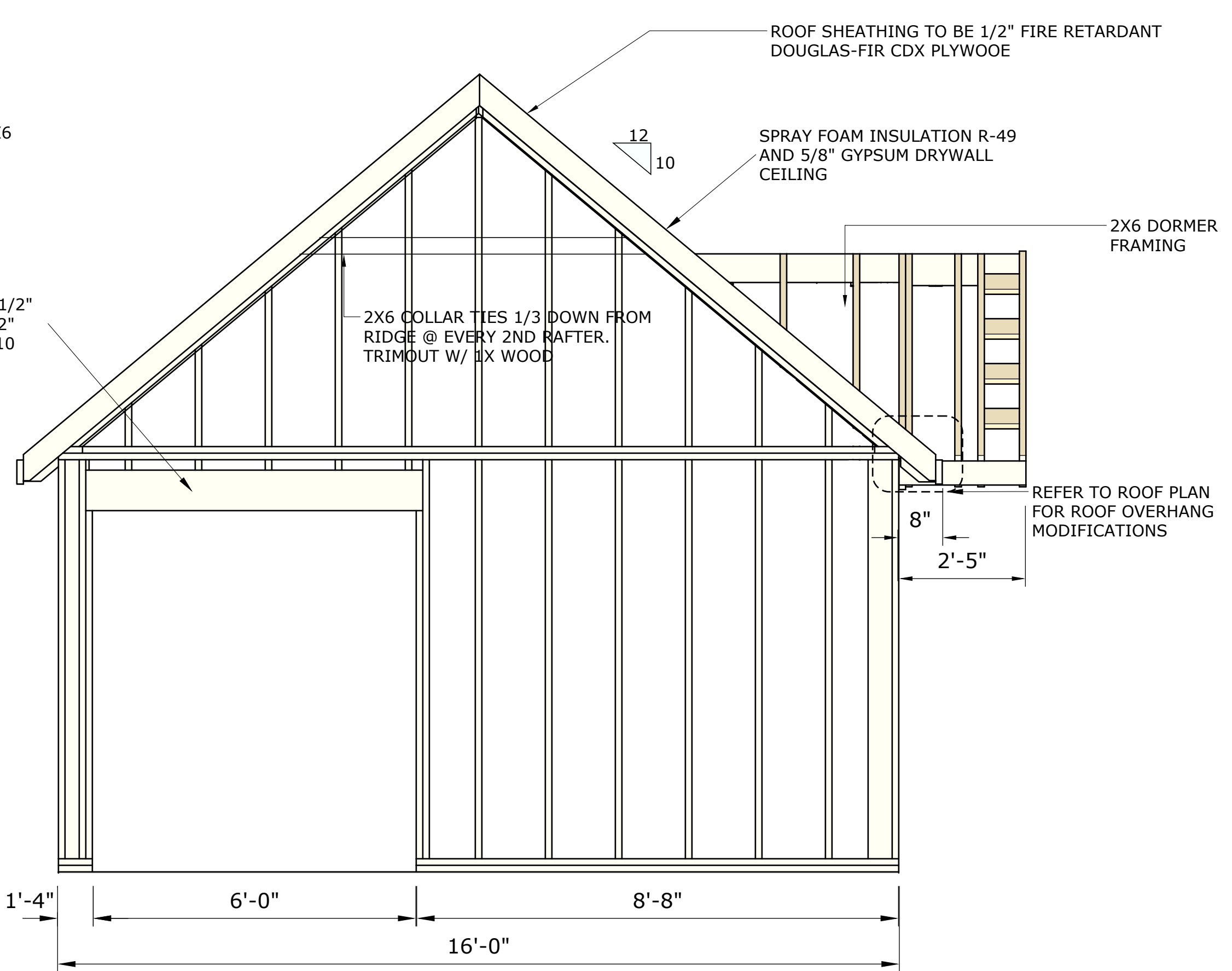
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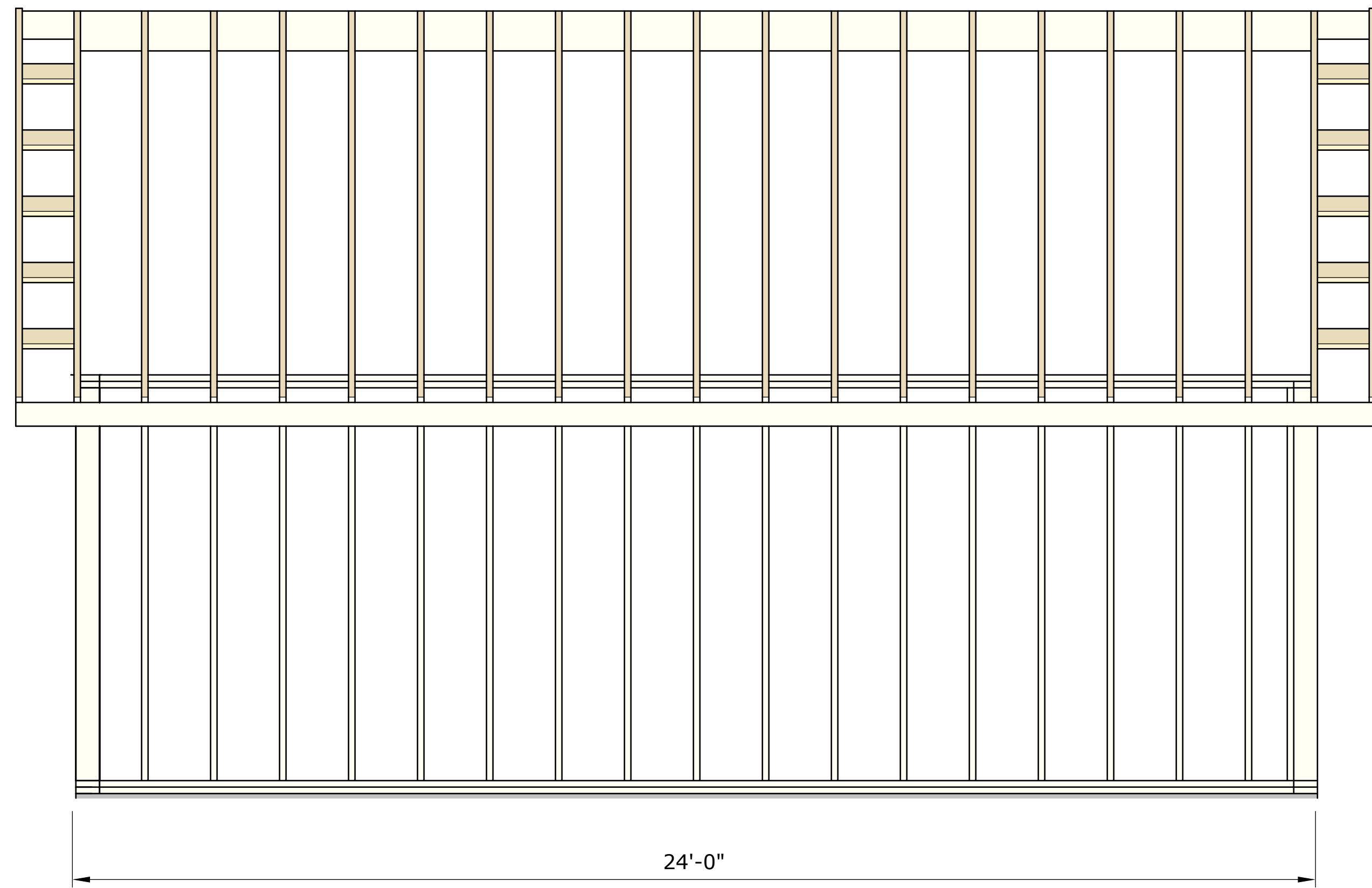
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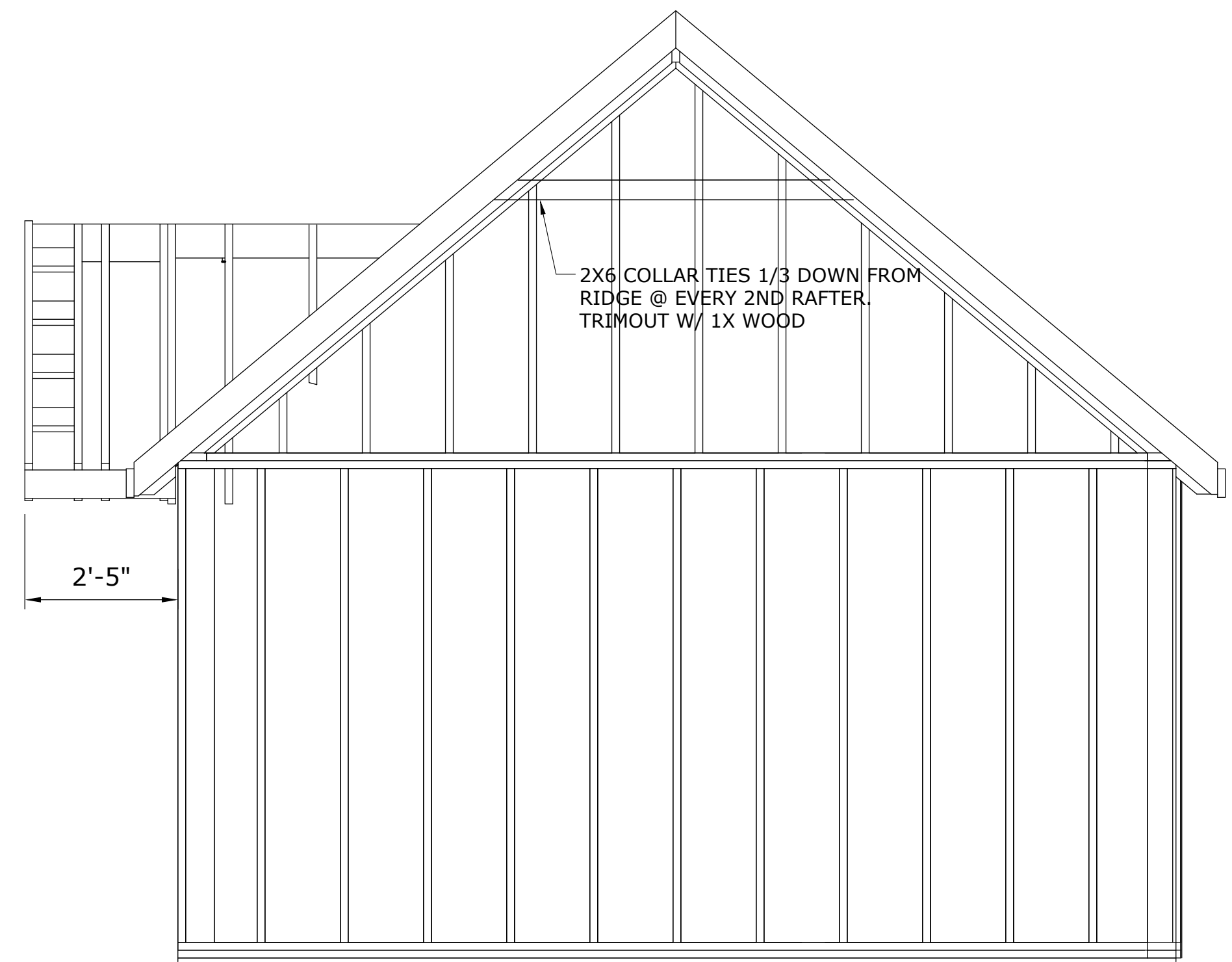
1 FRONT FRAMING VIEW  
S-2 SCALE: 1/2" = 1'-0"



2 LEFT FRAMING VIEW  
S-2 SCALE: 1/2" = 1'-0"



3 BACK FRAMING VIEW  
S-2 SCALE: 1/2" = 1'-0"



4 RIGHT FRAMING VIEW  
S-2 SCALE: 1/2" = 1'-0"

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FRAMING VIEWS

Document Phase:  
Construction Documents







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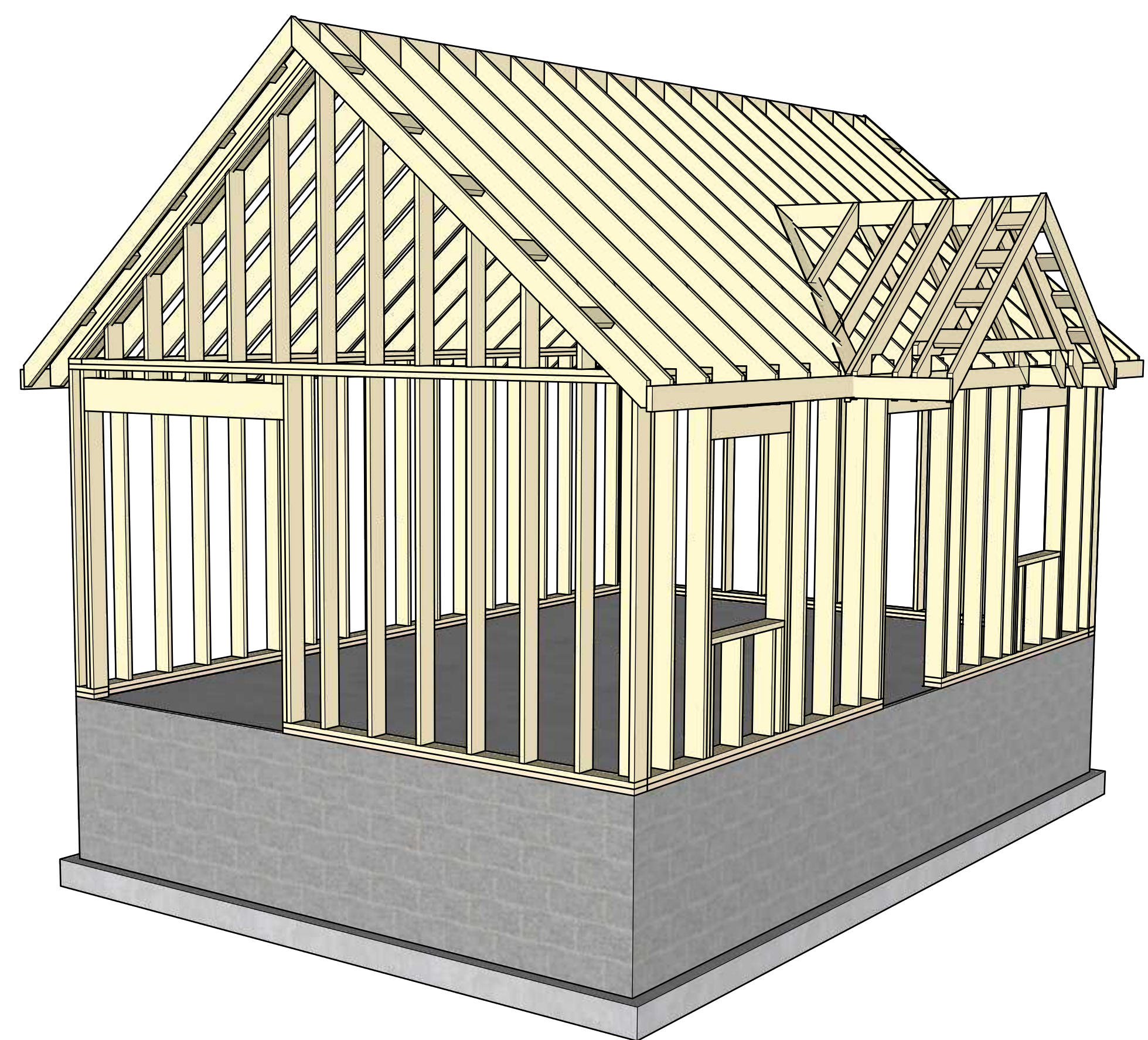
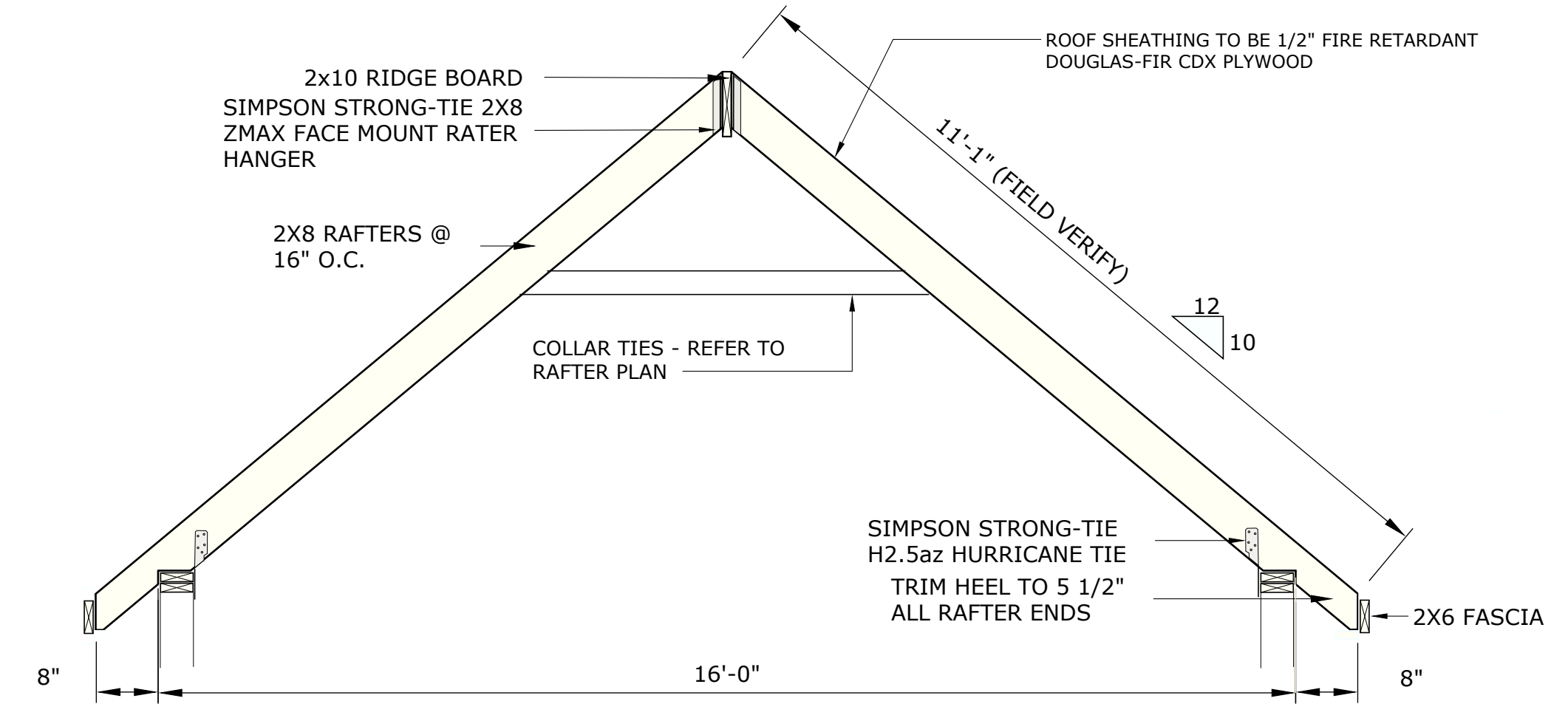
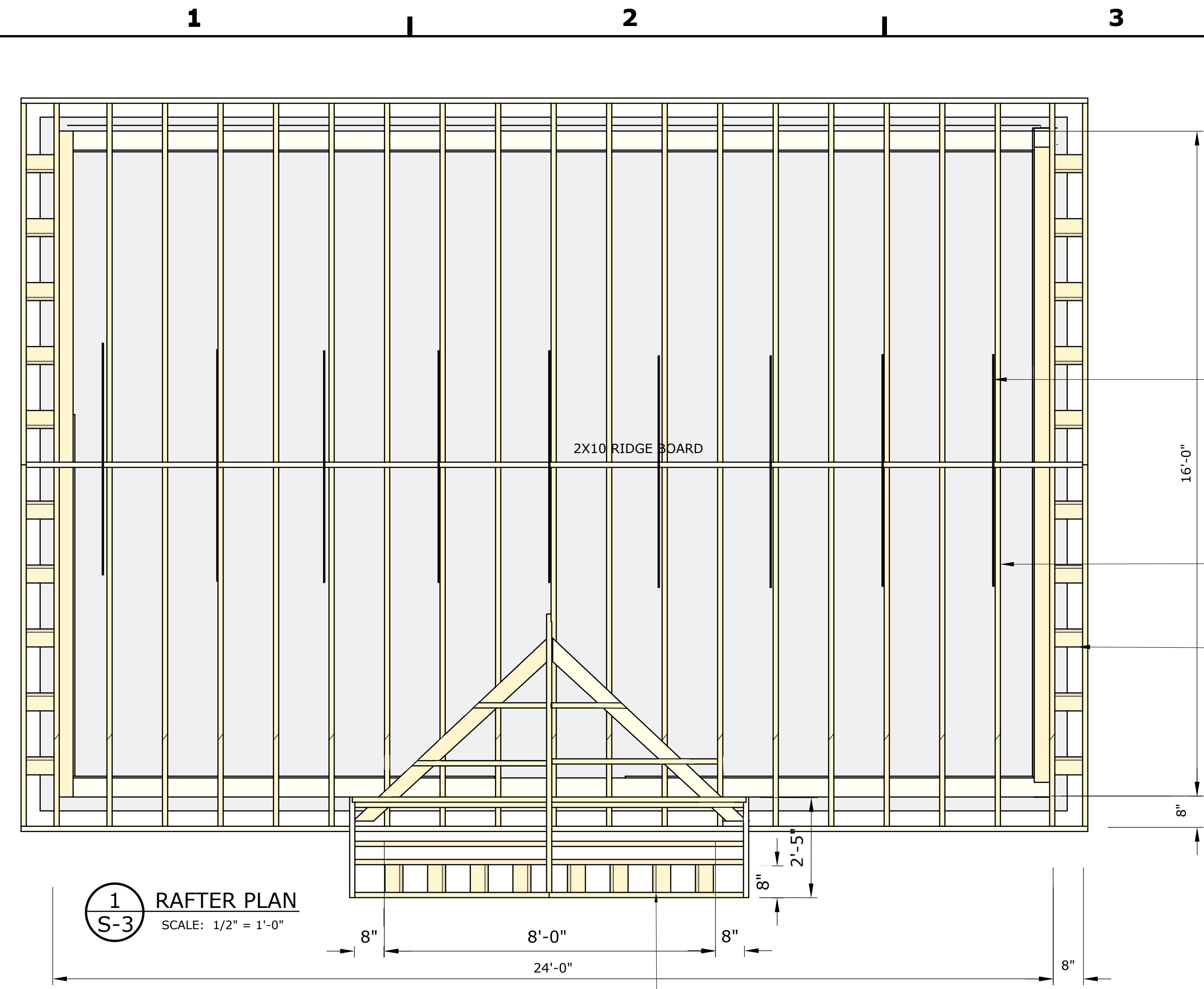
Project Address:  
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Rev.	Date	Remark

Document Date:  
OCTOBER 25, 2023

**ROOF FRAMING AND DETAILS**

Document Phase:  
Construction Documents

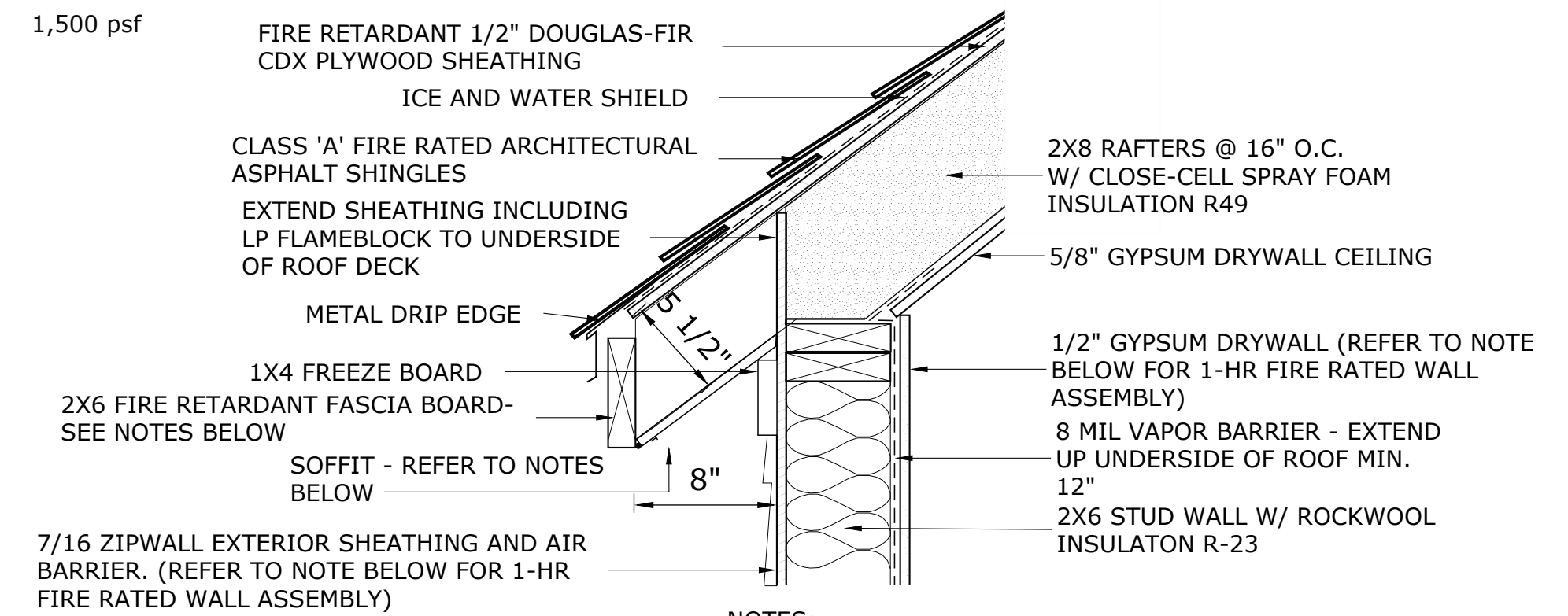


DESIGN CRITERIA

Ground Snow Load	50 psf
Frost Line Depth	48"
Occupancy Classification	Residential
Exposure Category	B
Risk Factor	II
Wind Speed	110 mph
Seismic Design Category	B
Construction Type	V-B
Soil Bearing Capacity	1,500 psf

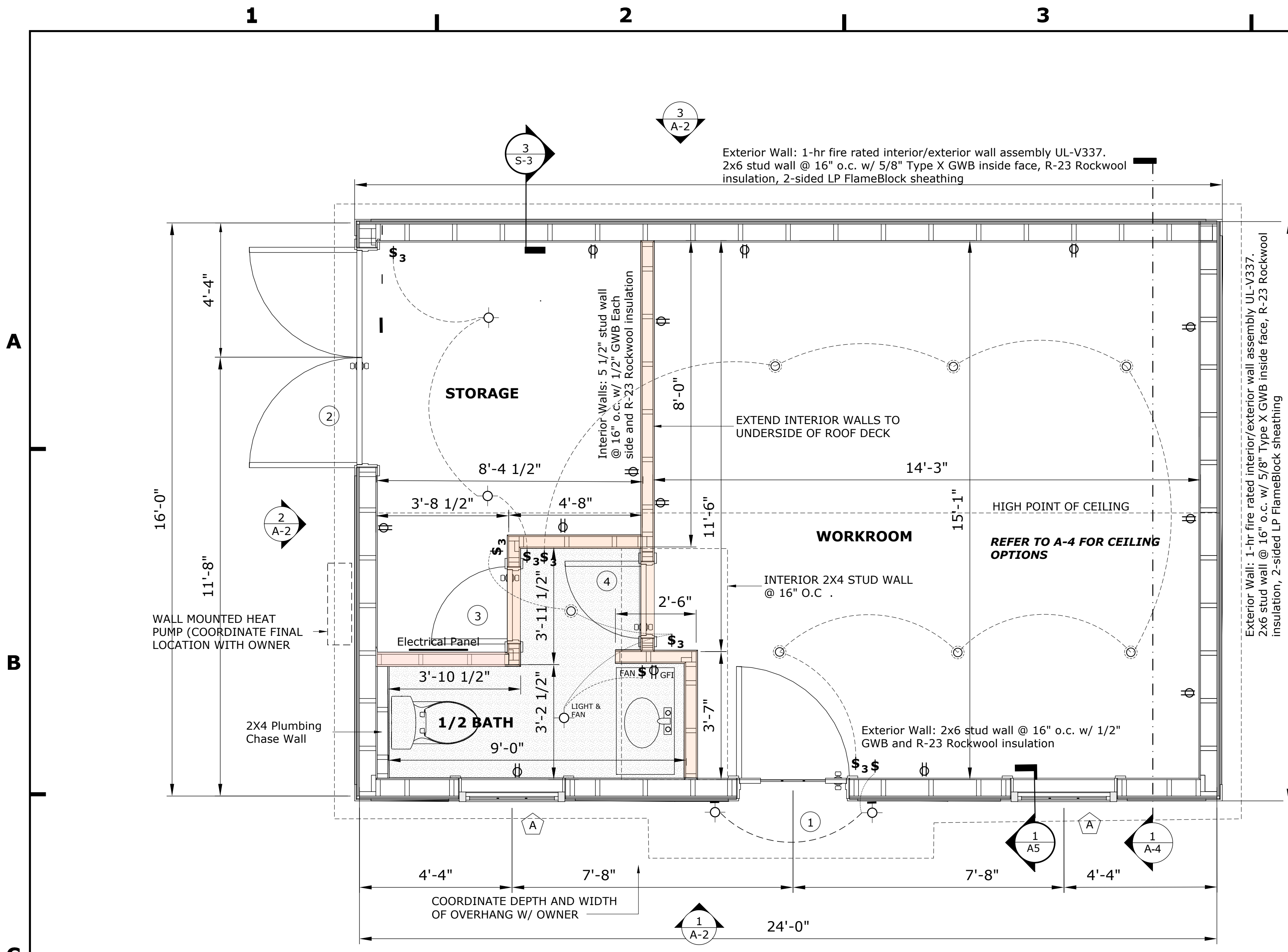
ROOF FRAMING:  
**CONTRACTOR AND OWNER TO COORDINATE THE SIZE AND DEPTH OF OVERHANG**

CEILING ATTACHED TO RAFTERS  $L/\Delta=240$ .  
 DEAD LOAD - 10 PSF  
 LUMBER TO BE DOUGLAS FIR-LARCH, HEM-FIR, OR SPRUCE-PINE-FIR #2 OR BETTER OR SOUTHERN PINE #1 OR BETTER



NOTES:  
 REFER TO FLOOR PLAN FOR 1-HOUR FIRE RATED WALL ASSEMBLY USING LP FLAMEBLOCK SHEATHING.  
 REFER TO BUILDING SECTION A-4 FOR CEILING OPTIONS.  
 SOFFITS TO BE FIRE RETARDANT 1/2" DOUGLAS-FIR CDX PLYWOOD SHEATHING. OWNER OPTION TO COVER WITH ALUMINUM SOFFIT.  
 EXTERIOR WOOD FASCIA TO BE 1-HR 'FLAMEPRO' FIRE RETARDANT PRESERVATIVE TREATED WOOD MANUF. BY YELLOWOOD, MEETING UL 'FR-S' CLASS A CLASS 1 SURFACE BURNING CHARACTERISTICS AND ASTM E119 1-HR FIRE TESTED WALL ASSEMBLY. OWNER OPTION TO COVER WITH ALUMINUM.





**1**  
**A-1** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NOTE: ALL DIMENSIONS FROM FACE OF STUD TO FACE OF STUD

ELECTRICAL AND LIGHTING LAYOUT IS SHOWN AS A BASIS FOR DISCUSSION AND MAY NOT PROVIDE ADEQUATE LIGHTING LEVELS. THEREFORE CONTRACTOR IS TO COORDINATE LIGHT FIXTURE DESIGN, LOCATION OF ALL SWITCHES, RECEPTALS, INTERNET, AND TELEPHONE LOCATIONS WITH OWNER.

CONTRACTOR TO COORDINATE ELECTRICAL SERVICE TO BUILDING AND WATER/SEWER TIE-IN FROM ON-SITE SERVICE.

SHADED AREA DENOTES 8'-0" HIGH CEILING  
SHADED AREA DENOTES WALLS EXTENDING TO UNDERSIDE OF ROOF DECK

- GENERAL NOTES:**
- ALL DOOR AND WINDOW HEADERS TO BE COMPOSITE (2) 2X10 LUMBER W/ 1/2" PLYWOOD FILLER AND 2" FOAM
  - ALL INT. NON-LOAD BEARING HEADERS TO BE (2) 2X4 UNLESS OTHERWISE NOTED
  - ALL EXTERIOR WOOD FRAMED WALLS AND INT. LOAD BEARING WALLS SHALL BE 2X6 @ 16" O/C, DF STUD GRADE U.N.O
  - ALL INT. WOOD FRAMES WALLS (NON-LOAD BEARING) SHALL BE 2X4 @ 16" O/C DF STUD GRADE
  - CAULK AND COUNTER FLASH ALL EXT. OPENINGS: WINDOWS, DOORS, VENTS, ETC.
  - ALL ADDITIONAL BLOCKING, STUDS, TRIMMERS, AND NAILERS NOT SPECIFIED SHOULD BE TYPICAL STUD MATERIAL.
  - GAP ALL SHEATHING AS PER MANUF. SPECS. INSTALL H-CLIPS ON ROOF SHEATHING.
  - CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL OPENINGS IN FLOOR, ROOF, AND WALLS, AND COORDINATE WITH PLUMBING, ELECTRICAL AND MECHANICAL WORK.
  - ALL EXT. DOORS SHALL BE MIN. 36" WIDE AND 6'-8" HIGH.
  - PROVIDE SOLID BLOCKING BEHIND BATHROOM ACCESSORIES.

SMOKE DETECTORS

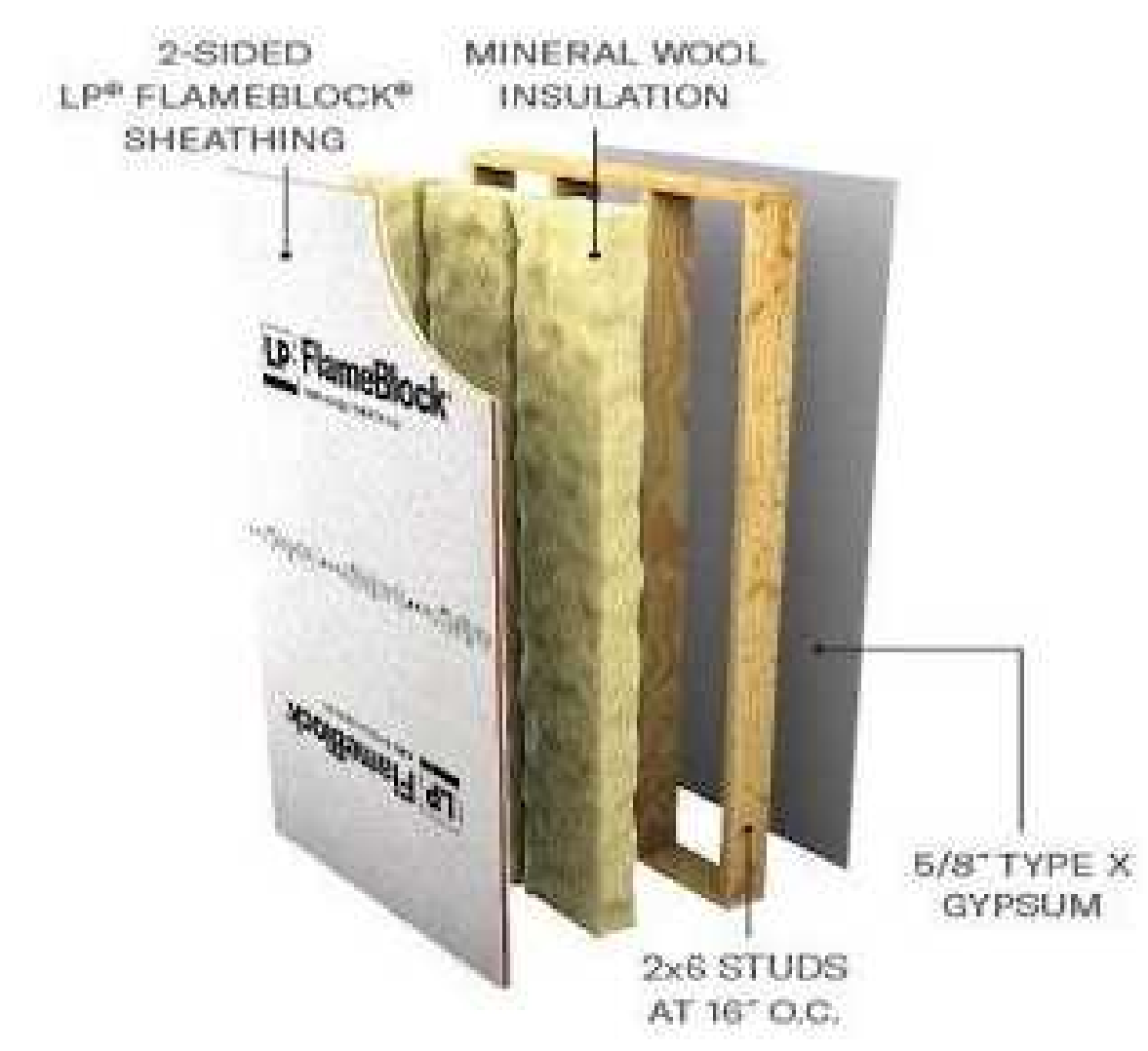
SMOKE DETECTORS SHALL BE INSTALLED AT A POINT CENTRALLY LOCATED ALONG WITH DETECTORS, HOT WIRED AND INTERCONNECTED WITH BATTERY BACK-UP.

DOOR SCHEDULE					
NO.	SIZE	MATERIAL	STYLE	MANUF.	NOTES
1	3'-0" x 6'-8"	*INSULATED U-0.35	CRAFTSMAN ENTRY	JELD-WEN	6-LITE FIBERGLASS PREHUNG
2	PR. 3'-0" x 6'-8"	INSULATED U-0.35	CRAFTSMAN ENTRY	JELD-WEN	24 GA STEEL PREHUNG
3	2'-8" x 6'-8"	INSULATED U-0.60	CRAFTSMAN ENTRY	JELD-WEN	PREHUNG 24 GA STEEL INSUL
4	2'-8" x 6'-8"	MDF OR WD	CRAFTSMAN	JELD-WEN	PREHUNG

\* GLAZING TO BE DOUBLE GLAZED AND NOT TO EXCEED 45% OF DOOR INTERIOR MDF OR WOOD DOOR - WOOD SPECIES TO BE SELECTED BY OWNER DOOR HARDWARE TO BE SELETED BY OWNER

WINDOW SCHEDULE				
NO.	SIZE	MATERIAL	STYLE	MANUF.
A	DH 3'-0" x 4'-0"	*INSULATED U-0.30	ELEVATE SERIES	MARVIN

\* GLAZING TO BE DOUBLE GLAZED LOW-E GLASS FINAL WINDOW MANUFACTURER, SIZE, STYLE, AND FINISH TO BE SELECTED BY OWNER.



**V337**

Construction Type: Type III Construction, Type V Construction

Resistance Type: 1-Hour Either Side

Stud Type: Wood

**CRP** Charles R. Pidutti, Architect PLLC  
3670 Sweet Road  
Jamesville, NY 13078  
cpidutti@twcny.rr.com  
Tel. 315/569-6154



PROJECT NO.  
100623

CONTACT  
CASSIE ELLIS  
315-243-4679

Project Name:  
**GARAGE DEMOLITION AND NEW WORKSHOP/STORAGE STRUCTURE**

Project Address:  
**515 CALEB AVENUE  
SYRACUSE, NEW YORK 13206**

Rev.	Date	Remark

Document Date:  
OCTOBER 25, 2023

**FLOOR PLANS**

Document Phase:  
Construction Documents

**A-1**



1

2

3

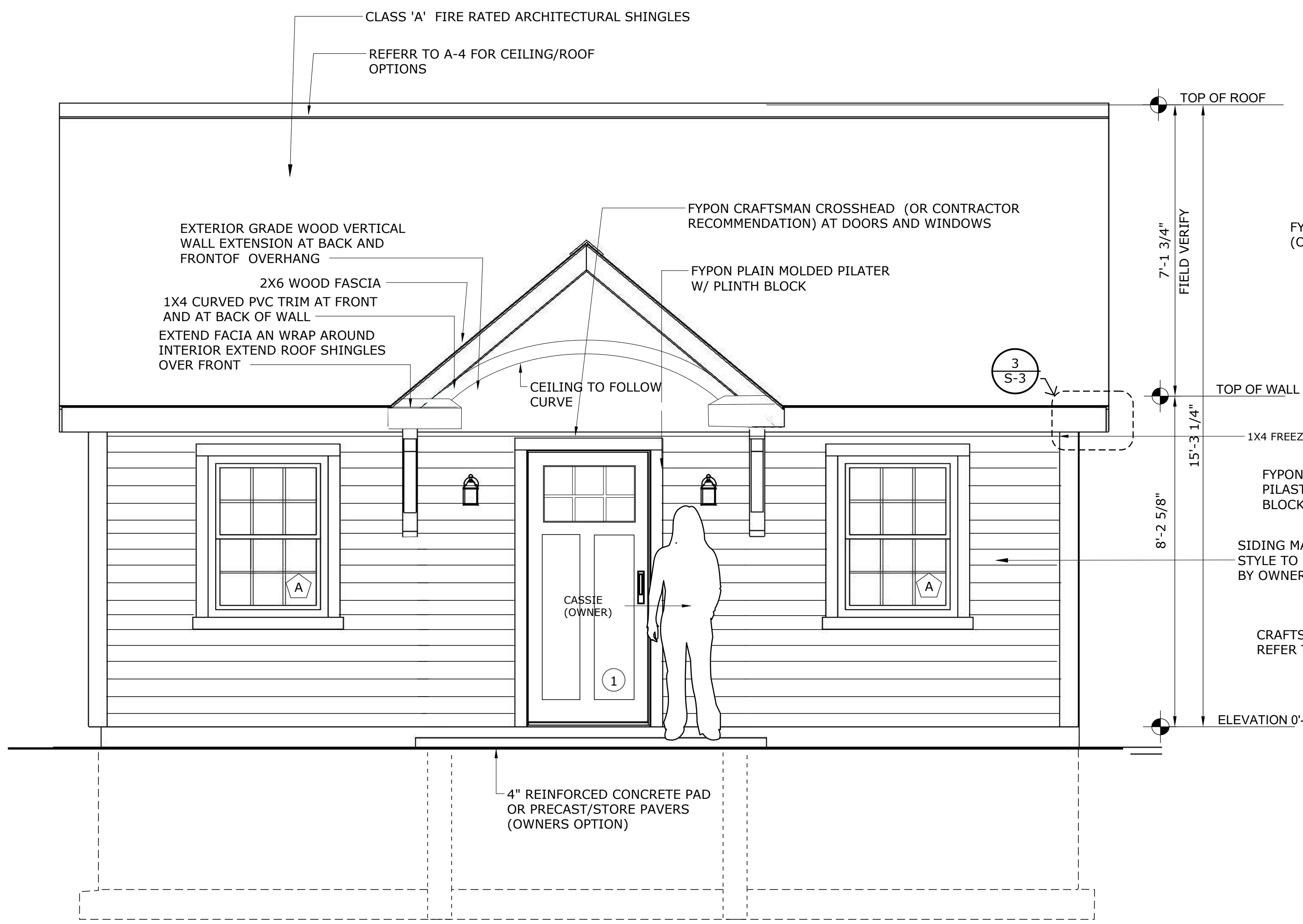
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5

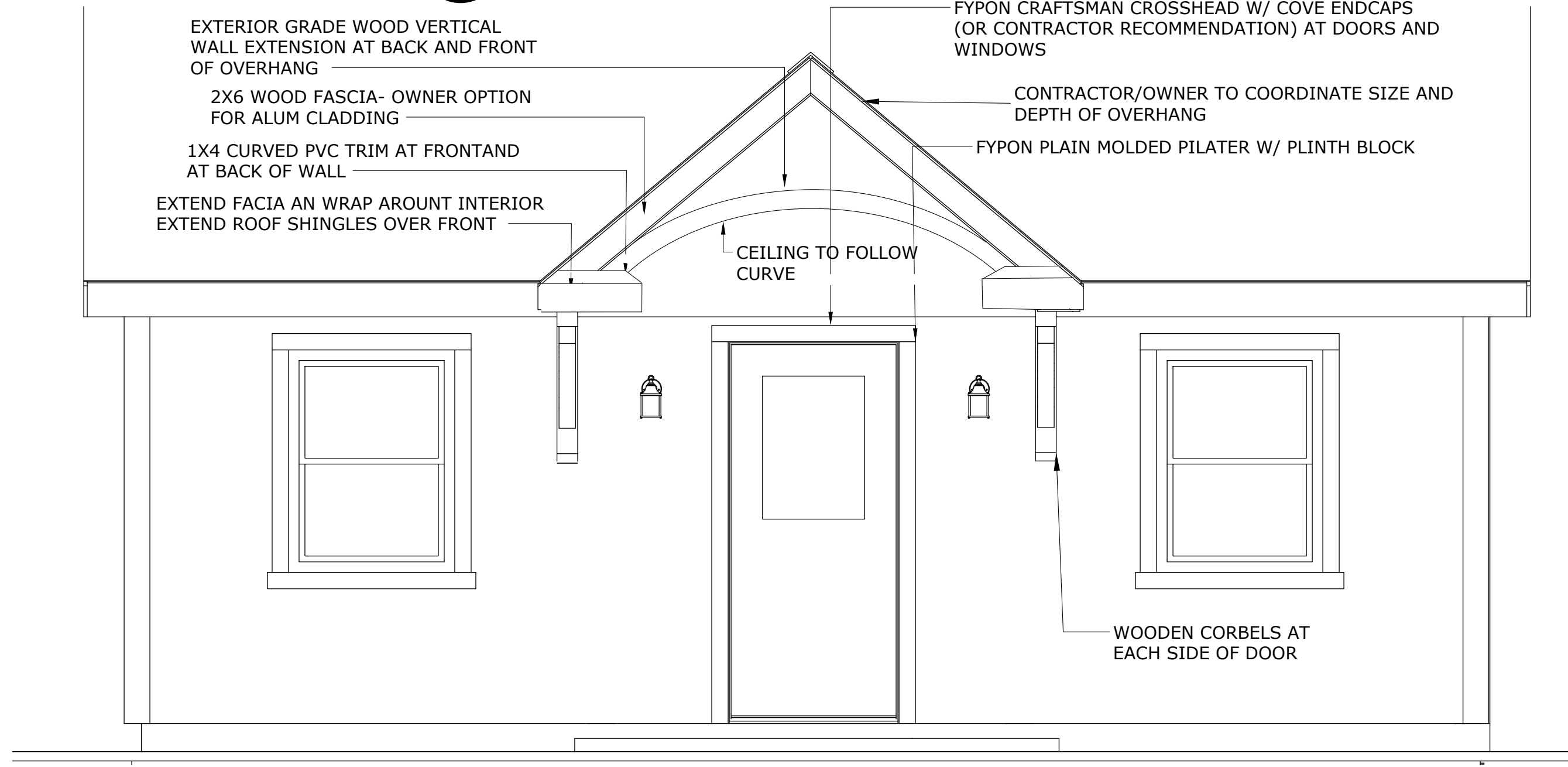
A

B

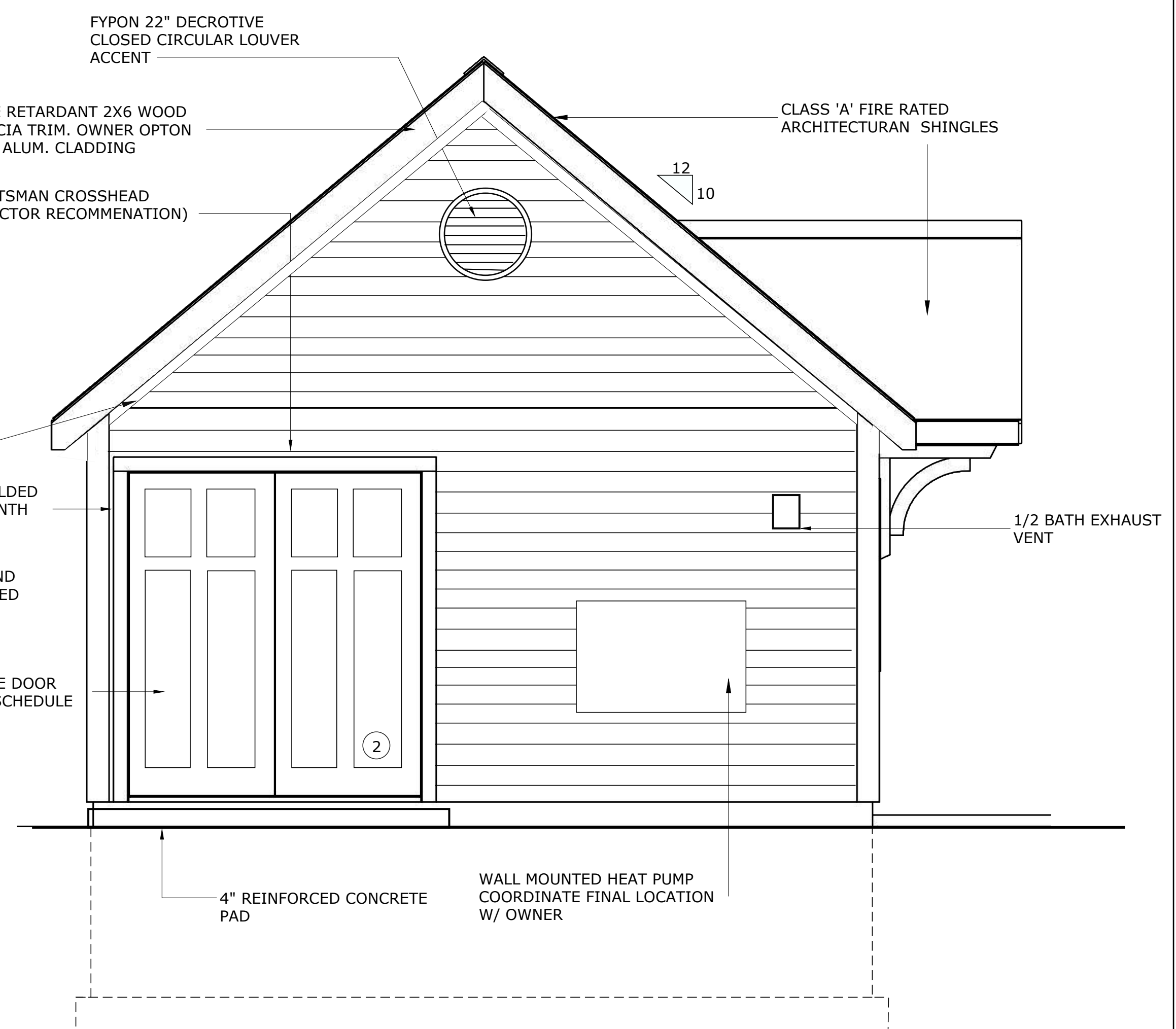
C



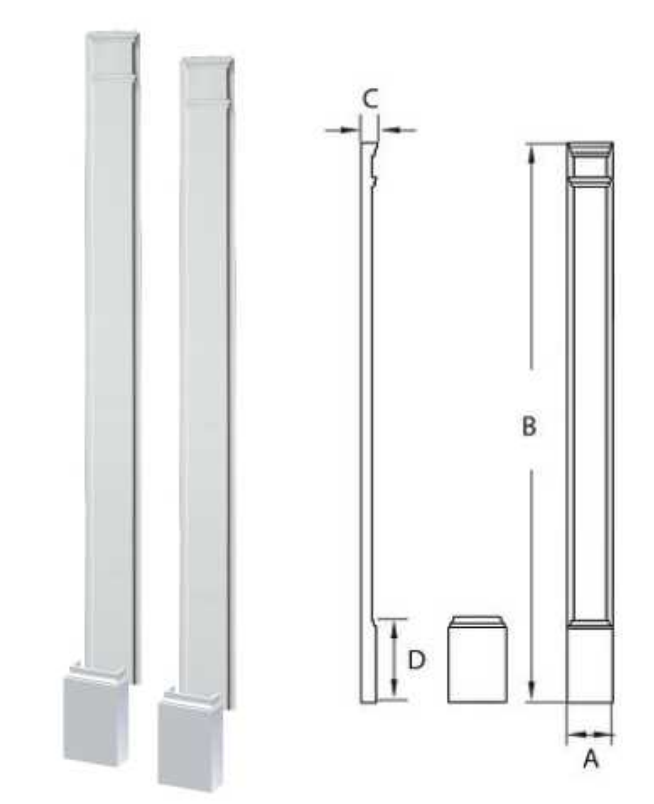
**1** FRONT ELEVATION  
A-2 SCALE: 1/2" = 1'-0"



**3** FRONT ELEVATION W/ CORBELS  
A-2 SCALE: 1/2" = 1'-0"



**2** LEFT ELEVATION  
A-2 SCALE: 1/2" = 1'-0"



**4** ACCESSORY TRIM  
A-2 SCALE: 1/2" = 1'-0"

CONTRACTOR TO COORDINATE FYPON TRIM VS. ALTERNATIVE OPTIONS W/ OWNER

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Project Name:  
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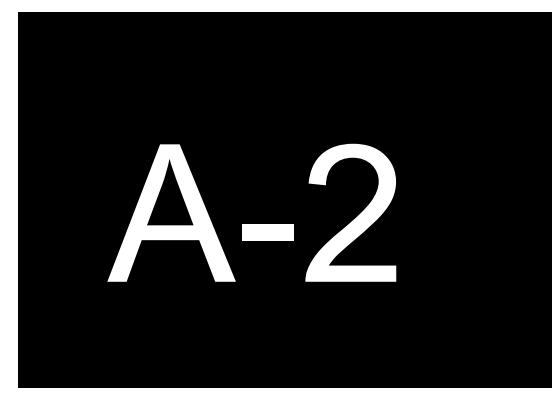
Project Address:  
**515 CALEB AVENUE  
SYRACUSE, NEW YORK 13206**

Rev.	Date	Remark

Document Date:  
OCTOBER 25, 2023

**ELEVATIONS**

Document Phase:  
Construction Documents



1

2

3

4

5

CLASS 'A' FIRE RATED ARCHITECTURAL SHINGLS OVER ICE & WATER SHIELD AND FIRE RETARDANT DOUGLAS-FIR 1/2" CDX PLYWOOD SHEATHING

2X6 FIR RETARDANT TREATD WOOF FASICA AND SOFFIT. REFER TO A-3. OWNER OPTION FOR ALUM. CLADDING AND SOFFITE COVER.

REFER TO A-4 FOR CEILING/ROOF OPTIONS

CLASS 'A' FIRE RATED ARCHITECTURAL SHINGLES

12  
10

2X6 WOOD FASCIA AND TRIM

1X4 FREEZE BOARD

WOOD CORBELS AT EACH SIDE OF DOORS

SIDING MATERIAL AND STYLE TO BE SELECTED BY OWNER

Exterior Wall: 1-hr fire rated interior/exterior wall assembly UL-V337.  
2x6 stud wall @ 16" o.c. w/ 5/8" Type X GWB inside face, R-23 Rockwool insulation, 2-sided LP FlameBlock sheathing

Exterior Wall: 1-hr fire rated interior/exterior wall assembly UL-V337.  
2x6 stud wall @ 16" o.c. w/ 5/8" Type X GWB inside face, R-23 Rockwool insulation, 2-sided LP FlameBlock sheathing

1 BACK ELEVATION  
A-3 SCALE: 1/2" = 1'-0"

2 RIGHT ELEVATION  
A-3 SCALE: 1/2" = 1'-0"

A

B

C

**CRP** Charles R. Pidutti, Architect PLLC  
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Jamesville, NY 13078  
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Tel. 315/569-6154



PROJECT NO.  
100623

CONTACT  
CASSIE ELLIS  
315-243-4679

Project Name:  
GARAGE DEMOLITION AND NEW  
WORKSHOP/STORAGE STRUCTURE

Project Address:  
515 CALEB AVENUE  
SYRACUSE, NEW YORK 13206

Rev. Date Remark

Document Date:  
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ELEVATIONS

Document Phase:  
Construction Documents

A-3



1

2

3

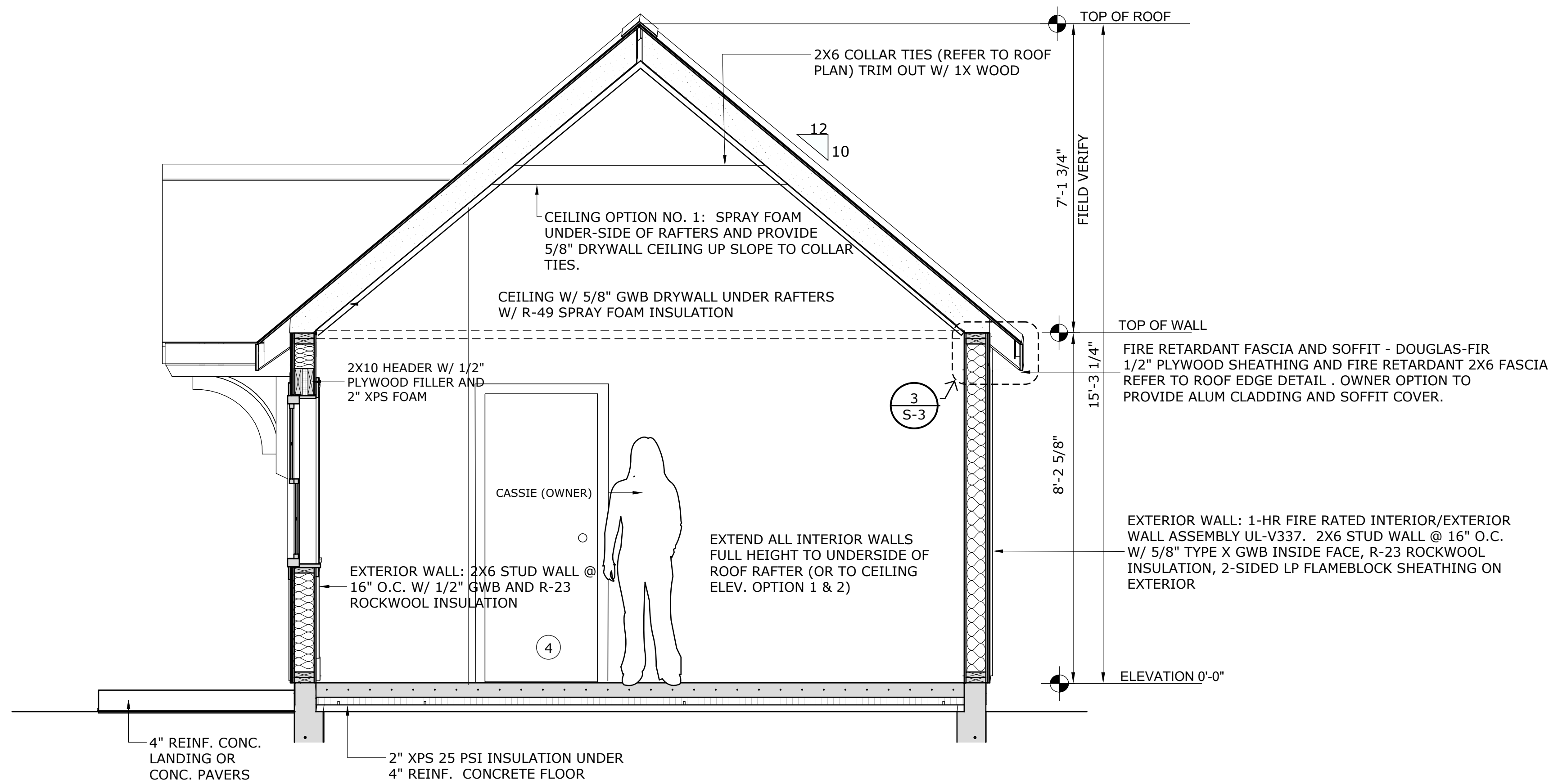
4

5

A

B

C



**1** BUILDING SECTION  
 A-4 SCALE: 1/2" = 1'-0"

**CRP** Charles R. Pidutti,  
 Architect PLLC  
 3670 Sweet Road  
 Jamesville, NY 13078  
 cpidutti@tcny.rr.com  
 Tel. 315/569-6154



PROJECT NO.  
 100623

CONTACT  
 CASSIE ELLIS  
 315-243-4679

Project Name:  
**GARAGE DEMOLITION AND NEW  
 WORKSHOP/STORAGE STRUCTURE**

Project Address:  
**515 CALEB AVENUE  
 SYRACUSE, NEW YORK 13206**

Rev.	Date	Remark

Document Date:  
 OCTOBER 25, 2023

**BUILDING SECTION**

Document Phase:  
 Construction Documents



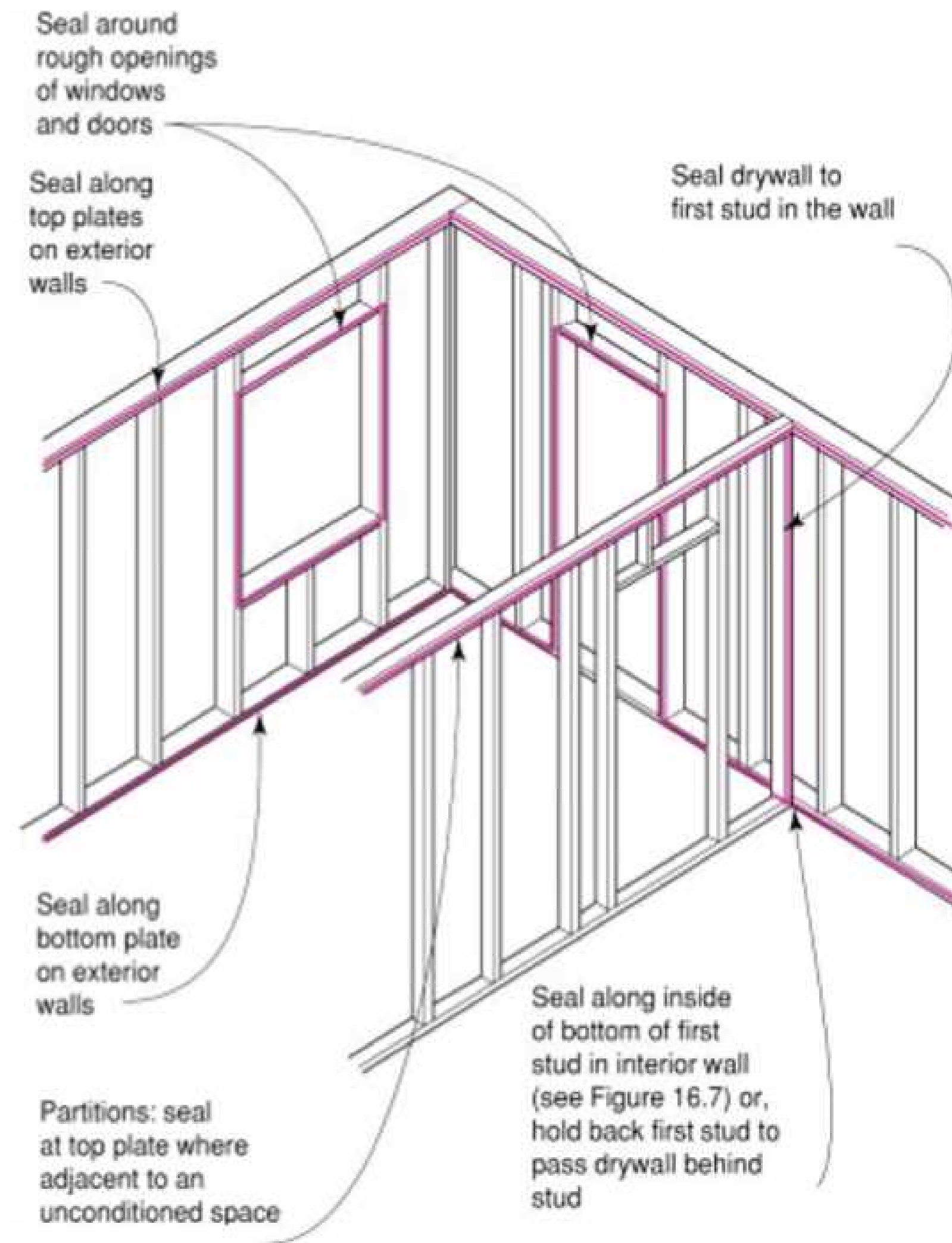


**TABLE R402.4.1.1  
AIR BARRIER AND INSULATION INSTALLATION<sup>a</sup>**

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous <i>air barrier</i> shall be installed in the building envelope. The exterior thermal envelope contains a continuous <i>air barrier</i> . Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The <i>air barrier</i> in any dropped ceiling or soffit shall be aligned with the insulation and any gaps in the <i>air barrier</i> shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the <i>air barrier</i> .
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of <i>exterior walls</i> shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance, <i>R-value</i> , of not less than R-3 per inch. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the <i>air barrier</i> .
Windows, skylights and doors	The space between framing and skylights, and the jambs of windows and doors, shall be sealed.	—
Rim joists	Rim joists shall include the <i>air barrier</i> .	Rim joists shall be insulated.
Floors, including cantilevered floors and floors above garages	The <i>air barrier</i> shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing, or <i>continuous insulation</i> installed on the underside of floor framing; and shall extend from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Crawl space insulation, where provided instead of floor insulation, shall be permanently attached to the walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	—
Narrow cavities	—	Batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	—
Recessed lighting	Recessed light fixtures installed in the <i>building thermal envelope</i> shall be sealed to the finished surface.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring	—	In <i>exterior walls</i> , batt insulation shall be cut neatly to fit around wiring and plumbing, or insulation, that on installation readily conforms to available space, shall extend behind piping and wiring.
Shower/tub on <i>exterior wall</i>	The <i>air barrier</i> installed at <i>exterior walls</i> adjacent to showers and tubs shall separate the wall from the shower or tub.	<i>Exterior walls</i> adjacent to showers and tubs shall be insulated.
Electrical/phone box on <i>exterior walls</i>	The <i>air barrier</i> shall be installed behind electrical and communication boxes. Alternatively, air-sealed boxes shall be installed.	—
HVAC register boots	HVAC supply and return register boots that penetrate <i>building thermal envelope</i> shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot.	—
Concealed sprinklers	Where required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	—

a. Inspection of log walls shall be in accordance with the provisions of ICC 400.

**Sealing Perimeter of Drywall Assemblies**



**Air Barriers—Airtight Drywall Approach**

Gypsum board drywall is, itself, a suitable air barrier material. The taping of drywall seams results in a plane of airtightness at the field of the wall. However, several steps must be taken to use this material property to create a continuous and complete air barrier system. To do this, it is important to create air barrier continuity at the perimeter of drywall assemblies, at all penetrations through the drywall, and, finally, in areas of the enclosure without interior drywall.

**Drywall Assembly Perimeter**

Air barrier continuity at the perimeter of drywall assemblies is achieved by sealing the edges of the drywall to solid framing materials. This requires a continuous bead of sealant along:

- all exterior wall bottom and top plates,
- all top plates at insulated ceilings,
- rough opening perimeters, and
- both sides of the first interior stud of partition walls.

The air seal at the partition wall intersection is shown in greater detail below.

**Charles R. Pidutti,**  
Architect PLLC  
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cpidutti@twcny.rr.com  
Tel. 315/569-6154



PROJECT NO.  
100623

CONTACT  
CASSIE ELLIS  
315-243-4679

Project Name:  
**GARAGE DEMOLITION AND NEW  
WORKSHOP/STORAGE STRUCTURE**

Project Address:  
**515 CALEB AVENUE  
SYRACUSE, NEW YORK 13206**

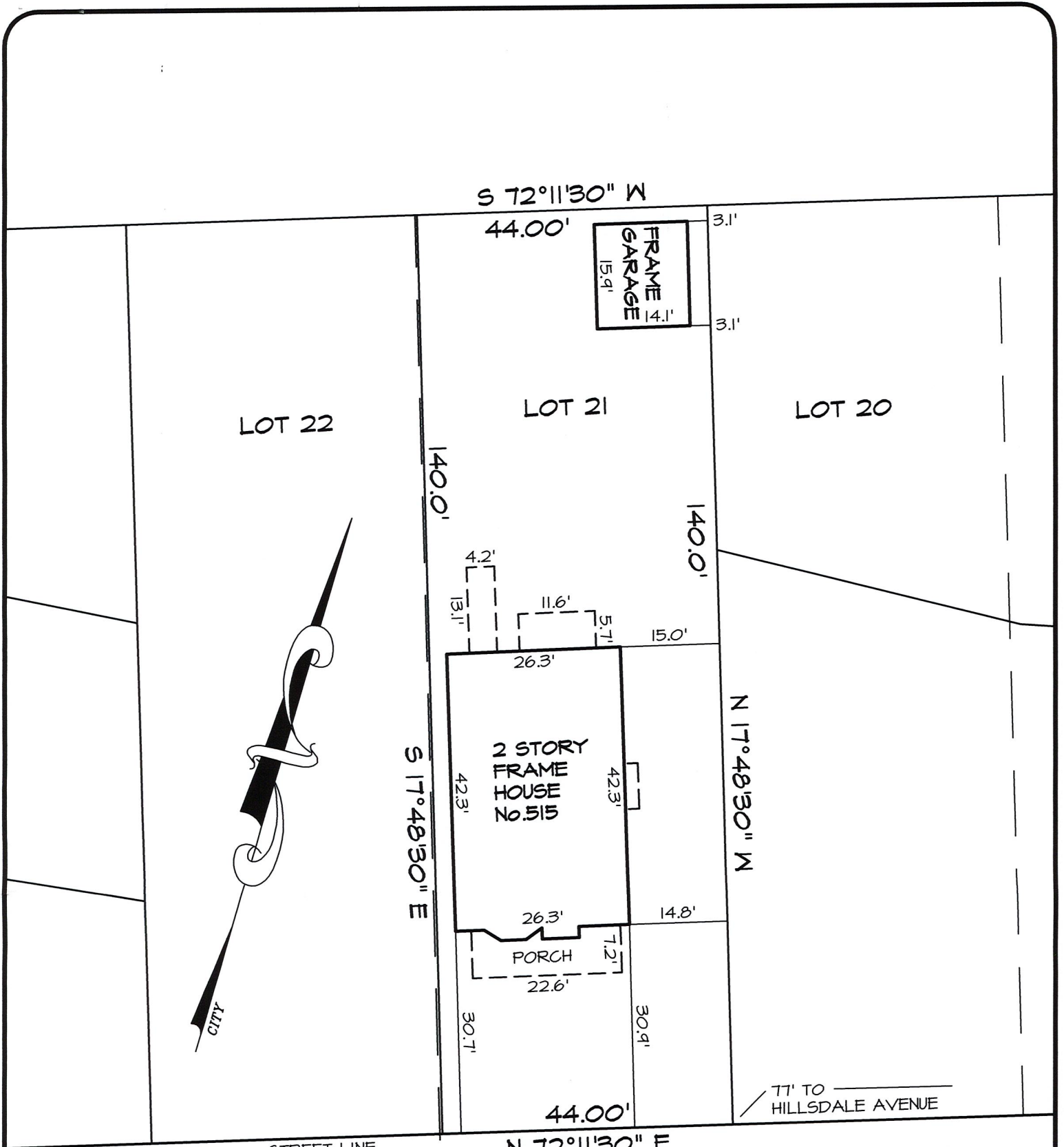
Rev.      Date      Remark

Document Date:  
OCTOBER 25, 2023

**AIR SEALING  
DETAILS**

Document Phase:  
Construction Documents





UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209

DRAWING No.02189



LOCATION SURVEY ON LOT 21, BLOCK 2033, OF THE EASTWOOD HEIGHTS TRACT, CITY OF SYRACUSE, COUNTY OF ONONDAGA, STATE OF NEW YORK. KNOWN AS No.515 CALEB AVENUE

THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS IS AN ACCURATE MAP OF AN ACTUAL SURVEY

*Glen A. Mihal*

GLEN A. MIHAL, L.S.#049865  
 LICENSED LAND SURVEYOR SYRACUSE, NEW YORK

DATE 6/6/15

SCALE 1"=20'

REVISED



LAND SURVEYING









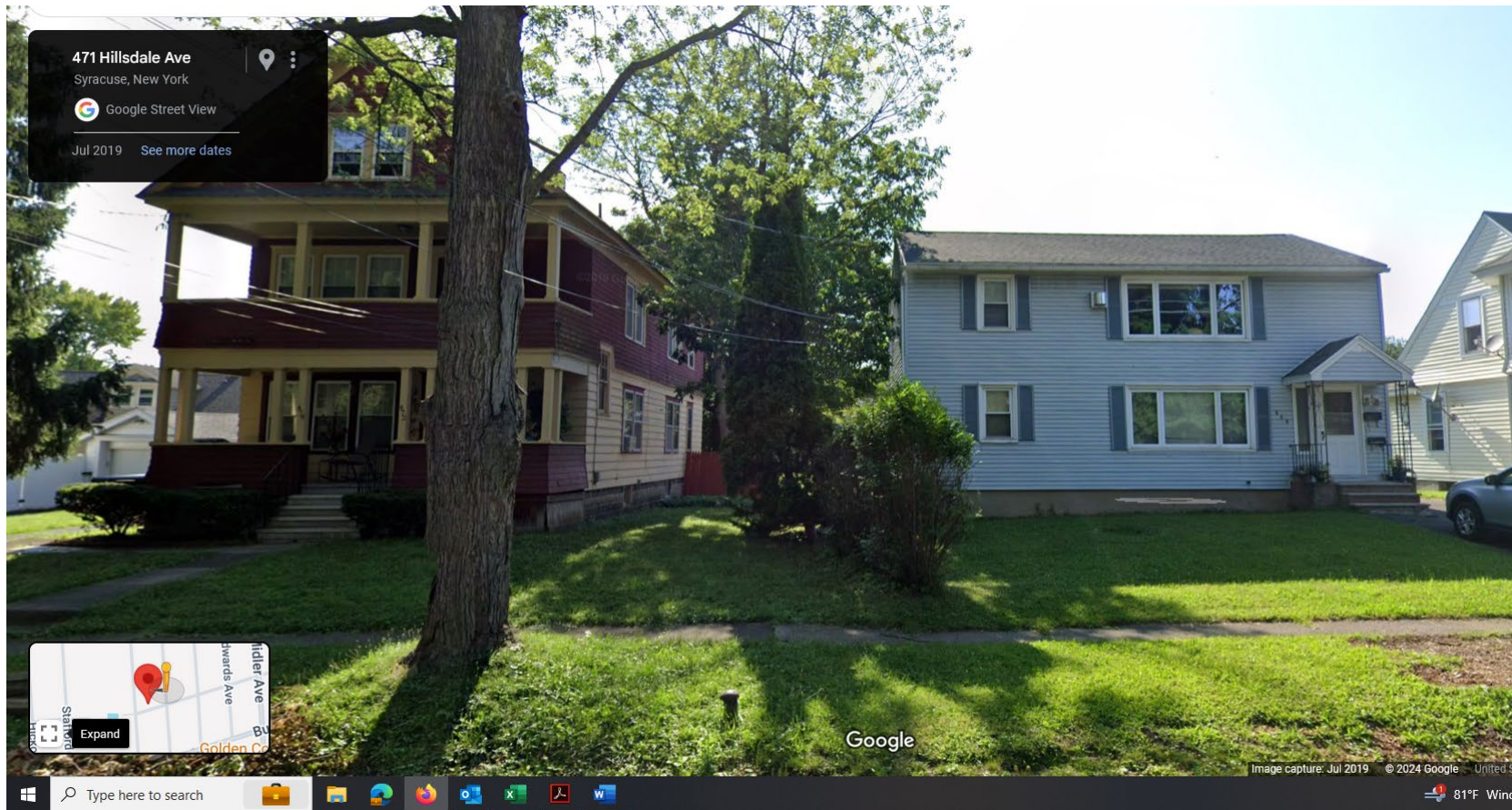




Both of these houses are located on Hillsdale but our property lines connect.

House on Left is owned by Thomas Rabbia – 472 – 474 Hillsdale. House on right is owned by Rick Kharas.

Mr Rabbia and Mr. Kharas have also written letters of support.





Debbie Baldwin's House is on the left – 511 Caleb Ave. My house is on the right – 515 Caleb Ave  
Ms. Baldwin has written a letter in support of the project.





This property is directly across the street from my house.



City of Syracuse  
**Parcel History**  
 01/01/1900 - 08/02/2024  
 Tax Map #: 027.-20-18.0  
 Owners: Cassia Ellis  
 Zoning: R1

Address	Date	Transaction	Transaction Type	Status	Description
515 Caleb Ave	03/28/12	Completed Complaint	Bulk Household Items	Completed	2012-06357   mat/ box
515 Caleb Ave	05/17/13	Completed Complaint	Pot Holes in Road	Completed	2013-11455   large pothole
515 Caleb Ave	05/20/13	Completed Complaint	Pot Holes in Road	Completed	2013-11545   large pothole
515 Caleb Ave	06/18/13	Completed Complaint	Street Repair Special Req	Completed	2013-11259   please pick up left over asphalt
515 Caleb Ave	06/16/14	Completed Complaint	Sewer Back Up	Completed	2014-16097   sewer b/u
515 Caleb Ave	08/17/16	Permit Application	Misc.(deck, fence,ramp)	Issued	24947   Fence
515 Caleb Ave	10/28/16	Completed Complaint	Sewer Back Up	Completed	2016-34068   sewer back up for10/28/16 cathy 243-4679
515 Caleb Ave	11/16/16	Completed Complaint	Blue Bin: request new BB	Completed	2016-32239   Could I please get 2 new blue bins. One is missing and the one I have is broke. Thank you.
515 Caleb Ave	05/10/17	Completed Permit	Misc.(deck, fence,ramp)	Certificate Issued	24947   Fence   Certificate of Completion #24947
515 Caleb Ave	07/10/17	Permit Application	Res. Remodel/Chg Occ	Issued	29023   Back porch replacement
515 Caleb Ave	07/25/17	Permit Application	Electric	Issued	29273   electric
515 Caleb Ave	07/26/17	Completed Complaint	Bulk Household Items	Completed	2017-20939   mattress & boxspring
515 Caleb Ave	11/22/17	Completed Permit	Res. Remodel/Chg Occ	Certificate Issued	29023   Back porch replacement   Certificate of Completion #29023
515 Caleb Ave	11/22/17	Completed Permit	Electric	Certificate Issued	29273   electric   Certificate of Completion #29273
515 Caleb Ave	05/02/24	Permit Application	Misc.(deck, fence,ramp)	Holding For	50779   Detached 1 story wood frame building to be used as a workshop and storage, with restroom facility Demo Approved in Camino

Project: V-24-15

Date: 8/8/2024

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project:	V-24-15
Date:	7/29/2024

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse Board of Zoning Appeals	8/8/2024
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Cassia Ellis  
From: Haohui Pan, Zoning Planner  
Date: 08/02/2024  
Re: Variance (Use) V-24-15  
515 Caleb Ave, Syracuse, 13206

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

These comments will also be forwarded to the BZA for their consideration. Please modify the proposal and/or provide written comments as maybe necessary to address the comments and submit to Haohui Pan Syracuse Zoning Office, Room 500, City Hall Commons, Syracuse, NY 13202, or [Zoning@syr.gov](mailto:Zoning@syr.gov) as soon as possible.

Please contact the Haohui Pan, Syracuse Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Board of Zoning Appeals	Pending	07/18/2024		
Zoning Planner	On Hold	07/18/2024	Zhitong Wu	Hold for approval from BZA



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Cassia Ellis  
From: Haohui Pan, Zoning Planner  
Date: 08/02/2024  
Re: Variance (Area) V-24-17  
515 Caleb Ave, Syracuse, 13206

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

These comments will also be forwarded to the BZA for their consideration. Please modify the proposal and/or provide written comments as maybe necessary to address the comments and submit to Haohui Pan Syracuse Zoning Office, Room 500, City Hall Commons, Syracuse, NY 13202, or [Zoning@syr.gov](mailto:Zoning@syr.gov) as soon as possible.

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Approval	Status	Status Date	Reviewer	Comments
Board of Zoning Appeals	Pending	07/25/2024		
Zoning Planner	On Hold	07/25/2024	Zhitong Wu	Hold for BZA's approval.